

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
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*Si necesita ayuda para comprender esta información, por favor llame 503-588-6173*

## DECISION OF THE PLANNING ADMINISTRATOR

### CLASS 1 DESIGN REVIEW

**APPLICATION NO.:** 23-123727-PLN

**NOTICE OF DECISION DATE:** December 22, 2023

**REQUEST:** A Class 1 Design Review for exterior modifications of all nine buildings within an existing multiple family complex. The proposed modifications include replacement of siding, limited replacement of privacy walls around decks for metal railings. The subject property is a 4.41-acre property in the RM-II (Multiple Family Residential 2) Zone and located at 5505 Woodside Drive SE (Marion County Assessor Map and Tax Lot 083W14CB / 300).

**APPLICANT:** Andy Vosper

**LOCATION:** 5505 Woodside Drive SE

**FINDINGS:** The findings are in the attached Decision dated December 22, 2023

**DECISION:** The **Planning Administrator APPROVED** the application based upon the submitted materials and the findings as presented in the decision.

The rights granted by the attached decision, which are effective as of the date of this decision, must be exercised by December 22, 2027, or this approval shall be null and void.

Case Manager: Abigail Pedersen, Planner I, [apedersen@cityofsalem.net](mailto:apedersen@cityofsalem.net), 503-540-2309

This decision is final; there is no local appeal process. Any person with standing may appeal this decision by filing a "Notice of Intent to Appeal" with the Land Use Board of Appeals, 775 Summer St NE, Suite 330, Salem OR 97301, **not later than 21 days** after **December 22, 2023**. Anyone with questions regarding filing an appeal with the Oregon Land Use Board of Appeals should contact an attorney.

The following items are submitted to the record: 1) All materials and evidence submitted by the applicant, including any applicable professional studies; and 2) All materials, evidence, and comments from City Departments and public agencies. The application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. To view the materials without registering, you may use the search function and enter the permit number listed here: 23-123727-PLN.

<http://www.cityofsalem.net/planning>

**BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM**

## **DECISION**

**IN THE MATTER OF APPROVAL OF ) FINDINGS & ORDER**  
**CLASS 1 DESIGN REVIEW )**  
**23-123727-PLN )**  
**5505 WOODSIDE DRIVE SE ) December 22, 2023**

In the matter of the application for a Class 1 Design Review, the Planning Administrator, having received and reviewed the evidence and application materials, makes the following findings, and adopts the following order as set forth herein.

## **REQUEST**

A Class 1 Design Review for exterior modifications of all nine buildings within an existing multiple family complex, including replacement of siding and limited replacement of privacy walls around decks for metal railings. The subject property is a 4.41-acre property in the RM-II (Multiple Family Residential 2) Zone and located at 5505 Woodside Drive SE (Marion County Assessor Map and Tax Lot 083W14CB / 300). A vicinity map of the subject property is included as **Attachment A**.

## **PROCEDURAL FINDINGS**

1. On December 7, 2023, an application for a Class 1 Design Review was submitted for property located at 5505 Woodside Drive SE.
2. After additional requested information was provided by the applicant, the application was deemed complete on December 19, 2023.

## **SUBSTANTIVE FINDINGS**

### **1. Proposal**

The Class 1 Design Review proposes replacement of siding and limited replacement of privacy walls around decks for metal railings for nine multiple family buildings at 5505 Woodside Drive SE. The proposal also includes like-for-like replacement of decks, sliding glass doors, privacy walls, and guard railings, where these like-for-like replacements are considered ordinary maintenance and are not subject to the design review standards. The proposed site plan and elevations are included as **Attachment B**.

## **DECISION CRITERIA FINDINGS**

### **2. Class 1 Design Review Approval Criteria**

The purpose of Design Review is to create a process to review development applications that are subject to design review guidelines and design review standards.

SRC 225.005(e)(1) provides that a Class 1 Design Review shall be approved if all of the applicable design review standards are met.

Except as provided under SRC 702.005(b), and unless otherwise provided in the UDC, design review under SRC chapter 225 is required for all multiple family development.

A summary of the applicable design standards of SRC Chapter 702 is included below:

*SRC 702.020 - Design Review Standards for Multiple Family Development with Thirteen or More Units.*

*(a) Open Space Standards.*

- (1) To encourage the preservation of natural open qualities that may exist on a site and to provide opportunities for active and passive recreation, all newly constructed multiple family developments shall provide a minimum 30 percent of the gross site area in designated and permanently reserved open space. For the purposes of this subsection, the term "newly constructed multiple family developments" shall not include multiple family developments created through only construction or improvements to the interior of an existing building(s). Indoor or covered recreation space may count toward this open space requirement.
- (A) To ensure usable open space that is of sufficient size, at least one common open space area shall be provided that meets the size and dimension standards set forth in Table 702-3.

TABLE 702-3. COMMON OPEN SPACE AREA SIZE AND DIMENSIONS		
Number of Dwelling Units	Minimum Open Space Area Size	Minimum Horizontal Dimension
13 to 20	750 sq. ft.	25 ft.
More than 20	1,000 sq. ft., plus an additional 250 sq. ft. for every 20 units, or portion thereof, over 20 units.	25 ft.

- (B) To ensure the provided open space is usable, a maximum of 15 percent of the common open space shall be located on land with slopes greater than 25 percent.
- (C) To allow for a mix of different types of open space areas and flexibility in site design, private open space, meeting the size and dimension standards set forth in Table 702-4, may count toward the open space requirement. All private open space must meet the size and dimension standards set forth in Table 702-4.

TABLE 702-4. PRIVATE OPEN SPACE SIZE AND DIMENSIONS		
Location of Dwelling Unit	Minimum Open Space Area Size	Minimum Dimension
Not more than 5 feet above finished grade	96 sq. ft.	6 ft.
More than 5 feet above finished grade	48 sq. ft.	6 ft.

