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DRAWING INDEX

CIVIL

C10	EXISTING CONDITIONS PLAN
C11	EXISTING CONDITIONS PLAN
C12	EXISTING CONDITIONS PLAN
C20	GRADING PLAN
C21	GRADING PLAN
C22	GRADING PLAN
C30	UTILITY PLAN
C31	UTILITY PLAN
C32	UTILITY PLAN

LANDSCAPE

L10	TREE REMOVAL PLAN
L11	PLANTING PLAN
L12	PLANTING PLAN

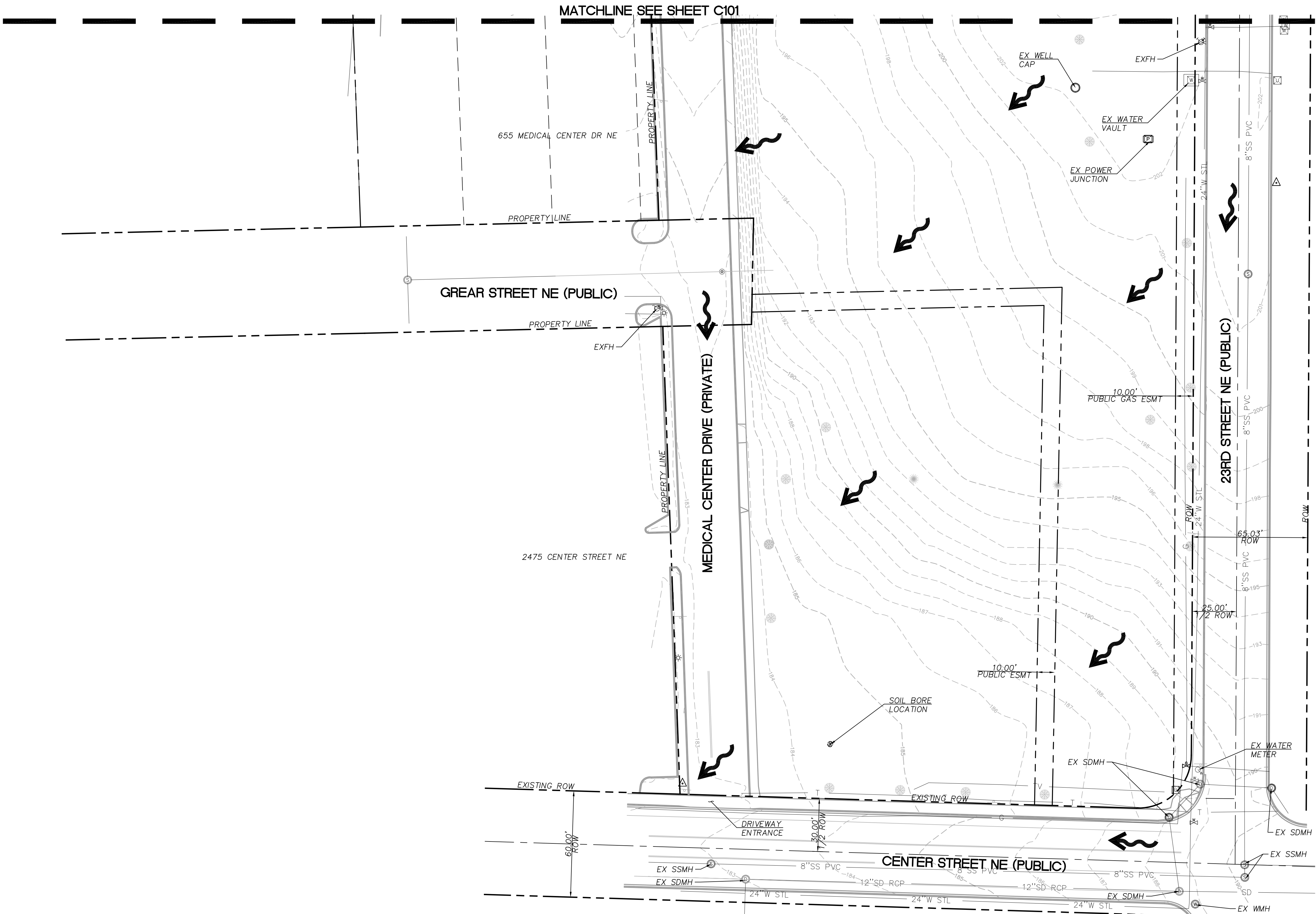
ARCHITECTURE

.A10	SITE PLAN
.A11	SITE PLAN
.A20	COMMUNITY BLDG PLAN
.A22	BLDG PLAN - TYPE A
.A23	BLDG PLAN - TYPE B&C
.A30	ELEVATIONS - COMMUNITY BUILDING
.A31	ELEVATIONS - TYPE A BLDG
.A32	ELEVATIONS - TYPE A BLDG
.A33	ELEVATIONS - TYPE B BLDG
.A34	ELEVATIONS - TYPE C BLDG
.A40	ACCESSORY STRUCTURES
.A41	MAINTENANCE BUILDINGS
.A42	TRASH ENCLOSURES



SALEM APARTMENTS

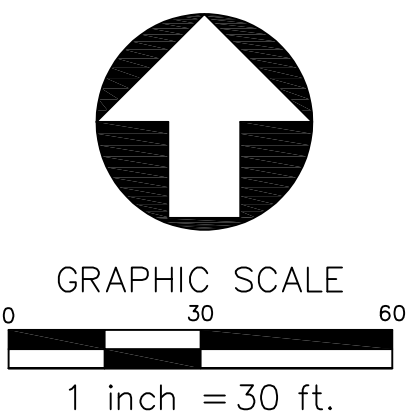
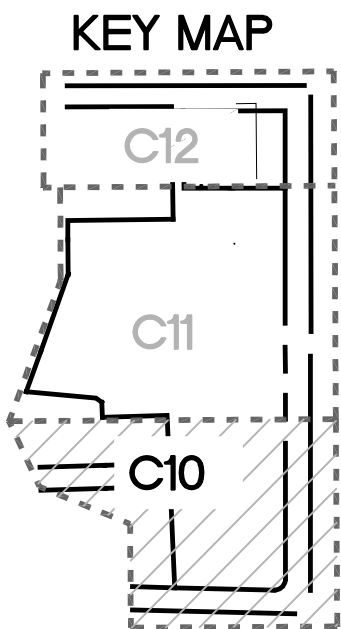
LAND USE REVIEW
11/15/23



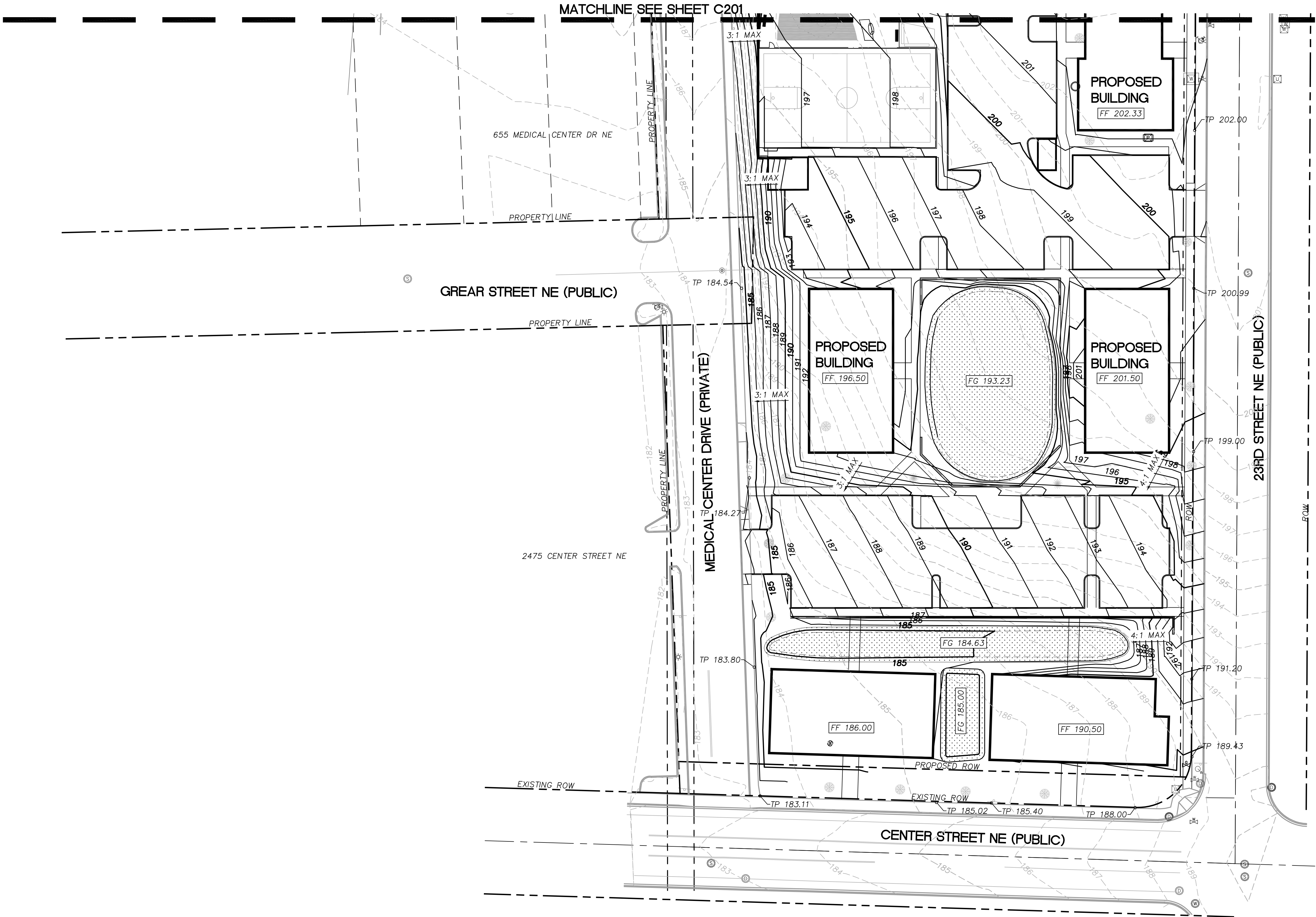
EXISTING CONDITIONS PLAN
SCALE: 1"=30'

SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
---	201	EXISTING CONTOUR
~	DRAINAGE FLOW DIRECTION	

SHEET NOTES	
1.	EXISTING SITE AREA= 462,385 SF
2.	SITE IS NOT WITHIN 100-YEAR FLOOD BOUNDARY.

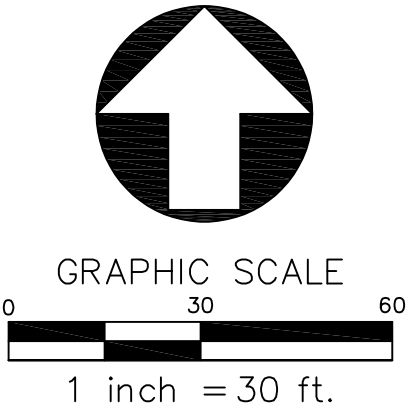
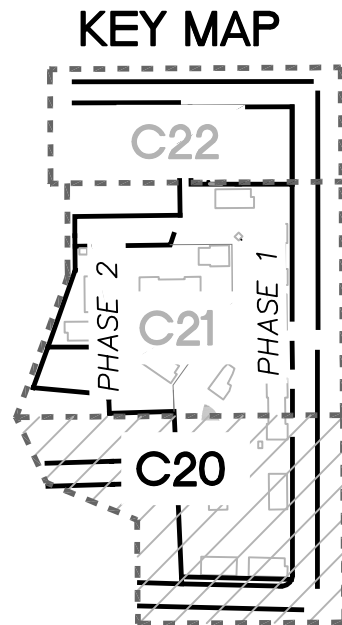


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CONSTRUCTION

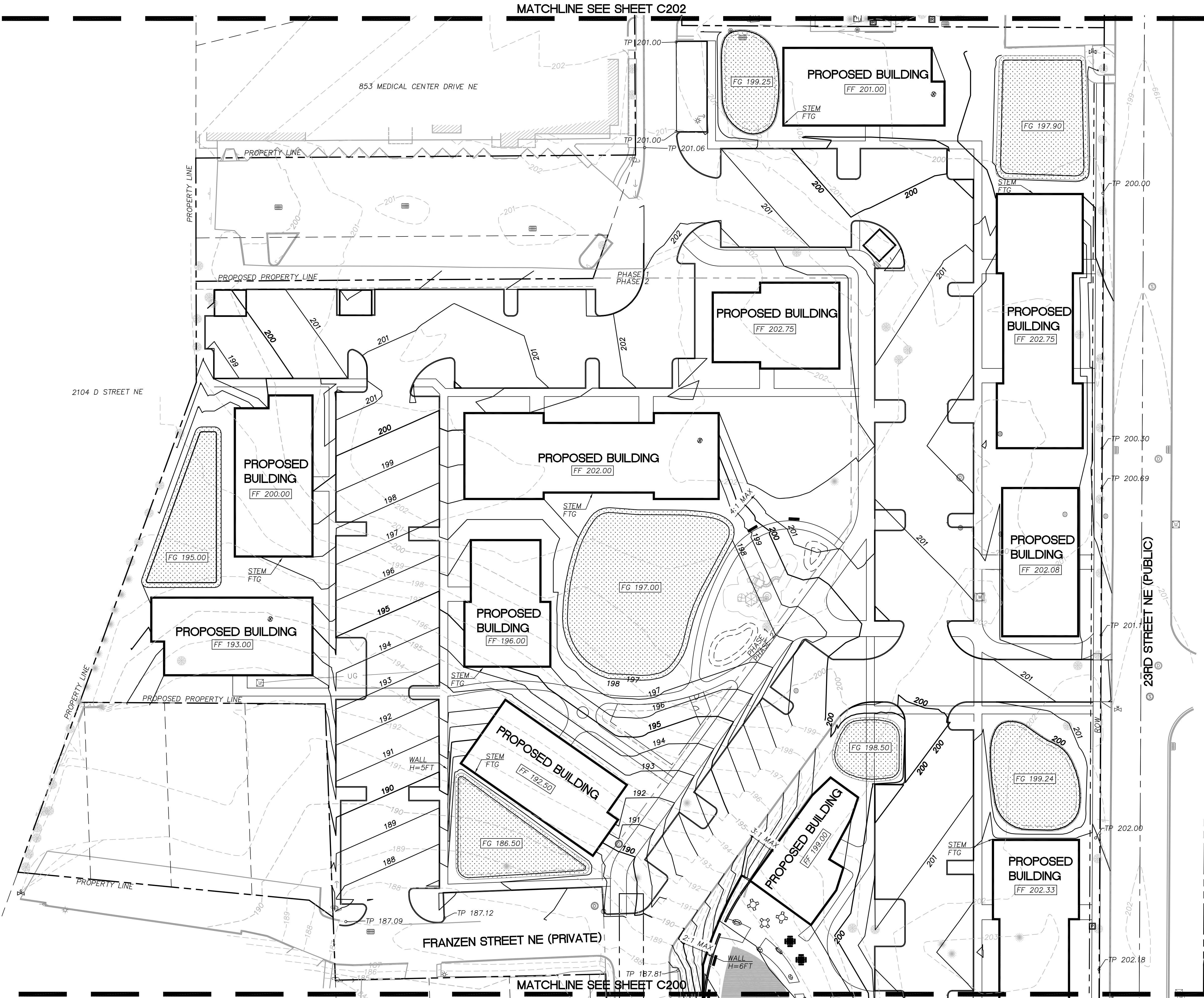


GRADING PLAN
SCALE: 1"= 30'

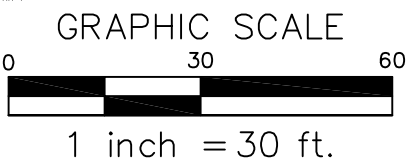
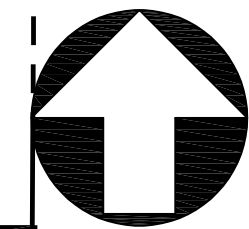
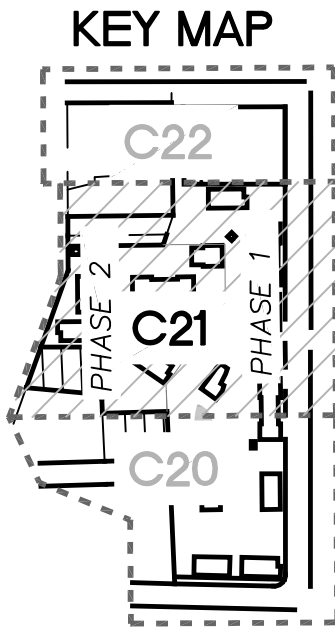
SHEET LEGEND		
	201	EXISTING CONTOUR
	201	PROPOSED CONTOUR
BS XXX.XX	GRADE AT BOTTOM OF STAIRS	
G XXX.XX	GRADE AT GUTTER	
TC XXX.XX	GRADE AT TOP OF CURB	
TP XXX.XX	GRADE AT TOP OF PAVEMENT	
TS XXX.XX	GRADE AT TOP OF STAIRS	
TF XXX.XX	GRADE AT TOP OF FOOTING	
FF XX.XX	FINISH FLOOR ELEVATION	
FG XXX.XX	FINISHED GRADE	
TW XXX.XX	GRADE AT TOP OF WALL	
EG XXX.XX	EXISTING GRADE	
(E)	EXISTING	
X.X%	SLOPE ARROW	
GB	GRADE BREAK	



NOT FOR
CONSTRUCTION

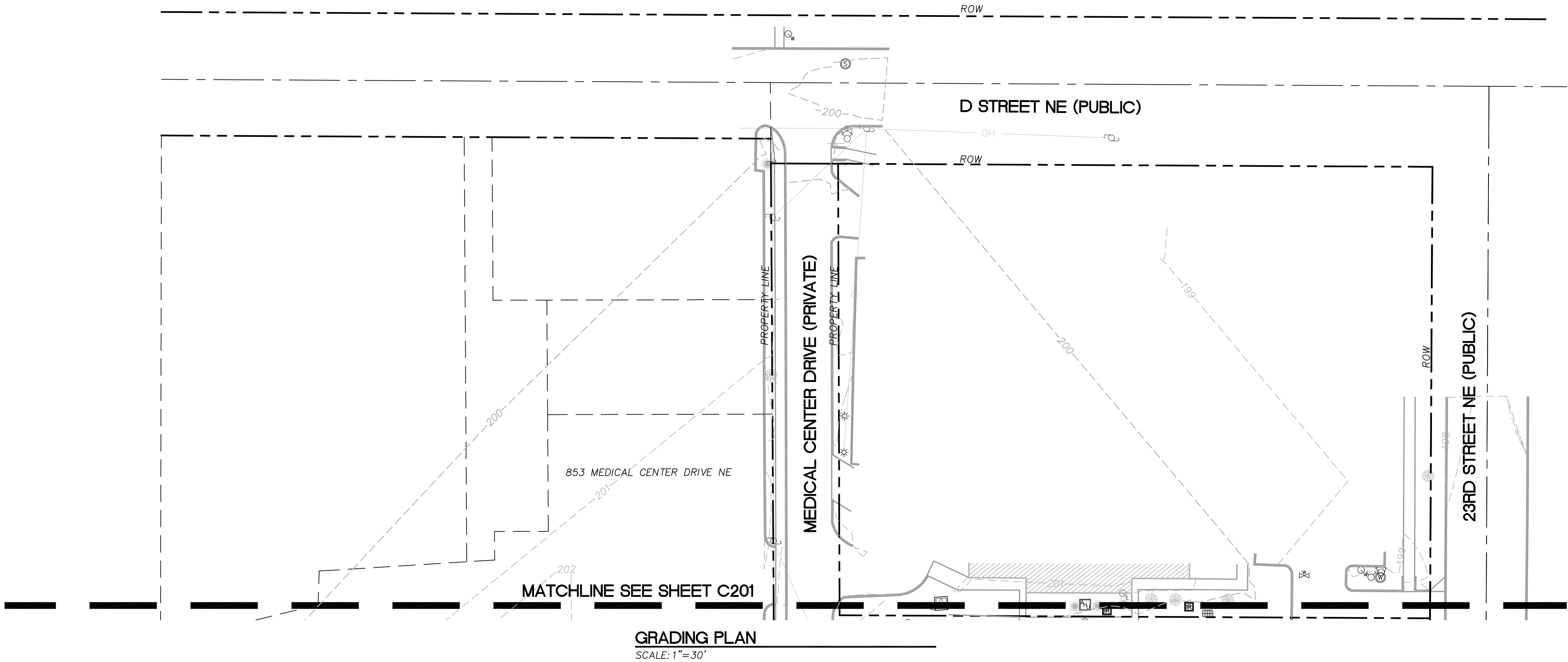


SHEET LEGEND		
	201	EXISTING CONTOUR
	201	PROPOSED CONTOUR
BS XXX.XX	GRADE AT BOTTOM OF STAIRS	
G XXX.XX	GRADE AT GUTTER	
TC XXX.XX	GRADE AT TOP OF CURB	
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FG XXX.XX	FINISHED GRADE	
TW XXX.XX	GRADE AT TOP OF WALL	
EG XXX.XX	EXISTING GRADE	
(E)	EXISTING	
X.X%	SLOPE ARROW	
GB	GRADE BREAK	

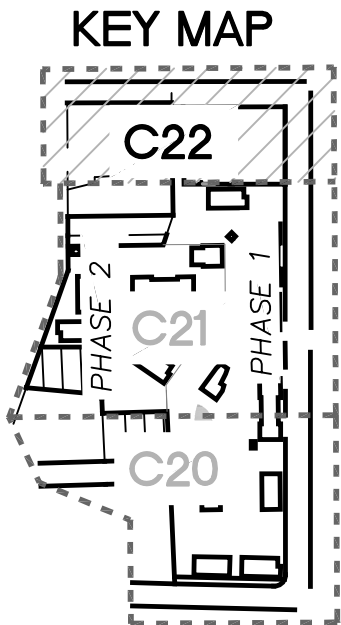
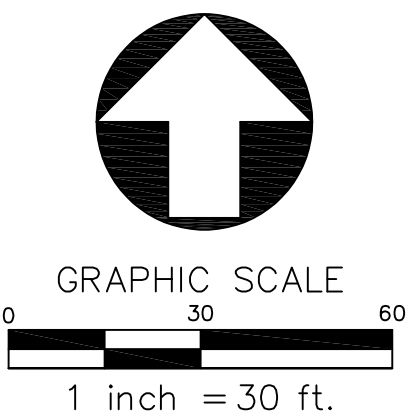


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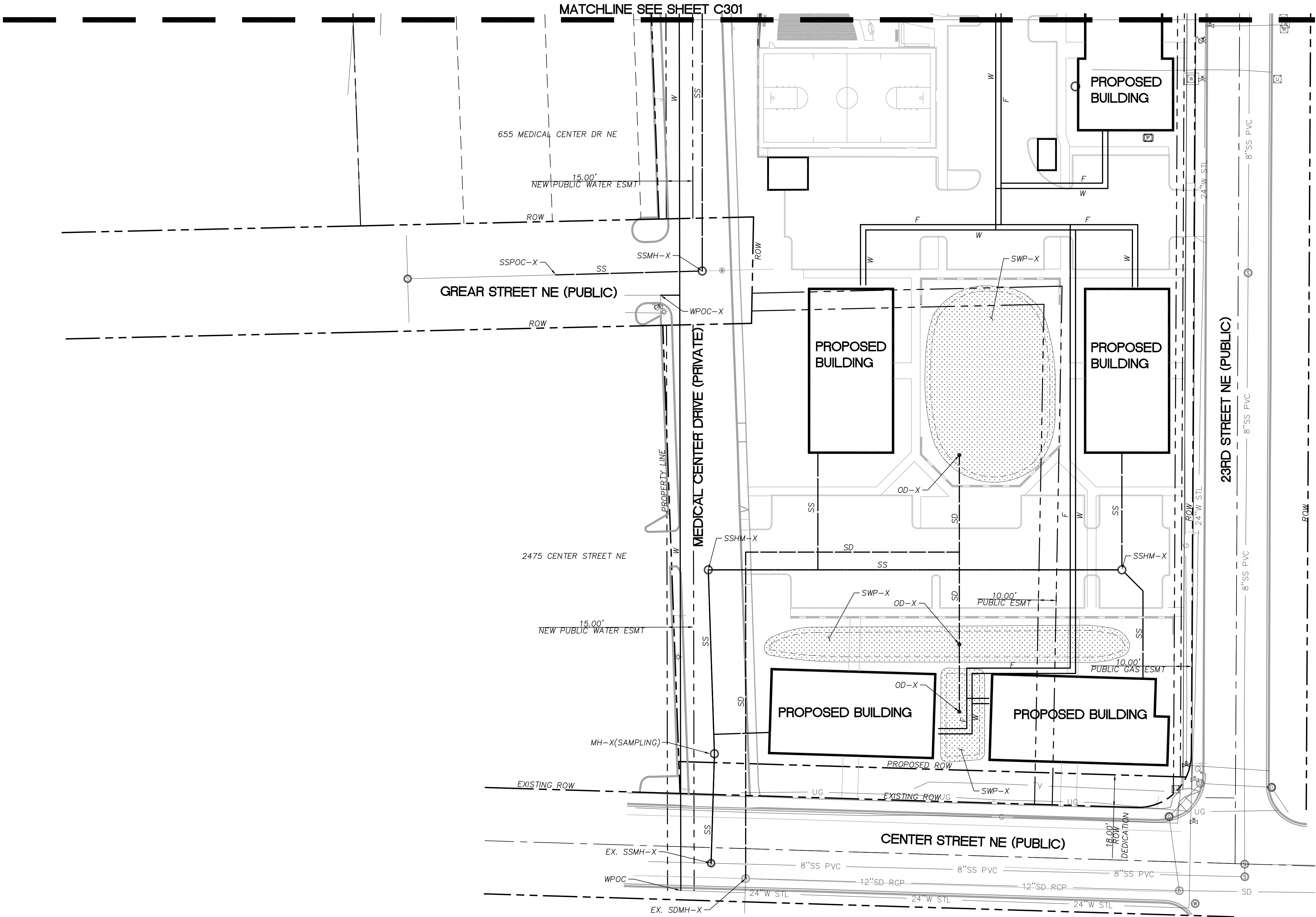
GRADING PLAN
SCALE: 1"=30'



SHEET LEGEND		
	201	EXISTING CONTOUR
	201	PROPOSED CONTOUR
BS XXX.XX	GRADE AT BOTTOM OF STAIRS	
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EG XXX.XX	EXISTING GRADE	
(E)	EXISTING	
X.X%	SLOPE ARROW	
GB	GRADE BREAK	



NOT FOR
CONSTRUCTION

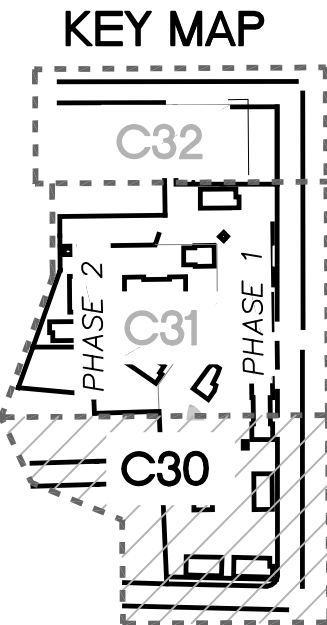


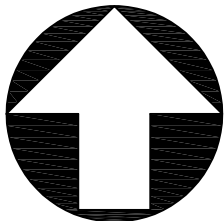
UTILITY PLAN
SCALE: 1"=30'

STORM SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
OD-1	OVERFLOW DRAIN RIM=XXX IE=XXX	
SWP-1	STORMWATER PLANTER, FLOW-THROUGH	
CB-1	CATCH BASIN RIM=XXX IE=XXX	
SDCO-1	STORMWATER CLEANOUT TO GRADE, IE=XXX	
SWB-1	STORMWATER BASIN, XXX SF	
SDMH-1	STORMWATER MANHOLE RIM= IE IN (8"E)= IE OUT (8")=	

