

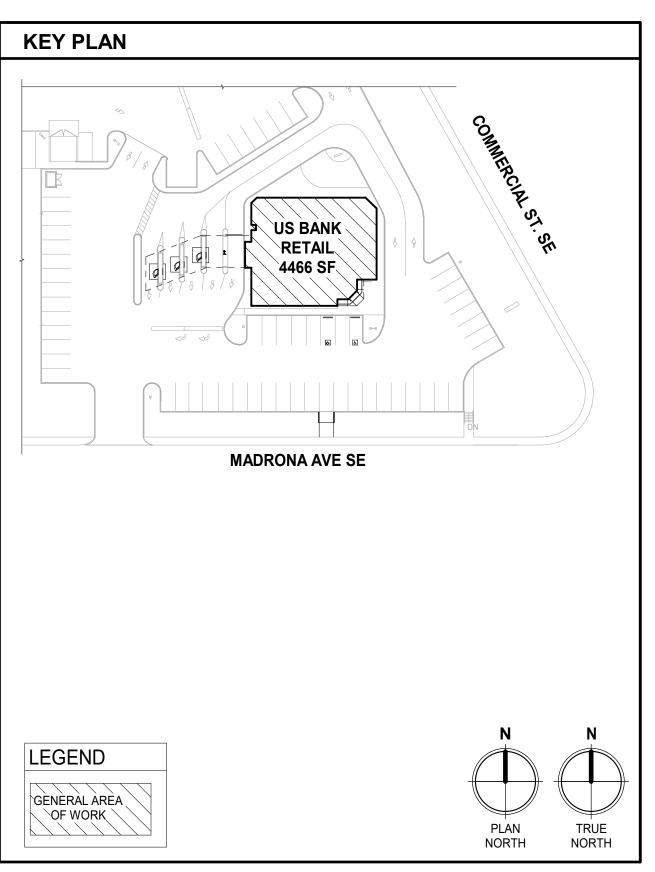
OR - Salem, South Salem 3485 Commerical St. SE, Salem, OR 97302

PROJECT NUMBER: 1485459ED4 CLIENT PROJECT NUMBER: 23424P459ED4

PROJECT TEAM ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. STRUCTURAL ENGINEER **PROJECT MANAGER** LANDLORD M.E.P. ENGINEERS **SIGNAGE - EXTERIOR GRAPHICS - INTERIOR ARTWORK** ARCHITECTURE AND INTERIOR DESIGN REFER TO JLL PROJECT MANAGER RSP Architects, Ltd. VAA ENG CORPORATION RTM Engineering Consultants Stratus Unlimited MLE Group Art Force 600 County Rd D West STE 15 200 E Randolph St #430 1220 Marshall St NE 2300 Berkshire Ln N #200 5137 Utica Ridge Road 8959 Tyler Boulevard Chicago, IL 60601 Davenport, IA 52807 Mentor, OH 44060 Project Contact: Minneapolis, Minnesota 55413-1036 New Brighton, MN 55112 Plymouth, MN 55441 Phone: (612) 677-7100 Phone: (563) 726-6310 Phone: (763) 559-9100 Christine Wolniak Project Contact: Project Contact: Fax: (612) 677-7499 Project Contacts: christine/wolniak@mleinc.com Mark Kriege Mary Beth Terriaco Leslie Palmer-Ross Project Contacts: Project Contacts: GENERAL CONTRACTOR 1 415 271 1853 Terrence J. Mahr, Principal Sr. Designer Mitchel Boever, Mechanical & Plumbing marybeth.terriaco@stratusunlimited.com lpr@artforce.org Project Contacts: (763)567-7205 440-534-3669 ext 1186 Michael Brandt, Project Manager (763) 577-9119 mark.kriege@am.jll.com (563) 293-1688 REFER TO JLL PROJECT MANAGER (612) 677-7202 mitchel.boever@rtmec.com Luis Rodriguez regina.baltzegar@statusunlimited.com (813) 716-9924 Courtney Leaf, Electrical luis2.rodriguez@am.jll.com (216)218-2269 courtney.leaf@rtmec.com LIGHTING VENDOR SOUND MASKING U.S. BANK EQUIPMENT U.S. BANK SECURITY **FURNITURE VENDOR COFFEE EQUIPMENT** MILLWORK VENDOR U.S. BANK FLOORING PARTNERSHIP First Choice Coffee Service Wiedenbach Brown U.S. Bank RCF Group Atmosphere Commercial Interiors Ohio Woodworking Co Inc Shaw Contract Convergint 6454 Centre Park Drive West Chester 6345 Centre Park Dr 5035 Beech Street 81 South 9th Street, Suite 350 Project Contact: **Project Contact:** OH. 45069 Minneapolis, MN 55402 Cincinnati, Ohio 45069 Cincinnati, OH 45212 Project Contact: Gary Popovics - Sales (330) 701-6404 Jessica Geres (513) 612-7303 Phone: (612) 343-8522 www.firstchoiceservices.com Nadine Heithaus, Senior Account Manager (651) 435-7592 Project Contact: (513) 479-8557 gary.popovics@wblight.com dave.kasmer@convergint.com jessica.geres@usbank.com Project Contact: Project Contact: Project Contact: Pamela Deak nadine.heithaus@shawinc.com Craig Hauser, Account Manager (513) 631-0870 Buck Buchanan - Sales (763) 348-2114 (513) 766-1191 cell pamela@ohiowoodworkingcompany.com kayla.peterson@thercfgroup.com (917) 566-4848 DAIKEN NATIONAL ACCOUNT U.S. BANK TOS craig.hauser@atmosphereci.com (513) 860-1210 office buck.buchanan@wblight.com Varitec Solutions U.S. Bank Heather Purdie - Estimating 2851 West Kathleen Rd, Phoenix AZ 85053 heather.purdie@wblight.com Project Contact: Heather Baker **Project Contact:** (651) 319-3924 For quote requests, contact: Greg Wille, Senior Sales Engineer heather.baker@usbank.com usbankteam@wblight.com gregw@varitecsolutions.com Direct: 602.906.4123