- (D) To ensure a mix of private and common open space in larger developments, private open space, meeting the size and dimension standards set forth in Table 702-4, shall be provided for a minimum of 20 percent of the dwelling units in all newly constructed multiple family developments with 20 or more dwelling units. Private open space shall

be located contiguous to the dwelling unit, with direct access to the private open space provided through a doorway.

(E) To encourage active recreational opportunities for residents, the square footage of an improved open space area may be counted twice toward the total amount of required open space, provided each such area meets the standards set forth in this subsection. Example: a 750-square-foot improved open space area may count as 1,500 square feet toward the open space requirement.

- (i) Be a minimum 750 square feet in size with a minimum dimension of 25 feet for all sides; and
- (ii) Include at least one of the following types of features:
  - a. Covered pavilion.
  - b. Ornamental or food garden.
  - c. Developed and equipped children's play area, with a minimum 30-inch-tall fence to separate the children's play area from any parking lot, drive aisle, or street.
  - d. Sports area or court (e.g., tennis, handball, volleyball, basketball, soccer).
  - e. Swimming pool or wading pool.

(F) To encourage proximity to and use of public parks, the total amount of required open space may be reduced by 50 percent for developments that are located within one-quarter mile of a public urban, community, or neighborhood park as measured along a route utilizing public or private streets that are existing or will be constructed with the development.

**Finding:** The proposal is for replacement of siding and limited replacement of privacy walls around decks for metal railings for an existing multiple family complex. No changes are proposed to expand parking lots or building footprints or to reduce any existing open space areas, common or private; therefore, this standard does not apply to the proposed development.

*(b) Landscaping standards.*

- (1) To encourage the preservation of trees and maintain or increase tree canopy, a minimum of one tree shall be planted or preserved for every 2,000 square feet of gross site area.
- (2) Where a development site abuts property that is zoned Residential Agricultural (RA) or Single Family Residential (RS), a combination of landscaping and screening shall be provided to buffer between the multiple family development and the abutting RA or RS zoned property. The landscaping and screening shall include the following:
  - (A) A minimum of one tree, not less than 1.5 inches in caliper, for every 30 linear feet of abutting property width; and
  - (B) A minimum six-foot tall, decorative, sight-obscuring fence or wall. The fence or wall shall be constructed of materials commonly used in the construction of fences and walls, such as wood, stone, rock, brick, or other durable materials. Chainlink fencing with slats shall be not allowed to satisfy this standard.
- (3) To define and accentuate primary entryways, a minimum of two plant units, shall be provided adjacent to the primary entryway of each dwelling unit, or combination of dwelling units.
- (4) To soften the visual impact of buildings and create residential character, new trees shall be planted, or existing trees shall be preserved, at a minimum density of ten plant units per 60

linear feet of exterior building wall. Such trees shall be located not more than 25 feet from the edge of the building footprint.

- (5) Shrubs shall be distributed around the perimeter of buildings at a minimum density of one plant unit per 15 linear feet of exterior building wall.
- (6) To ensure the privacy of dwelling units, ground level private open space shall be physically and visually separated from common open space with perimeter landscaping or perimeter fencing.
- (7) To provide protection from winter wind and summer sun and to ensure trees are distributed throughout a site and along parking areas, a minimum of one canopy tree shall be planted along every 50 feet of the perimeter of parking areas. Trunks of the trees shall be located within ten feet of the edge of the parking area (see Figure 702-3).
  - (A) A minimum of one canopy tree shall be planted within each planter bay.
  - (B) A landscaped planter bay a minimum of nine feet in width shall be provided at a minimum spacing of one for every 12 spaces. (see Figure 702-3).
- (8) Multiple family developments with 13 or more units are exempt from the landscaping requirements in SRC chapter 806.

**Finding:** The proposal is for replacement of siding, limited replacement of privacy walls around decks for metal railings, and like for like replacement of decks, sliding glass doors, and privacy walls for an existing multiple family complex. No changes are proposed to expand existing lots, change building footprints, or to develop any new entries that would reduce any existing common or private open space areas, or landscaping; therefore, this standard does not apply to the proposed development.

*(c) Site safety and security.*

- (1) Windows shall be provided in all habitable rooms, other than bathrooms, on each wall that faces common open space, parking areas, and pedestrian paths to encourage visual surveillance of such areas and minimize the appearance of building bulk.
- (2) Lighting shall be provided that illuminates all exterior dwelling unit entrances, parking areas, and pedestrian paths within the development to enhance visibility and resident safety.
- (3) Fences, walls, and plant materials shall not be installed between street-facing dwelling units and public or private streets in locations that obstruct the visibility of dwelling unit entrances from the street. For purposes of this standard, the term "obstructed visibility" means the entry is not in view from the street along one-half or more of the dwelling unit's frontage.
- (4) Landscaping and fencing adjacent to common open space, parking areas, and dwelling unit entryways shall be limited to a maximum height of three feet to encourage visual surveillance of such areas.

**Finding:** The proposal is for a siding replacement, limited replacement of privacy walls around decks for metal railings and includes like for like replacement of decks, windows, doors, and guard railings for an existing multiple family complex. No changes are proposed to the number, location or size of windows, lighting, fences, landscaping, dwelling units. This standard does not apply to the proposed development.

*(d) Parking and site design.*

- (1) To minimize large expanses of continuous pavement, parking areas greater than 6,700 square feet in area shall be physically and visually separated with landscaped planter bays that are a minimum of nine feet in width. Individual parking may be connected by an aisle or driveway (see Figure 702-3).
- (2) To minimize the visual impact of on-site parking and to enhance the pedestrian experience, off-street surface parking areas and vehicle maneuvering areas shall be located behind or beside buildings and structures. Off-street surface parking areas and vehicle maneuvering areas shall not be located between a building or structure and a street.
- (3) Where a development site abuts, and is located uphill from, property zoned Residential Agriculture (RA) or Single Family Residential (RS), and the slope of the development site within 40 feet of the abutting RA or RS zoned property is 15 percent or greater, parking areas shall be set back not less than 20 feet from the property line of the abutting RA or RS zoned property to ensure parking areas are designed to consider site topography and minimize visual impacts on abutting residential properties.
- (4) To ensure safe pedestrian access to and throughout a development site, pedestrian pathways shall be provided that connect to and between buildings, common open space, and parking areas, and that connect the development to the public sidewalks.