WATER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
FDC	FIRE DEPARTMENT CONNECTION, MOUNTED TO BUILDING FACE	
FH-1	FIRE HYDRANT ASSEMBLY, INSTALL PER COUNTY STANDARDS, MINIMUM 3' FROM CURB FACE	
WPOC-X	WATER POINT OF CONNECTION	

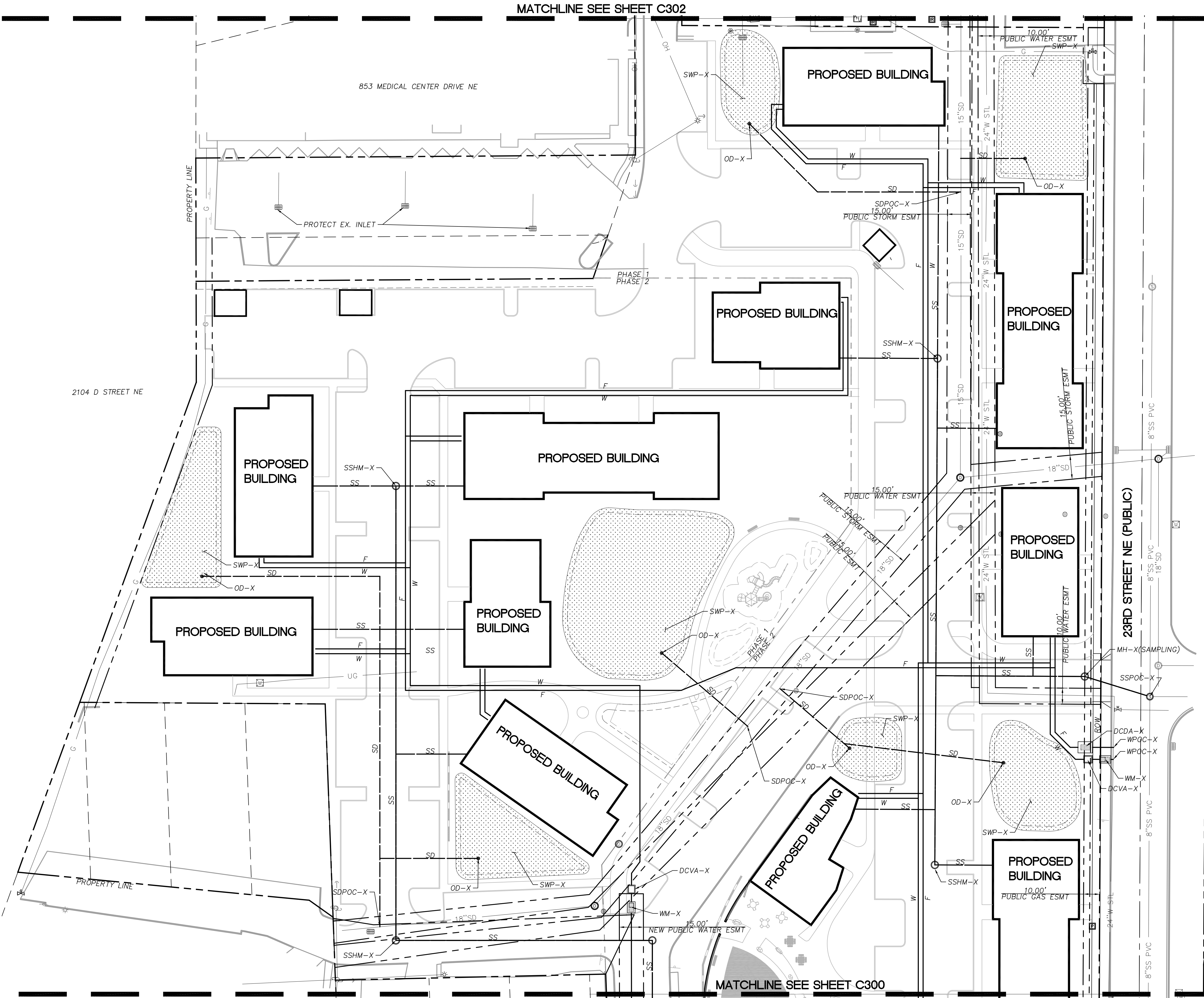
SANITARY SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
SSCO-1	SANITARY SEWER CLEANOUT TO GRADE, IE=XXX	
SSMH-1	SANITARY SEWER MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX. INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
MH-X (SAMPLING)	SAMPLING MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX. INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
SSPOC-X	SANITARY POINT OF CONNECTION	





GRAPHIC SCALE
0 30 60
1 inch = 30 ft.

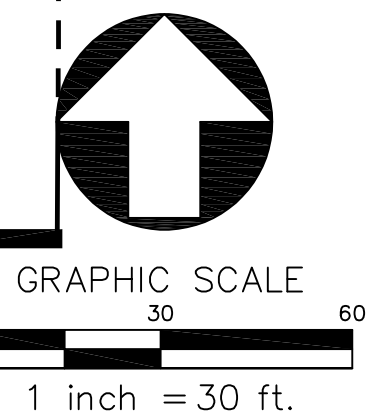
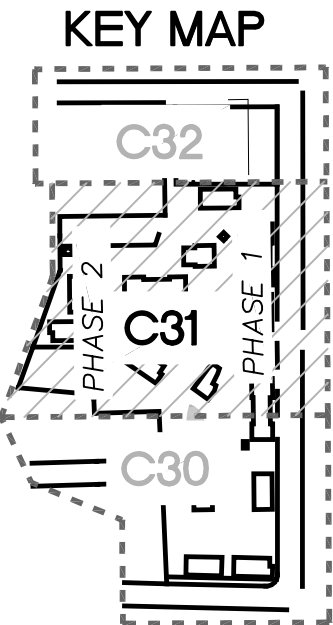
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CONSTRUCTION



STORM SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
OD-1	OVERFLOW DRAIN RIM=XXX IE=XXX	
SWP-1	STORMWATER PLANTER, FLOW-THROUGH	
CB-1	CATCH BASIN RIM=XXX IE=XXX	
SDCO-1	STORMWATER CLEANOUT TO GRADE, IE=XXX	
SWB-1	STORMWATER BASIN, XXX SF	
SDMH-1	STORMWATER MANHOLE RIM= IE IN (8"E)= IE OUT (8")=	

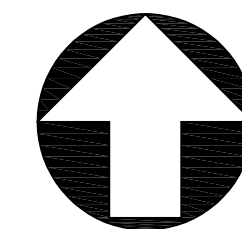
WATER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
FDC	FIRE DEPARTMENT CONNECTION	
FH-1	FIRE HYDRANT ASSEMBLY, INSTALL PER COUNTY STANDARDS, MINIMUM 3' FROM CURB FACE	
WPOC-X	WATER POINT OF CONNECTION	
DCDA-X	DOUBLE CHECK DETECTOR ASSEMBLY	
DCDA-X	DOUBLE CHECK VALVE ASSEMBLY	
WM-X	WATER METER	

SANITARY SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
SSMH-1	SANITARY SEWER MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX. INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
MH-X (SAMPLING)	SAMPLING MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX. INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
SSCO-1	SANITARY SEWER CLEANOUT TO GRADE, IE=XXX	

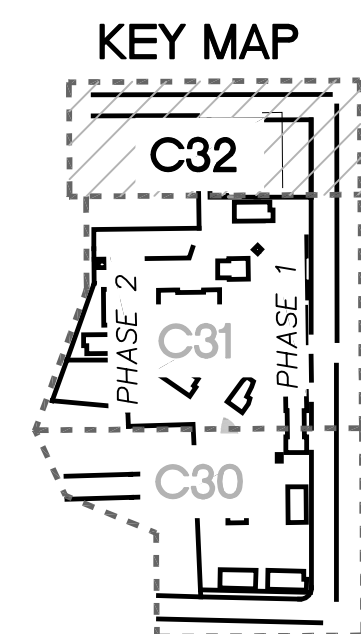


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UTILITY PLAN
SCALE: 1"=30'



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CONSTRUCTION**



REGISTERED PROFESSIONAL
ENGINEER
18684
PRELIMINARY
OREGON
JULY 16, 1996
DAVID J. HUMBER
EXPIRES 6-30-25

SALEM APARTMENTS
891 23RD ST. NE SALEM, OR

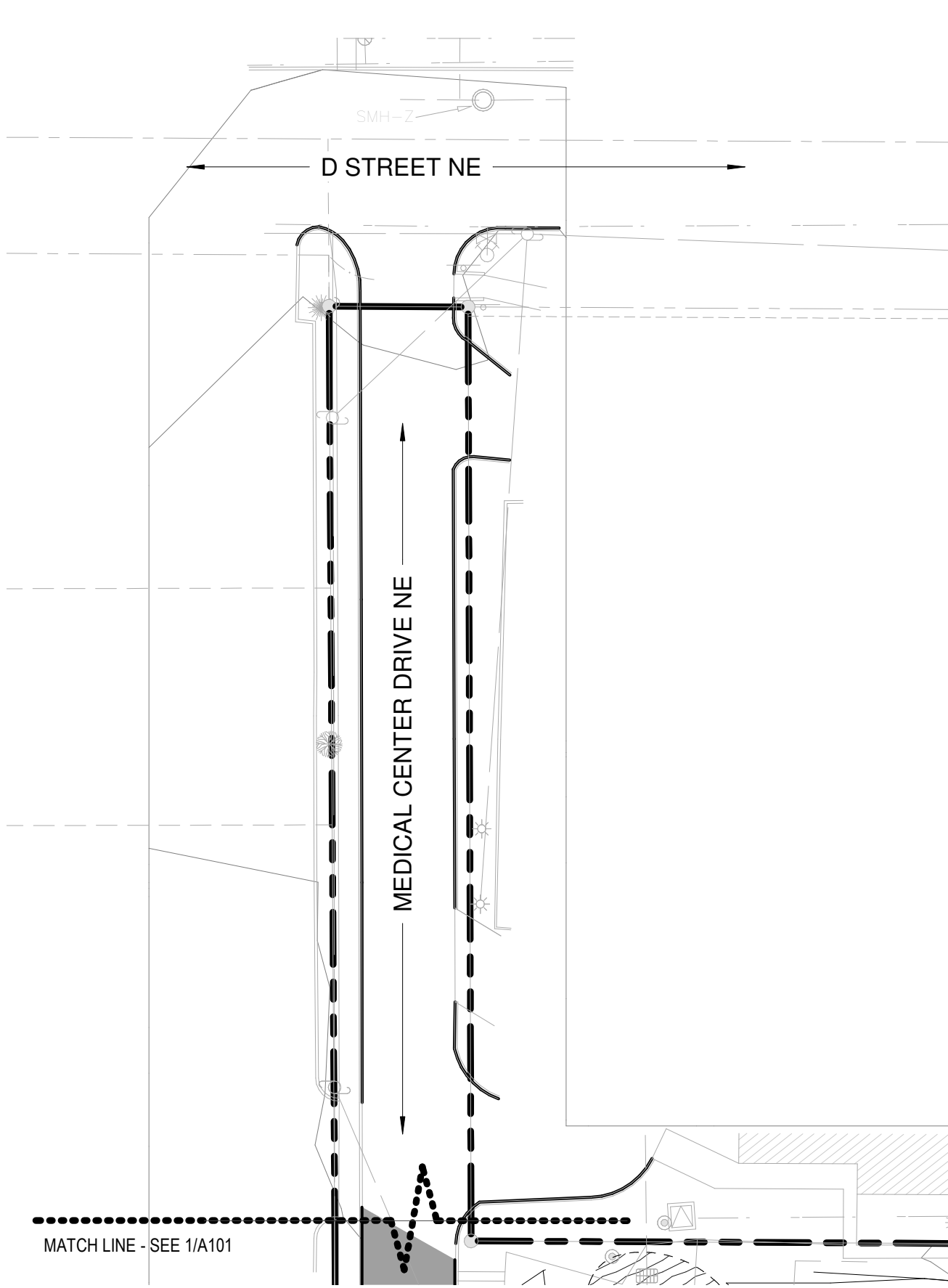
CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

JOB #: 2248
STATUS: LUR
PRINTED:
10/26/2023 12:19:05

UTILITY PLAN

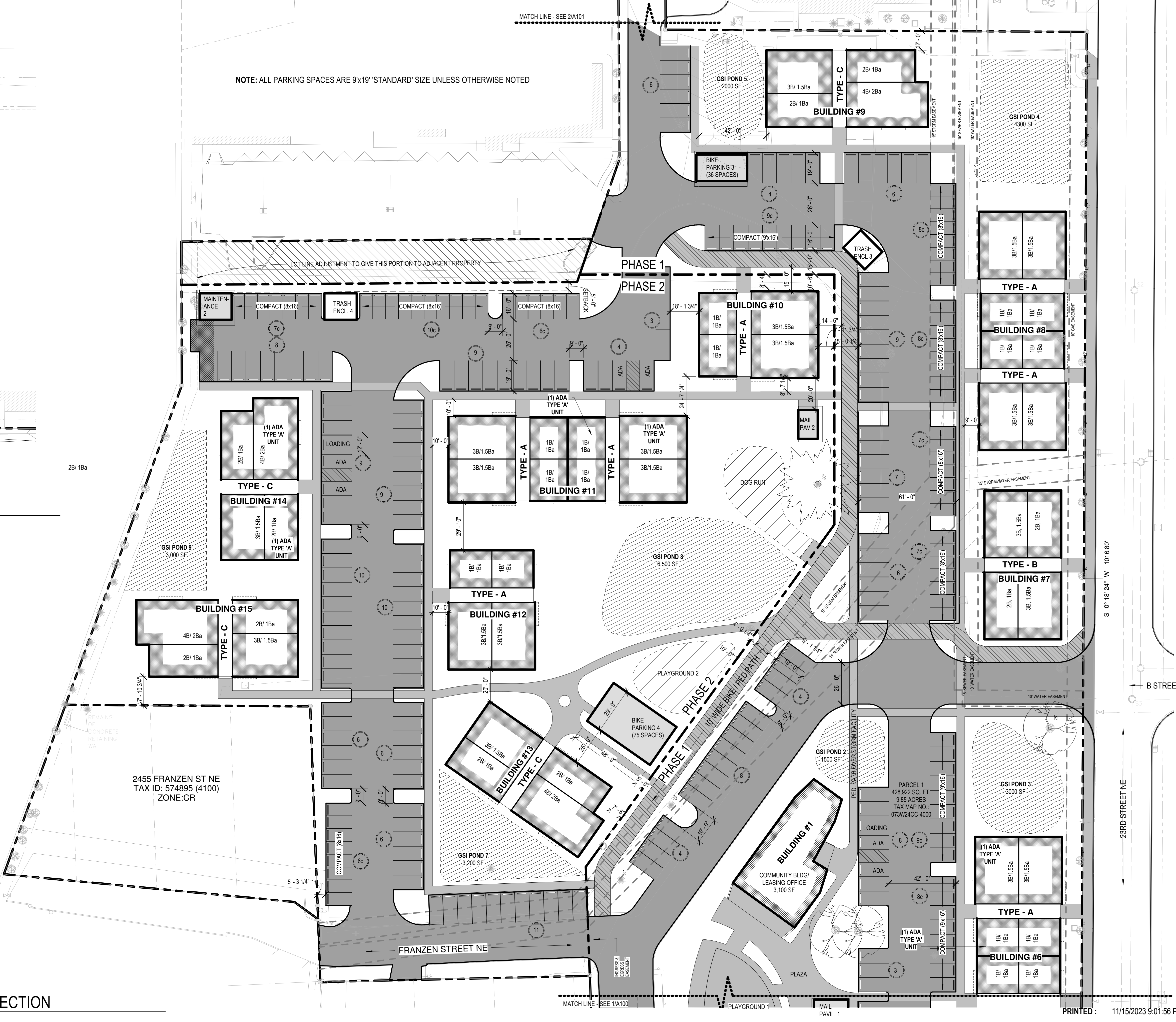
C32
ORIGINAL SHEET SIZE : 22"x34"



PROPOSED SITE PLAN - NORTH



PROPOSED SITE PLAN - MIDDLE SECTION



MU-I CODE REQUIREMENTS	PROPOSED
BUILDINGS (1) MAXIMUM 10-FT SETBACK APPLIES IF THE SETBACK IS USED FOR PED AMENITIES. B) FOR DOUBLE FRONTAGE LOTS, THE SETBACK ABUTTING A STREET SHALL ONLY APPLY TO THE STREET W/ THE HIGHEST STREET CLASSIFICATION OR WHERE BOTH HAVE THE SAME CLASSIFICATION, THE STREET DESIGNATED BY THE APPLICANT. NO MIN OR MAX IS REQ ABUTTING THE OTHER STREET	ADJUSTEMENT REQUESTED
HEIGHT MAX 65' MIN 20' MAY PROVIDE A FALSE FRONT, PROMINENT ENTRY, CUPOLA, OR REVERSE SHED TO MEET THIS REQUIREMENT.	MET BLDG 1 (COMMON) >20' BLDGS 2-18 (RES) <65' ACCESS. STRUC. = EXEMPT
BUILDING FRONTAGE MIN 75% FOR CORNER LOTS, THIS STANDARD MUST BE MET ON THE FRONTAGE OF THE STREET W/ THE HIGHEST CLASSIFICATION. THE INTERSECTING STREET HAS A 40% MIN STANDARD	MET CENTER = 78% (194'/248') 23RD = 51% (1030'/532')
533-6 PED ORIENTED DESIGN GROUND FLOOR HEIGHT ON PRIMARY STREETS 14 FT MIN. (FLOOR TO CEILING) SEPARATION OF GROUND FLOOR USES FOR RES USE VERTICAL OR HORIZ SEPARATION IS REQ FROM PUBLIC ROW VERTICAL DISTANCE MIN 1.5' MAX 3' HORIZONTAL DIST MIN 5' MAX 10' SHALL TAKE THE FORM OF LANDSCAPED AREA OR PLAZA	ADJUSTEMENT REQUESTED ADJUSTEMENT REQUESTED
BUILDING FACADE ARTICULATION (2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP. A) BASE: GROUND FLOOR FACADES: 1. CHANGE IN MATERIALS 2. CHANGE IN COLOR 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING 1. RECESSES OF A MIN DEPTH OF 2' 2. EXTENSIONS OF A MIN DEPTH OF 2' 3. VERTICALLY-ORIENTED WINDOWS 4. PILASTERS C) TOP 1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3' HIGH 4. A ROOF OVERHANG A MIN OF 8" DEEP	MET 1,2, & 3 PROVIDED MET 2 & 3 PROVIDED MET 4 PROVIDED
GROUND FLOOR WINDOWS (APPLIES TO PRIMARY STREETS) MIN 65% ONLY TRANSPARENT WINDOWS COUNT	ADJUSTEMENT REQUESTED
BUILDING ENTRANCES (APPLIES TO PRIMARY STREETS) 2) FOR RESIDENTIAL USES ON GROUND FLOOR, A PRIMARY BLDG ENTRANCE FOR EACH BLDG FACADE FACING A PRIMARY STREET SHALL BE LOCATED ON THE PRIMARY STREET. 3) BLDG ENTRANCES SHALL INCLUDE WEATHER PROTECTION	MET CENTRAL OUTDOOR ENTRY AREA W/ AWNING AT ENTRY
WEATHER PROTECTION (APPLIES TO GROUND FLOORS ADJACENT TO STREET) MIN 75% 1) AWNINGS OR CANOPIES 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.	ADJUSTEMENT REQUESTED
PARKING BEHIND OR BESIDE STRUCTURES, NOT BETWEEN STRUCTURE AND STREET	MET
MECH EQUIPMENT 1) GROUND LEVEL EQUIPMENT SHALL BE SCREENED W/ LANDSCAPING OR SITE OBSCURING FENCE OR WALL; LOCATED BEHIND OR BESIDE BLDGS 2)ROOF TOP EQUIP (OTHER THAN SOLAR) SHALL BE SET BACK OR SCREENED SO AS NOT TO BE VISIBLE TO A PERSON STANDING AT GROUND LEVEL 60' AWAY.	MET PTAC UNITS WILL BE USED THROUGHOUT THE PROJECT

PROJECT INFO:
891 23RD ST NE
TAX ID: 527113 (4000)
SIZE 9.85 ACRES
ZONE: MU-I

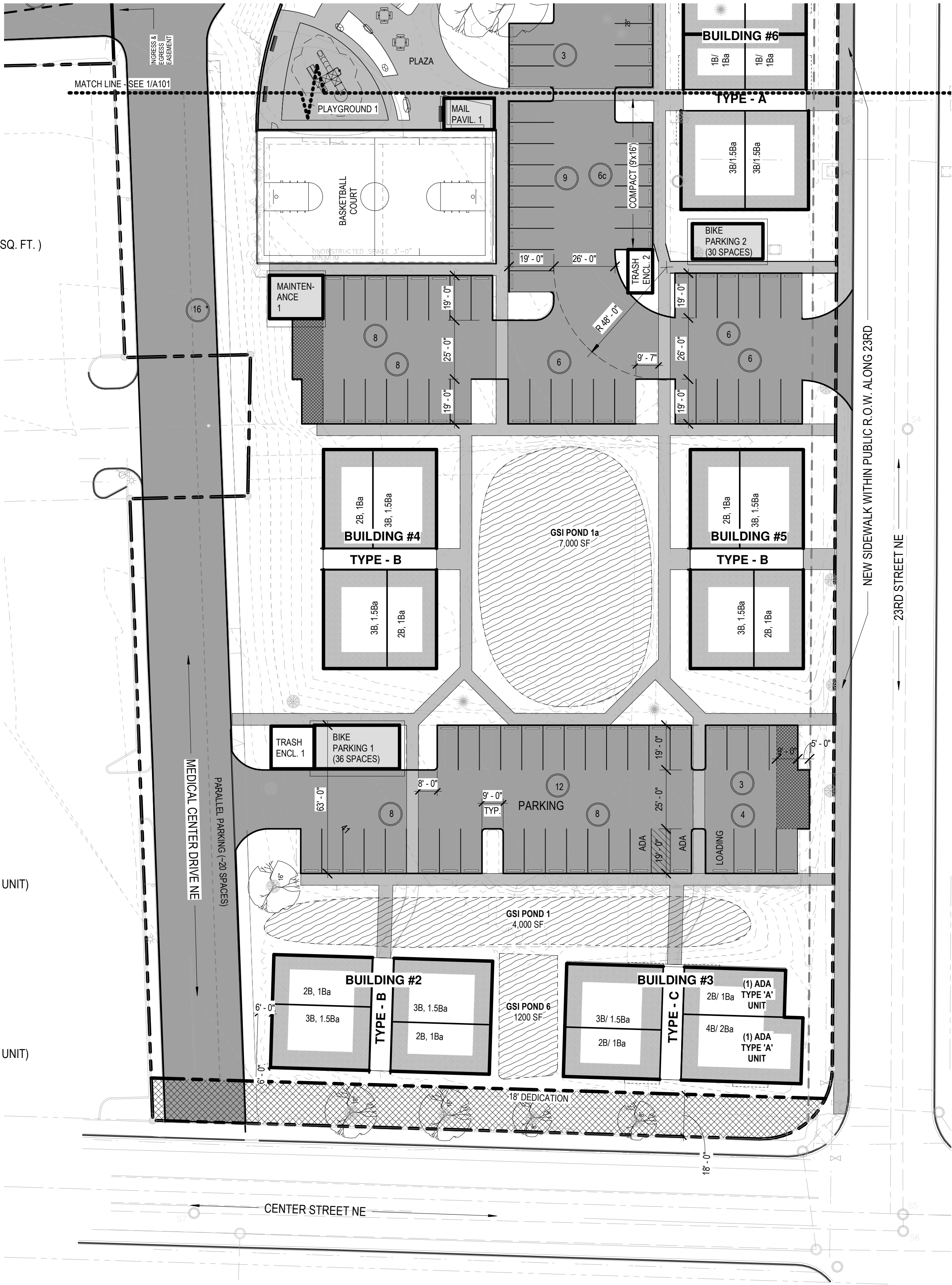
LOT AREA SUMMARY
ORIGINAL LOT AREA : 9.85 ACRES (428,907.74 SQ. FT.)

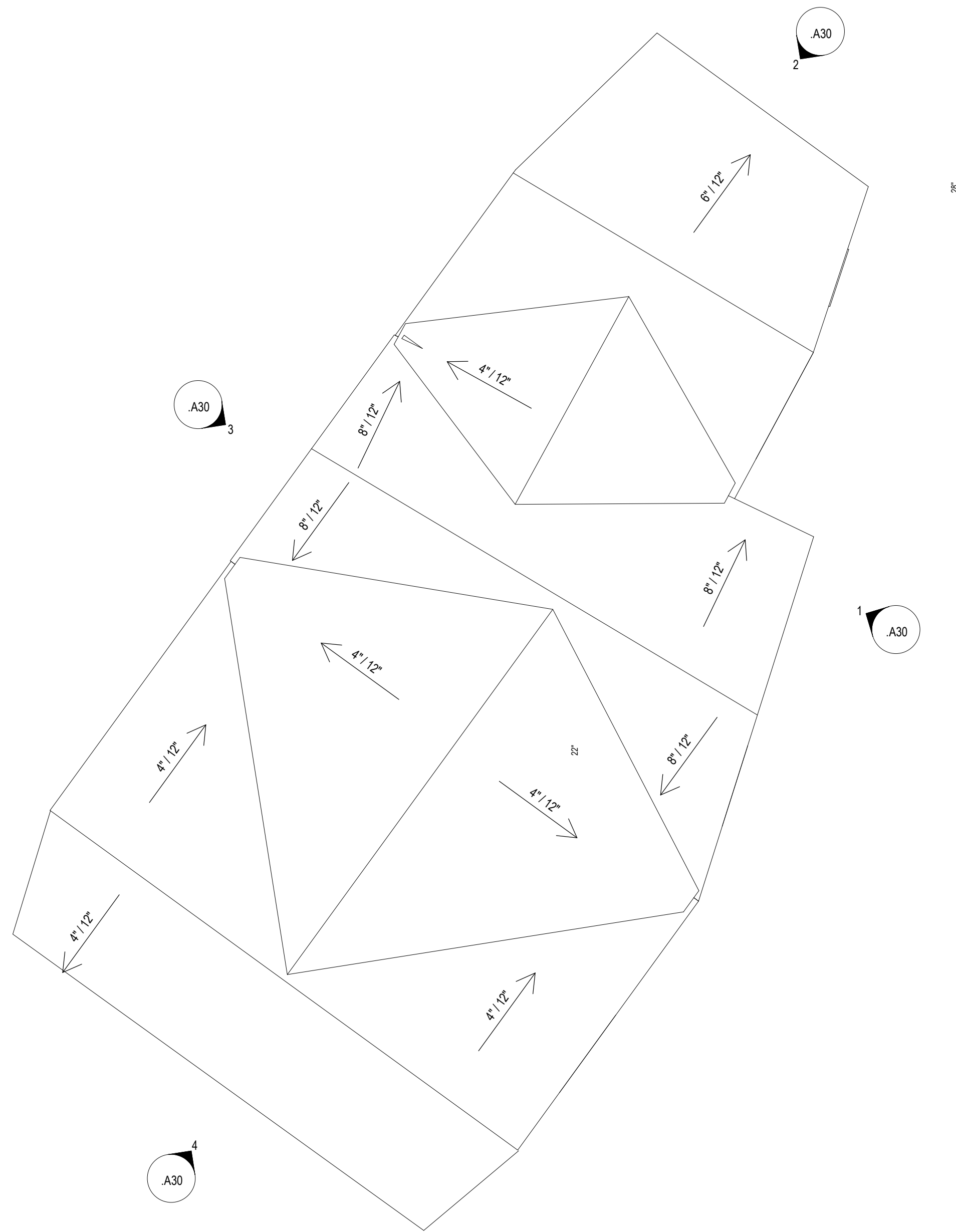
LOT LINE ADJUSTMENT @ NW CORNER OF LOT: 0.16 ACRES (6,805.43 SQ. FT.)
ASSUMED 10' PROPERTY DEDICATION ON SOUTH LOT LINE : 0.11 ACRES(5007.54 SQ. FT.)