Mobile 602.885.8241



CODE SUMMARY PROJECT DESCRIPTION EXTERIOR AND INTERIOR REMODEL FOR U.S. BANK OF THEIR EXISTING 4466 GROSS SQUARE FOOT SINGLE-TENANT BUILDING. OCCUPANCY IS BUSINESS GROUP B AND IS UNCHANGED. APPLICABLE CODES **BUILDING CODE:** 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC) EXISTING BUILDING CODE: 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC) MECHANICAL CODE: 2022 OREGON MECHANICAL SPECIALTY CODE (OMSC) 2021 OREGON PLUMBING SPECIALTY CODE (OPSC) PLUMBING CODE: ELECTRICAL CODE: 2021 OREGON ELECTRICAL SPECIALTY CODE (OESC) 2020 NATIONAL ELECTRICAL CODE (NEC) / NFPA 70 FIRE CODE: 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) ENERGY CODE: 2019 OREGON ZERO ENERGY READY COMMERCIAL CODE ACCESSIBILITY: 2017 ICC / ANSI 117.1 REFER TO SHEET G101 FOR COMPLETE LIFE SAFETY PLAN AND CODE ANALYSIS. **DEFERRED SUBMITTALS** THE FOLLOWING SUBMITTALS WILL BE SUBMITTED DIRECTLY TO THE BUILDING OFFICIAL AND ARE NOT INCLUDED WITHING THIS DRAWING SET: A. FIRE ALARM SYSTEM NEW INSTALL OR ALTERATIONS TO EXISTING SYSTEM. B. SITE SIGNAGE AND INTERIOR REGULATORY SIGNAGE. WHERE APPLICABLE: C. REQUIRED ACCESSIBLE CIVIL UPGRADES

DOCUMENT PACKAGE ISSUED: 12/08/2023

SHEET INDEX DRAWINGS ISSUES **ISSUE KEY:** 1 - ISSUED (WITH SIGNATURE) 2 - REVISED AND RE-ISSUED (WITH SIGNATURE) 3 - NOT FOR CONSTRUCTION - REFERENCE ONLY 4 - RE-ISSUED FROM A PRIOR BID PACK - NO REVISIONS 5 - ISSUED (NO SIGNATURE) 6 - REVISED AND RE-ISSUED (NO SIGNATURE) SHEET NO. COVER SHEET ABBREVIATIONS, DRAWING SYMBOLS, GENERAL NOTES 3 | 1 | MATERIALS SCHEDULE MOUNTING HEIGHTS AND DETAILS 3 1 FIRE AND LIFE SAFETY PLAN, CODE ANALYSIS **ALTA SURVEY** 1 DEMOLITION PLAN IMPROVEMENT & GRADING PLAN IMPROVEMENT DETAILS 1 IMPROVEMENT DETAILS 3 3 1 ARCHITECTURAL SITE PLAN DEMOLITION DEMOLITION REFLECTED CEILING PLAN DEMOLITION EXTERIOR ELEVATIONS DEMOLITION EXTERIOR ELEVATIONS 3 3 1 FLOOR PLAN 3 3 1 ROOF PLAN 3 | 1 | 3 3 1 REFLECTED CEILING PLAN DOOR SCHEDULE, DOOR TYPES, DOOR HARDWARE, FRAME TYPES, DETAILS PARTITION TYPES AND DETAILS SEISMIC INTERIOR DETAILS EXTERIOR ELEVATIONS **EXTERIOR ELEVATIONS** 3 | 3 | 1 | | WALL SECTIONS 3 1 INTERIOR DETAILS 3 1 PNEUMATIC TUBE DETAILS 3 1 EXTERIOR DETAILS 3 | 1 | 3 3 1 ENLARGED RESTROOM PLANS AND ELEVATIONS INTERIOR ELEVATIONS 3 3 1 1 MILLWORK DETAILS 3 | 1 | CASEWORK DETAILS 3 1 3 1 CASEWORK DETAILS CSS V2 DETAILS CEILING DETAILS 3 | 1 | INTERIORS 3 3 1 1 | FINISH PLAN FURNITURE PLAN 3 3 1 POWER AND COMMUNICATIONS PLAN 3 3 1 1 3 3 SAFE 8 - EQUIPMENT CUTSHEETS - FOR INFORMATION ONLY ITM 9L- EQUIPMENT CUTSHEETS - FOR INFORMATION ONLY 3 3 PNEUMATIC TUBES (PTS) - EQUIPMENT CUT SHEETS - FOR INFORMATION ONLY 3 3 GENERAL STRUCTURAL NOTES SLAB ON GRADE PLAN 3 1 FOUNDATION DETAILS 3 1 MECHANICAL LEGEND 3 | 1 | MECHANICAL FIRST FLOOR HVAC PLAN | 3 | 1 | | MECHANICAL ROOF HVAC PLAN 3 1 1 MECHANICAL FIRST FLOOR HVAC CONTROL PLAN 3 | 1 | MECHANICAL SCHEDULES AND DETAILS 3 | 1 | MECHANICAL DEMOLITION FLOOR PLAN 3 | 1 | MECHANICAL DEMOLITION ROOF PLAN - HVAC 3 | 1 | MECHANICAL AND PLUMBING SPECIFICATIONS 3 | 1 | PLUMBING LEGEND 3 1 PLUMBING FIRST FLOOR DOMESTIC WATER PLAN 3 1 PLUMBING FIRST FLOOR SANITARY AND VENT PLAN 3 1 PLUMBING ROOF PLAN PLUMBING SCHEDULES AND DETAILS | 3 | 1 | PLUMBING RISERS | 3 | 1 | PLUMBING FIRST FLOOR DEMOLITION PLAN 3 | 1 | PLUMBING ROOF DEMOLITION PLAN 3 | 1 | ELECTRICAL GENERAL NOTES AND SYMBOLS ELECTRICAL SPECIFICATIONS 3 | 1 | ELECTRICAL POWER PLAN | 3 | 1 | ELECTRICAL MECHANICAL COORDINATION PLAN 3 | 1 | ELECTRICAL ROOF PLAN 3 1 ELECTRICAL LIGHTING PLAN 3 1 **ELECTRICAL ONELINE AND SCHEDULES** ELECTRICAL DEMOLITION POWER PLAN 3 | 1 | ELECTRICAL DEMOLITION ROOF PLAN | 3 | 1 | ELECTRICAL DEMOLITION LIGHTING PLAN 3 | 1 |



RSP Architects, Ltd. 1220 Marshall Street NE 612.677.7499 fax Minneapolis www.rsparch.com