**Finding:** The proposal is for replacement of siding, limited replacement of privacy walls around decks for metal railings, and like for like replacement of decks, sliding glass doors, and privacy walls for an existing multiple family complex. No expansion or alteration is proposed to the existing parking areas. This standard does not apply to the proposed development.

*(e) Façade and building design.*

- (1) To preclude long monotonous exterior walls, buildings shall have no dimension greater than 150 feet.
- (2) Where a development site abuts property zoned Residential Agricultural (RA) or Single Family Residential (RS), buildings shall be setback from the abutting RA or RS zoned property as set forth in Table 702-5 to provide appropriate transitions between new buildings and structures on site and existing buildings and structures on abutting sites.

TABLE 702-5. SETBACKS ABUTTING PROPERTY ZONED RA AND RS	
Number of Building Stories	Minimum Setback
1	Min. 1 foot for each 1 foot of building height, but in no case less than 14 ft.
2 or more	Min. 1 foot for each 1 foot of building height, but in no case less than 20 ft.

- (A) A 5-foot reduction is permitted to each required setback in Table 702-5 provided that the height of the required fence in Sec. 702.020(b)(2)(B) is increased to eight feet tall.
- (3) To enhance compatibility between new buildings on site and abutting residential sites, balconies located on building facades that face RA or RS zoned properties, unless separated by a street, shall have fully sight-obscuring railings.

- (4) On sites with 75 feet or more of buildable width, a minimum of 40 percent of the buildable width shall be occupied by building placed at the setback line to enhance visual interest and activity along the street. Accessory structures shall not apply towards meeting the required percentage.
- (5) To orient buildings to the street, any ground-level unit, cluster of units, interior lobbies, or portions thereof, located within 25 feet of the property line abutting a street shall have a building entrance facing that street, with direct pedestrian access to adjacent sidewalks.
- (6) A porch or architecturally defined entry area shall be provided for each ground level dwelling unit. Shared porches or entry areas shall be provided to not more than four dwelling units. Individual and common entryways shall be articulated with a differentiated roof, awning, stoop, forecourt, arcade or portico.
- (7) Roof-mounted mechanical equipment, other than vents or ventilators, shall be screened from ground level view. Screening shall be as high as the top of the mechanical equipment and shall be integrated with exterior building design.
- (8) To reinforce the residential character of the neighborhood, flat roofs, and the roof ridges of sloping roofs, shall not exceed a horizontal length of 100 feet without providing differences in elevation of at least four feet in height. In lieu of providing differences in elevation, a cross gable or dormer that is a minimum of four feet in length may be provided. (See Figure 702-4)
- (9) To minimize the appearance of building bulk, each floor of each building's vertical face that is 80 feet in length or longer shall incorporate one or more of the design elements below (see examples in Figure 702-5). Design elements shall vary from other wall surfaces by a minimum of four feet and such changes in plane shall have a minimum width of six feet.
  - (A) Offsets (recesses and extensions).
  - (B) Covered deck.
  - (C) Covered balcony.
  - (D) Cantilevered balcony provided at least half of its depth is recessed.
  - (E) Covered entrance.
- (10) To visually break up the building's vertical mass, the first floor of each building, except for single-story buildings, shall be distinguished from its upper floors by at least one of the following (see examples in Figure 702-6):
  - (A) Change in materials.
  - (B) Change in color.
  - (C) Molding or other horizontally-distinguishing transition piece.

**Finding:** The proposal is for replacement of siding, limited replacement of privacy walls around decks for metal railings, and like for like replacement of decks, sliding glass doors, and privacy walls for an existing multiple family complex for nine buildings within a multiple family complex. The standards identified in SRC 702.020(1-9) do not apply to this proposal as it proposes no changes to the location, number, size or orientation of patios, decks, balconies, buildings, roofs, or entrances.

The applicant is proposing to replace the existing siding with lap siding, and decorative trims. In addition, the applicant submitted a written statements (**Attachment C**) indicating the installation of a belly band painted the trim color for a distinguishing piece to wrap the buildings at the floor-line of all two-story sections. This breaks up the building's vertical mass, consistent with SRC 702.020(10). As proposed, the development meets this standard.

#### 4. Conclusion

Based on conformance with the preceding requirements, the Planning Administrator finds that the proposed Class 1 Design Review is in conformance with the UDC and the approval criteria provided in SRC 225.005(e)(1), provided compliance occurs with any applicable items noted above.

Please Note: Findings included in this decision by the direction of the Salem Fire Department are based on non-discretionary standards. Fire Code related findings are intended to inform the applicant of the clear and objective Fire Prevention Code standards of SRC Chapter 58 that will apply to this development proposal on application for building permit(s). Additional or different Fire Prevention Code standards may apply based on the actual building permit application submitted.

If a building permit application has not already been submitted for this project, please submit a copy of this decision with your building permit application for the work proposed.

#### **IT IS HEREBY ORDERED**

The proposed Class 1 Design Review is consistent with the provisions of SRC Chapter 225 and is hereby APPROVED subject to the applicable standards of the Salem Revised Code and the findings contained herein.