PHASE I : 6.27 ACRES (273,332 SQ. FT.)
PHASE II : 3.3 ACRES (143,763 SQ. FT.)

AUTO PARKING SUMMARY	
PHASE 1	
x6	4 BED/2 BA
x54	3 BED/1.5BA
x30	2 BED/1.0BA
x30	1 BED/1.0BA
120	TOTAL UNITS
PARKING : 204 TOTAL PARKING SPACES (1.7 PER UNIT)* 142 STANDARD (INCLUDES 4 ADA SPACES AND 2 LOADING SPACES)	
62 COMPACT *DOES NOT INCLUDE THE 16 EXISTING PARKING STALLS ON MEDICAL CENTER DRIVE NE	
PHASE 2	
x9	4 BED/2 BA
x33	3 BED/1.5BA
x24	2 BED/1.0BA
x18	1 BED/1.0BA
84	TOTAL UNITS
PARKING : 121 PARKING SPACES (1.44 PER UNIT) 90 STANDARD (INCLUD. 4 ADA AND 1 LOADING SPACES) 31 COMPACT	
TOTAL PARKING STALLS BETWEEN TWO PHASES : 325 (1.6 PER UNIT)	

BIKE PARKING SUMMARY	
PHASE 1	
REQUIRED RATIO:	1 SPACE /UNIT
NUMBER OF UNITS:	120
REQUIRED NO. OF SPACES:	120
TOTAL SPACES PROVIDED:	124
PARKING PROVIDED IN UNIT:	24 SPACES (1 PER 1-BED UNIT)
PARKING PROVIDED IN ACCESSORY STRUCTURES:	100
BIKE PARKING 1:	36
BIKE PARKING 2:	30
BIKE PARKING 3:	36
PHASE 2	
REQUIRED RATIO:	1 SPACE /UNIT
NUMBER OF UNITS:	84
REQUIRED NO. OF SPACES:	84
TOTAL SPACES PROVIDED:	99
PARKING PROVIDED IN UNIT:	24 SPACES (1 PER 1-BED UNIT)
PARKING PROVIDED IN ACCESSORY STRUCTURES:	75
BIKE PARKING 4:	75





.A20
2 COMMUNITY BLDG_ROOF
SCALE: 1/8" = 1'-0"



.A20
1 COMMUNITY BLDG_FLOOR
SCALE: 1/8" = 1'-0"

PRINTED : 11/15/2023 9:02:00 PM

COMMUNITY BLDG
PLAN

.A20
ORIGINAL SHEET SIZE : 22"x34"

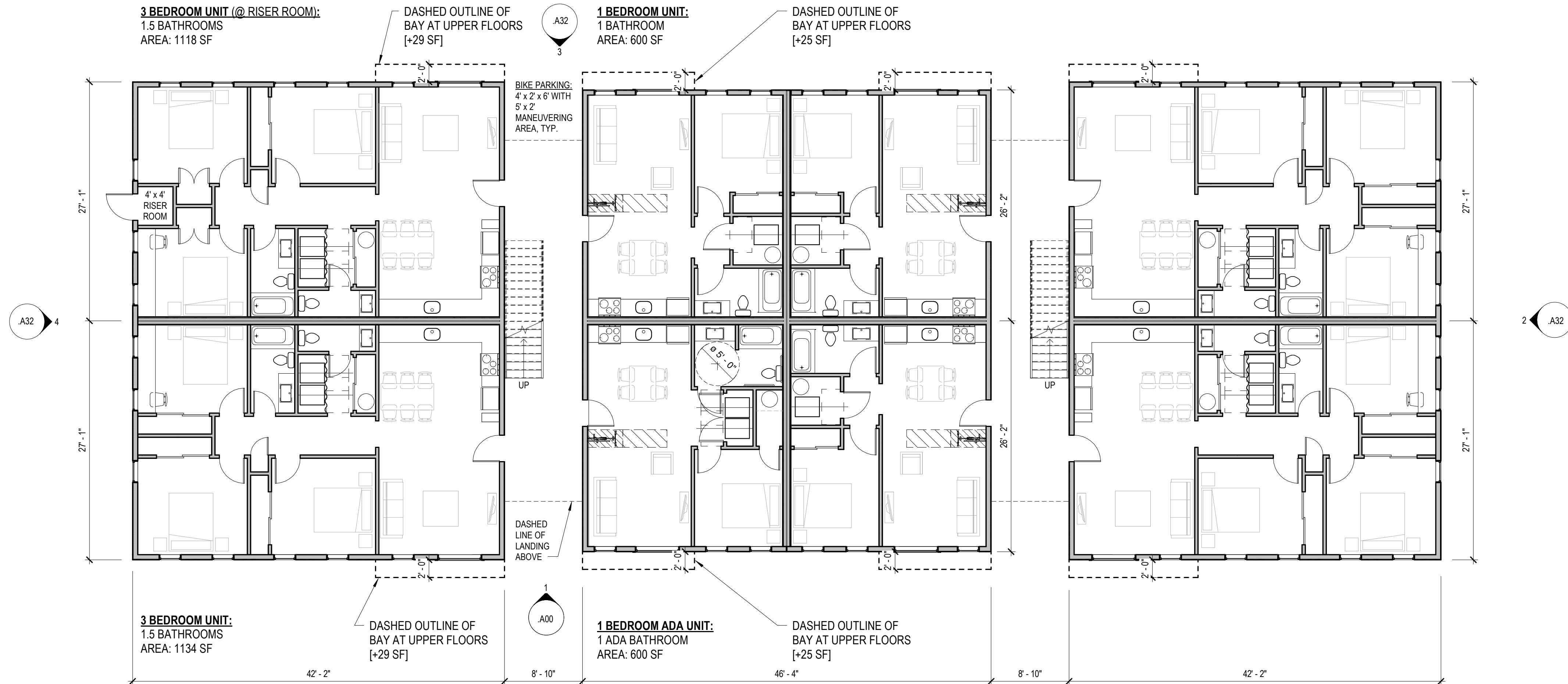
CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

SALEM APARTMENTS

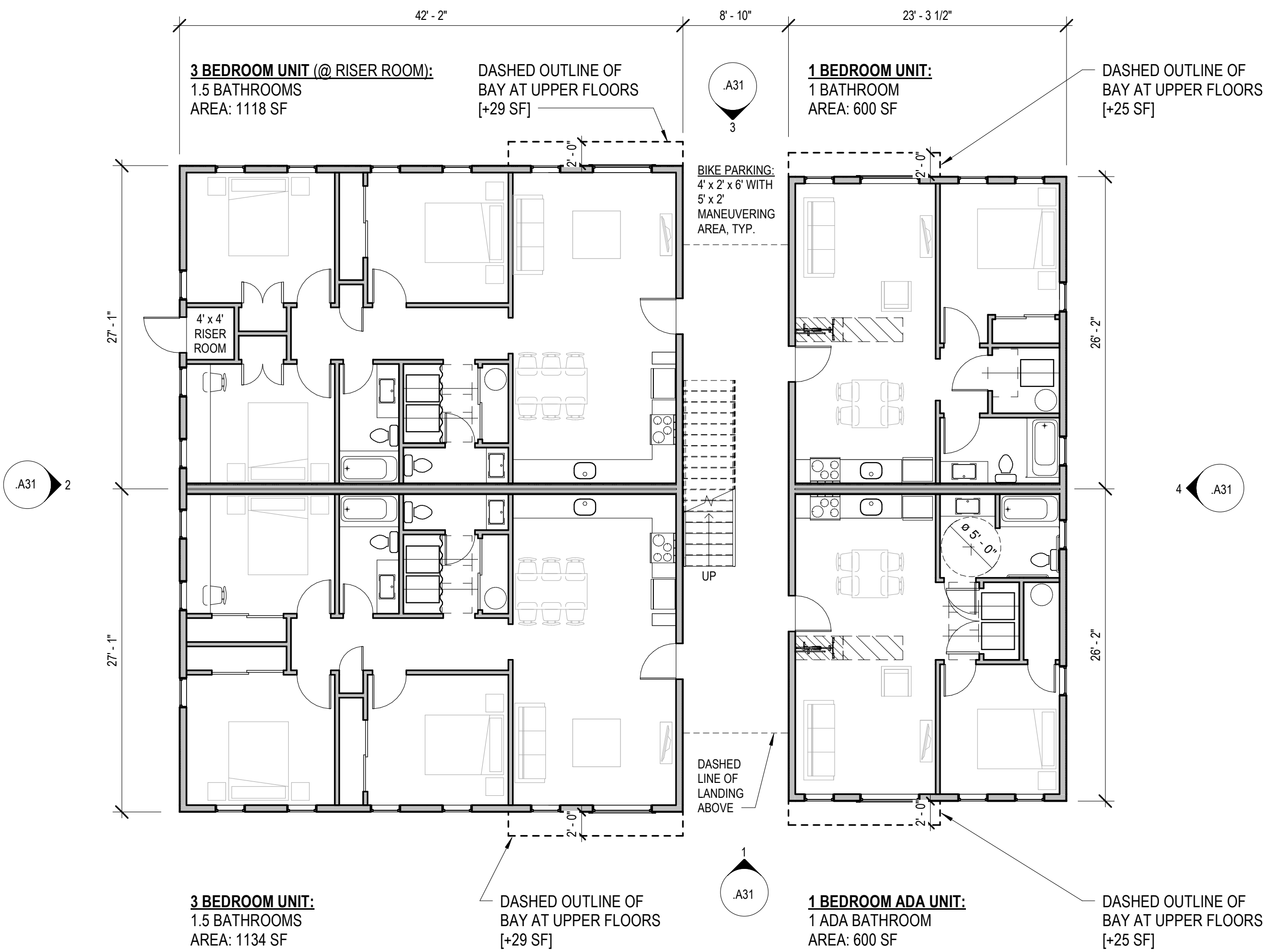
891 23RD ST. NE SALEM, OR

polyphon
ARCHITECTURE & DESIGN, LLC
4103 NE TILLAMOOK STREET | PORTLAND, OR 97212
polyphon.com

^{A22}
1 GROUND FLOOR_BLDG TYPE A2
SCALE: 1/8" = 1'-0"

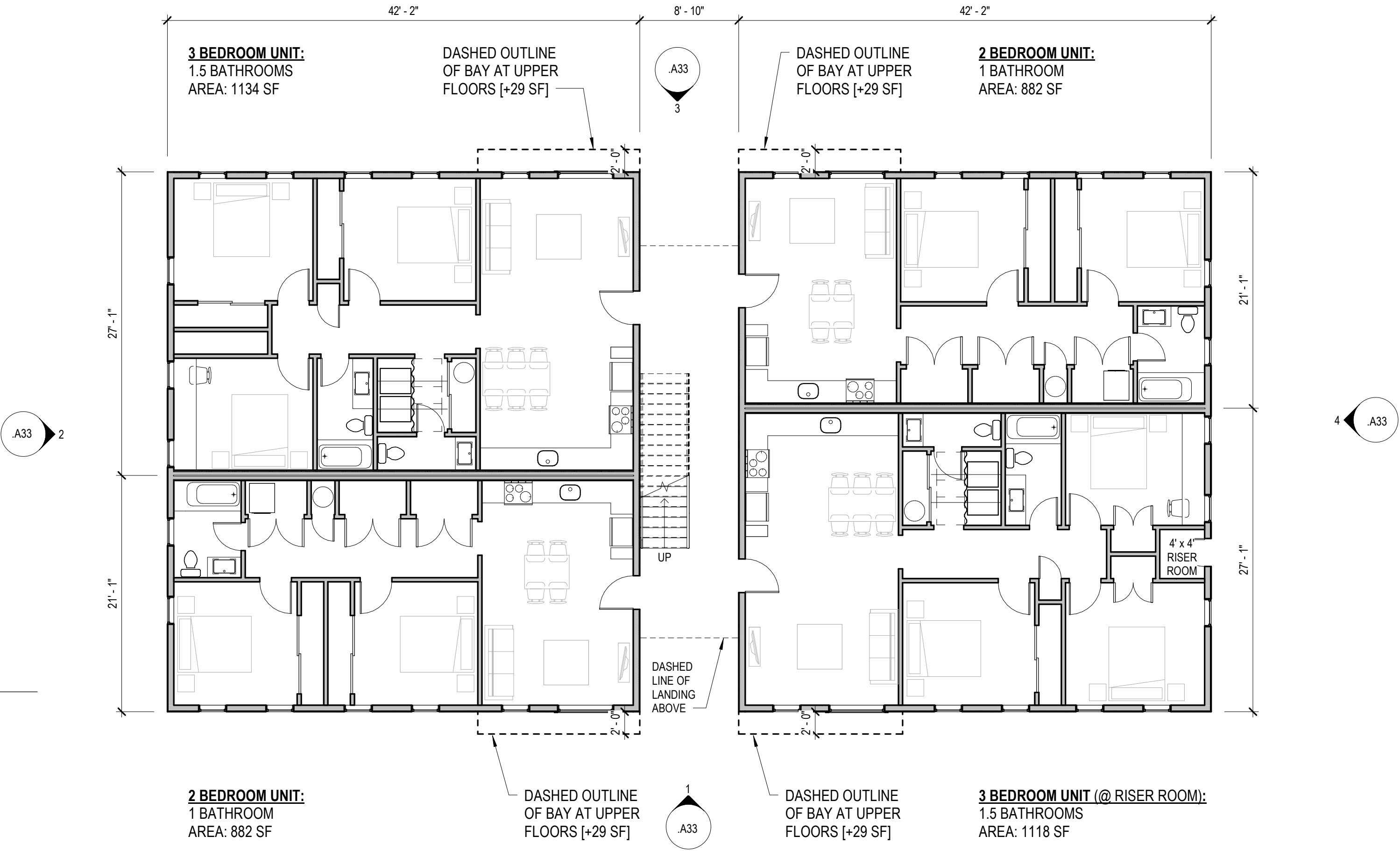


^{A22}
2 GROUND FLOOR_BLDG TYPE A
SCALE: 1/8" = 1'-0"

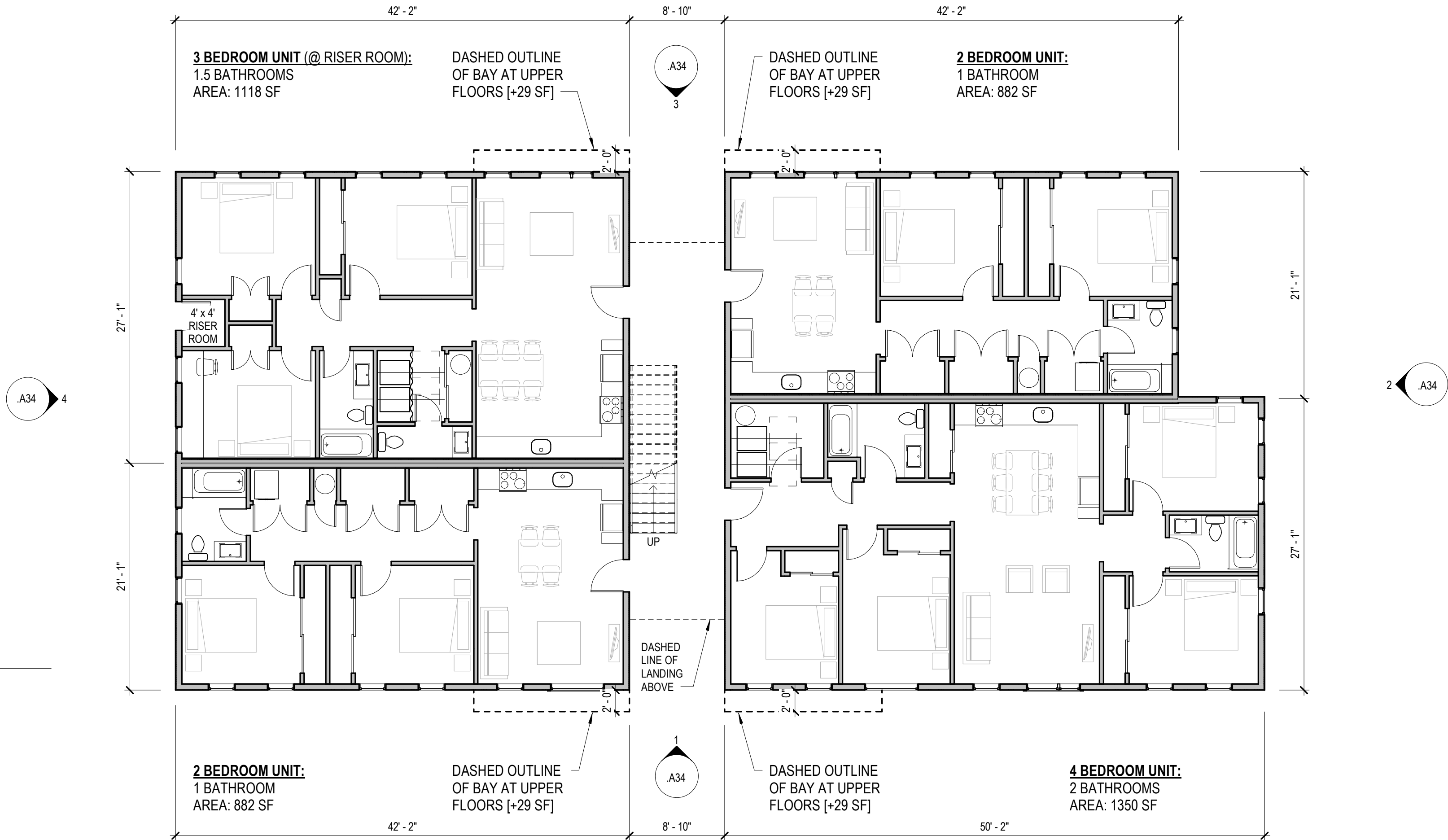


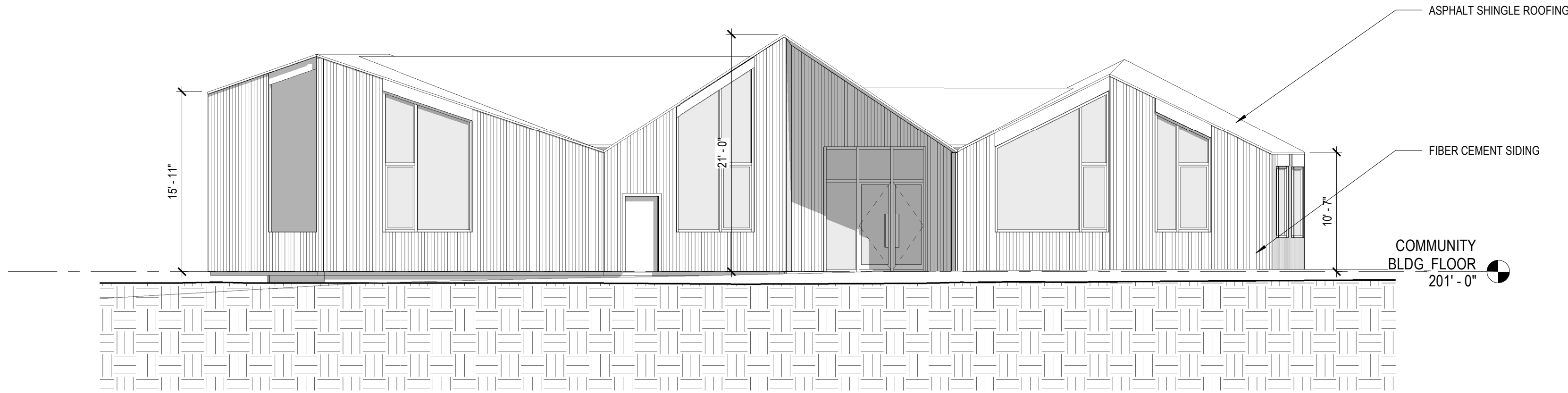
NOTE:
SOME INSTANCES OF THE TYPE 'A' COULD HAVE 4 UNITS PER FLOOR (AS SHOWN), WHILE ALTERNATE INSTANCES COULD HAVE THE PLAN MIRRORED TO HAVE 8 UNITS PER FLOOR (SHOWN ABOVE).

^{A23}
1 GROUND FLOOR_BLDG TYPE B
SCALE: 1/8" = 1'-0"

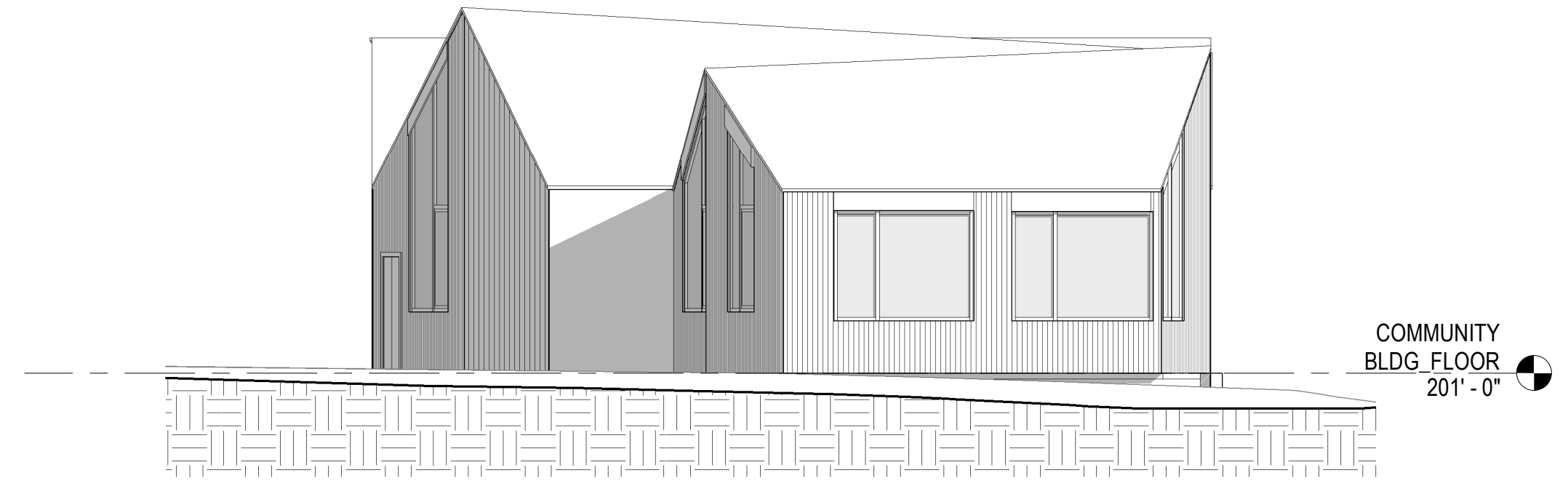


^{A23}
2 GROUND FLOOR_BLDG TYPE C
SCALE: 1/8" = 1'-0"

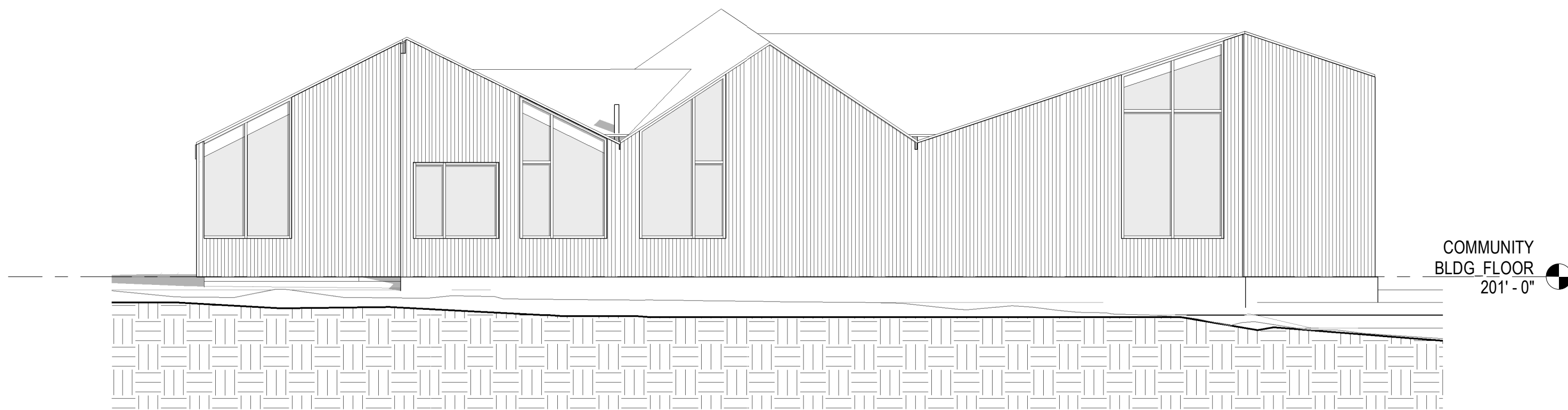




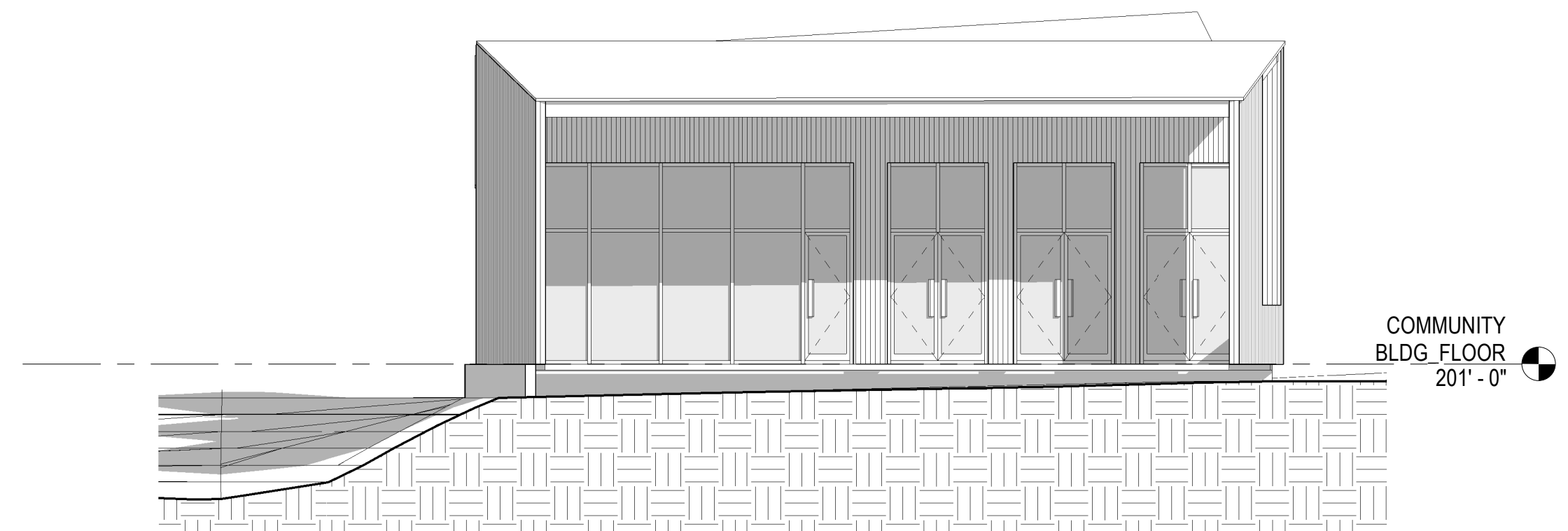
^{A30}
1 COMMUNITY BUILDING - FRONT
SCALE: 1/8" = 1'-0"



^{A30}
2 COMMUNITY BUILDING - SIDE NE
SCALE: 1/8" = 1'-0"