612.677.7258

Minnesota 55413-1036 Doug Coffler

Certification



SCOTT KLOPFER License Number Date Signed 1/08/2024

3485 Commerical St.

SE, Salem, OR 97302 Project No. 1485459ED4 Checked By

12/08/2023 NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in

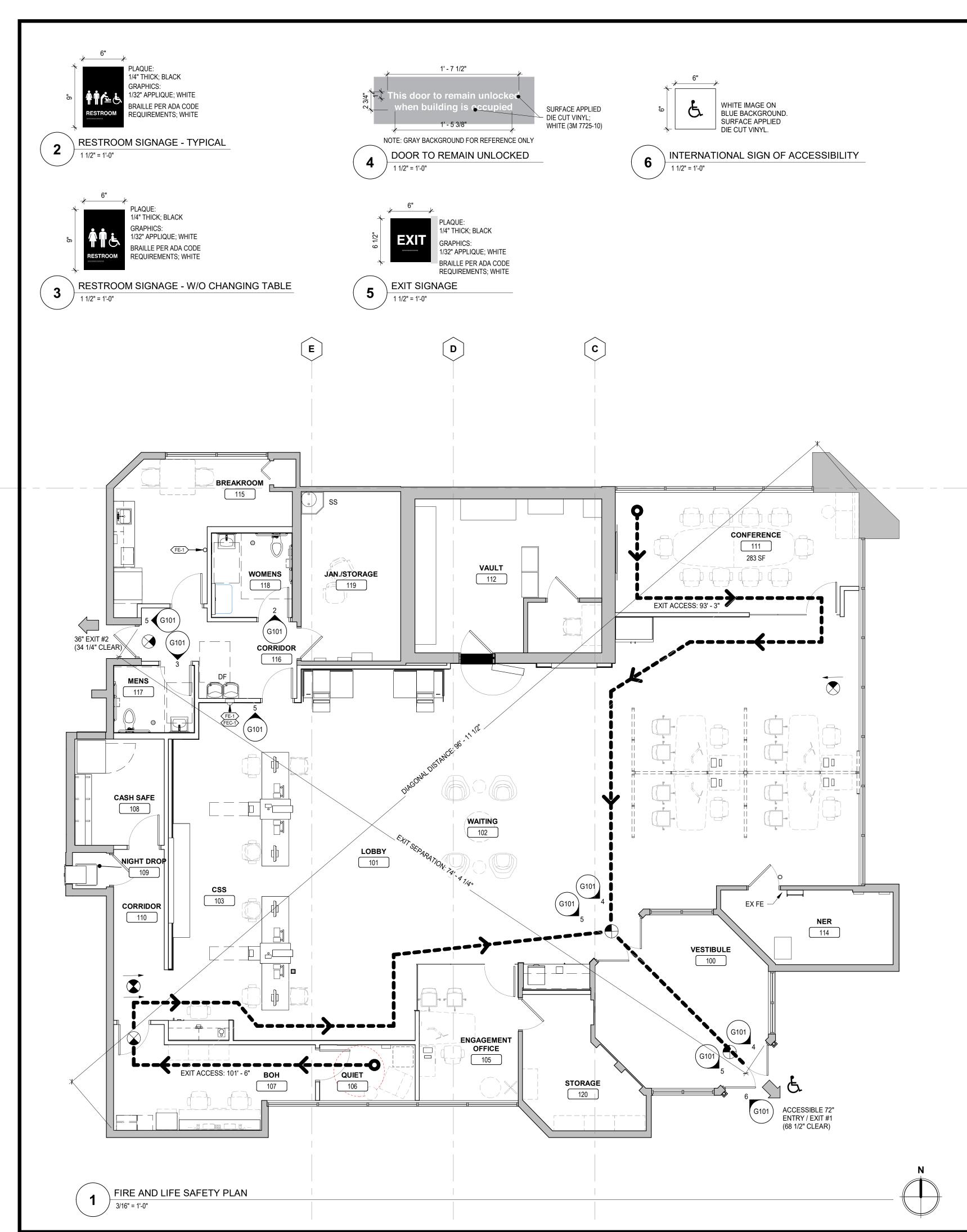
© Copyright RSP Architects 2023. All rights reserved.

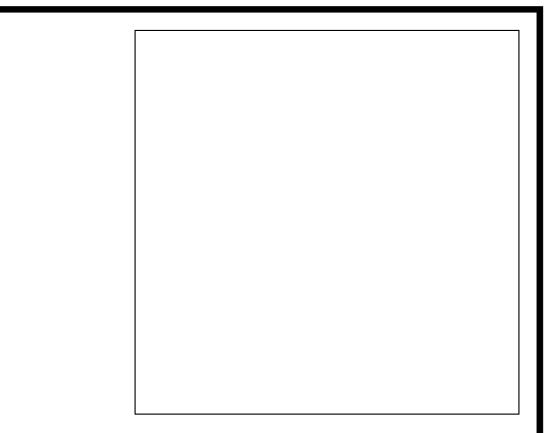
Sheet Issues / Revisions No. Date Description **ALL BIDDING QUESTIONS TO BE**

DIRECTED TO THE JLL PROJECT

MANAGERS. SEE SHEET G000.

COVER SHEET

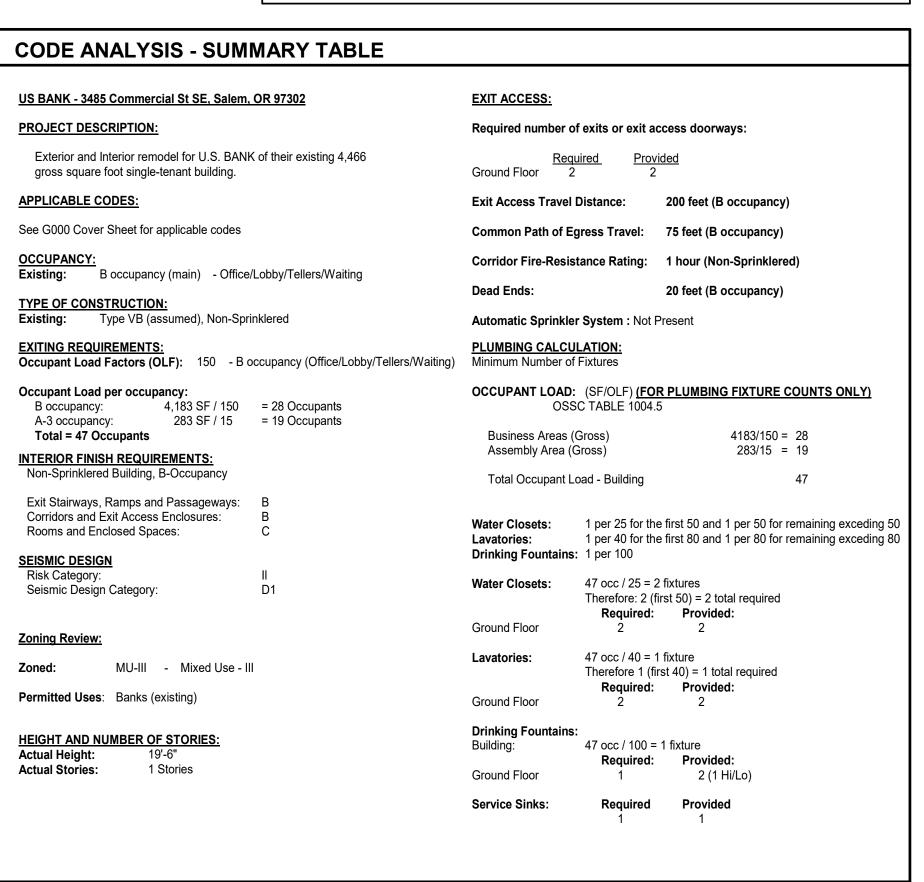




ACCESSIBILITY UPGRADES AS PART OF THE PROJECT

- PARKING LOT ACCESSIBLE STALL SIGNAGE
 ENTRANCE DOOR ACCESSIBLE HARDWARE
- RESTROOM UPGRADE FOR SIZE
- RESTROOM UPGRADE FOR LAVATORY HEIGHT
 RESTROOM UPDATE FOR TOILET HEIGHT AND WIDTH FROM THE WALL
- RESTROOM UPGRADE FOR GRAB BARS
 DRINKING FOUNTAIN UPGRADE FOR HIGH/LOW
- EXISTING DOOR HARDWARE UPGRADE TO LEVER HANDLES
- EXISTING DOOR HARDWARE UPGRADE ADD AUTO DOOR OPERATOR FOR DOORS THAT DO NOT HAVE ENOUGH CLEARANCE ON THE SIDE