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Abigail Pedersen, Planner I, on behalf of  
Lisa Anderson-Ogilvie, AICP  
Planning Administrator

Attachments:       A) Vicinity Map  
                          B) Proposed Site Plan and Elevations  
                          C) Applicant's Written Statements

# Vicinity Map

## 5505 Woodside Drive SE



### Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

- Parks

**CITY OF Salem**  
AT YOUR SERVICE  
Community Development Dept.

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0 100 200 400 Feet



DESIGN TEAM:

OWNER REPRESENTATIVE:  
NORRIS & STEVENS  
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PORTLAND, OR

STRUCTURAL ENGINEER:  
ZAC BLOGET ZAC@STRUCTURALDEPT.COM  
STRUCTURAL DEPARTMENT  
WHITE SALMON, WA

PROJECT CODE SUMMARY

PROJECT / PROPERTY ADDRESS:  
WOODSIDE ESTATES  
5505 WOODSIDE DR SE  
SALEM, OREGON 97306

SITE INFORMATION:  
4.41 ACRES - TAXLOT: 21E02AA00900  
PLAT: GRABENHORST FRUIT FARMS NO 2, LOT 10  
TAX ACC: 575493  
TAXLOT #: 083W14CB00300

LOCAL JURISDICTION / CODE (ZONING):  
CITY OF SALEM

APPLICABLE CODE (BUILDING):  
OREGON STRUCTURAL SPECIALITY CODE - 2022

ZONING DESIGNATION:  
RM2 - HIGH DENSITY RESIDENTIAL

BUILDING INFORMATION:  
CONSTRUCTION TYPE: VB  
# OF STORIES: 2  
SPRINKLERS: NO  
OCCUPANCY: R-2 (NO CHANGE)

GENERAL NOTES

GENERAL CONTRACTOR IS EXPECTED TO VISIT THE SITE OF PROPOSED CONSTRUCTION PRIOR TO SUBMITTAL OF BID. VERIFY AND INSPECT THE EXISTING SITE TO INFORM THEMSELVES OF ALL OBSERVABLE CONDITIONS AND TO DETERMINE DIMENSIONS, CONDITIONS AND GENERAL SCOPE OF WORK. FAILURE TO DO SO DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY OF COMPLETION OF THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. STARTING WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND CORRELATION OF ALL ITEMS AND WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS. SHOULD ANY QUESTION ARISE REGARDING THE CONTRACT DOCUMENTS OR SITE CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION AND CLARIFICATION FROM THE ENGINEER BEFORE BEGINNING THE PROJECT. THE ABSENCE OF SUCH REQUEST SHALL SIGNIFY THAT THE CONTRACTOR HAS REVIEWED AND FAMILIARIZED HIMSELF WITH ALL ASPECTS OF THE PROJECT AND HAS COMPLETE COMPREHENSION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL SAFETY REGULATIONS DURING CONSTRUCTION.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SPECIFICALLY NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION OR CONSTRUCTION LOADS. ONLY THE CONTRACTOR SHALL PROVIDE ALL METHODS, DIRECTION AND RELATED EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. ANY MATERIAL NOT AS SPECIFIED OR IMPROPER MATERIAL INSTALLATION OR WORKMANSHIP SHALL BE REMOVED AND REPLACED WITH SPECIFIED MATERIAL IN A WORKMANLIKE MANNER AT THE CONTRACTOR'S EXPENSE.

THESE PLANS, SPECIFICATIONS, ENGINEERING AND DESIGN WORK ARE INTENDED SOLELY FOR THE PROJECT SPECIFIED HEREIN. BUILDING AND ENERGY ENGINEERS NORTHWEST DISCLAIMS ALL LIABILITY IF THESE PLANS AND SPECIFICATIONS OR THE DESIGN, ADVICE AND INSTRUCTIONS ATTENDANT THERETO ARE USED ON ANY PROJECT OR AT ANY LOCATION OTHER THAN THE PROJECT AND LOCATION SPECIFIED HEREIN. OBSERVATION VISITS TO THE JOB SITE AND SPECIAL INSPECTIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY UNLESS THE CONTRACT DOCUMENTS SPECIFY OTHERWISE.

PORTIONS OF PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE SUPPRESSION, ELECTRICAL, MECHANICAL, LAND USE, SITE PLANNING, EROSION CONTROL FLASHING AND WATER-PROOFING ARE BEYOND THE SCOPE OF THESE DRAWINGS AND ARE PROVIDED BY OTHERS AS NECESSARY.

TEMPORARY SHORING

WHEREVER SHORING IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SHORING SYSTEM THAT PREVENTS SETTLEMENT AND/OR DAMAGE TO EXISTING FACILITIES AND PROTECTS PERSONNEL, THE PUBLIC, AND THE BUILDING, SUPPORTING STREETS, WALKWAYS, UTILITIES, IMPROVEMENTS AND EXCAVATION AGAINST LOSS OF GROUND OR CAVING OF EMBANKMENTS DURING CONSTRUCTION, AS REQUIRED. THE CONTRACTOR SHALL LOCATE THE SYSTEM CLEAR WITHOUT OBSTRUCTION OF THE PERMANENT STRUCTURE AND TO PERMIT CONSTRUCTION TO PROCEED.

SPECIAL INSPECTION / STRUCTURAL OBSERVATION

AS DICTATED IN THE STRUCTURAL SHEETS, IF SPECIAL INSPECTION AND/OR TESTING IS REQUIRED IN ACCORDANCE WITH IBC SECTION 1704. THE CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE TO ALLOW SCHEDULING OF SPECIAL INSPECTION. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE SPECIAL INSPECTION AND TESTING BY A QUALIFIED THIRD PARTY, SUCH AS A TESTING AGENCY REVIEWED BY THE ENGINEER.