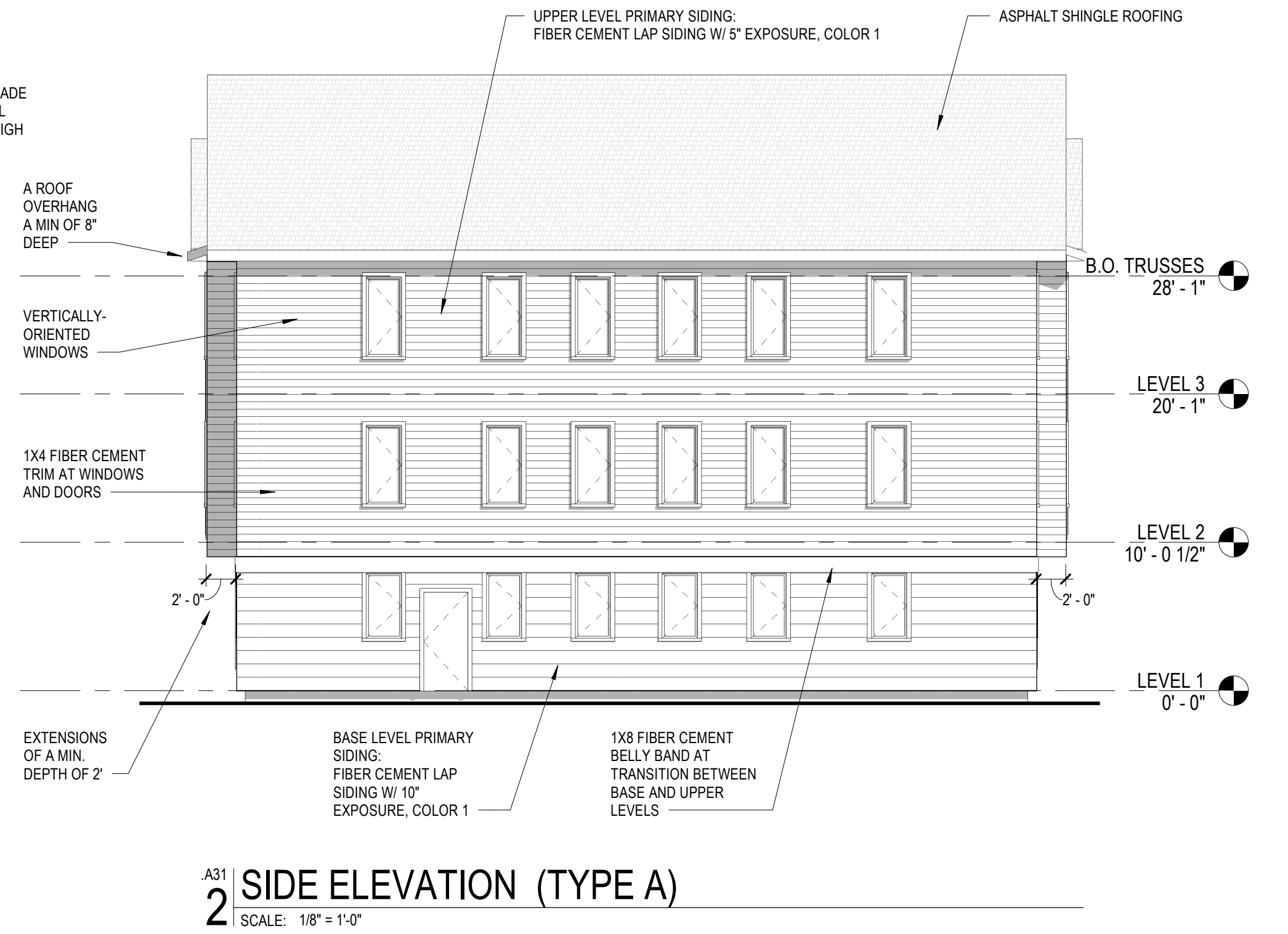
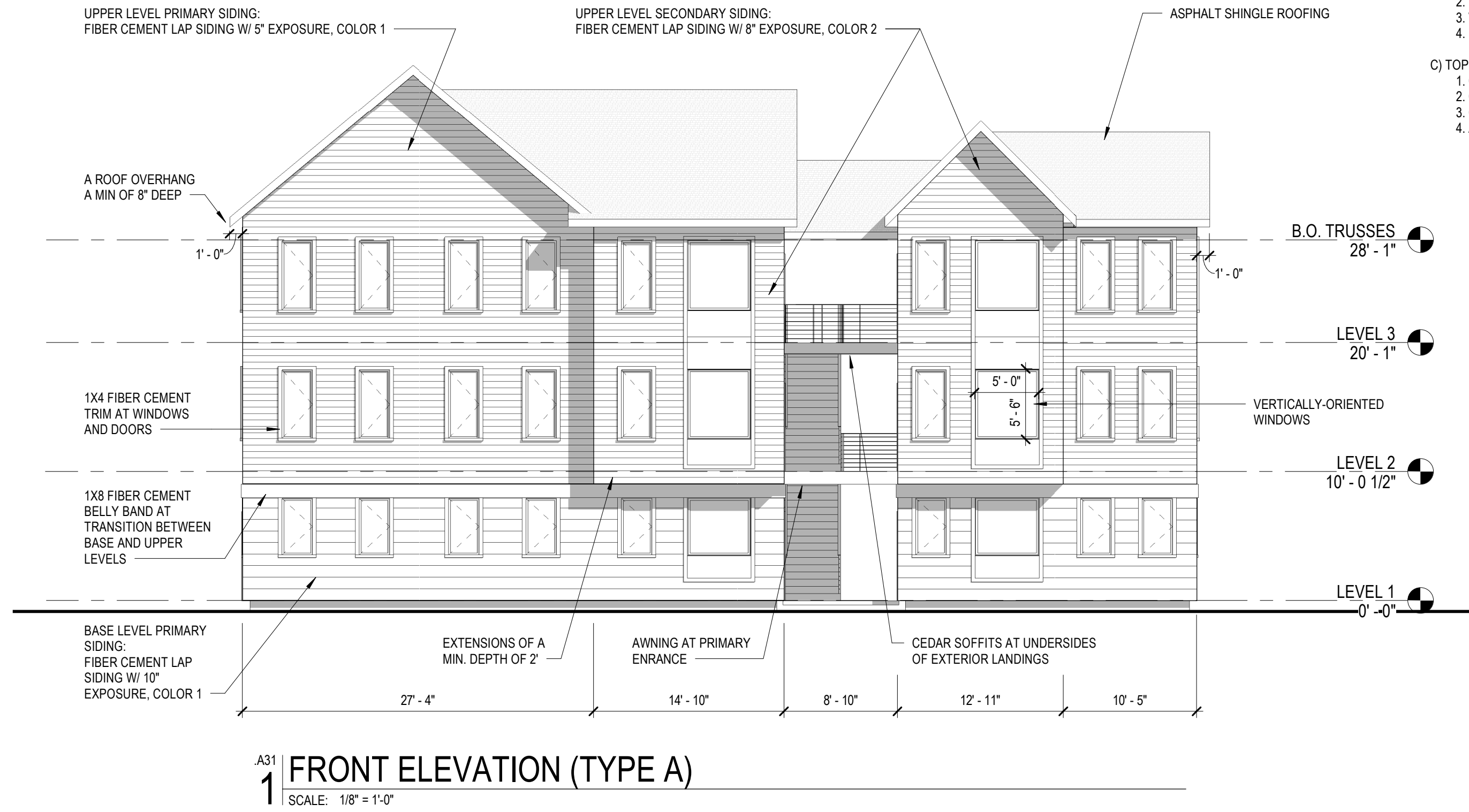


^{A30}
3 COMMUNITY BUILDING - REAR
SCALE: 1/8" = 1'-0"



^{A30}
4 COMMUNITY BUILDING - SIDE SW
SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3' HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



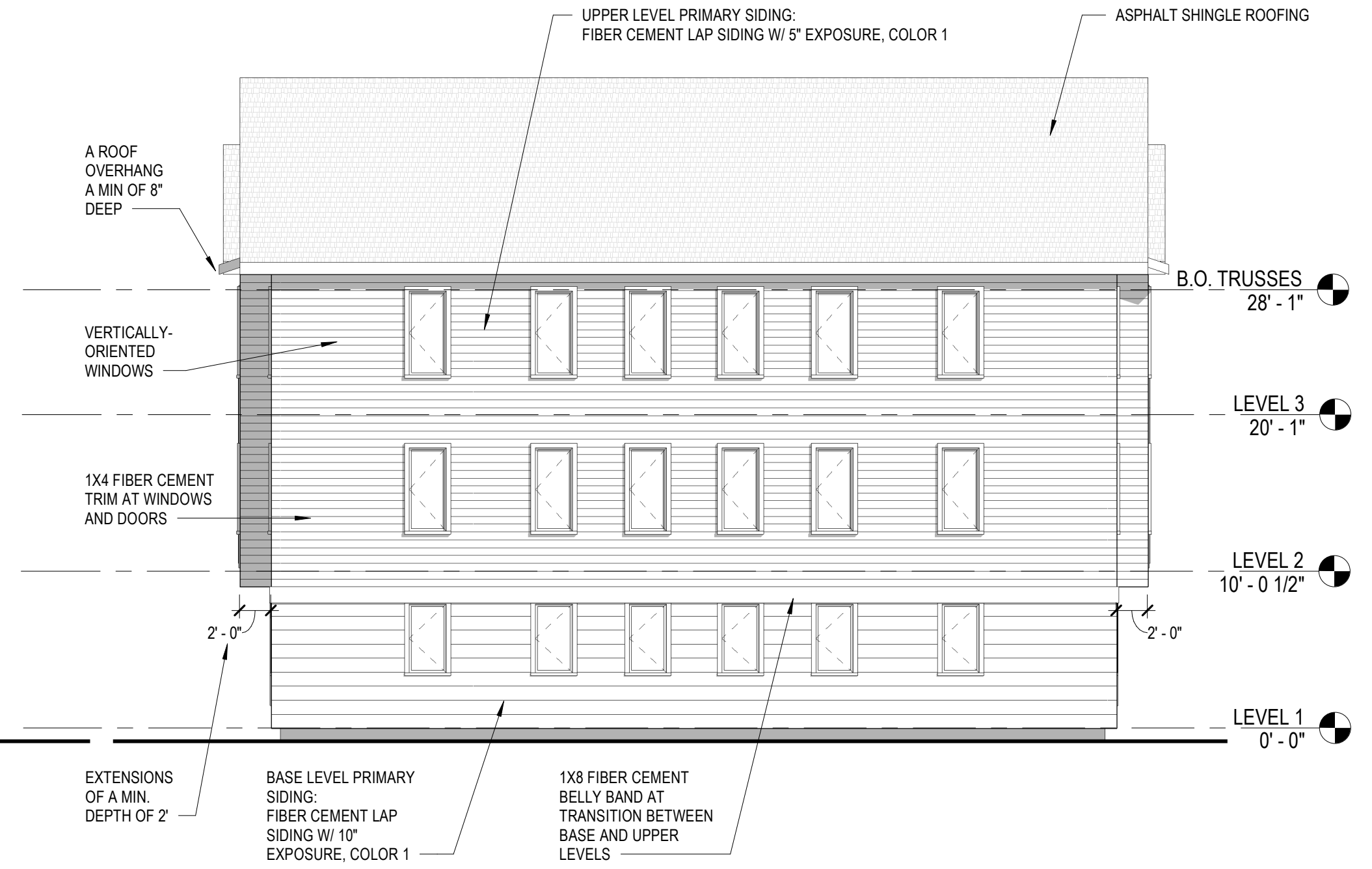
- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.





1 FRONT ELEVATION (TYPE A)2

SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION 2 (TYPE A)2

SCALE: 1/8" = 1'-0"



3 REAR ELEVATION (TYPE A)2

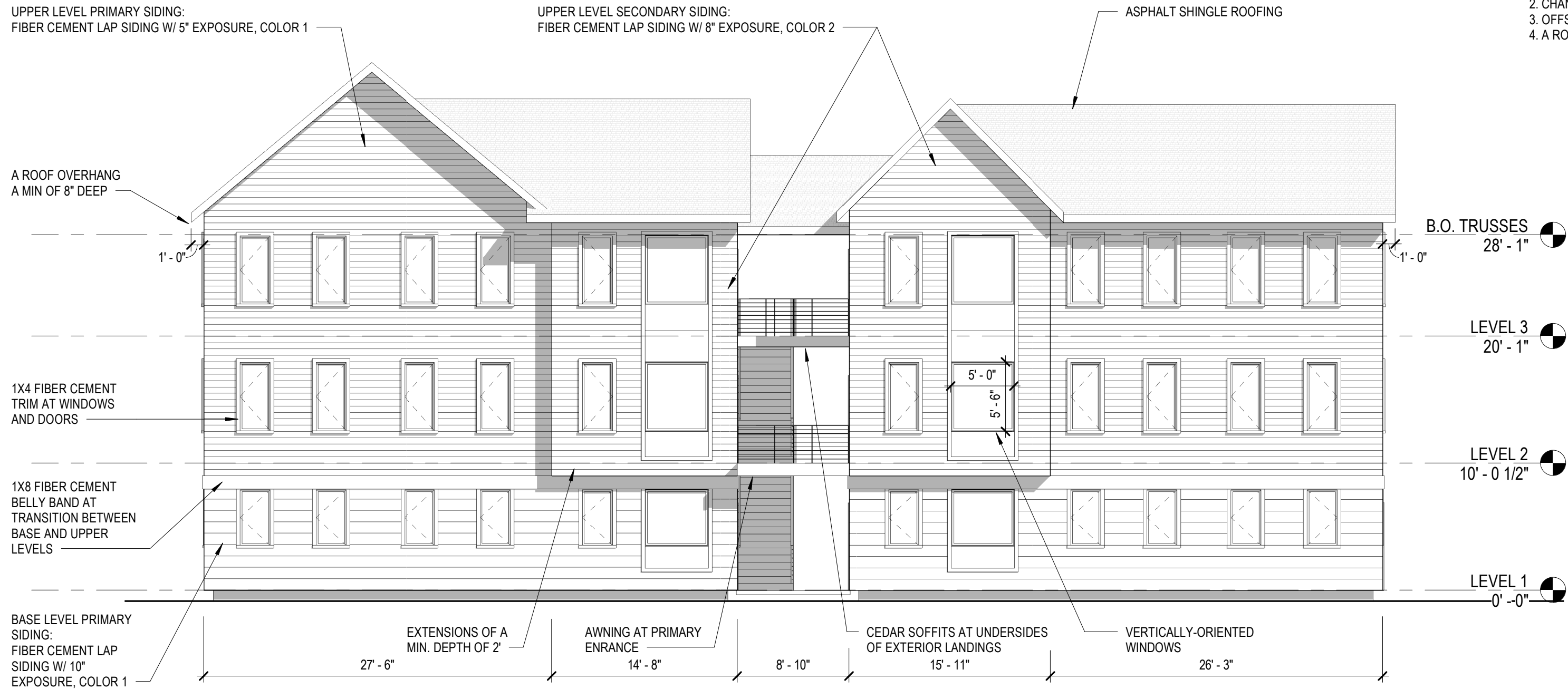
SCALE: 1/8" = 1'-0"



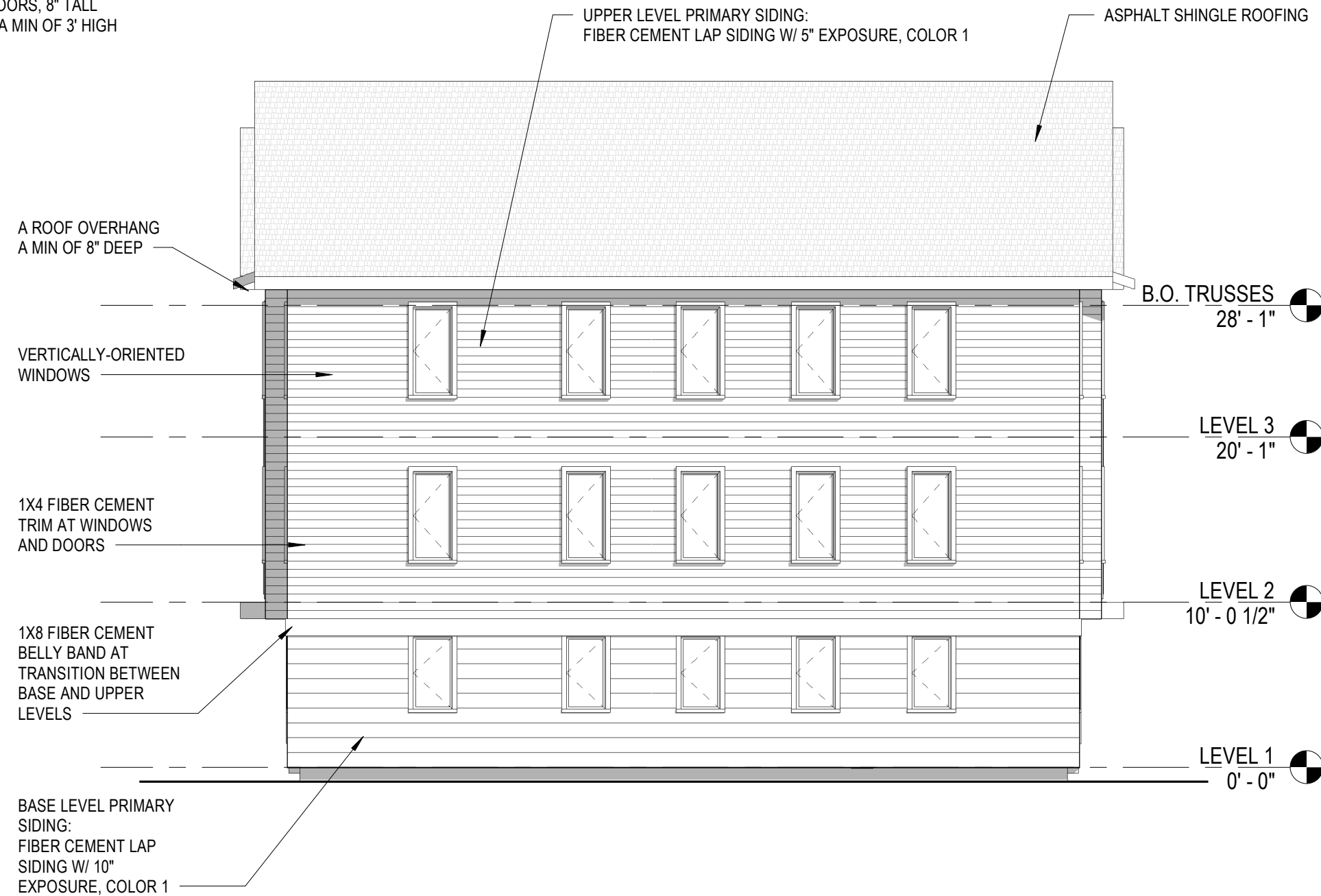
4 SIDE ELEVATION (TYPE A)2

SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3" HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



.A33
1 FRONT ELEVATION (TYPE B)
SCALE: 1/8" = 1'-0"



.A33
2 SIDE ELEVATION (TYPE B)
SCALE: 1/8" = 1'-0"

- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.



.A33
3 REAR ELEVATION (TYPE B)
SCALE: 1/8" = 1'-0"

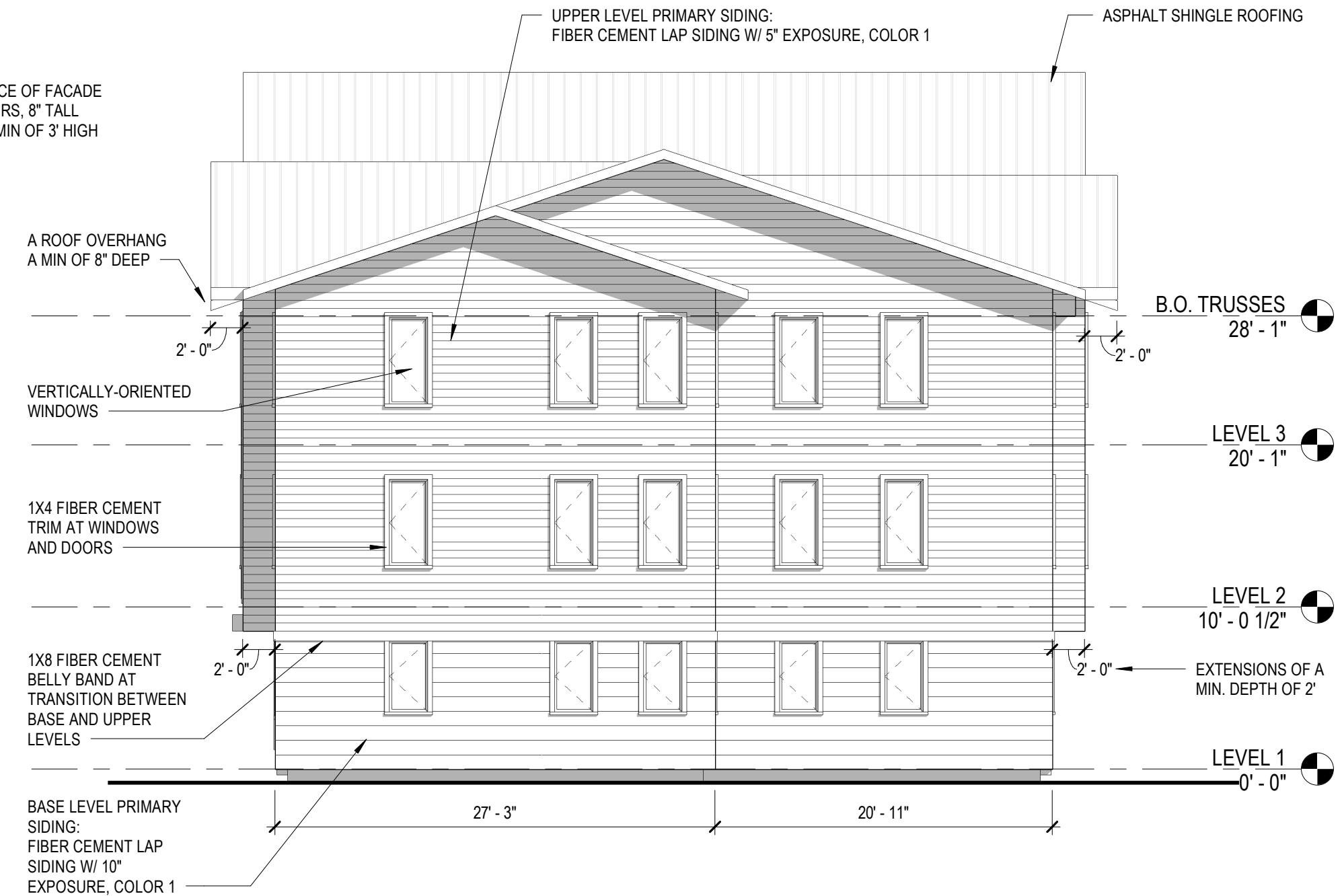


.A33
4 SIDE ELEVATION 2 (TYPE B)
SCALE: 1/8" = 1'-0"



^{A34}
1 FRONT ELEVATION (TYPE C)
SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3" HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP

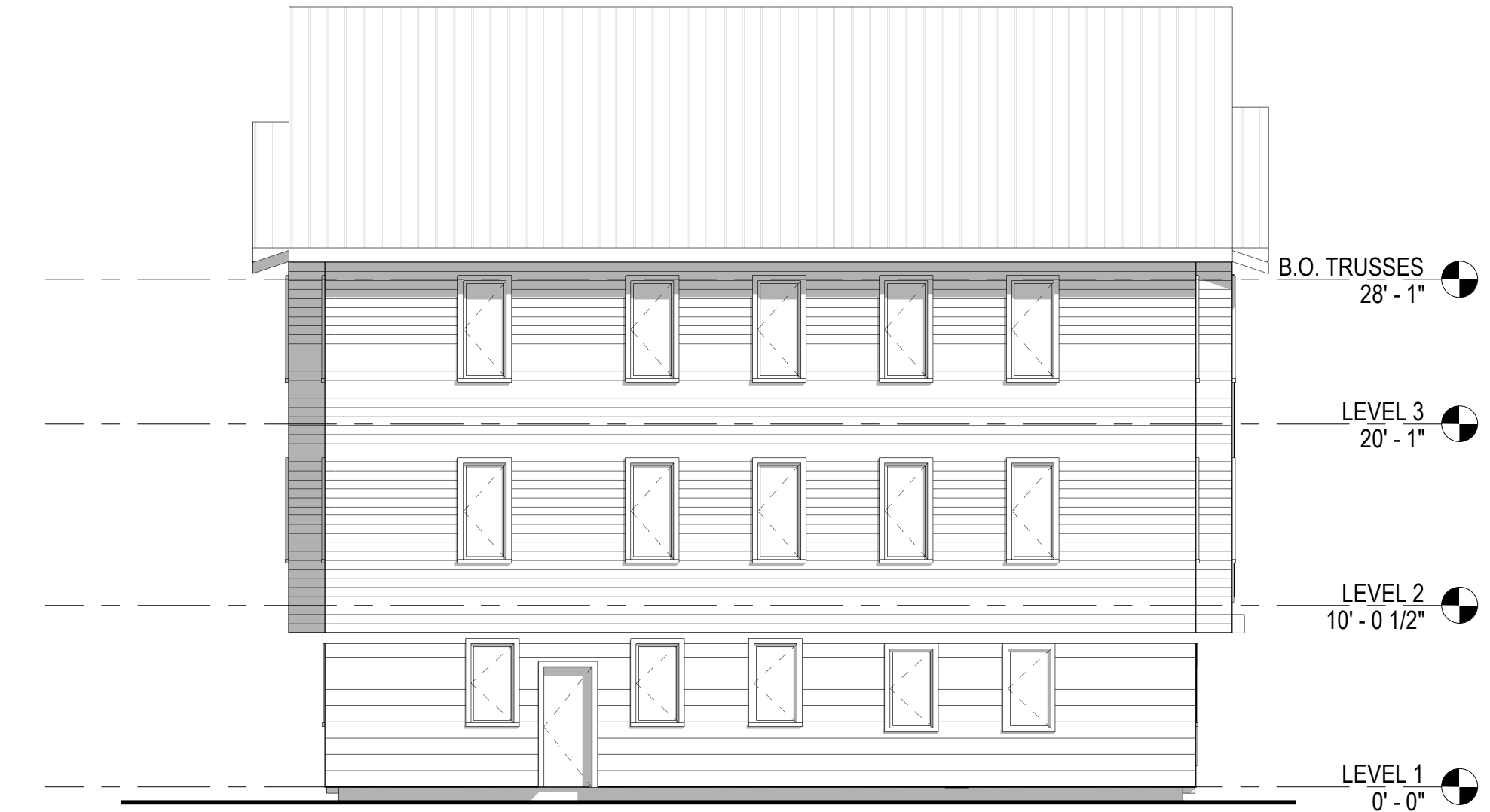


^{A34}
2 SIDE ELEVATION 2 (TYPE C)
SCALE: 1/8" = 1'-0"

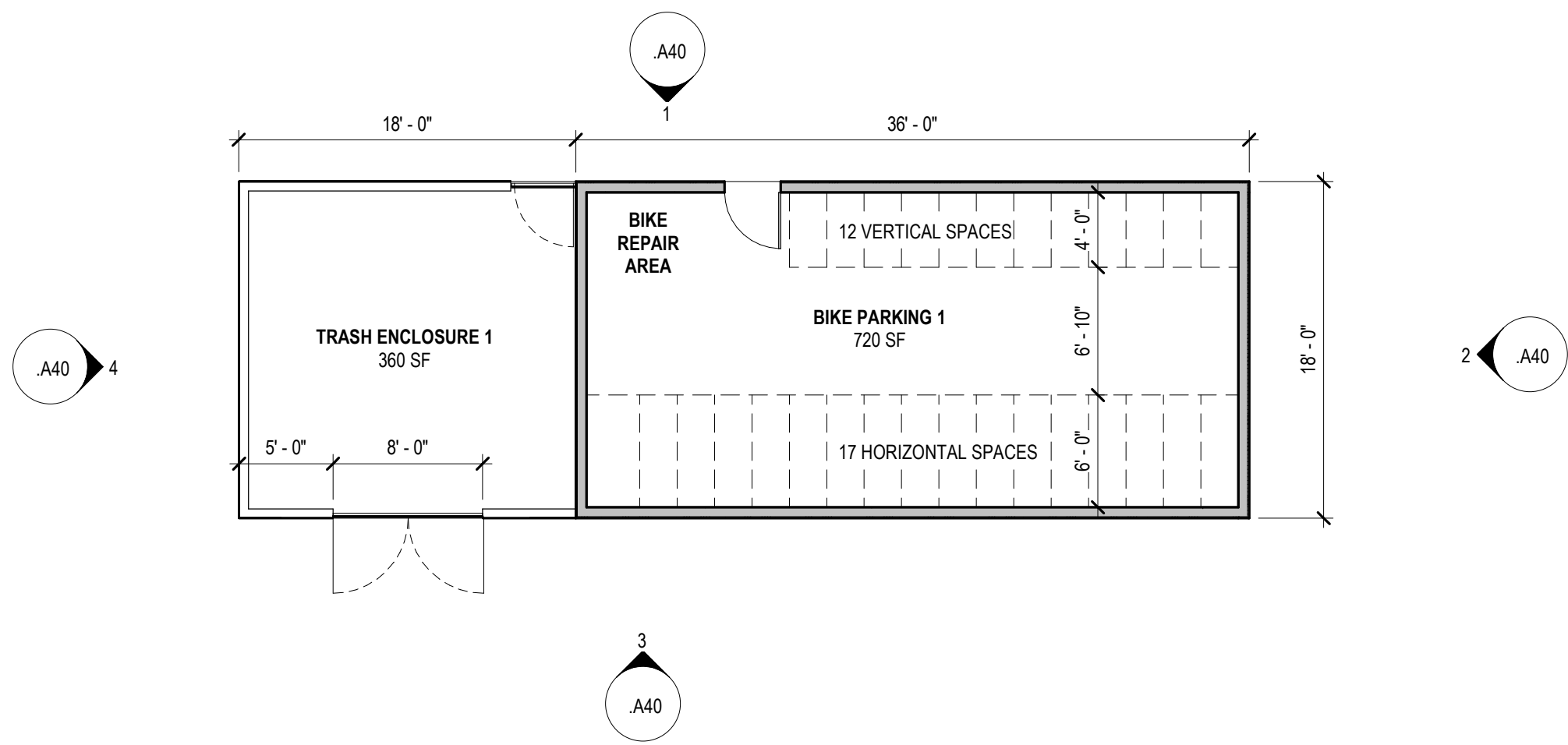
- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.