LEGEND - LIFE SAFETY			
\bigotimes	ILLUMINATED EXIT SIGNS	WALLS:	
(FE-#)	NEW OR EXISTING FIRE EXTINGUISHER		EXISTING PARTITION TO REMAIN
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	EXTINOGIONEN		NEW NON-COMBUSTIBLE PARTITION
4	EGRESS PATH OF TRAVEL	SP-NR	SMOKE PARTITION (NON-RATED)
44	COMMON PATH OF TRAVEL	SP-R	SMOKE PARTITION (RATED)
	EXIT ACCESS	1-HR	, ,
			1-HOUR RATED PARTITION
	EXIT	2-HR	2-HOUR RATED PARTITION
□ DE	ACCESSIBLE EXIT	DF	DRINKING FOUNTAIN
		SS	SERVICE SINK





 RSP Architects, Ltd.

 1220 Marshall Street NE Minneapolis
 612.677.7100

 612.677.7499 fax

Minneapolis 612.677.7499 fax
Minnesota 55413-1036 www.rsparch.com

Project Contact:

Doug Coffler 612.677.7258

Consultants

Certification



Name SCOTT KLOPFER
License Number ARI-12877
Date Signed 1/08/2024

us bank

3485 Commerical St. SE, Salem, OR 97302

oject No.	1485459ED4
rawn By	NM
necked By	ВР
ate	12/08/2023
OTICE: The designs shown and technical drawings, graphics opprietary and cannot be copied, pointed in whole or in part	and models thereof, are duplicated or commercially

permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2023. All rights reserved.

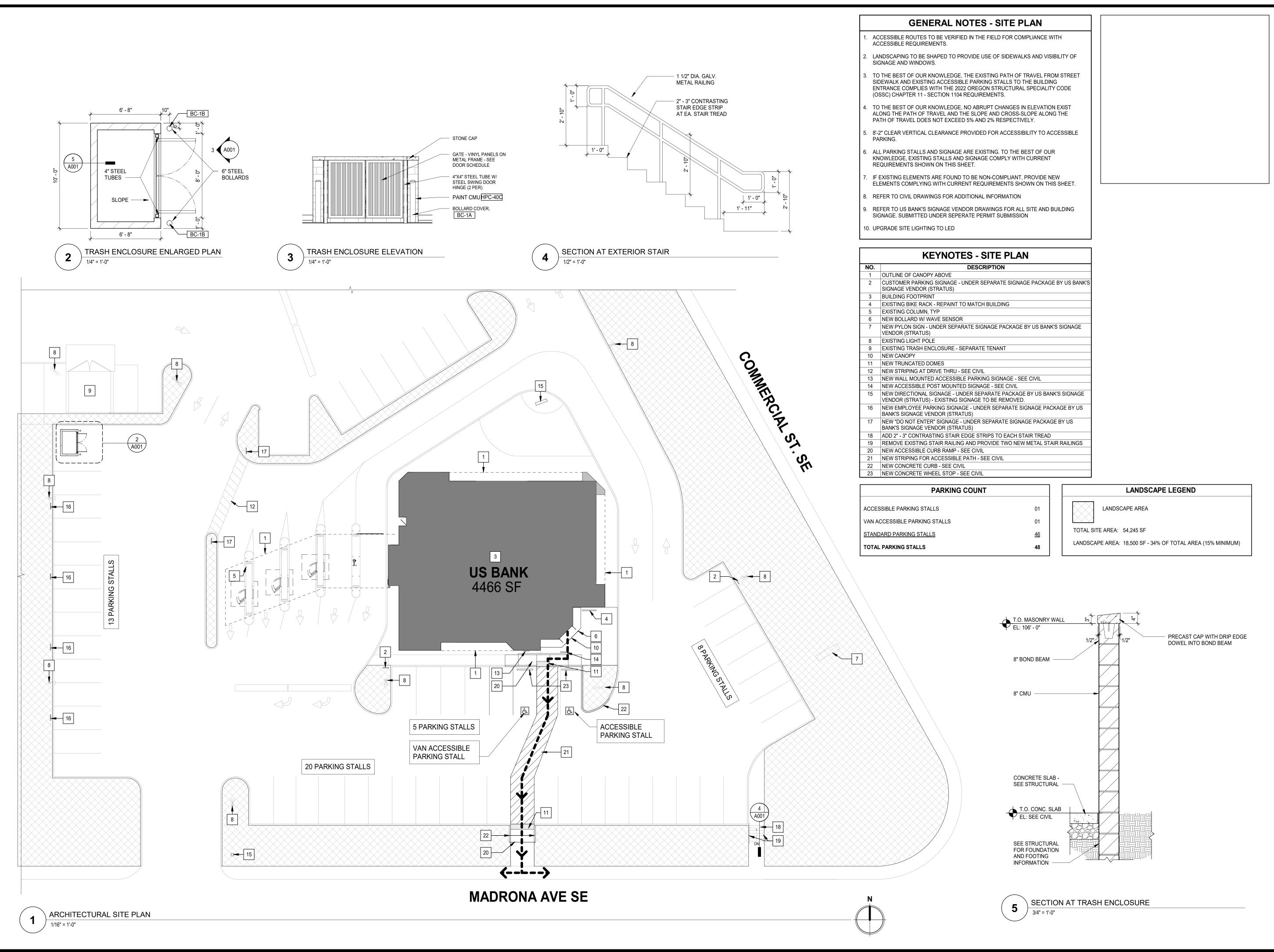
Sheet Issues / Revisions		
No.	Date	Description
<u>ALL E</u>	<u> BIDDING</u>	QUESTIONS TO BE
<u>DIRE</u>	CTED TO	THE JLL PROJECT

FIRE AND LIFE SAFETY PLAN, CODE ANALYSIS

MANAGERS. SEE SHEET G000.

G101

6





RSP Architects, Ltd. 1220 Marshall Street NE 612.677.7100 612.677.7499 fax Minneapolis Minnesota 55413-1036 www.rsparch.com **Project Contact:**

Doug Coffler 612.677.7258

Certification

Consultants



Name SCOTT KLOPFER License Number Date Signed

3485 Commerical St.

SE, Salem, OR 97302 Project No. 1485459ED4 Drawn By Checked By

12/08/2023 NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors,

© Copyright RSP Architects 2023. All rights reserved.

accordance with this Notice.