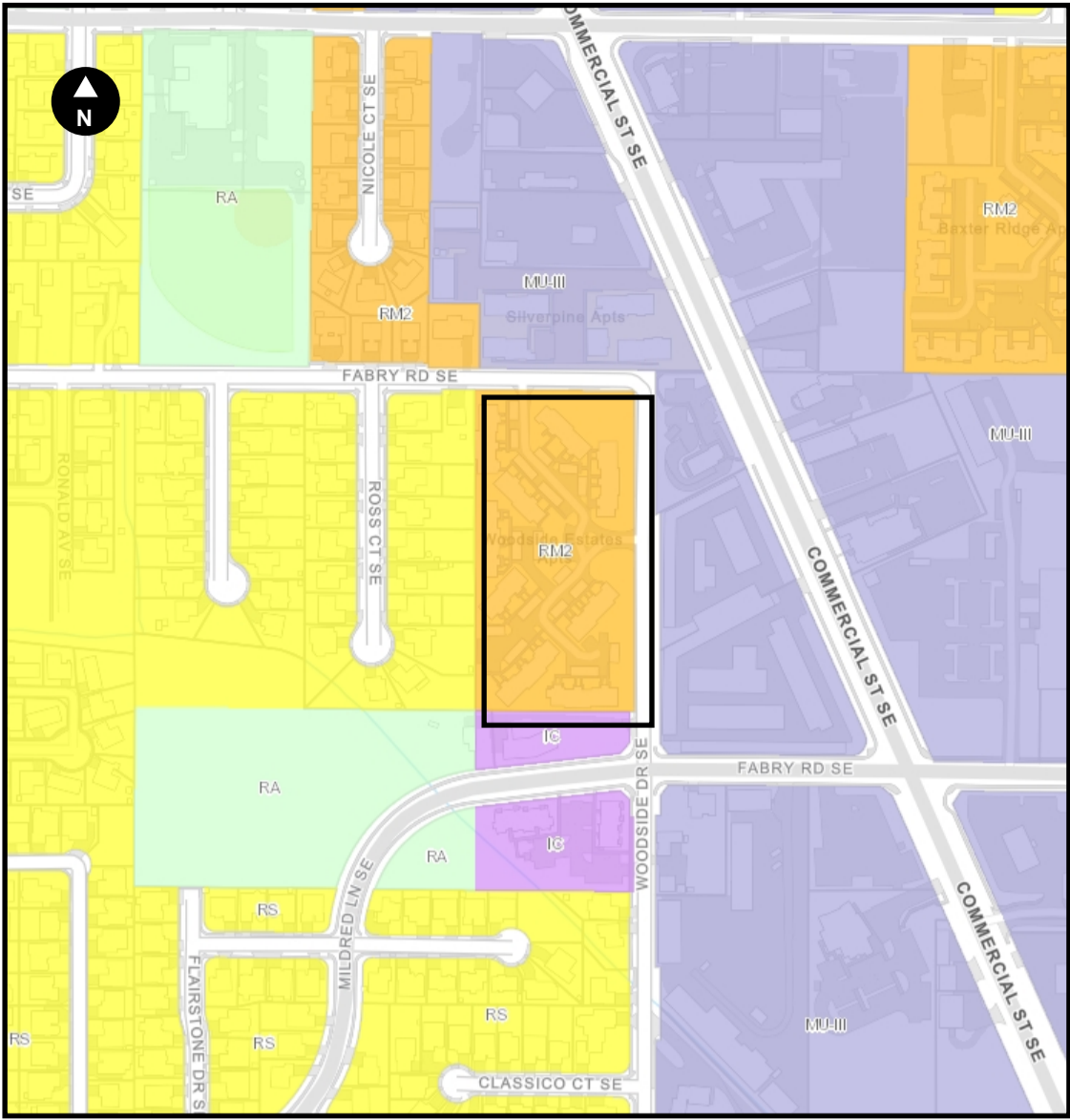
EGRESS

CONTRACTOR SHALL ENSURE MEANS OF EGRESS SHALL BE CONTINUALLY MAINTAINED FREE OF ALL OBSTRUCTIONS OR IMPEDIMENTS TO FULL INSTANT USE IN THE CASE OF FIRE OR OTHER EMERGENCY.

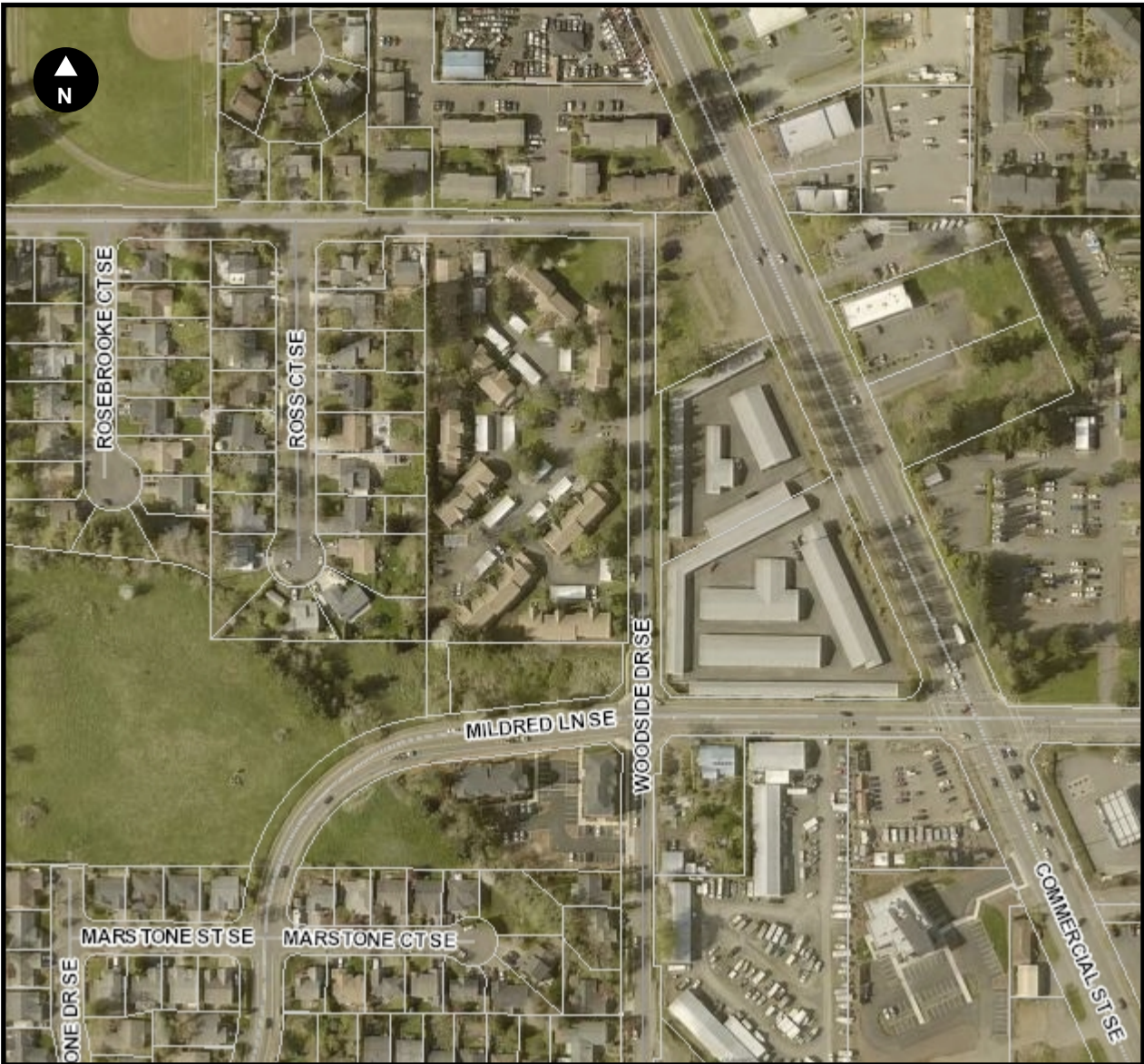
ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH APPLICABLE BUILDING CODE, LOCAL GOVERNMENT CODES AND ORDINANCES. GENERAL CONTRACTOR SHALL PROVIDE COMPETENT SUPERVISION OF THE WORK. INSTALL ALL MATERIALS IN ACCORDANCE TO MANUFACTURER'S APPLICABLE INSTRUCTIONS AND INDUSTRY STANDARDS.