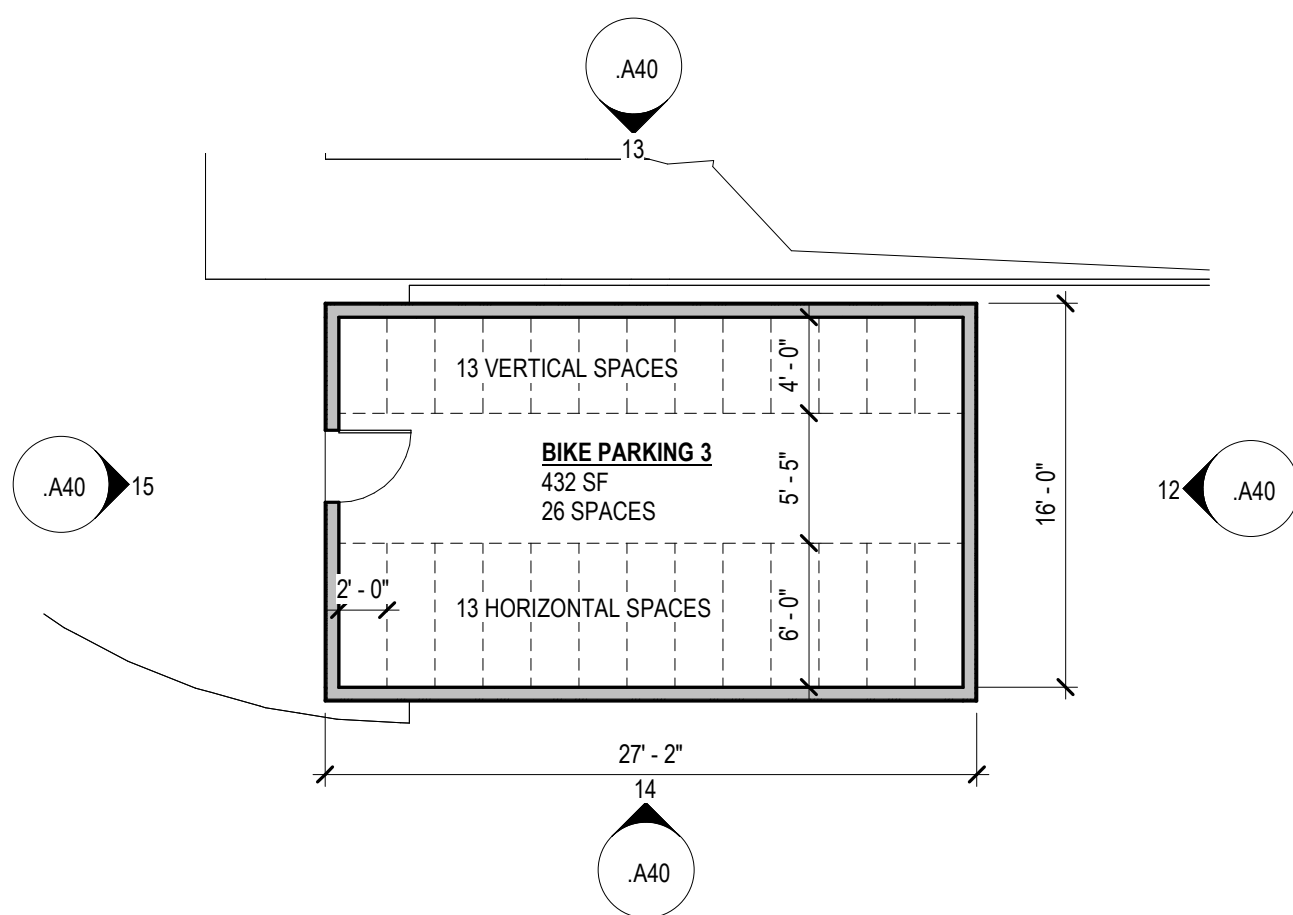
^{A34}
3 REAR ELEVATION (TYPE C)
SCALE: 1/8" = 1'-0"



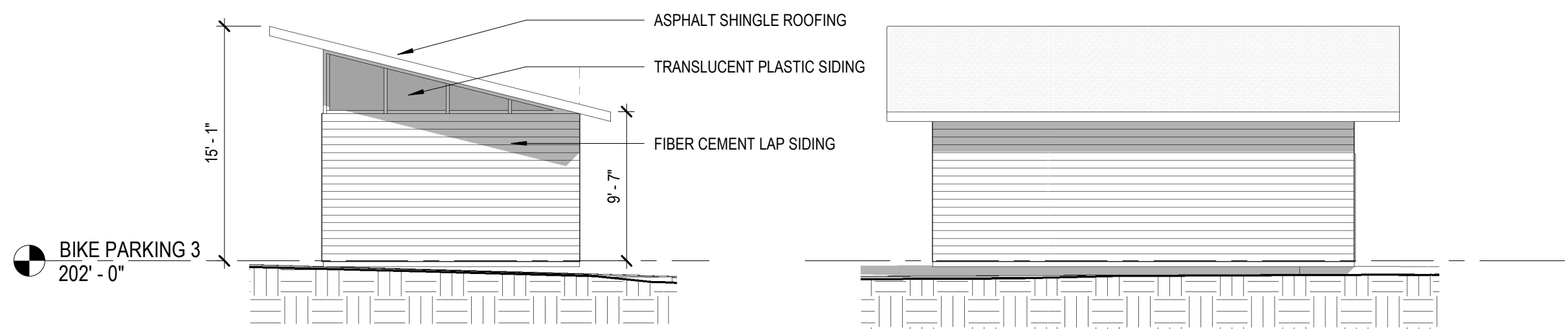
^{A34}
4 SIDE ELEVATION (TYPE C)
SCALE: 1/8" = 1'-0"



5 BIKE PARKING 1 - PLAN
SCALE: 1/8" = 1'-0"

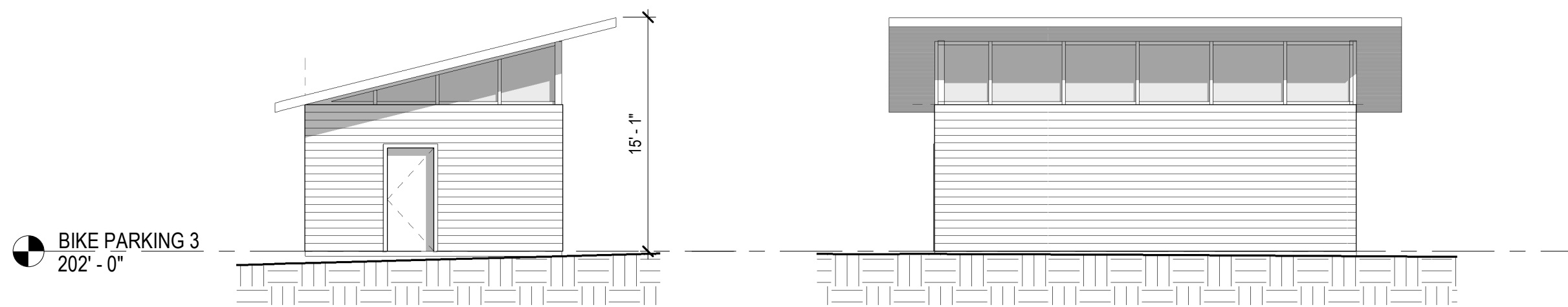


11 BIKE PARKING 3 - PLAN
SCALE: 1/8" = 1'-0"



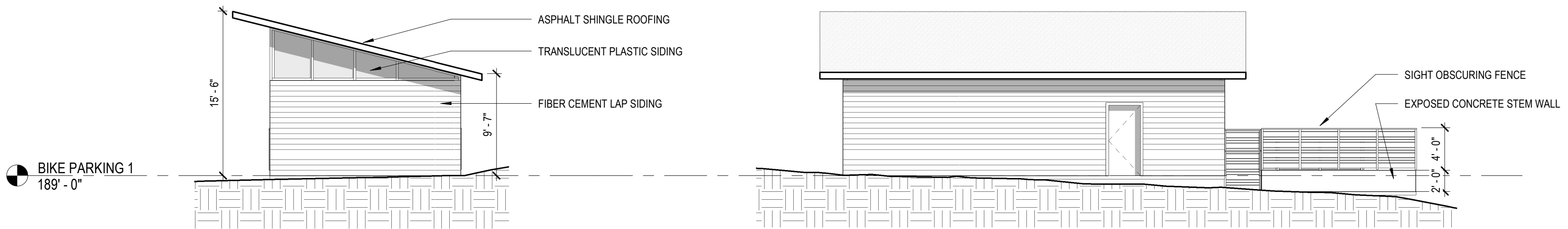
12 BIKE PARKING 3 - EAST
SCALE: 1/8" = 1'-0"

13 BIKE PARKING 3 - NORTH
SCALE: 1/8" = 1'-0"



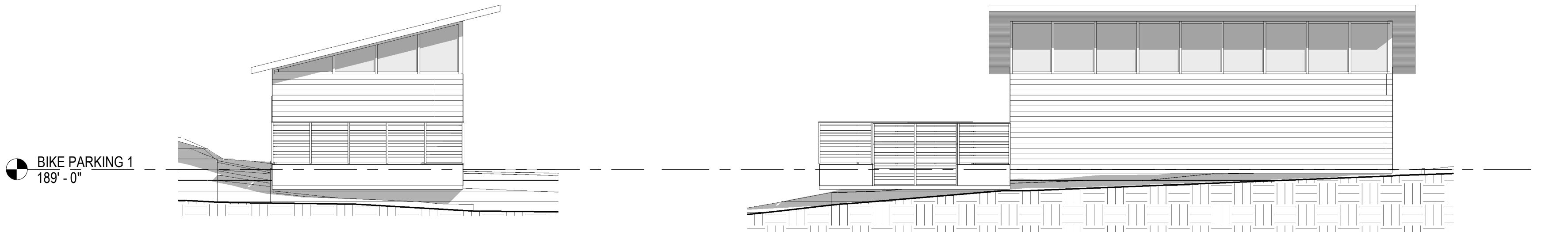
15 BIKE PARKING 3 - WEST
SCALE: 1/8" = 1'-0"

14 BIKE PARKING 3 - SOUTH
SCALE: 1/8" = 1'-0"



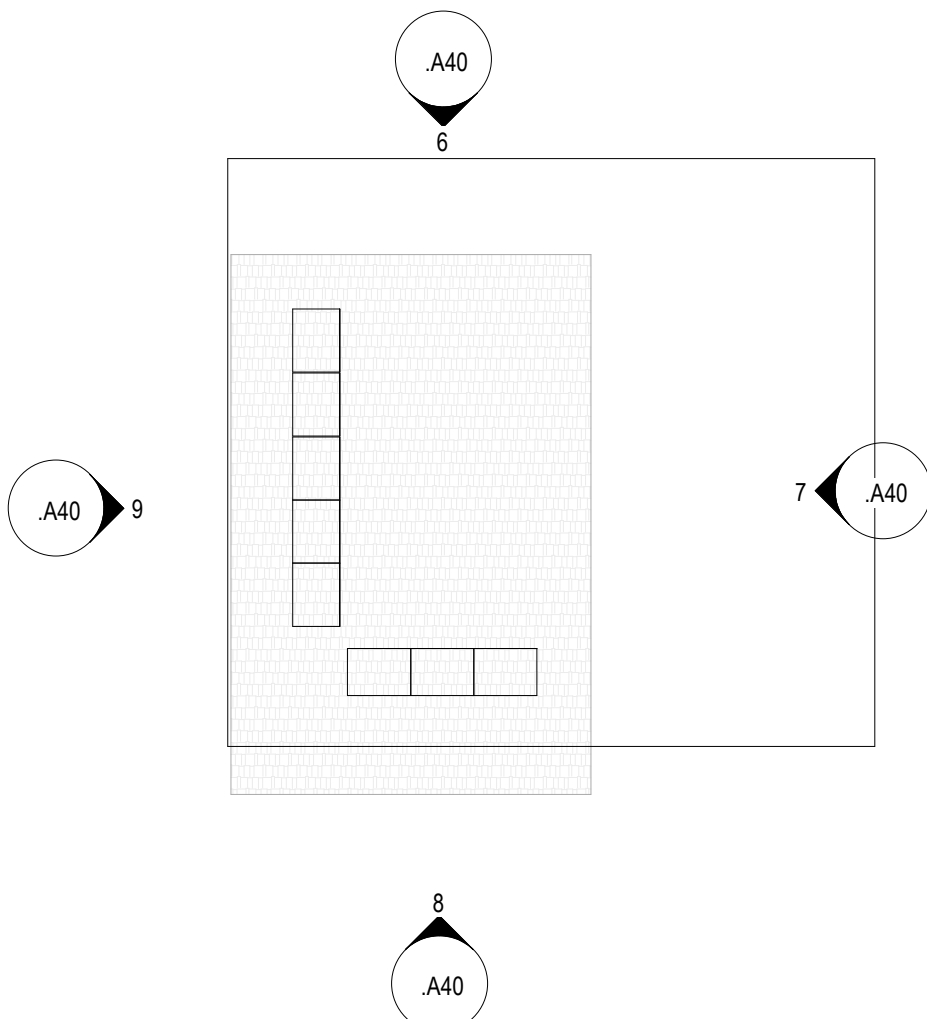
2 BIKE PARKING 1 / TRASH ENCLOSURE 1 - EAST
SCALE: 1/8" = 1'-0"

1 BIKE PARKING 1 / TRASH ENCLOSURE 1 - NORTH
SCALE: 1/8" = 1'-0"

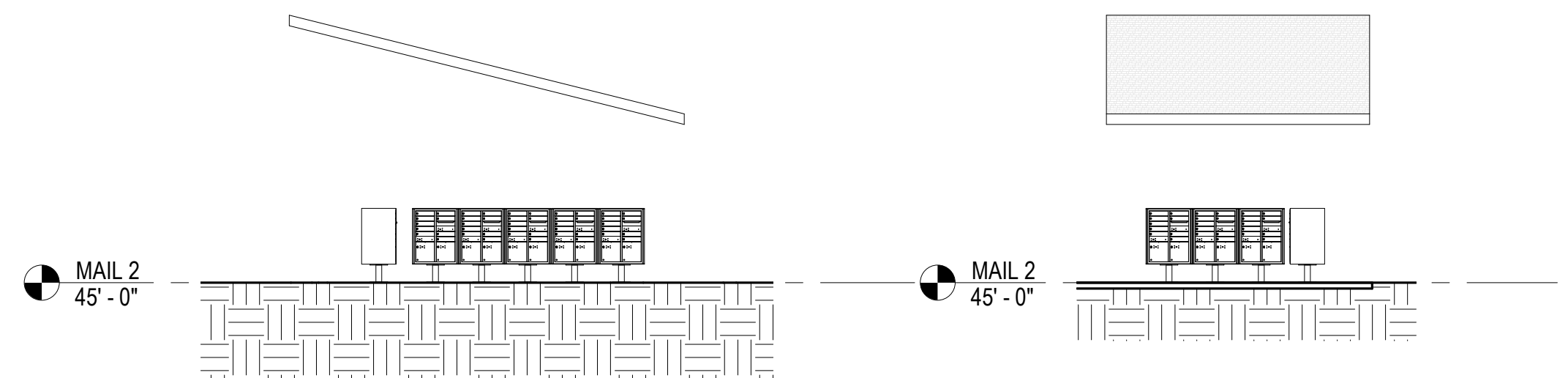


4 BIKE PARKING 1 / TRASH ENCLOSURE 1 - WEST
SCALE: 1/8" = 1'-0"

3 BIKE PARKING 1 / TRASH ENCLOSURE 1 - SOUTH
SCALE: 1/8" = 1'-0"

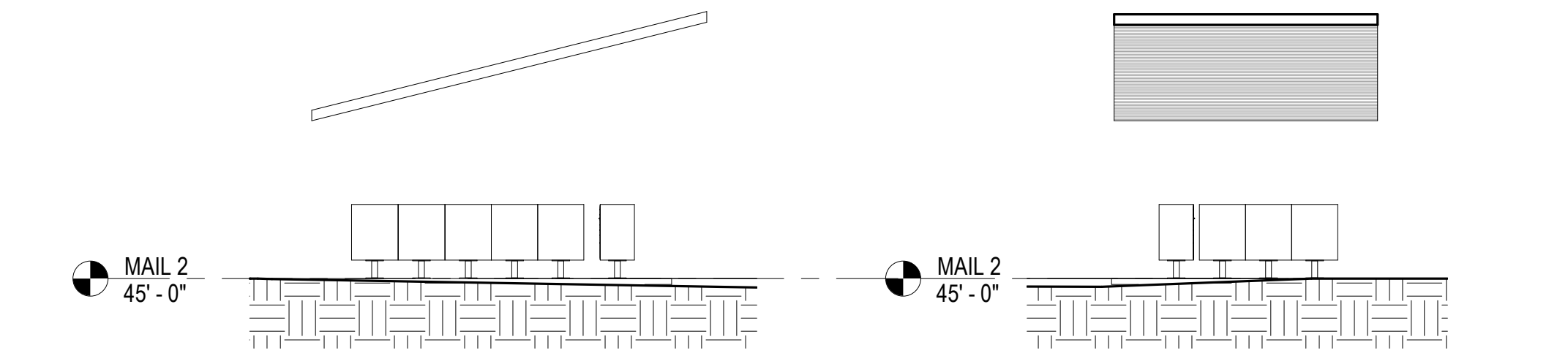


10 MAIL PAVILLION 2 - PLAN
SCALE: 1/8" = 1'-0"



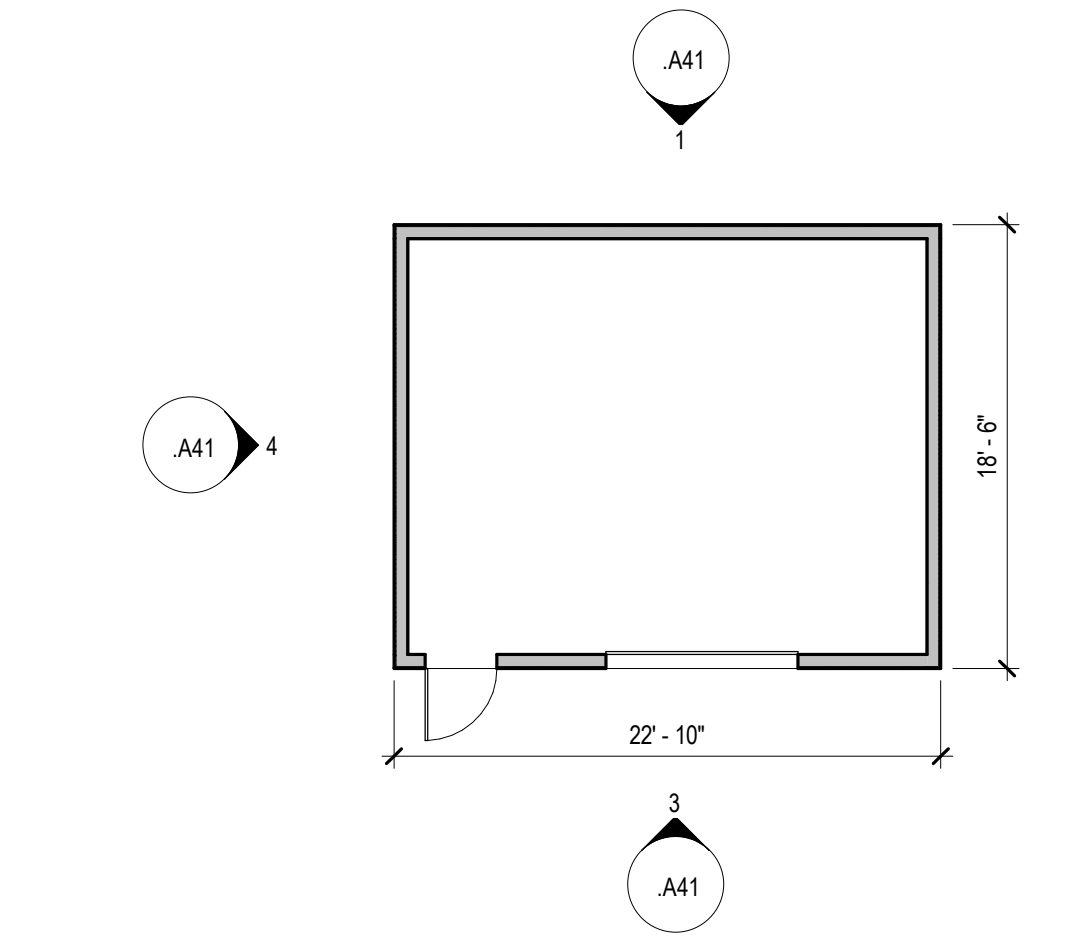
7 MAIL 2 - EAST
SCALE: 1/8" = 1'-0"

6 MAIL 2 - NORTH
SCALE: 1/8" = 1'-0"

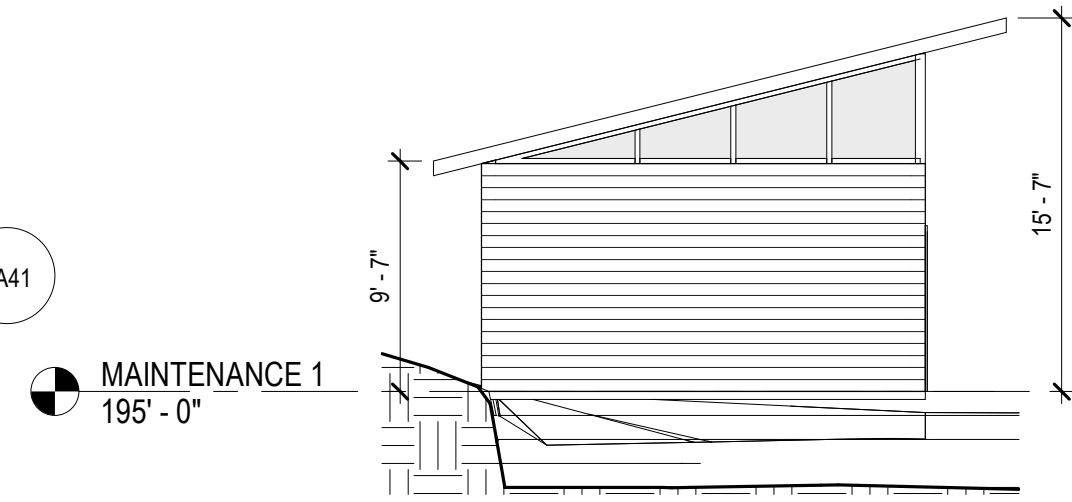


9 MAIL 2 - WEST
SCALE: 1/8" = 1'-0"

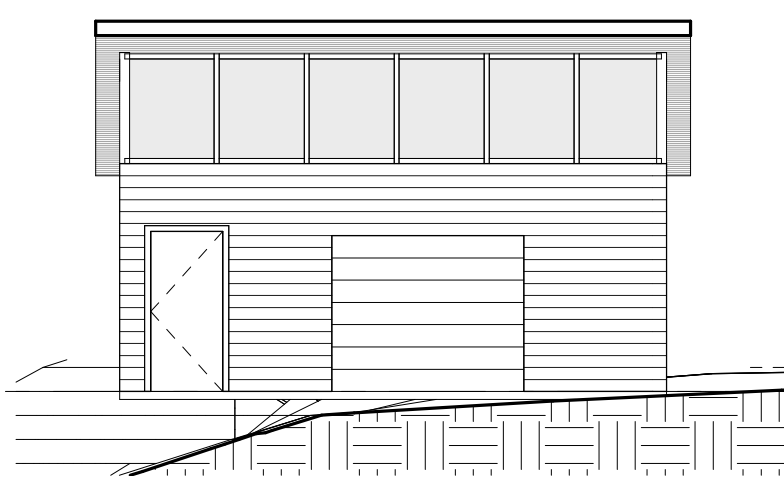
8 MAIL 2 - SOUTH
SCALE: 1/8" = 1'-0"



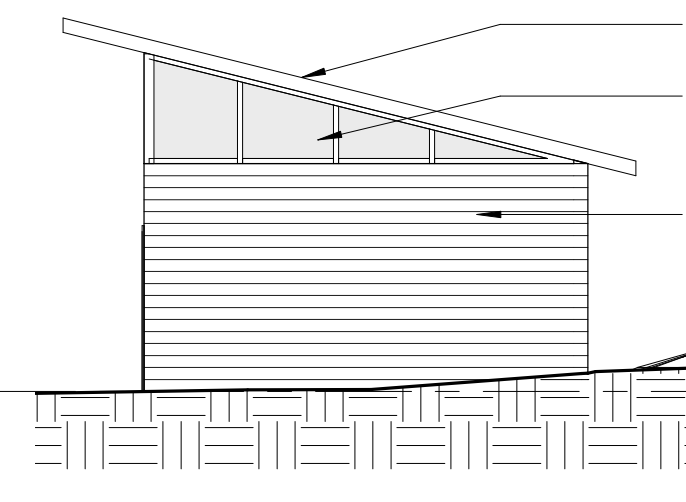
5 MAINTENANCE 1 - PLAN
SCALE: 1/8" = 1'-0"