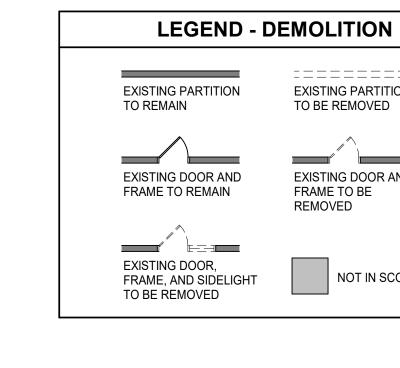
government agencies, vendors and office personnel only in

Sheet Issues / Revisions No. Date Description **ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT**

ARCHITECTURAL SITE

MANAGERS. SEE SHEET G000.

PLAN



GENERAL NOTES - DEMOLITION

A. THE FOLLOWING PLANS REFLECT DEMOLITION INTENT ONLY. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON EXISTING PARTITION DRAWINGS AND SHALL INCLUDE RELATED MECHANICAL, ELECTRICAL TO BE REMOVED AND LIFE SAFETY SYSTEMS. SEE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION GENERAL NOTES FOR ADDITIONAL INFORMATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE

EXISTING DOOR AND FRAME TO BE REMOVED

NOT IN SCOPE

SHALL BE COORDINATED WITH THE BUILDING MANAGER TO MINIMIZE DISRUPTION TO BUILDING OCCUPANTS. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING

	(
	FLUORESCENT), AND SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEANED AND SAVED, REUSED, RETURNED TO BUILDING STOCK, OR DISPOSED OF AS DIRECTED BY U.S. BANK PROJECT MANAGER AND/OR PROPERTY MANAGER.			
				KEYNOTES - DEMOLITION
			NO.	DESCRIPTION
	REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT		D1	REMOVE PORTION OF EXISTING PARTITION. SEE ALSO FLOC
	PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH APPROPRIATE SERVICE COMPANY PRIOR TO		D2	REMOVE EXISTING PLUMBING FIXTURES. CAP PLUMBING BAITS SOURCE.
PROCEEDING WITH REMOVAL.	GENERAL CONTRACTOR TO COVER ALL SMOKE DETECTORS, FIRE		D3	REMOVE EXISTING CASEWORK, INCLUDING WALL-MOUNTED CASEWORK ABOVE.
•	HORNS/STROBES, RETURN AIR GRILLS, DRINKING FOUNTAINS, ETC. TO PREVENT DAMAGE FROM DUST AND APPLICATION OF NEW FINISHES. PROVIDE TEMPORARY EXHAUST DURING CONSTRUCTION OPERATIONS. TO THE GREATEST EXTENT POSSIBLE, ISOLATE		D4	REMOVE ALL LAYERS OF EXISTING WALL FINISHES, COVERING PANELS. PATCH AND REPAIR WALLS AS REQUIRED TO RECEIVEW FINISHES.
			D5	REMOVE EXISTING FLOOR FINISH. REMOVE ALL GLUE AND

. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE U.S. BANK PROJECT MANAGER AND PROPERTY MANAGER BEFORE PROCEEDING.

AND/OR SHUT DOWN THE RETURN SIDE OF THE HVAC SYSTEM DURING CONSTRUCTION. WHEN VENTILATION SYSTEM MUST BE

OPERATIONAL DURING CONSTRUCTION ACTIVITIES, PROVIDE

WITH THE CONTRACT DRAWINGS. SEE SPECIFICATIONS FOR

FIRE SAFETY MUST BE MAINTAINED FOR ALL PERSONNEL WORKING ON THE FLOOR. ALL EGRESS ROUTES, ALARMS, SPEAKERS, ETC. MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.

IMMEDIATELY NOTIFY BUILDING SECURITY AND BUILDING MANAGER

OF DAMAGED OR DISABLED SYSTEMS AND REPAIR OR REPLACE

UNUSUALLY LOUD DEMOLITION WORK (i.e. CONCRETE REMOVAL)

FIXTURES, LIGHT FIXTURES (INCLUDING DOWN LIGHTS &

FURTHER INSTRUCTIONS.

TEMPORARY FILTERS.

DAMAGED SYSTEMS IMMEDIATELY.

THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.

TRENCHING FOR NEW MECHANICAL AND ELECTRICAL LINES FOR NEW CONSTRUCTION TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL PLANS. PREPARE TRENCHED AREA FOR NEW FLOORING CONSTRUCTION AS REQUIRED.

REFER TO MECHANICAL AND ELECTRICAL FOR FURTHER

IF THE CONTRACTOR ENCOUNTERS MATERIAL THAT IT REASONABLY BELIEVES TO BE HAZARDOUS (ASBESTOS, MOLD, ETC), THE CONTRACTOR SHALL IMMEDIATELY SUSPEND WORK IN THE AREA AND REPORT THE CONDITION TO THE OWNER AND THE ARCHITECT.

DO NOT REMOVE ANY EXISTING STRUCTURAL MATERIALS OR, WHERE APPLICABLE, EXISTING FIRE PROOFING WITHOUT CONSULTING THE ARCHITECT, JLL OWNER'S REPRESENTATIVE, AND THE LANDLORD. IF ANY EXISTING FIRE PROOFING IS DAMAGED IN ANY WAY, CONTACT ARCHITECT, JLL OWNER'S REPRESENTATIVE, AND LANDLORD IMMEDIATELY.

M. REMOVE AND DISPOSE OF ALL EXISTING MARKETING PIECES.

D5 REMOVE EXISTING FLOOR FINISH. REMOVE ALL GLUE AND

D6 REMOVE EXISTING ACOUSTICAL CEILING SYSTEM, LIGHTS, DIFFUSERS, GRILLES. ETC.

CUTTING FLOOR. AVOID CUTTING WOOD FLOOR JOISTS. SUGGESTED LOCATION FOR FLOOR BOX AND CONDUITS.

> D10 EXISTING ELECTRICAL PANEL(S). COORDINATE REMOVAL OF UNUSED PANELS, WHERE APPLICABLE, WITH ELECTRICAL DRAWINGS.

D11 EXISTING SPRINKLER SYSTEM TO REMAIN. COORDINATE WITH NEW CEILING. D12 REMOVE EXISTING EQUIPMENT.

D16 EXISTING EQUIPMENT TO REMAIN.

D18 REMOVE EXISTING PNEUMATIC TUBE & RELOCATE TO NEW LOCATION. SEE SHEET A201. D19 REMOVE EXISTING WINDOW.

D21 REMOVE EXISTING CASEWORK.

AND REROUTED. D24 REMOVE EXISTING EXTERIOR LIGHTS. REPLACE WITH LED. D25 REMOVE ALL EXISTING FURNITURE AND FURNITURE SYSTEMS.

REUSE AND RELOCATION TO BE COORDINATED WITH FACILITY D26 EXISTING FIRE EXTINGUISHER TO REMAIN.