PROVIDE SCAFFOLDING AND WEATHER PROTECTION AS NECESSARY. PROVIDE PROTECTIVE MEASURES FOR CONCRETE FLATWORK, BUILDING AND ADJACENT BUILDING SURFACES AND MATERIALS FROM DAMAGE. PROVIDE DUMPSTER AND TOILET FACILITIES FOR THE DURATION OF THE CONSTRUCTION. PROVIDE ALL REQUIRED PERMITS. COORDINATE WORK SCHEDULE WITH BUILDING MANAGEMENT. PROTECT AGAINST FALLING DEBRIS DURING COURSE OF ALL WORK.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY CONSULTANT IF ANY DISCREPANCIES ARE FOUND.



1  
A00 ZONING MAP  
Scale: NTS



2  
A00 VICINITY MAP  
Scale: NTS

SCOPE OF WORK

RESIDING

AT EXISTING PANEL SIDING LOCATIONS: INSTALL NEW SIDING & TRIM OVER EXISTING PANEL SIDING. UTILIZE EXISTING PANEL SIDING AS STRUCTURAL SHEATHING. INCLUDES WRB, SAM FLASHINGS, RIGID METAL FLASHINGS, SEALANT & FINISH PAINT.

AT EXISTING LAP SIDING LOCATIONS: REMOVE AND REPLACE EXISTING LAP SIDING. INSTALL NEW APA WOOD SHEATHING PER STRUCTURAL DESIGN AT LOCATIONS CURRENTLY WITHOUT.

FENESTRATION UNITS

REMOVE AND REPLACE WINDOWS, SLIDING GLASS DOOR, ENTRY SWING DOORS (QTY 84), AND STORAGE SWING DOORS (QTY. 82). NO CHANGE TO EXISTING ROUGH OPENING. INSTALL WINDOW, SGD, AND SWING DOOR UNITS PER MANU. INSTALLATION INSTRUCTIONS AND AAMA 2400-21. ALL WINDOWS AND GLAZED DOORS TO HAVE A MINIMUM THERMAL PERFORMANCE OF U-0.30 AND SWING DOORS FOR CONDITIONED SPACES OF U-0.20.

PRIVATE FLOW-THROUGH DECK ASSEMBLIES

A. REMOVE AND REPLACE ENTIRE DECK ASSEMBLY AT SELECT UNITS - INCLUDING FRAMING (POSTS, JOISTS, LEDGERS, BEAMS, WOOD CONNECTORS), CONCRETE FOOTINGS, FLOW-THROUGH DECKING, PRIVACY WALLS, AND GUARDRAILS. REMOVE PRIVACY WALLS AT NON-PARTY WALL LOCATIONS, REPLACE W/ ALUMINUM GUARDRAIL. REFERENCE DECK SCHEDULE FOR APPLICABLE UNITS.

B. TARGETED REPAIR OF DECK. REPLACE FLOW-THROUGH DECKING AND GUARDRAILS. REMOVE PRIVACY WALLS AT NON-PARTY WALL LOCATIONS, REPLACE W/ ALUMINUM GUARDRAIL. REFERENCE DECK SCHEDULE FOR APPLICABLE UNITS.

ENTRY STAIRS

REPLACE FLOW-THROUGH DECKING W/ COMPOSITE DECKING (CLASS "C" FIRE RATING OR BTR.). RESIDE RAIL WALLS W/ NEW METAL CAP.

ROOFING

INSTALL NEW GUTTERS & DOWNSPOUTS. INSTALL NEW DIVERTER / KICK-OUT FLASHINGS AT ROOF-TO-WALL STEP FLASHING TERMINATIONS.