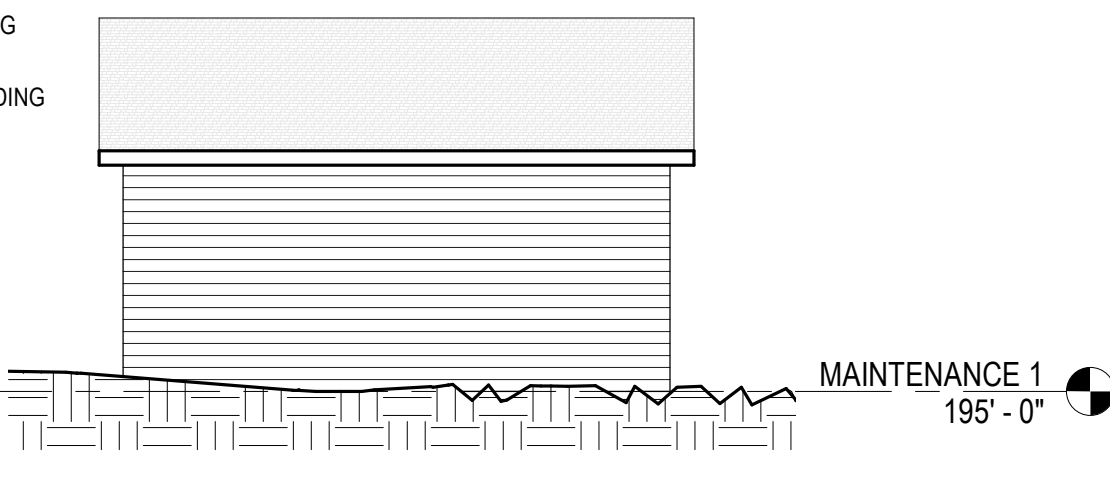
4 MAINTENANCE 1 - WEST
SCALE: 1/8" = 1'-0"



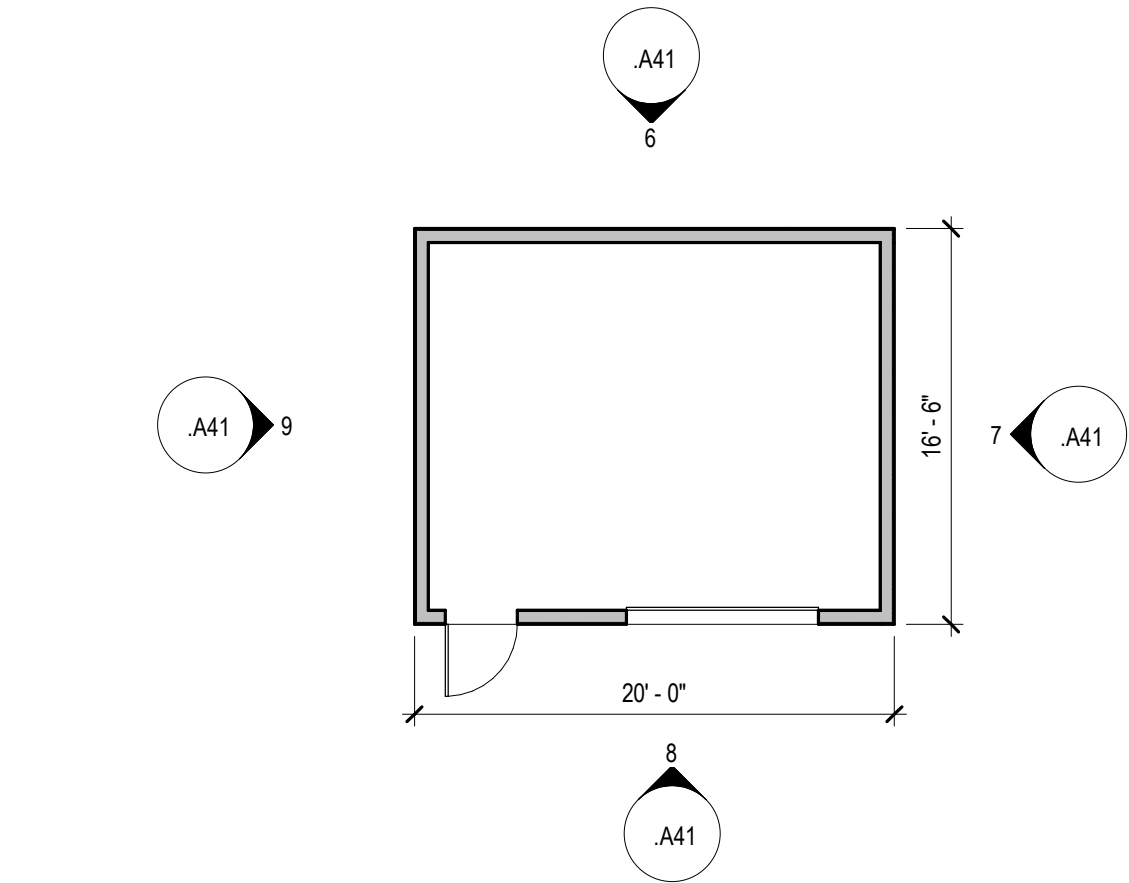
3 MAINTENANCE 1 - SOUTH
SCALE: 1/8" = 1'-0"



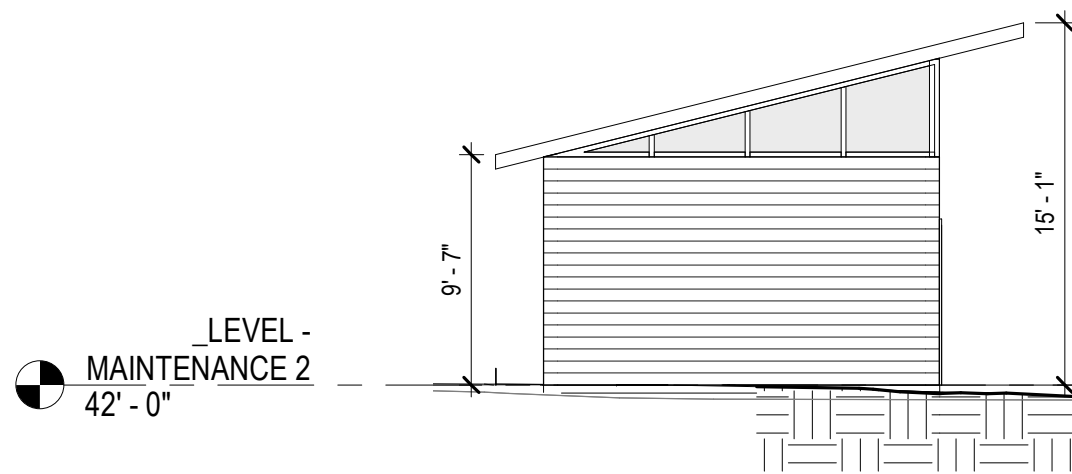
2 MAINTENANCE 1 - EAST
SCALE: 1/8" = 1'-0"



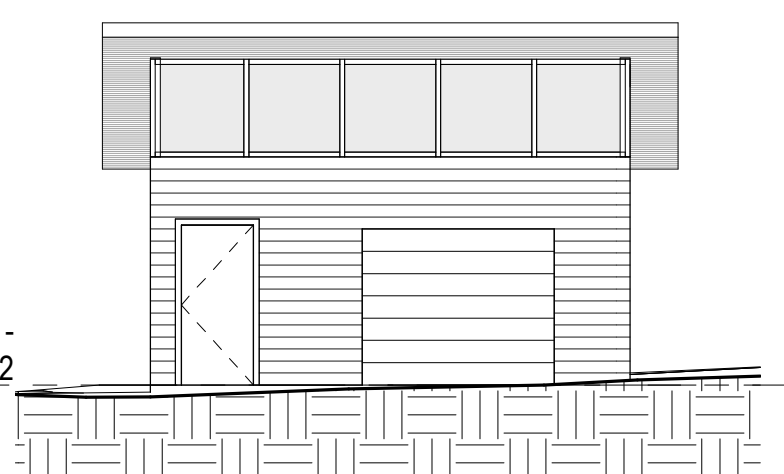
1 MAINTENANCE 1 - NORTH
SCALE: 1/8" = 1'-0"



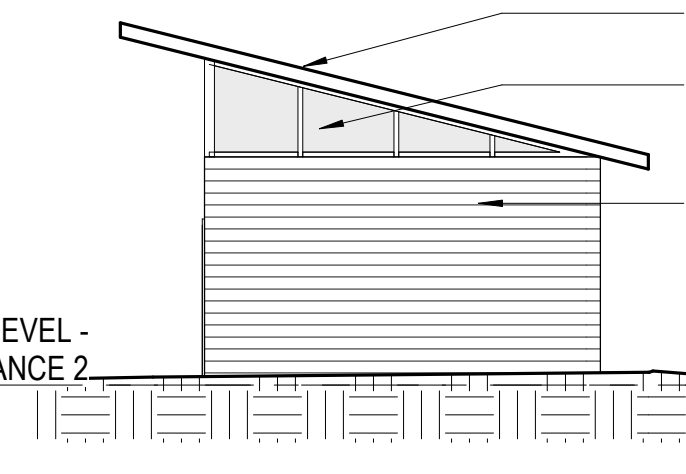
10 LEVEL - MAINTENANCE 2
SCALE: 1/8" = 1'-0"



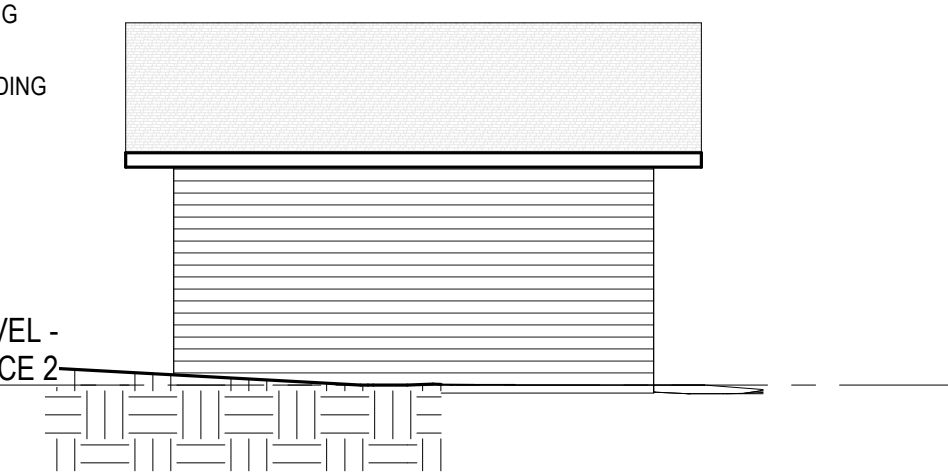
9 MAINTENANCE 2 - WEST
SCALE: 1/8" = 1'-0"



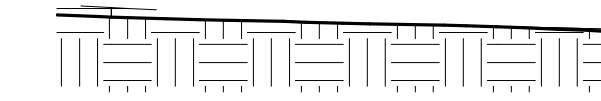
8 MAINTENANCE 2 - SOUTH
SCALE: 1/8" = 1'-0"



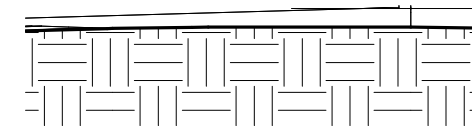
7 MAINTENANCE 2 - EAST
SCALE: 1/8" = 1'-0"



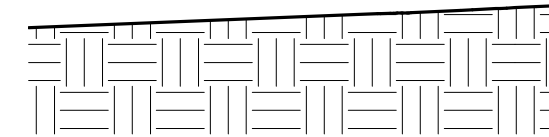
6 MAINTENANCE 2 - NORTH
SCALE: 1/8" = 1'-0"



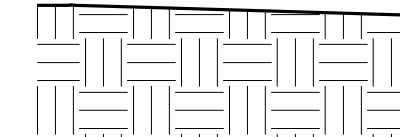
^{.A42}
8 TRASH ENCLOSURE 2 - WEST
SCALE: 1/8" = 1'-0"



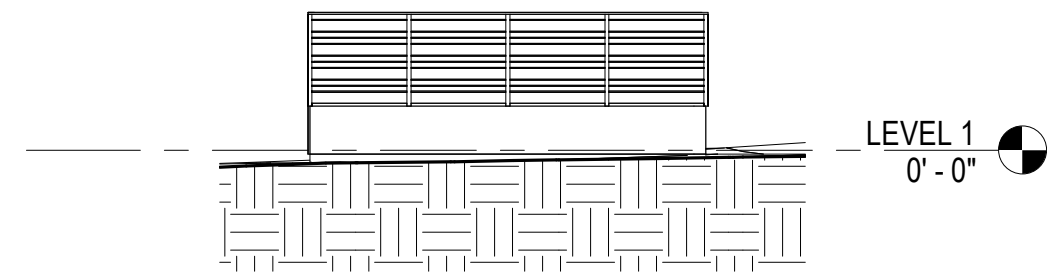
^{.A42}
7 TRASH ENCLOSURE 2 - SOUTH
SCALE: 1/8" = 1'-0"



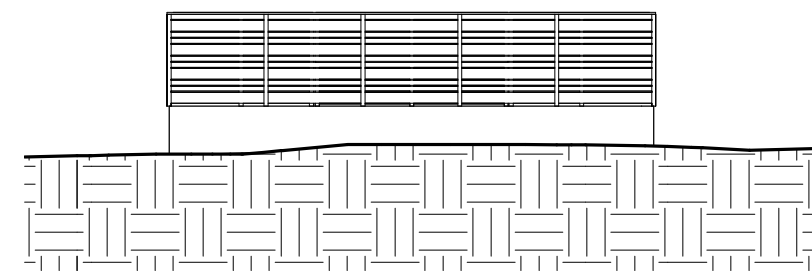
^{.A42}
6 TRASH ENCLOSURE 2 - EAST
SCALE: 1/8" = 1'-0"



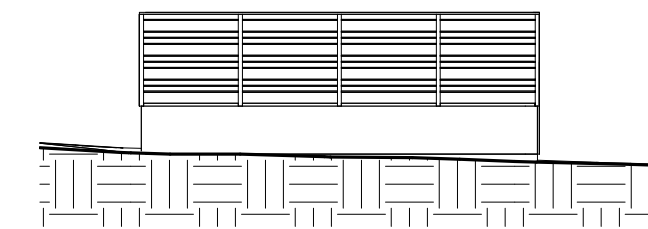
^{.A42}
5 TRASH ENCLOSURE 2 - NORTH
SCALE: 1/8" = 1'-0"



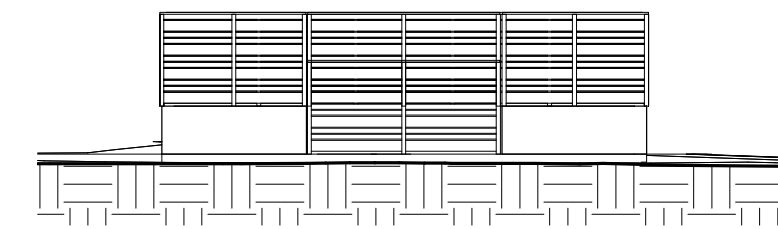
^{.A42}
12 TRASH ENCLOSURE 3 - WEST
SCALE: 1/8" = 1'-0"



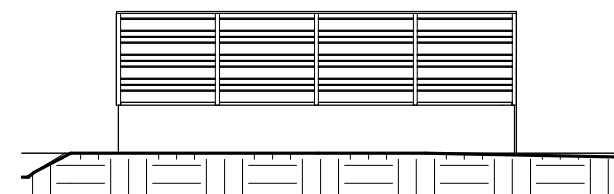
^{.A42}
11 TRASH ENCLOSURE 3 - SOUTH
SCALE: 1/8" = 1'-0"



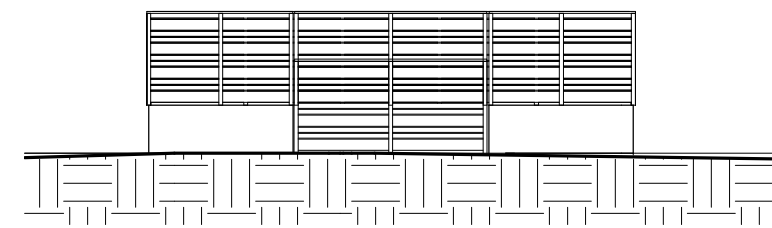
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10 TRASH ENCLOSURE 3 - EAST
SCALE: 1/8" = 1'-0"



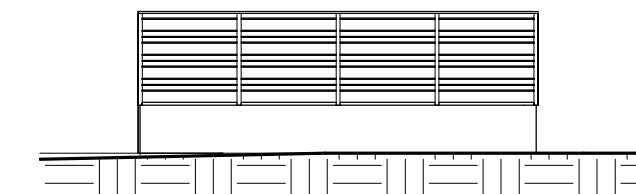
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9 TRASH ENCLOSURE 3 - NORTH
SCALE: 1/8" = 1'-0"



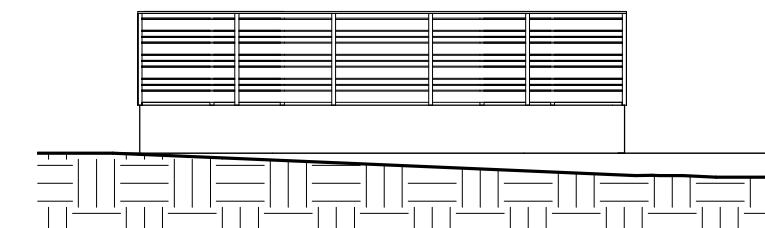
^{.A42}
4 TRASH ENCLOSURE 4 - WEST
SCALE: 1/8" = 1'-0"



^{.A42}
3 TRASH ENCLOSURE 4 - SOUTH
SCALE: 1/8" = 1'-0"



^{.A42}
2 TRASH ENCLOSURE 4 - EAST
SCALE: 1/8" = 1'-0"



^{.A42}
1 TRASH ENCLOSURE 4 - NORTH
SCALE: 1/8" = 1'-0"

SALEM APARTMENTS

891 23RD STREET NE
SALEM, OREGON

DRAWINGS FOR:

GREEN LIGHT DEVELOPMENT
CONTACT: TIM LAWLER
503 . 528 . 6129

LANDSCAPE ARCHITECT:

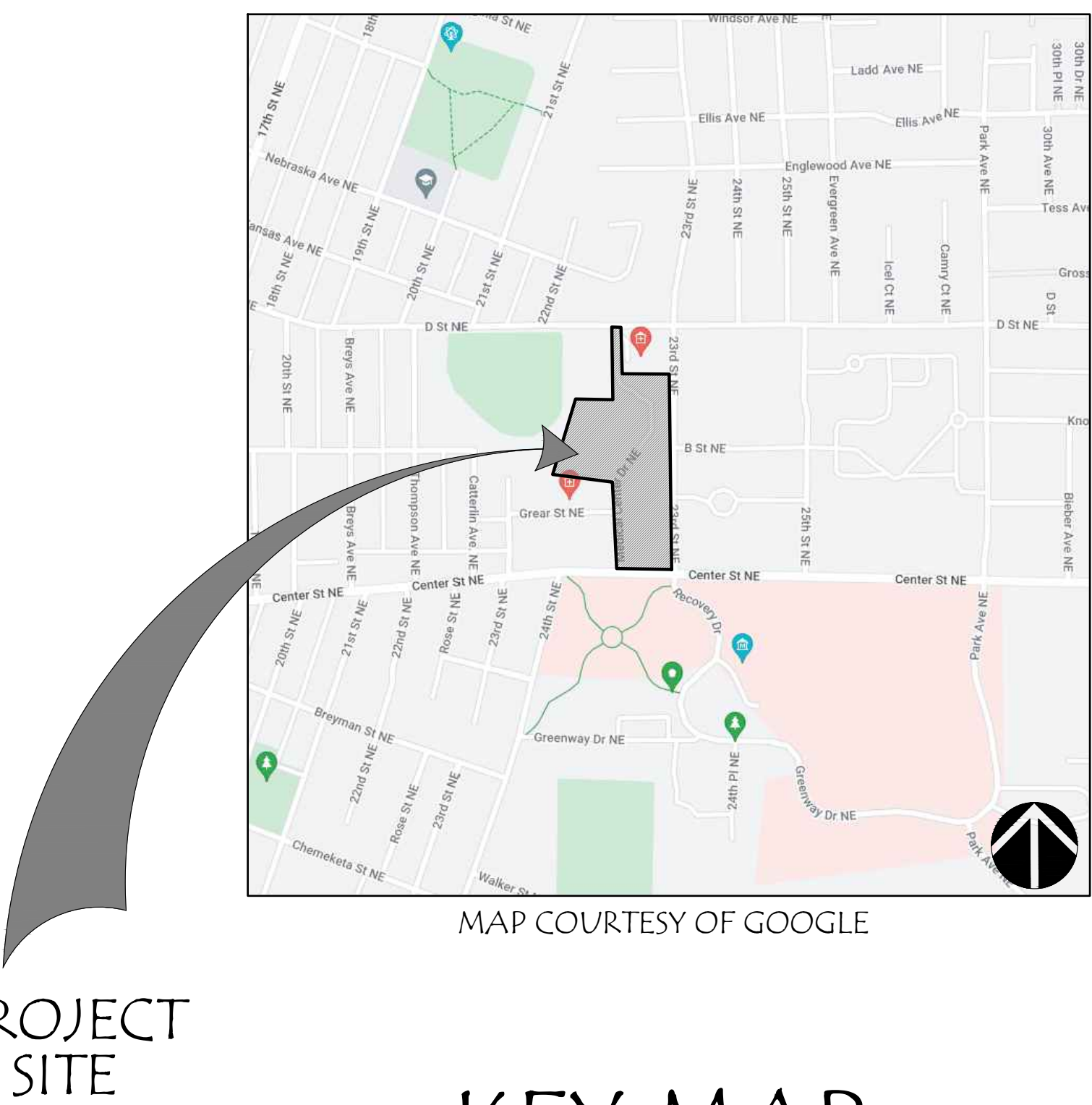
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1012 PINE STREET
SILVERTON, OREGON 97381
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LAURA@LAURUSDESIGNS.COM

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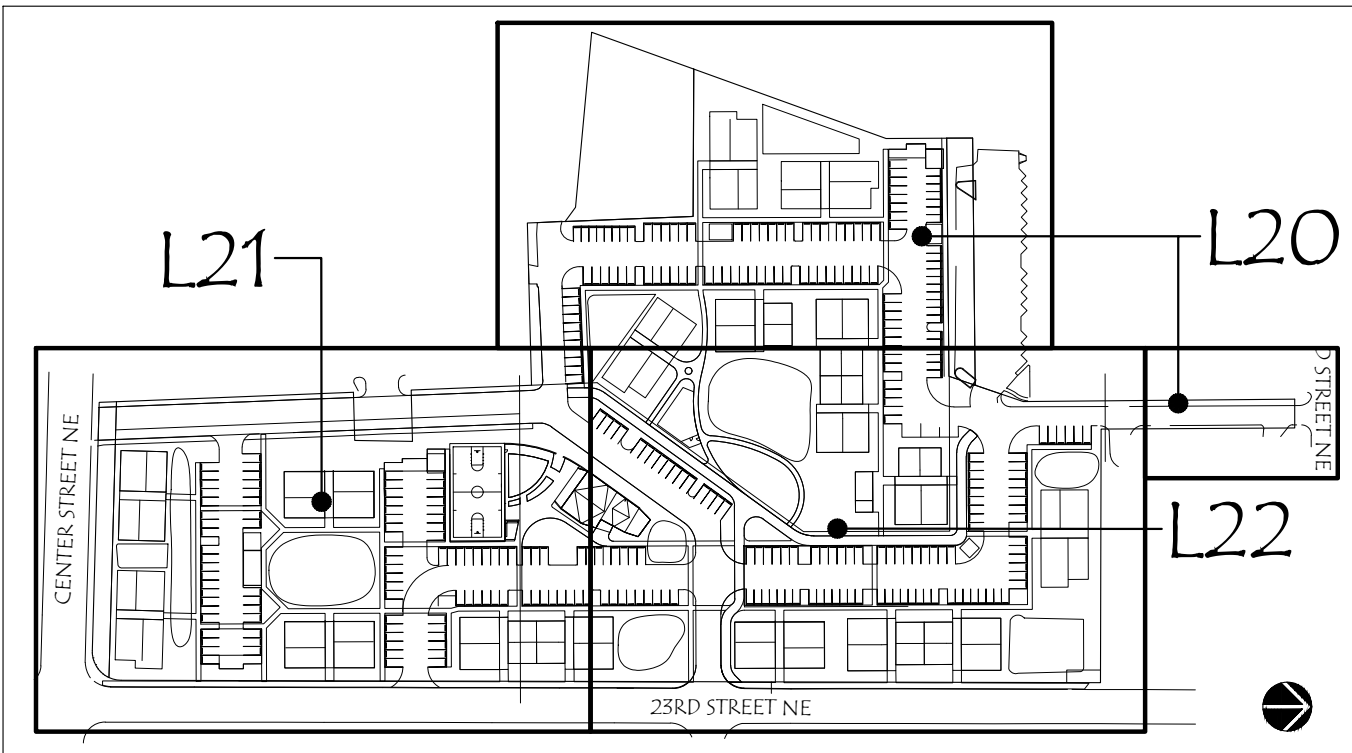
SHEET INDEX:

- L00 COVER SHEET
- L10 TREE PROTECTION AND REMOVAL PLAN
- L11 TREE PROTECTION AND REMOVAL PLAN
- L20 PRELIMINARY PLANTING PLAN
- L21 PRELIMINARY PLANTING PLAN
- L22 PRELIMINARY PLANTING PLAN
- L23 PRELIMINARY PLANT SCHEDULE

VICINITY MAP:



KEY MAP:



Existing Tree Inventory Table

Tree ID #	Botanical Name	Common Name	DBH	Canopy (Feet)	Condition	Significant Tree	Comments
1195	Carpinus spp.	Hornbeam	23	20	G	No	Numerous upright leaders, some branch decay, diameter measured below juncture
1194	Acer platanoides	Norway maple	9	13	F	No	Invasive species, large and expansive surface roots with damage, one-sided crown to E
1195	Acer platanoides	Norway maple	10	13	F	No	Invasive species, surface roots with damage
1196	Acer platanoides	Norway maple	12	18	F	No	Invasive species, large and expansive surface roots with damage
1197	Acer platanoides	Norway maple	13	16	F	No	Invasive species, small dead branches, large and expansive surface roots with damage
1198	Acer platanoides	Norway maple	12	13	F	No	Invasive species, small dead branches, large and expansive surface roots with damage
1199	Magnolia x soulangeana	Saucer magnolia	8	10	P	No	Dead top, decline, surface and circling roots, root decay
1340	Acer platanoides	Norway maple	10	10	F	No	Invasive species, moderate structure, surface roots with damage, small dead branches
1341	Acer platanoides	Norway maple	10	9	F	No	Invasive species, basal decay with hollow, surface roots with damage, small dead and broken branches, poor past pruning
1837	Acer platanoides	Norway maple	12	12	F	No	Invasive species, surface root damage, codominant stems, small dead branches, branch decay
1839	Acer platanoides	Norway maple	15	15	F	No	Invasive species, large and expansive surface roots with damage
1840	Acer platanoides	Norway maple	11	13	F	No	Invasive species, moderate structure, small dead branches, large and expansive surface roots with damage
1841	Acer platanoides	Norway maple	11	13	F	No	Invasive species, small dead branches, large and expansive surface roots with damage
2419	Quercus palustris	Pin oak	24	16	G	No	multiple upright leaders, trunk wounds, some history of small branch failures
2420	Quercus palustris	Pin oak	24	28	G	No	Moderate structure, some history of small branch failures, lower basal and trunk wounds all sides
2421	Cedrus deodara	Deodar cedar	25	26	G	No	Trunk wound S face, codominant crown class with 2422
2422	Cedrus deodara	Deodar cedar	28	22	G	No	Self-connecting lean, trunk wound SE face, codominant crown class with 2421
2423	Pinus ponderosa	Ponderosa pine	25	22	F	No	Western gall rust infection, sequoia pitch moth infestation
2427	Acer platanoides	Norway maple	12	16	F	No	Invasive species, large and expansive surface roots with damage, small dead branches
2428	Acer platanoides	Norway maple	13	14	F	No	Invasive species, large and expansive surface roots with damage, small dead branches
2429	Carpinus spp.	Hornbeam	24	18	G	No	Numerous upright leaders, surface and circling roots, diameter measured below juncture
3173	Acer platanoides	Norway maple	11	13	F	No	Invasive species, small dead branches, surface roots with damage
3253	Acer palmatum	Japanese maple	3x6	10	P	No	Poor structure, history of branch failure, large wounds, sloughing bark
3254	Acer palmatum	Japanese maple	2x6	0	D	No	Poor structure, history of branch failure, trunk decay
3302	Liquidambar styraciflua	Sweetgum	14	12	G	No	
3543	Liquidambar styraciflua	Sweetgum	17	16	G	No	Expansive surface roots with damage
3602	Sequoiadendron giganteum	Giant sequoia	76	28	G	Yes	Surface roots with mower damage, some ivy covering base
3618	Acer platanoides	Norway maple	14	14	F	No	Invasive species, surface roots with damage, dead and broken branches, crown decay
4097	Pinus ponderosa	Ponderosa pine	27	22	F	No	Multiple leaders, heavily infested with sequoia pitch moth
4098	Cedrus atlantica	Blue Atlas cedar	23	22	G	No	
4147	Acer palmatum	Japanese maple	8	10	G	No	Multiple leaders
4156	Betula pendula	European white birch	17	18	F	No	Some branch decay at old branch failures
4320	Thuja plicata	Western redcedar	2x18	18	F	No	Invasive species, moderate structure, codominant leaders, dead and broken branches, sap suckers, suspect bronze birch borer
4644	Prunus spp.	Plum	16	14	P	No	Codominant stems, thin crown
4645	Acer palmatum	Japanese maple	8	12	G	No	Very poor structure, multiple leaders, topped for utility lines and utility pole clearance, crown decay, numerous sprouts
4646	Acer palmatum	Japanese maple	8	12	G	No	
4647	Acer palmatum	Japanese maple	7	12	G	No	
4648	Acer palmatum	Japanese maple	6	12	G	No	
5451	Prunus spp.	Plum	18	16	P	No	
6102	Quercus rubra	Red oak	8	12	G	No	
6103	Quercus rubra	Red oak	8	15	G	No	
6104	Acer platanoides	Norway maple	16	18	F	No	
6105	Quercus rubra	Red oak	10	14	G	No	
6107	Acer rubrum	Red maple	16	20	F	No	
6108	Acer rubrum	Red maple	12	18	F	No	
6111	Acer rubrum	Red maple	18	26	F	No	
6112	Acer rubrum	Red maple	16	26	F	No	
6122	Pinus nigra	Austrian pine	24	20	F	No	
6183	Acer palmatum	Japanese maple	2x4	10	F	No	
6184	Acer palmatum	Japanese maple	3x5	14	F	No	
6185	Acer palmatum	Japanese maple	2x5	13	F	No	
6186	Pinus nigra	Austrian pine	17	18	F	No	
6188	Platanus x acerifolia	London planetree	22	32	G	No	
6189	Acer platanoides	Norway maple	17	21	F	No	
6190	Acer platanoides	Norway maple	22	24	F	No	
6191	Acer platanoides	Norway maple	20	22	G	No	
7005	Liquidambar styraciflua	Sweetgum	8,12	12	F	No	
7006	Prunus avium	Sweet cherry	16,20	25	F	No	
7007	Betula pendula	European white birch	2x18	28	F	No	
7008	Betula pendula	European white birch	28	26	F	No	
7009	Betula pendula	European white birch	20	15	D	No	
7010	Betula pendula	European white birch	22	24	P	No	
7011	Betula pendula	European white birch	19	32	F	No	
7012	Betula pendula	European white birch	18	24	F	No	
7013	Betula pendula	European white birch	16	20	P	No	
7077	Thuja plicata	Western redcedar	3x16	20	F	No	
7078	Thuja plicata	Western redcedar	2x20	20	F	No	
7079	Thuja plicata	Western redcedar	30	20	F	Yes	
7080	Thuja plicata	Western redcedar	10,26	20	F	No	
7081	Thuja plicata	Western redcedar	34	20	F	Yes	
7082	Thuja plicata	Western redcedar	30	20	F	Yes	
7083	Thuja plicata	Western redcedar	20,26	20	F	No	
7084	Thuja plicata	Western redcedar	2x26	20	F	No	
7085	Thuja plicata	Western redcedar	2x22	15	F	No	

DBH is tree diameter measured at 4.5-feet above the ground level in inches, except as otherwise noted; multiple trunks splitting below DBH are measured separately and

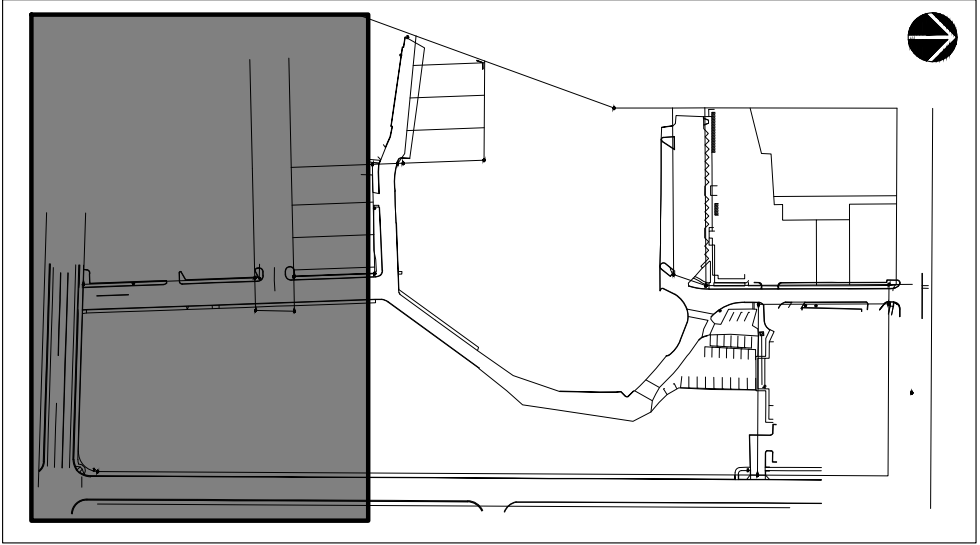
Cond is an arborist assigned rating to generally describe the condition of individual trees as follows:-

Dead, Poor Condition, Fair Condition, or Good Condition.

Tree Count Totals

TOTAL TREES ON PROPERTY/ROW: 74 TREES			
Tree Totals	Remain	Remove	
ROW Trees: 4	4	0	
Non Significant Trees: 66	9	57	
Significant Non-Oregon Oak (30" DBH or Greater): 4	1	3	
Significant Oregon Oak (20" DBH or Greater): 0	0	0	
Totals:	14	60	

Key Map:

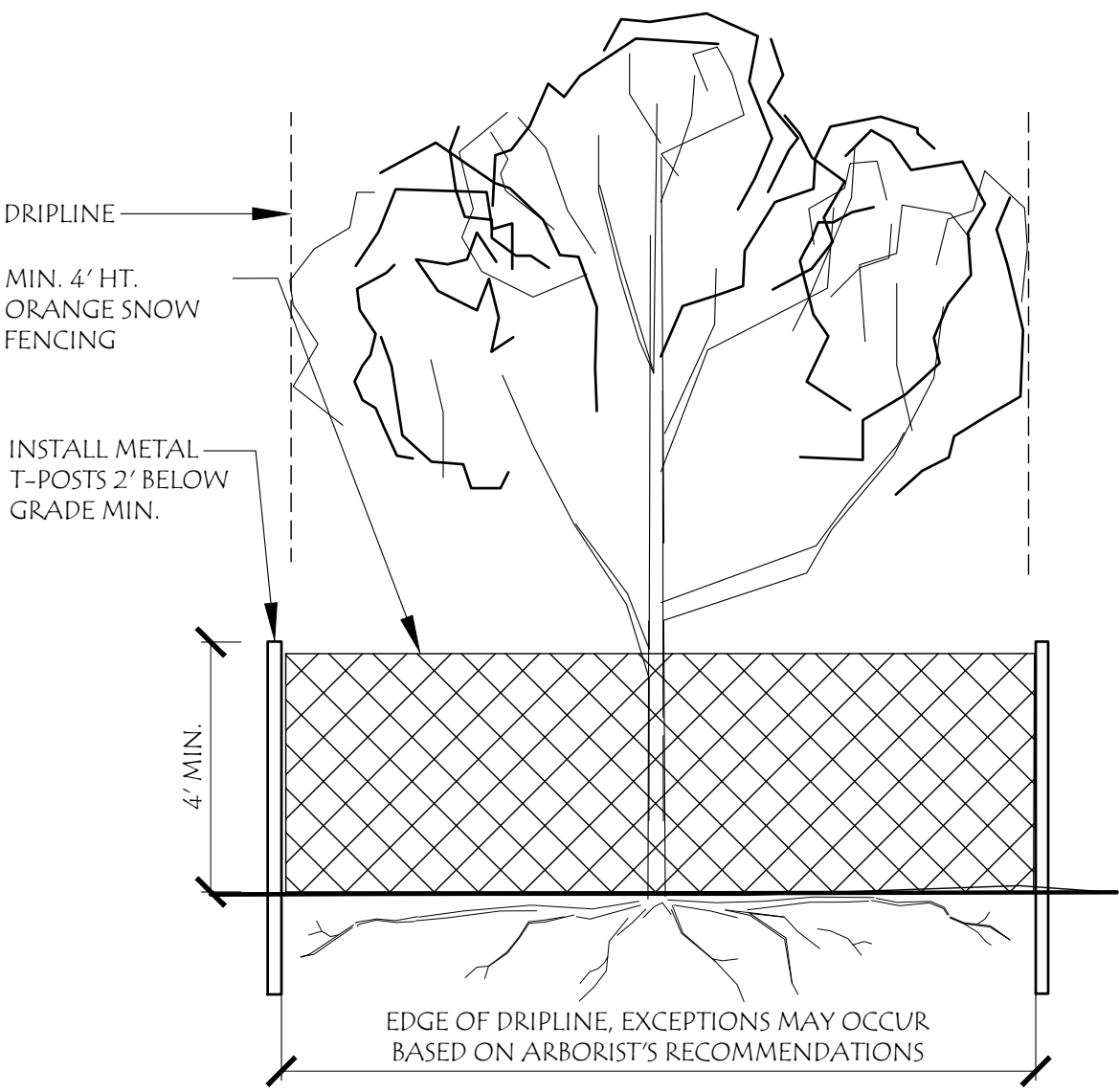
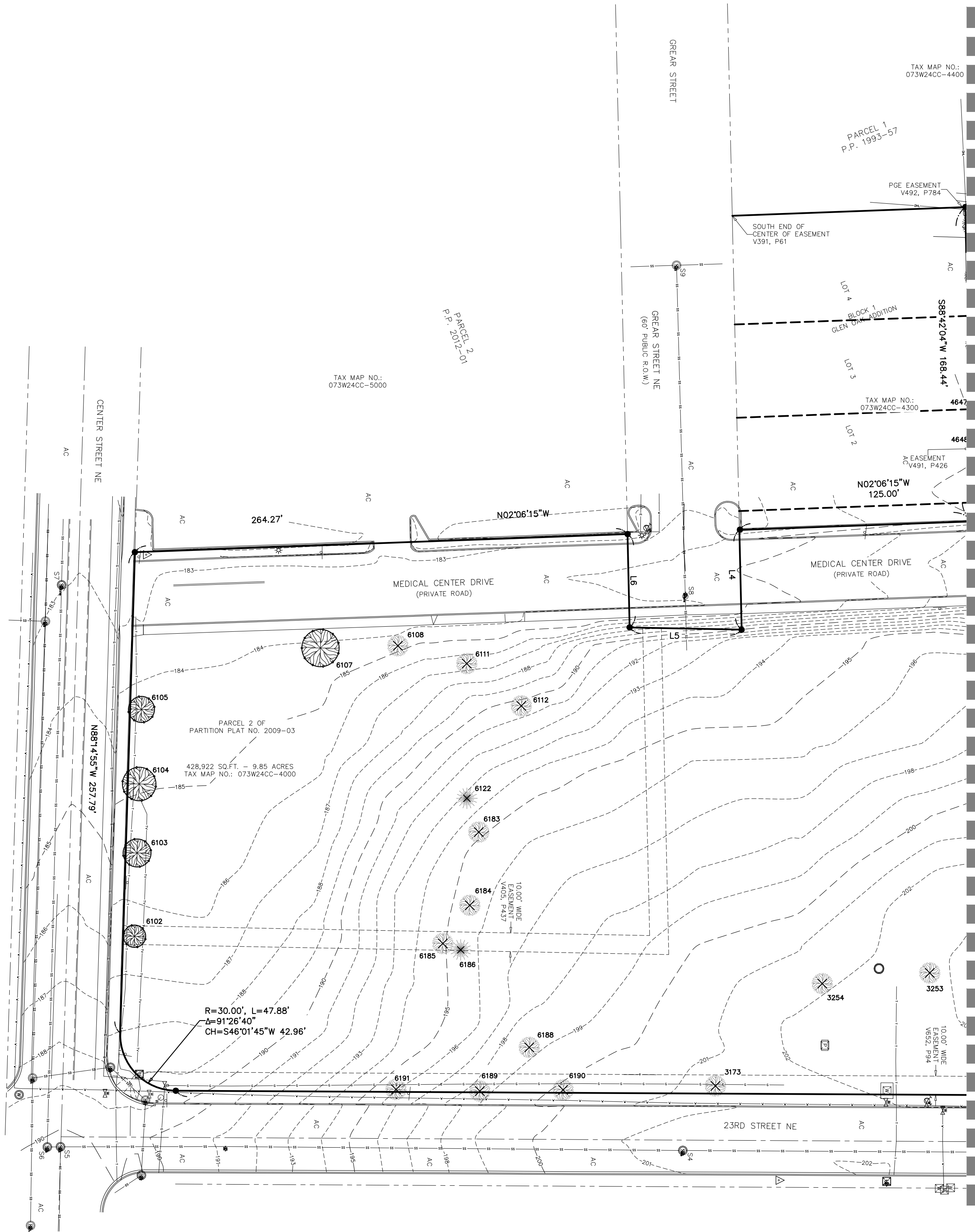


Legend:

- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING CONIFER TREE TO BE REMOVED
- EXISTING DECIDUOUS TREE TO REMAIN, SEE TREE PROTECTION DETAILS THIS SHEET
- EXISTING CONIFER TREE TO REMAIN, SEE TREE PROTECTION DETAILS THIS SHEET
- ### TREE IDENTIFICATION NUMBER, SEE INVENTORY TABLE
- TREE PROTECTION FENCING, SEE DETAIL THIS SHEET
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR

General Notes:

- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
- SURVEY BY ASC SURVEYING LLC.
- ARBORIST TREE INVENTORY AND ASSESSMENT BY MORGAN HOLEN AND ASSOCIATES.
- EXISTING TREE INVENTORY TABLE SEE THIS SHEET.
- TREE PROTECTION DETAIL SEE THIS SHEET.
- USE 4' MINIMUM HEIGHT CHAIN LINK FENCE AROUND DRIPLINE/CRITICAL ROOT ZONE (CRZ). SEE TREE PROTECTION DETAIL THIS SHEET.
- DO NOT STOCKPILE MATERIALS INCLUDING SOILS, GRAVEL, ROCKS OR ANY EQUIPMENT WITHIN TREE CRITICAL ROOT ZONE.
- DO NOT TRENCH OR EXCAVATE THE SOIL WITHIN CRZ. TUNNEL OR BORE AT LEAST 18 INCHES BENEATH CRZS TO INSTALL UTILITY LINES. WHERE TREE ROOTS MUST BE CUT, MAKE ONLY SHARP, CLEAN CUTS TO PROMOTE ROOT CALLUSING AND REGENERATION.
- PER CITY OF SALEM 808.046 A MAXIMUM OF 30 PERCENT OF THE CRZ MAY BE DISTURBED UPON AN ARBORISTS DOCUMENTATION THE TREES HEALTH WILL NOT BE COMPROMISED IN THE LONG TERM.



1 TREE PROTECTION DETAIL
SCALE: NTS



REGISTERED
643
PRELIMINARY
LAURA A. ANTONSON
OREGON
11/16/2007
LANDSCAPE ARCHITECT

CLIENT :
HOME FIRST DEVELOPMENT/
GREEN LIGHT DEVELOPMENT

ISSUE DATES:

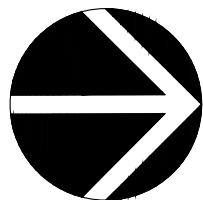
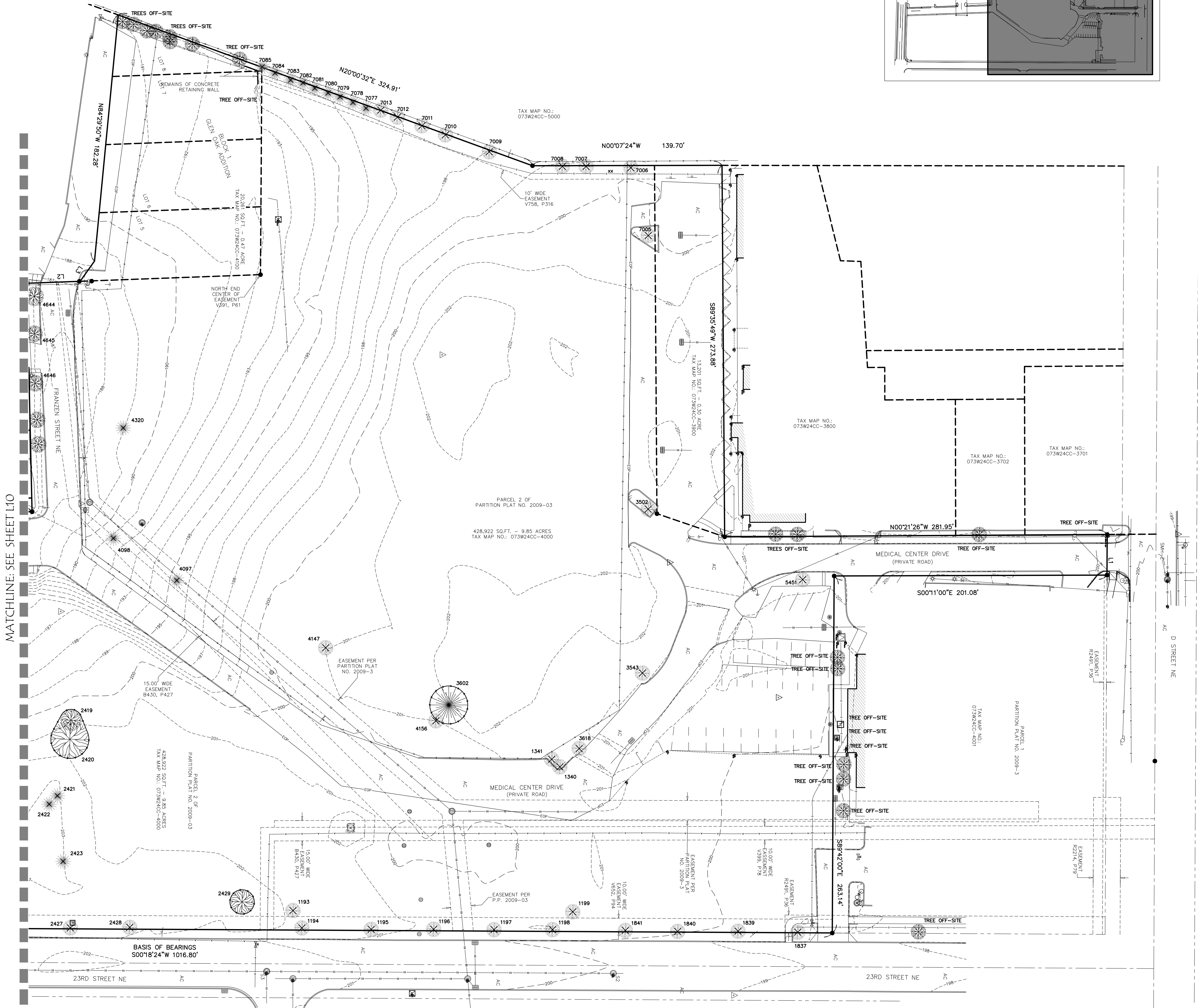
JOB # : 1580R/1583R
STATUS : LUR
PRINTED : 11/15/2023

TREE PROTECTION
AND REMOVAL PLAN

L10
ORIGINAL SHEET SIZE : 22"x34"

Laurus Designs, LLC
ARCHITECTURE & DESIGN, LLC
4103 NE TILLAMOOK STREET | PORTLAND OR 97212
503.784.4494

SALEM APARTMENTS
891 23RD ST. NE SALEM, OR



SCALE: 1" = 40'-0"

0' 20' 40' 80'

SCALE

REGISTERED
PRELIMINARY
LAURA A. ANTONSON
OREGON
11/16/2007
LANDSCAPE ARCHITECT

TREE PROTECTION
AND REMOVAL PLAN

L11
ORIGINAL SHEET SIZE: 22"x34"

CLIENT:
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

JOB #: 1580R/1583R
STATUS: LUR
PRINTED:
11/15/2023

SALEM APARTMENTS

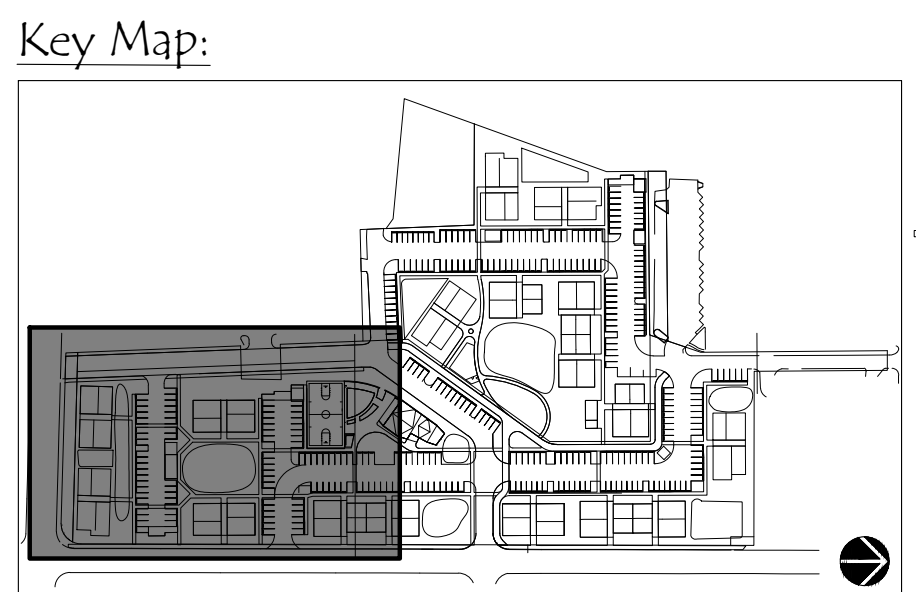
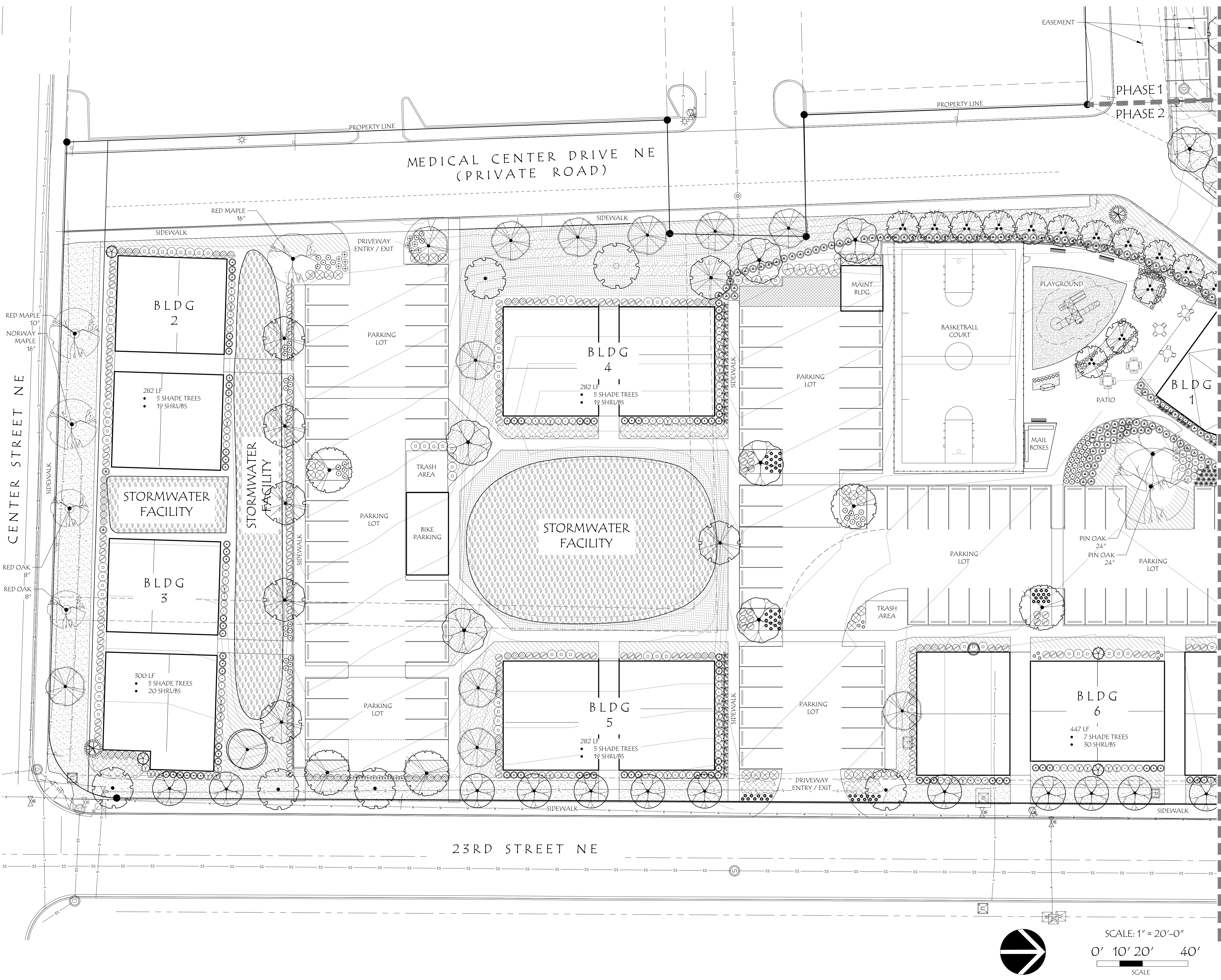
891 23RD ST. NE SALEM, OR

Laurus Designs, LLC



polyphon
ARCHITECTURE & DESIGN, LLC
4103 NE TILLAMOOK STREET | PORTLAND, OR 97212

polyphon.com
1012 Pine Street
Silverton, Oregon
503.784.4494



- Legend:**
- EXISTING TREES TO REMAIN, SEE TREE PROTECTION PLAN SHEET L10
 - STORMWATER FACILITIES
 - LANDSCAPE BOULDERS

- General Notes:**
- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
 - SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN, AREA CALCULATIONS AND COMMON AREAS.
 - SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER INFORMATION.
 - PLANTS TO BE SIZED ACCORDING TO CITY OF SALEM REQUIREMENTS FOR GENERAL PLANTING PLAN AND STORMWATER FACILITIES.
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 - STREET TREES SELECTED FROM CITY OF SALEM APPROVED STREET TREE LIST.
 - PRELIMINARY PLANT SCHEDULE SEE SHEET L23.
 - LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