D27 EXISTING CEILING, GRID AND LIGHTS TO REMAIN. D28 EXISTING SOFFIT TO REMAIN. D29 REMOVE EXISTING LAMINATE ON WALLS. PREP FOR NEW D30 REMOVE DEAL DRAWER. D31 REMOVE & REPLACE EXISTING WAVE SENSOR & PEDESTAL IN SAME LOCATION. LOCATION TO BE VERIFIED ON SITE. D32 REMOVE EXISTING RECESSED TRASH. D33 REMOVE EXISTING FIRE EXTINGUISHER. D34 REMOVE EXISTING PLUMBING & SANITARY FIXTURES.

D36 REMOVE EXISTING SIGNAGE - COORDINATE WITH SIGNAGE VENDOR D37 REMOVE EXISTING SECUIRTY CAMERA - COORDINATE WITH SECURITY VENDOR

D35 EXISTING CEILING TO REMAIN. LIGHTS TO BE REPLACED.

D38 REMOVE DECOMISSIONED TELLER WINDOW - INFILL AND MATCH EXISTING ADJACENT CONSTRUCTION D39 REMOVE EXISTING METAL CAP FLASHING - TYP

D40 REMOVE EXISTING THRESHOLD. PROVIDE A CODE COMPLIANT

THRESHOLD WITH NEW FLOOR FINISHES

© Copyright RSP Architects 2023. All rights reserved.

accordance with this Notice.

NOTICE: The designs shown and described herein including

all technical drawings, graphics, and models thereof, are

proprietary and cannot be copied, duplicated or commercially

exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited

review and evaluation by clients, consultants, contractors,

government agencies, vendors and office personnel only in

3485 Commerical St.

SE, Salem, OR 97302

RSP Architects, Ltd.

Minnesota 55413-1036

Minneapolis

Project Contact:

Doug Coffler

Certification

License Number

Date Signed

Project No.

Checked By

Drawn By

1220 Marshall Street NE

612.677.7100

612.677.7258

SCOTT KLOPFER

1485459ED4

12/08/2023

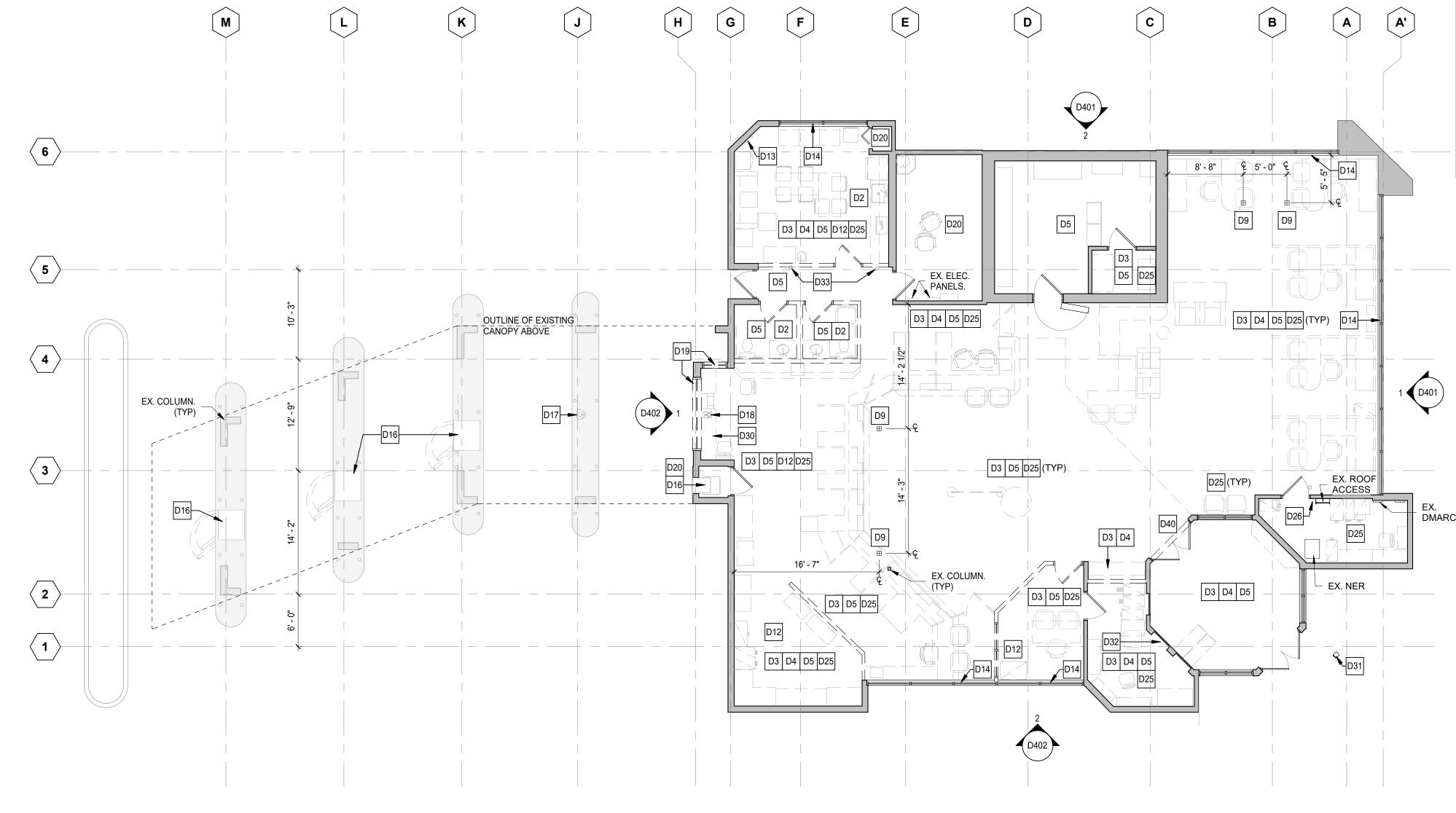
612.677.7499 fax

www.rsparch.com

Sheet Issues / Revisions No. Date Description

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT **MANAGERS. SEE SHEET G000.**