SHEET INDEX:

ARCHITECTURAL DRAWINGS:

A.00	TITLE SHEET / SITE PLAN
A.01	5505 BUILDING - ELEVATIONS / DECK DETAILS
A.02	5515 BUILDING - ELEVATIONS / DECK DETAILS
A.03	5525 BUILDING - ELEVATIONS / DECK DETAILS
A.04	5535 BUILDING - ELEVATIONS / DECK DETAILS
A.05	5555 BUILDING - ELEVATIONS / DECK DETAILS
A.06	5565 BUILDING - ELEVATIONS / DECK DETAILS
A.07	5565 BUILDING - ELEVATIONS / DECK DETAILS
A.08	5585 BUILDING - ELEVATIONS / DECK DETAILS
A.09	5595 BUILDING - ELEVATIONS / DECK DETAILS

STRUCTURAL DRAWINGS

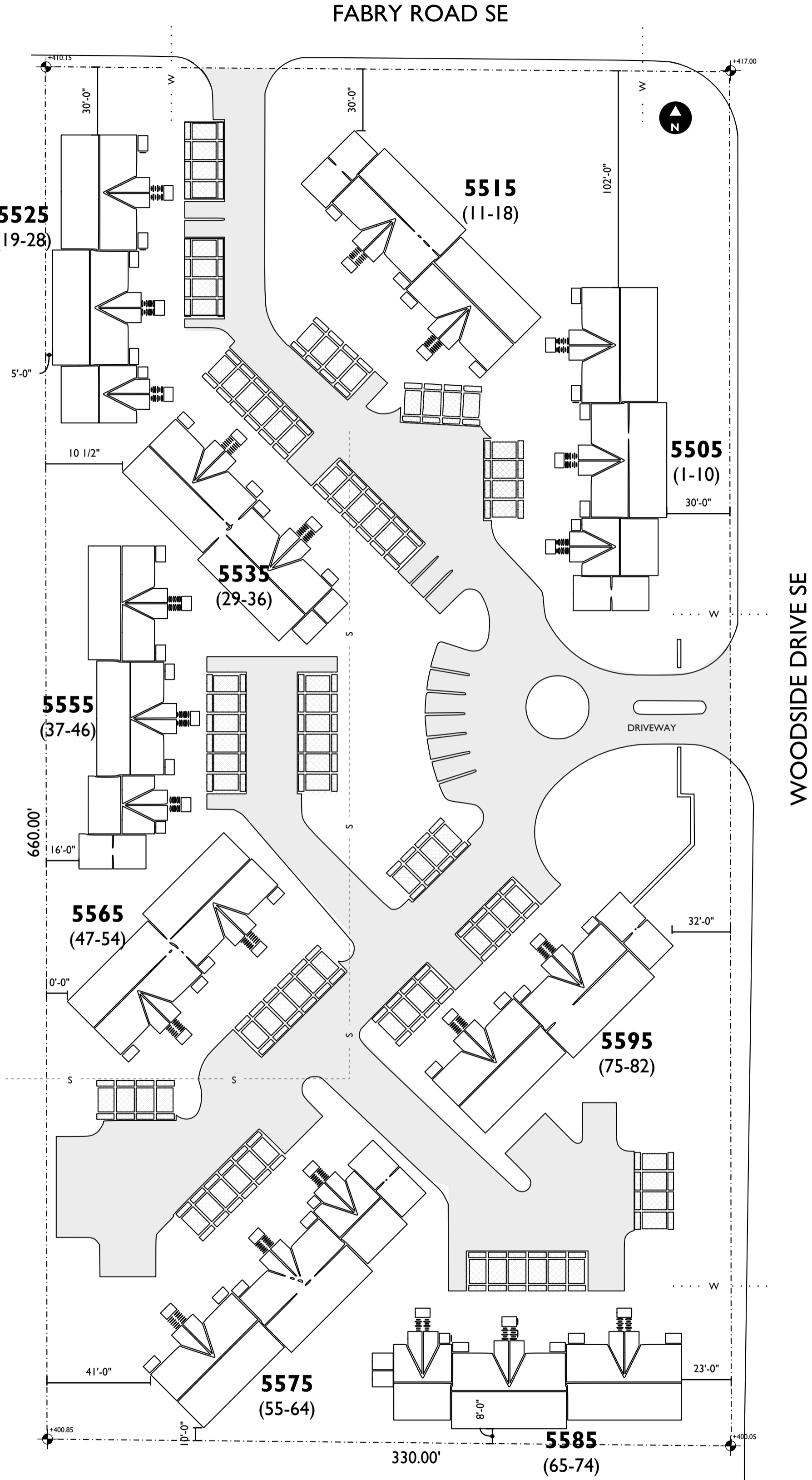
S0.00	COVER SHEET
S2.00	DECK PLAN

SUPPLEMENTAL INFORMATION

STRUCTURAL CALCULATIONS - DECK STRUCTURES

DEFERRED SUBMITTAL

DESIGN AND ATTACHMENT - RAILING ASSEMBLY  
STRUCTURAL CALCULATIONS - RAILING ASSEMBLY



3  
A00 SITE PLAN  
Scale: 1"=40'

LEGEND

CARPORT	
PROPERTY LINE	
UTILITY	



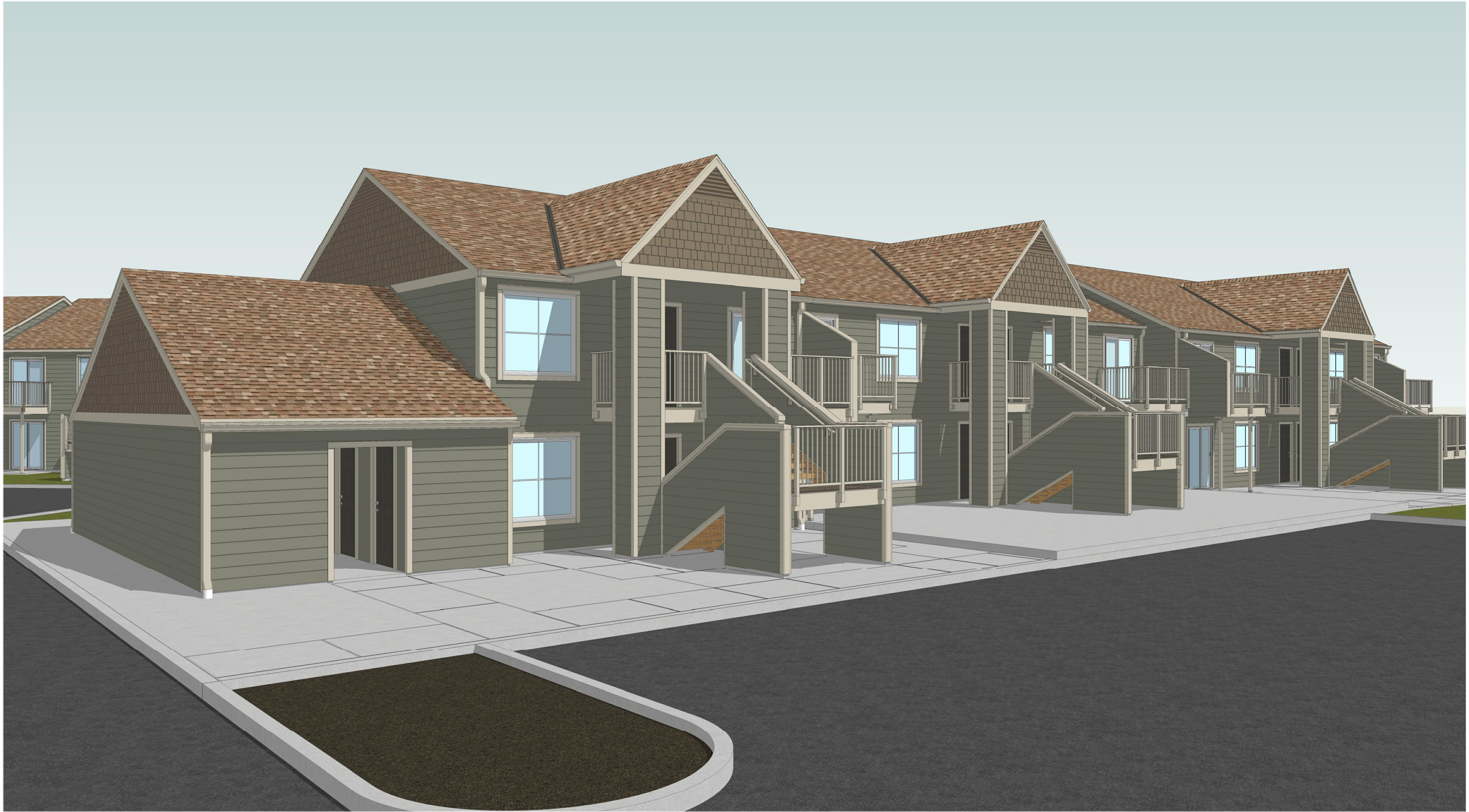
Building & Energy Engineers Northwest LLC  
Portland, Oregon

PROJECT  
Woodside Estates Apartments  
Exterior Repairs

CLIENT  
Norris & Stevens

WOODSIDE ESTATES APARTMENTS  
5505-5595 WOODSIDE DRIVE SE,  
SALEM, OREGON 97306

November 21, 2023



**1** FRONT 3D VIEW – PAINT SCHEME 3

NTS

<b>Body</b> SW 7743 Mountain Road	<b>Trim</b> SW 7036 Accessible Beige	<b>Accent</b> SW 7039 Virtual Taupe	<b>Door</b> SW 7048 Urbane Bronze
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1

REAR 3D VIEW – PAINT SCHEME 3

NTS

Body  
SW 7743 Mountain Road

Trim  
SW 7036 Accessible Beige

Accent  
SW 7039 Virtual Taupe

Door  
SW 7048 Urbane Bronze



**Date:**

December 7, 2023

**Client/Prepared For:**

Woodside Estates Apartments  
c/o Brett Shockey  
Norris & Stevens 900 SW 5th Ave., 17th Floor  
Portland, Oregon 97204