DEMOLITION FLOOR PLAN

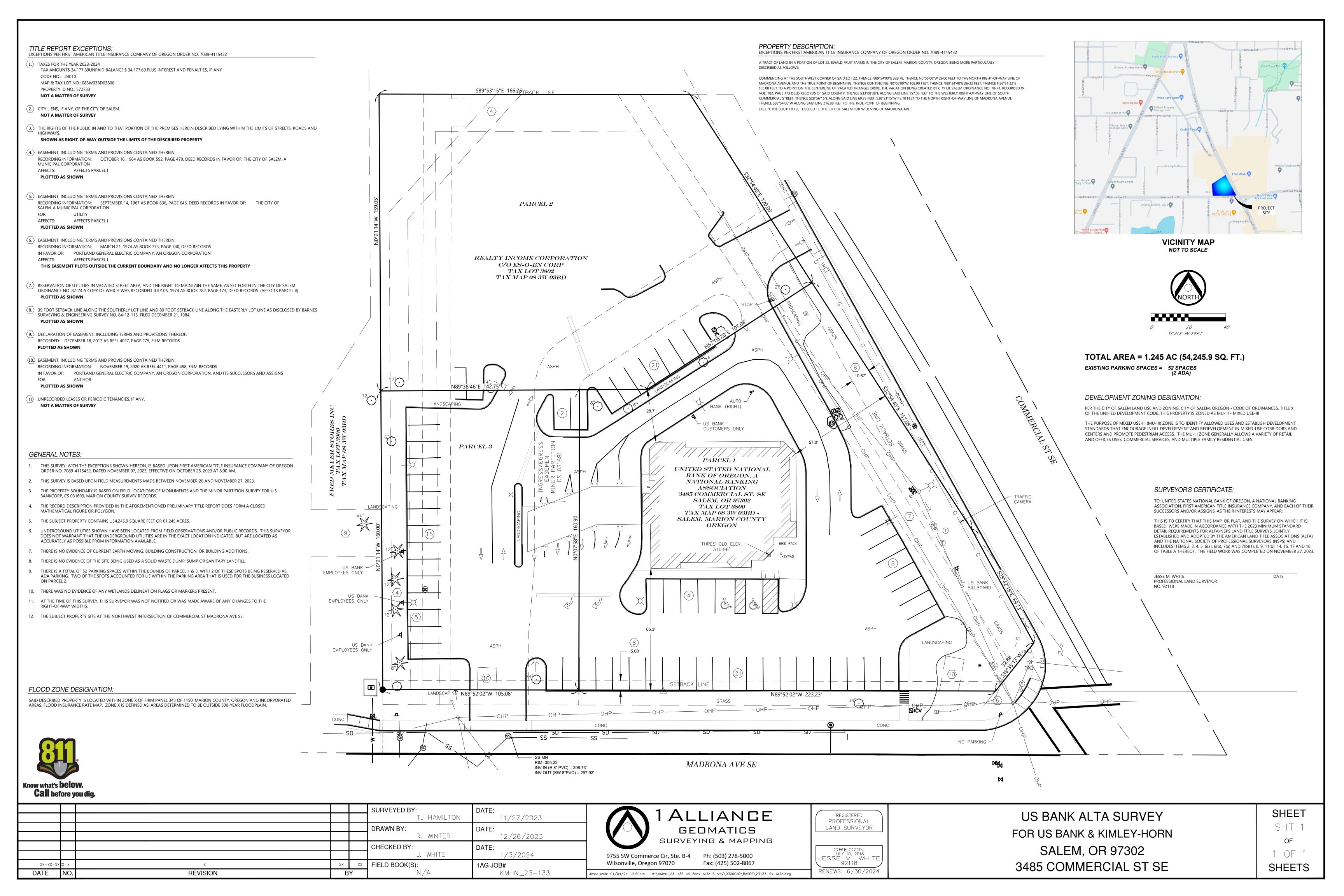


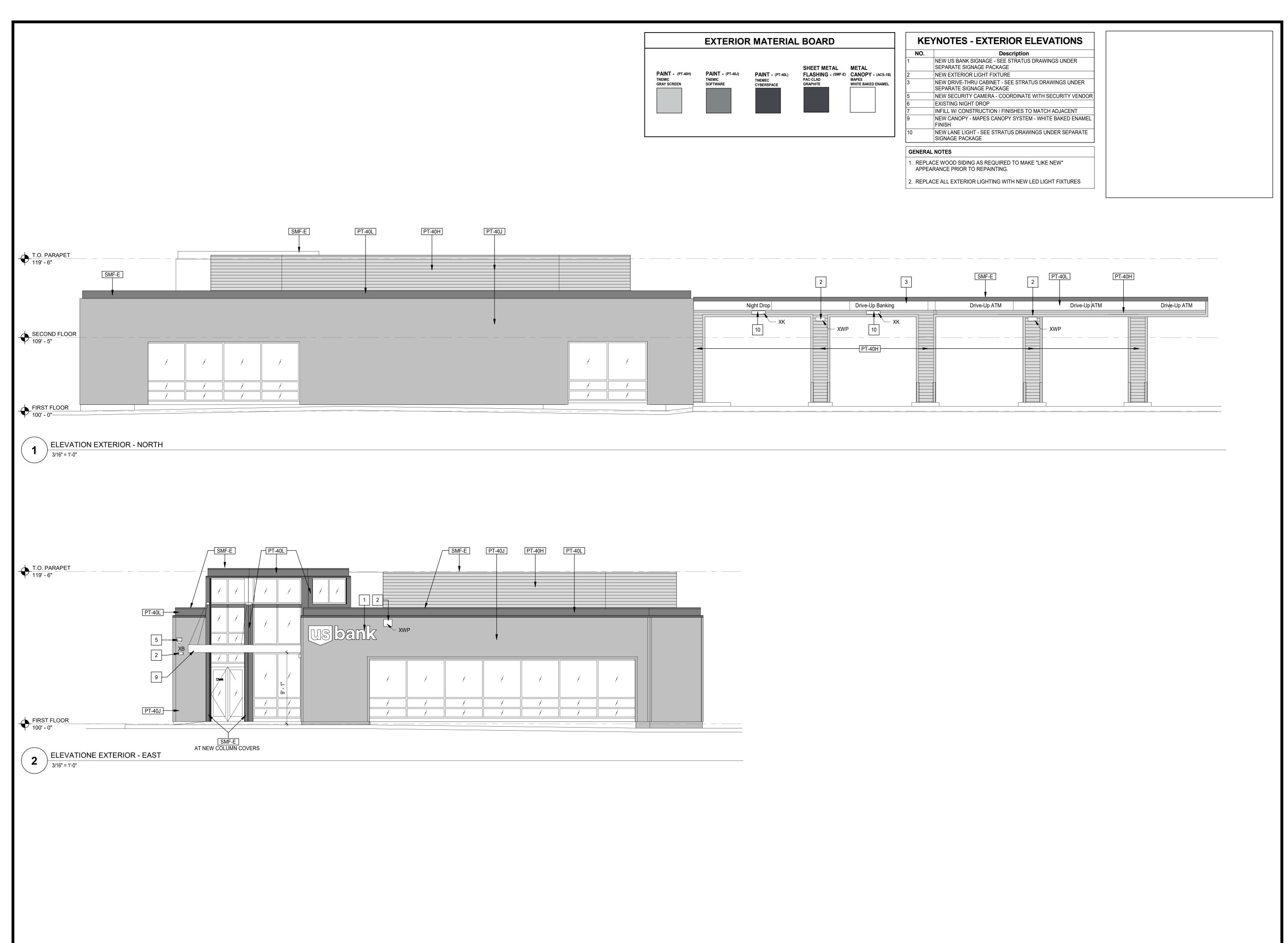
DEMOLITION FLOOR PLAN

Autodesk Docs://US Bank Retail 2023/A23_USB - OR South Salem.rvt

1/8/2024 4:20:45 PM

OR PLAN BACK TO RING AND CEIVE IMPERFECTIONS. PREP AS REQUIRED TO RECEIVE NEW FLOOR D7 REMOVE EXISTING GYP. BD. CEILING SYSTEM, LIGHTS, DIFFUSERS, GRILLES, ETC. D8 REMOVE EXISTING GYP. BD. SOFFIT / BULKHEAD AND FRAMING. D9 VERIFY AND LOCATE EXISTING FLOOR STRUCTURE PRIOR TO CONTRACTOR TO COORDINATE. PREP FOR NEW FINISHES. SEE SHEET i501 FOR EXACT FLOOR BOX LOCATION. D13 EXISTING SECURITY MONITOR TO BE RELOCATED. SEE i501 SHEET. D14 REMOVE EXISTING WINDOW SHADES. D15 REPLACE STOREFRONT DOORS. STOREFRONT FRAMES TO REMAIN. D17 EXISTING PNEUMATIC TUBE TO REMAIN. D20 NO DEMOLITION WORK IN THIS AREA. D22 REMOVE EXISTING CUSTOMER FACING COUNTER TOP. REPLACE WITH SS-1. D23 EXISTING PNEUMATIC TUBE ON THE EXTERIOR TO BE RETAINED







RSP Architects, Ltd. 1220 Marshall Street NE 612.677.7100

Minneapolis Minnesota 55413-1036 Project Contact: Doug Coffler

612.677.7499 fax

612.677.7258

www.rsparch.com

Consultants