**Project/Property Information:**

Building Permits: 23-122763-00 BP, 23-122772-00 BP, 23-122778-00 BP, 23-122789-00 BP, 23-122792-00 BP, 23-122794-00 BP, 23-122795-00 BP, 23-122796-00 BP, 23-122797-00 BP  
Woodside Estates Apartments  
5505-5595 Woodside Sr. SE, Salem Oregon

**Building & Energy Engineers Northwest**

3812 SE Ellis St.  
Portland, Oregon 97202  
[andy@bee-nw.com](mailto:andy@bee-nw.com)  
(503)516-7054

RE: Class 1 Design Review

Hello,

There are nine (9) buildings located on the subject site, which includes a total of eighty-two (2) residential apartments units. The proposed scope of work includes exterior repairs related to the siding, decks, windows, doors, and guards on all buildings. The existing siding assembly contains a combination of both panel and lap siding. The proposed cladding assembly is to be entirely lap siding with decorative trims (outside corners, fenestration perimeters, etc.).

The applicable design standards are set forth within SRC702.020 (e)(10).

Attached with this letter include owner provided renderings, to with the intent to meet the standard of SRC702.020 (e)(10)(B) "Change in color." As the existing architectural features of the existing structure, including the trim, and gable color variations aim to visually break up the building's vertical mass.

If the attached renderings are not acceptable to the City of Salem, the following are proposed design options:

- 1) Install a bellyband at the floor-line, to be painted trim color. The band would be a 12" wide piece of Hardie-plank, w/ a 10-14" reveal. The band would align with the floor-line and deck rim,

extending the surrounds of the buildings. This would not be applicable at single floor building sections. Example photograph provided for reference.



Thanks

Andy Vosper, PE