Certification



Name SCOTT KLOPFER License Number Date Signed 1/08/2024

3485 Commerical St.

SE, Salem, OR 97302

Project No.	1485459ED4
Drawn By	DS
Checked By	ВР
Date	12/08/2023
NOTICE: The decians show	and described beroin including

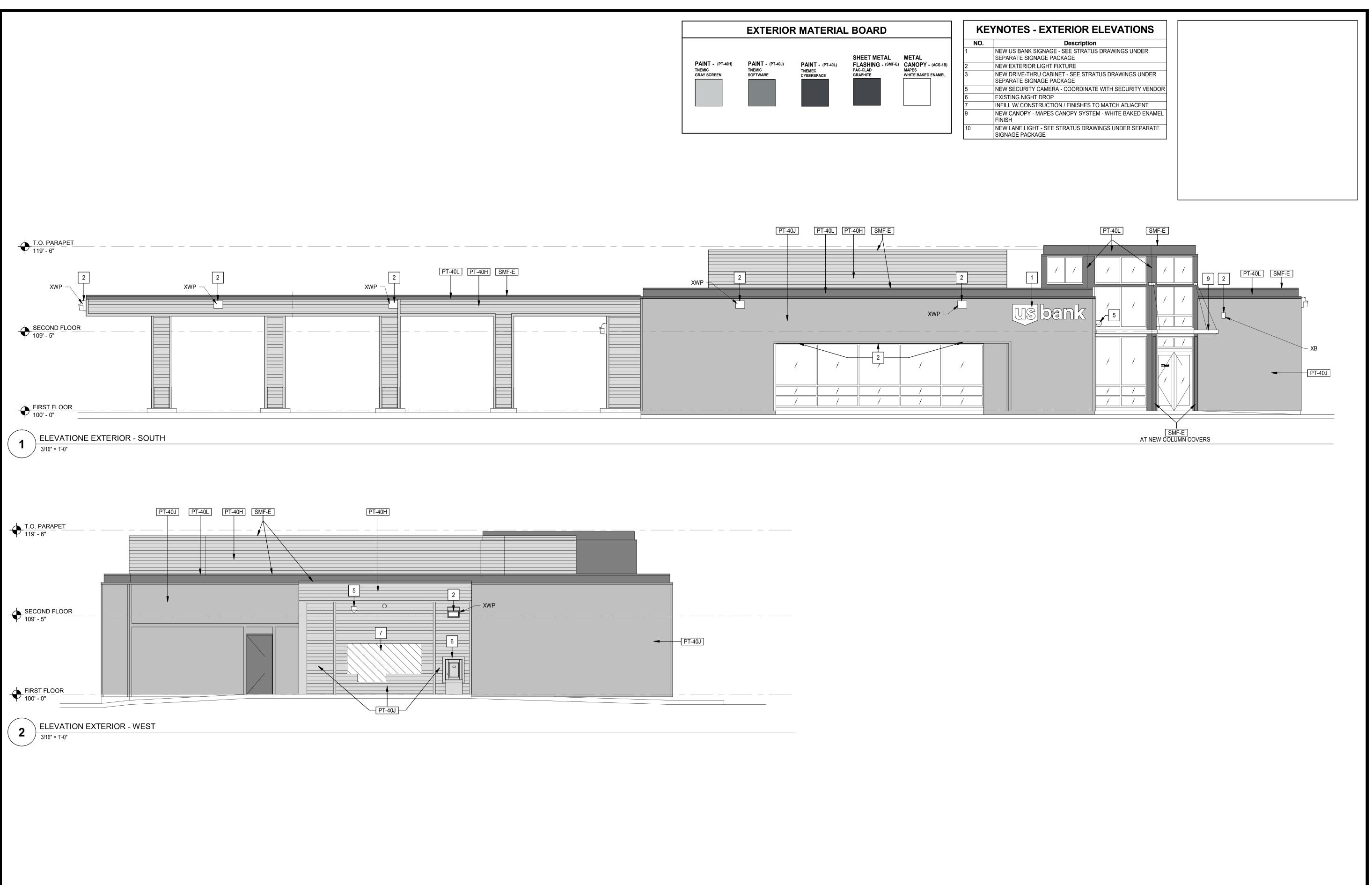
all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2023. All rights reserved.

Sheet Issues / Revisions			
No.	Date	Description	
ALL E	ALL BIDDING QUESTIONS TO BE		

DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

EXTERIOR ELEVATIONS





RSP Architects, Ltd. 1220 Marshall Street NE 612.677.7100

Minneapolis Minnesota 55413-1036 www.rsparch.com Project Contact:
Doug Coffler 612.677.7258

612.677.7499 fax

Consultants

Certification



SCOTT KLOPFER License Number ARI-12877 Date Signed 1/08/2024



3485 Commerical St. SE, Salem, OR 97302

Project No.	1485459ED4
Drawn By	DS
Checked By	ВР
Date	12/08/2023

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2023. All rights reserved.

Sheet Issues / Revisions			
No.	Date	Description	
ALL E	ALL BIDDING QUESTIONS TO BE		

DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

EXTERIOR ELEVATIONS