SALEM APARTMENTS

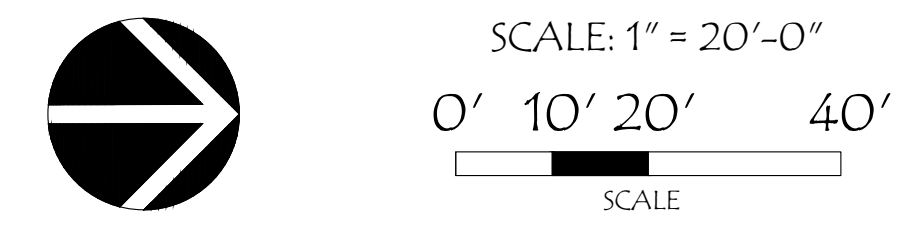
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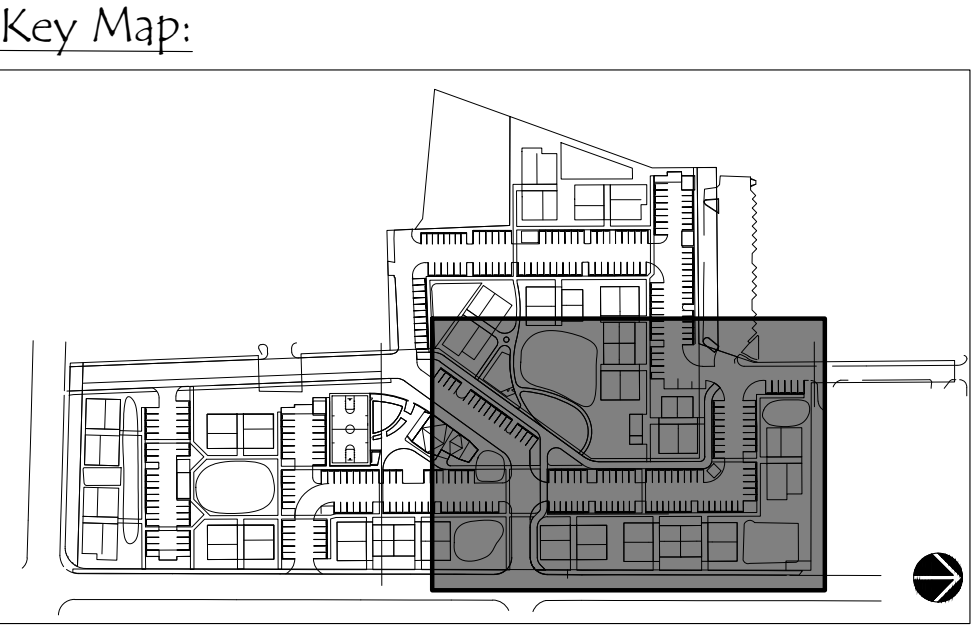
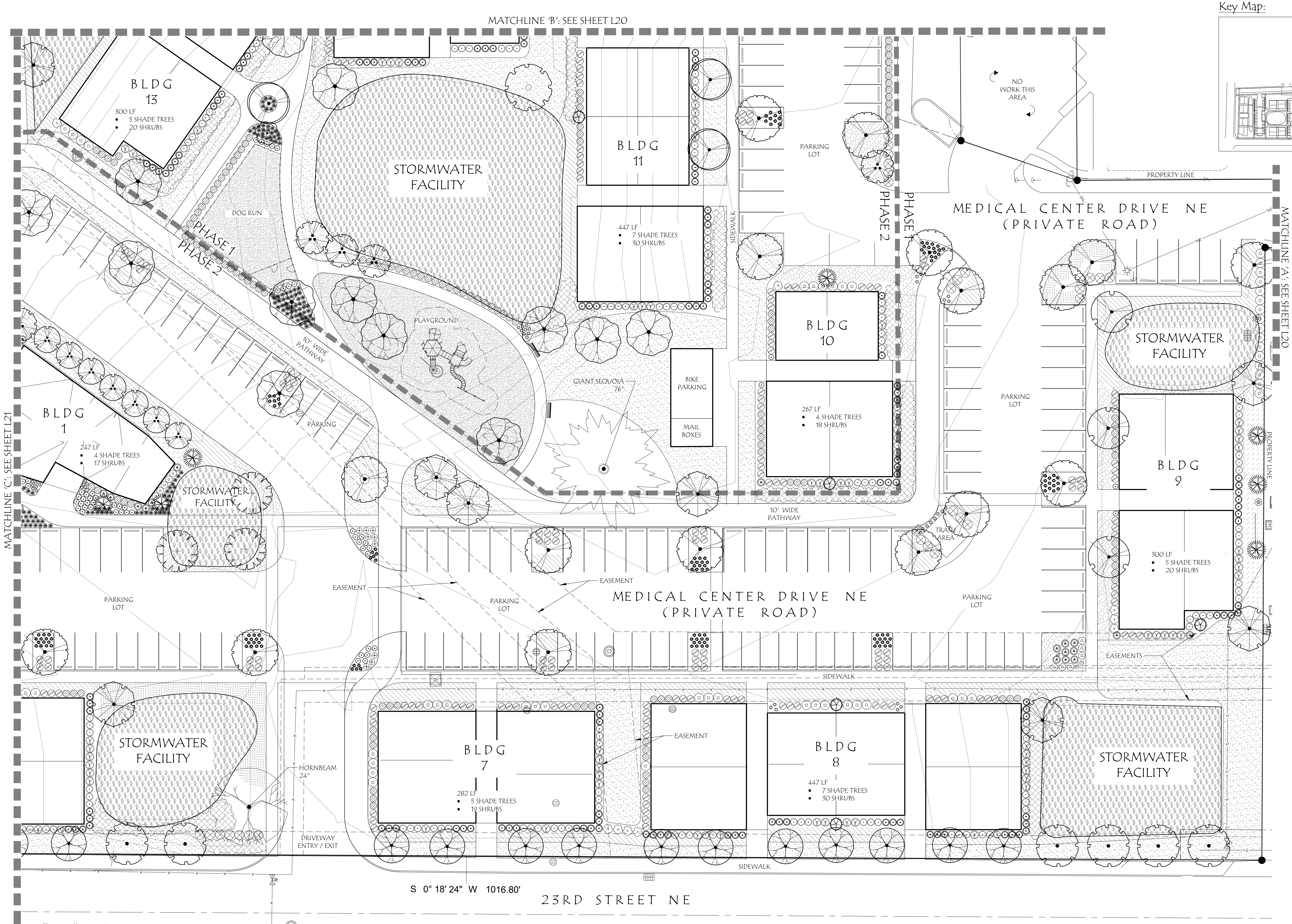
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ISSUE DATES:

JOB #: 1580R/1583R
STATUS : LUR
PRINTED : 11/15/2023

PRELIMINARY
PLANTING PLAN
L21
ORIGINAL SHEET SIZE : 22"x34"





- Legend:
- EXISTING TREES TO REMAIN, SEE TREE PROTECTION PLAN SHEET L10
 - STORMWATER FACILITIES
 - LANDSCAPE BOULDERS

- General Notes:
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 - LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

SALEM APARTMENTS

891 23RD ST. NE SALEM, OR

CLIENT:
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

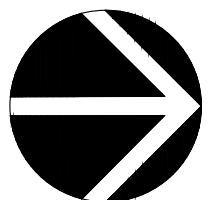
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JOB #: 1580R/1583R
STATUS: LUR
PRINTED:
11/15/2023

PRELIMINARY
PLANTING PLAN

L22
ORIGINAL SHEET SIZE: 22"x34"

REGISTERED
643
PRELIMINARY
LAURA A. ANTONSON
OREGON
11/16/2007
LANDSCAPE ARCHITECT



SCALE: 1" = 20'-0"
0' 10' 20' 40'
SCALE

TOTAL TREES ON PROPERTY/ROW: 74 TREES		
Tree Totals	Remain	Remove
ROW Trees: 4	4	0
Non Significant Trees: 66	9	57
Significant Non-Oregon Oak (30" DBH or Greater): 4	1	3
Significant Oregon Oak (20" DBH or Greater): 0	0	0

Stormwater Planter Planting Requirements

FACILITY NUMBER	FACILITY SF	TREATMENT SF	TREES	SMALL TREES/ LARGE SHRUBS	SMALL SHRUBS	GROUND COVERS
TBD	TBD	TBD	TBD	TBD	TBD	TBD

FACILITY NUMBER	FACILITY SF	TREATMENT SF	TREES	SMALL TREES/ LARGE SHRUBS	SMALL SHRUBS	GROUND COVERS
TBD	TBD	TBD	TBD	TBD	TBD	TBD

Requirements per 100 SF
 1 Tree -OR-
 4 Large Shrubs -OR-
 6 Small Shrubs
 Grasses, Herbs and Ground Cover for complete coverage
 2" Pea Gravel Zone 1

PHASE 1 AND 2 SITE AREA SQUARE FOOTAGE (SF): 424,127 SF
 (AFTER ROW DEDICATION ALONG CENTER STREET)
 1 TREE PER 2000 SF GROSS AREA = 212 TREES
 PROPOSED = 212 + 64 REPLACEMENT (INCLUDES STORMWATER FACILITY AND 14 EXISTING TREE)

OPEN SPACE REQUIRED: 30% MINIMUM (127,238 SF)
 OPEN SPACE PROVIDED: 31% (132,049 SF) INCLUDING LAWN AREAS, PLAYGROUND, SPORTS COURT, DOG RUN, STORMWATER (15,885 SF IMPROVED OPEN SPACE = 31,770 SF OPEN SPACE)

BUILDING PERIMETER: 1 TREE (10 UNITS) PER 60 LF OF BUILDING WALL (WITHIN 25' OF BUILDING)
 1 SHRUB (1 PLANT UNIT) PER 15 LF
 2 PLANT UNITS AT ENTRY WAYS

PARKING: 1 CANOPY TREE PER 50 FEET OF PARKING PERIMETER (WITHIN 10' OF PARKING PERIMETER)

EXISTING TREES TO REMAIN:
SEE TREE PROTECTION PLAN
SHEET L10

STORMWATER FACILITIES

LANDSCAPE BOULDERS

PHASE 1 AND 2 SITE AREA SQUARE FOOTAGE (SF): 424,127 SF
(AFTER ROW DEDICATION ALONG CENTER STREET)
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8. PRELIMINARY PLANT SCHEDULE SEE SHEET L23.
9. LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

Laurus Designs, LLC



1012 Pine Street
Silverton, Oregon
503.784.6494

SALEM APARTMENTS

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

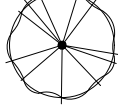
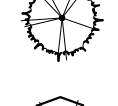
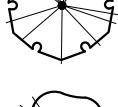
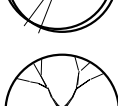
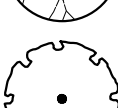
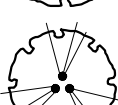
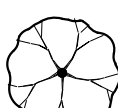
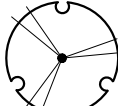
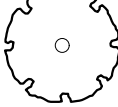
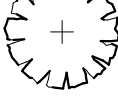
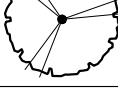
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11/15/2023

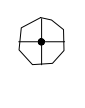
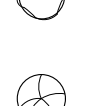
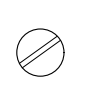
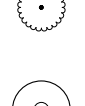
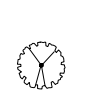
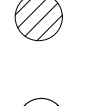
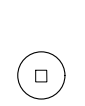
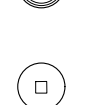
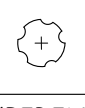
PRELIMINARY PLANTING PLAN

L20

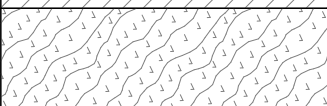
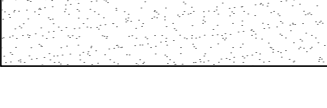
ORIGINAL SHEET SIZE : 22"x34"

Preliminary Plant Schedule

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	7	Acer circinatum / Vine Maple	1" Cal., B&B
	10	Acer rubrum 'October Glory' / October Glory Red Maple	1 1/2" Cal., B&B
	11	Chamaecyparis nootkatensis 'Glauca Pendula' / Weeping Nootka False Cypress	6'-8" Ht., B&B
	13	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	6'-8" Ht., B&B
	19	Cladrastis lutea / American Yellowwood	1 1/2" Cal., B&B
	1	Cornus kousa / Kousa Dogwood	1" Cal., B&B
	4	Cornus nuttallii x florida 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	1 1/2" Cal., B&B
	24	Fagus sylvatica 'Dawyck Purple' / Dawyck Purple European Beech	1 1/2" Cal., B&B
	11	Ginkgo biloba 'Golden Colonnade' / Golden Colonnade Maidenhair Tree	1 1/2" Cal., B&B
	18	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	1" Cal., B&B, Multi-Trunk
	24	Nyssa sylvatica 'Wildfire' / Black Gum	1 1/2" Cal., B&B
	13	Parrotia persica / Persian Parrotia	1 1/2" Cal., B&B
	3	Quercus garryana / Oregon White Oak	1 1/2" Cal., B&B
	3	Rhamnus purshiana / Cascara	1 1/2" Cal., B&B
	32	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	1 1/2" Cal., B&B

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	44	Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanes Barberry	2 Gal.
	139	Cornus sericea 'Kelseyi' / Kelseyi Dogwood	2 Gal.
	63	Euonymus alatus 'Compactus' / Compact Burning Bush	5 Gal.
	420	Ilex crenata 'Soft Touch' / Soft Touch Japanese Holly	2 Gal.
	242	Leucothoe fontanesiana 'Zebbia' / Scarletta Drooping Leucothoe	2 Gal.
	32	Ligustrum japonicum 'Texanum' / Texas Japanese Privet	5 Gal.
	106	Lonicera pileata / Privet Honeysuckle	2 Gal.
	272	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	2 Gal.
	66	Raphiolepis indica 'Ballerina' / Ballerina Indian Hawthorn	2 Gal.
	139	Raphiolepis umbellata 'Snow White' / Yedda Hawthorn	2 Gal.
	20	Rosa x 'KO Double' / Pink Double Knockout Rose	2 Gal.
	253	Sarcococca confusa / Fragrant Sarcococca	2 Gal.
	18	Symphoricarpos albus / Common Snowberry	2 Gal.
	18	Weigela florida 'Alexandra' TM / Wine and Rose Weigela	5 Gal.

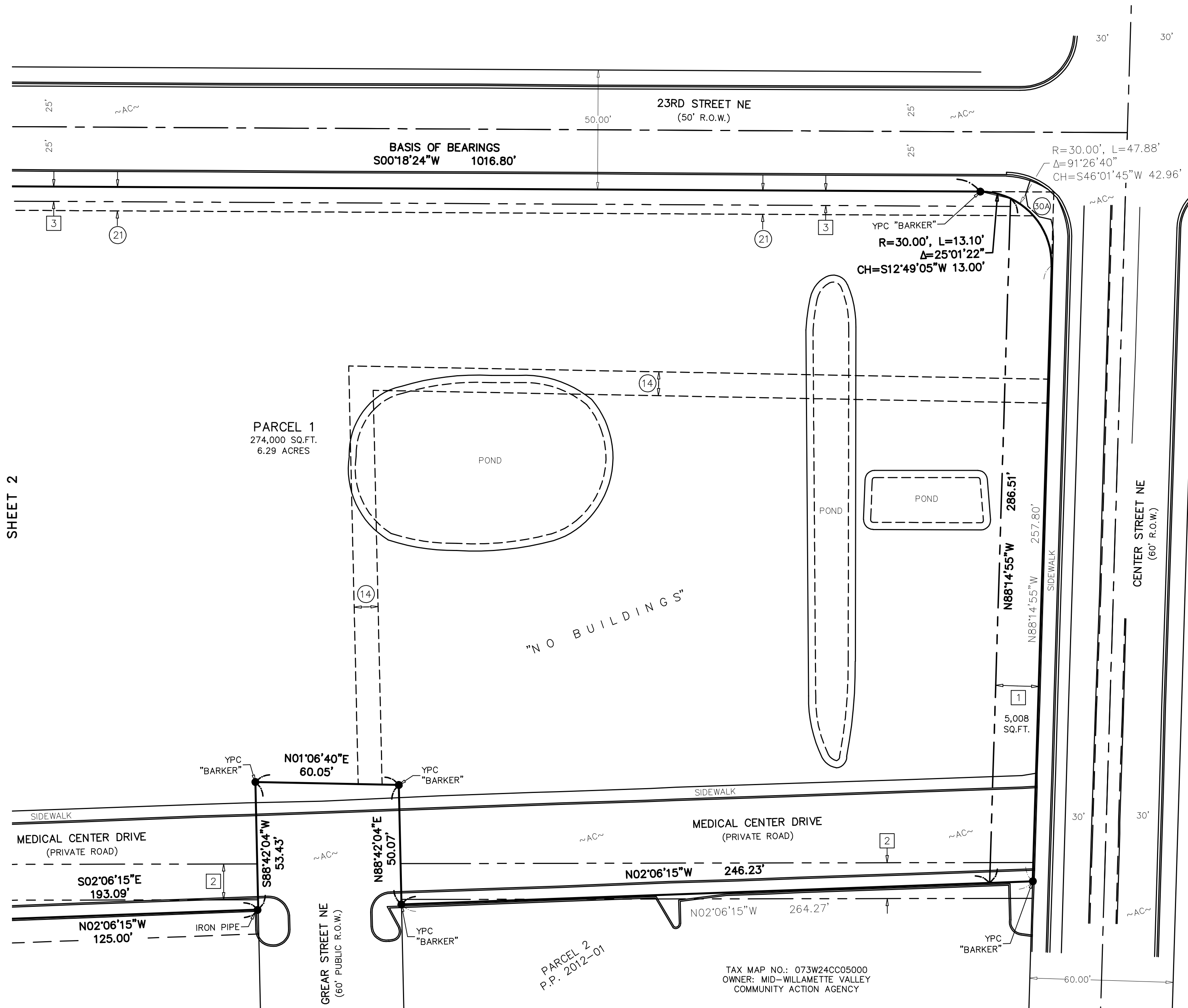
GRASSES/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	108	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 Gal.
	158	Deschampsia cespitosa / Tufted Hair Grass	1 Gal.
	142	Miscanthus sinensis 'Yakushima' / Dwarf Maiden Grass	1 Gal.
	300	Pennisetum alopecuroides 'Burgundy Bunny' / Burgundy Bunny Dwarf Fountain Grass	1 Gal.
	37	Polystichum munitum / Western Sword Fern	1 Gal.

SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE AND NOTES	SPACING
	321	Prunus laurocerasus 'Mount Vernon' / Mount Vernon English Laurel	1 Gal.	48" o.c.
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	2,152	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	1 Gal.	30" o.c.
	400	Ceanothus gloriosus / Point Reyes Ceanothus	1 Gal.	48" o.c.
	2,471	Pachysandra terminalis 'Green Carpet' / Green Carpet Japanese Pachysandra	4" Pot	12" o.c.
	584	Rubus pentalobus 'Emerald Carpet' / Emerald Carpet Creeping Raspberry	1 Gal.	48" o.c.
	30,997 sf	ProTime 301 Water Smarter Fescue	Seed or Sod	

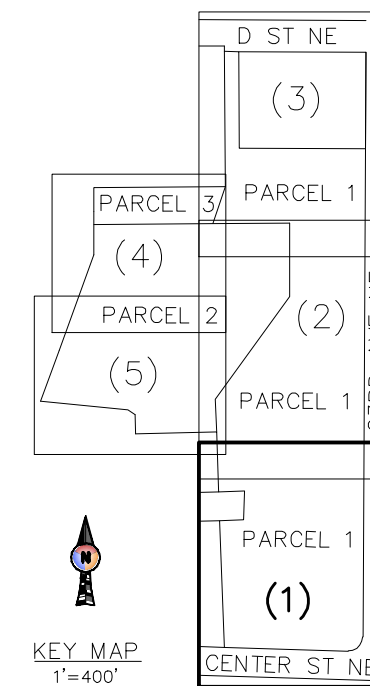
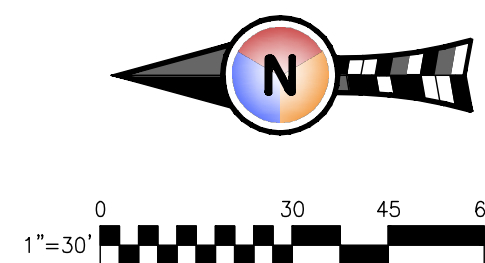
General Notes:

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2. PLANTING PLAN SEE SHEETS L20 TO L22.
3. LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

SHEET 2

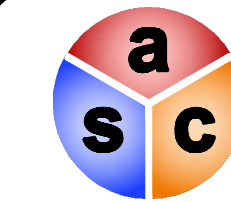


* SEE SHEET 4 FOR LEGEND AND NOTES
* SEE SHEET 5 FOR EASEMENT NOTES



FOR REVIEW ONLY

REGISTERED
PROFESSIONAL
LAND SURVEYOR
R.D. O'K.
OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569
RENEW: 6/30/25



ASC SURVEYING LLC
8427 SW DAKOTA DRIVE
TUALATIN, OR 97062
971-224-5471

PARTITION TENTATIVE PLAN

SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

PROJECT NO.

23031

DATE

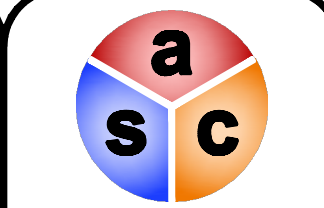
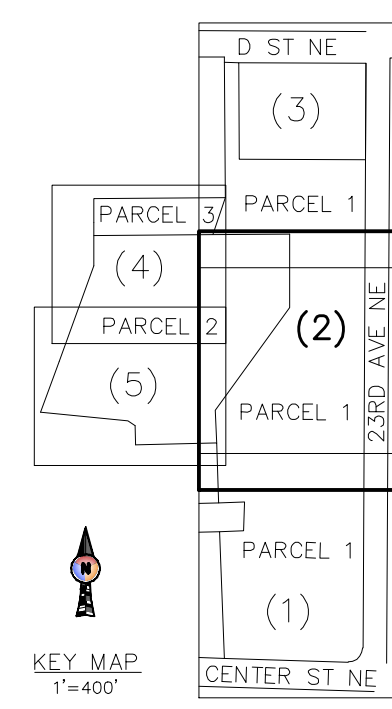
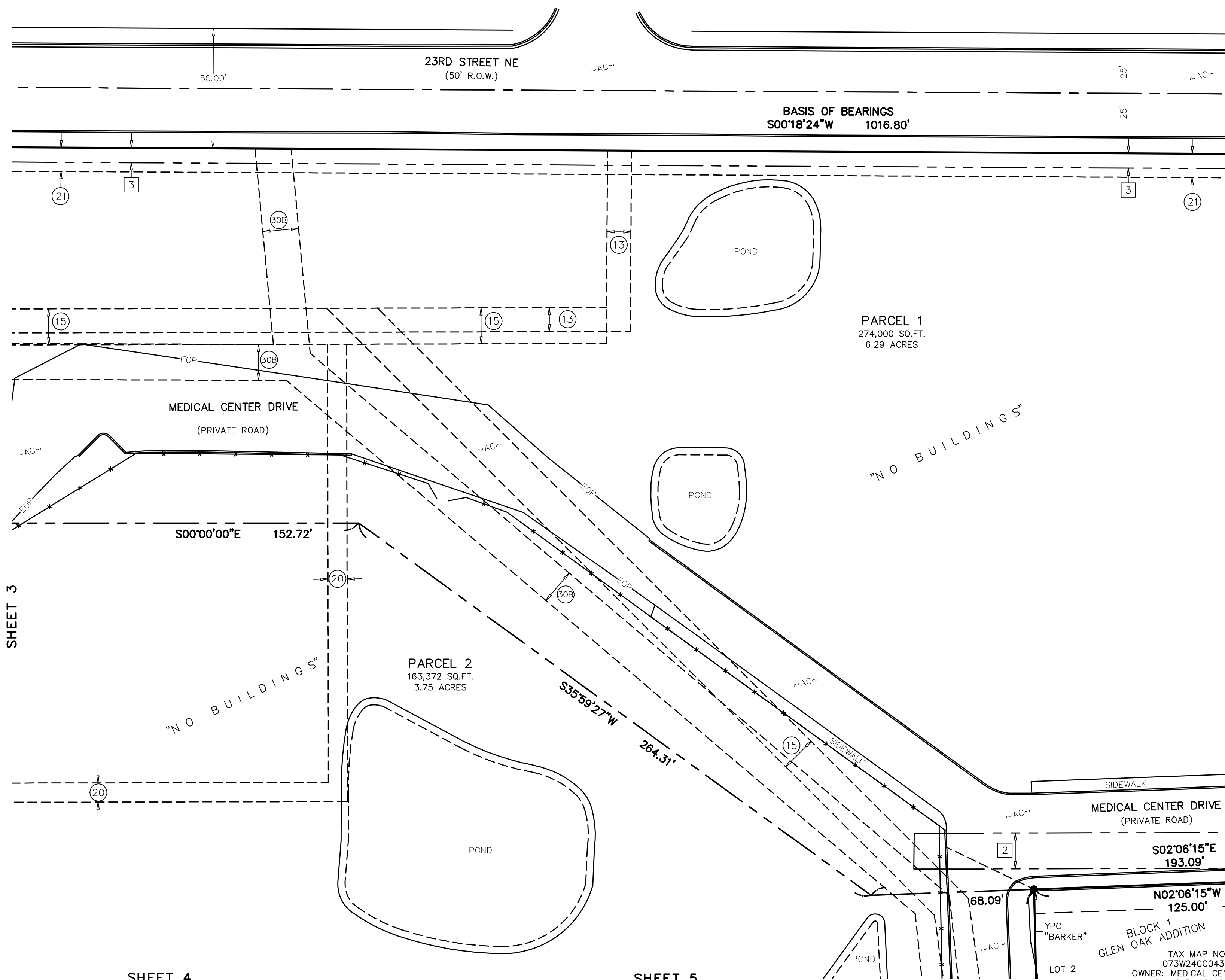
NOVEMBER 15, 2023

DRAWN BY

RK

SHEET

1 OF 5



ASC SURVEYING LLC
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PARTITION TENTATIVE PLAN

SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
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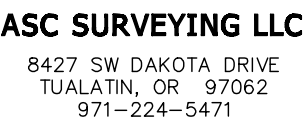
PROJECT NO.
23031
DATE
NOVEMBER 15, 2023
DRAWN BY
RK
SHEET
2 OF 5

FOR REVIEW ONLY

REGISTERED
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 LAND SURVEYOR
R. H. H. K.
 OREGON
 JULY 13, 2021
 RICHARD H. KENNEDY
 96569
 RENEWS: 6/30/25

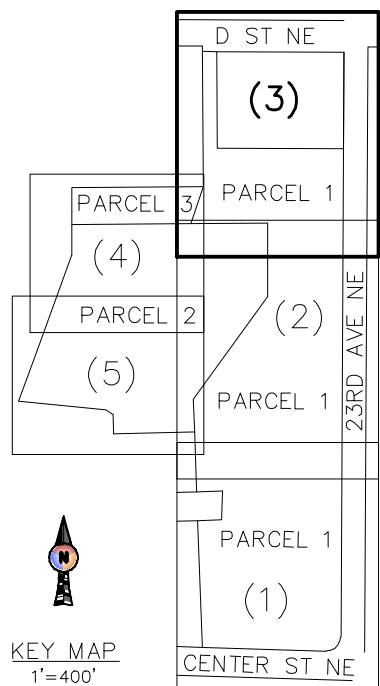


* SEE SHEET 4 FOR LEGEND AND NOTES
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PARTITION TENTATIVE PLAN

3 OF 5



RENEWALS: 6/30/25



* SEE SHEET 4 FOR LEGEND AND NOTES
* SEE SHEET 5 FOR EASEMENT NOTES

RENEWS: 6/30/25

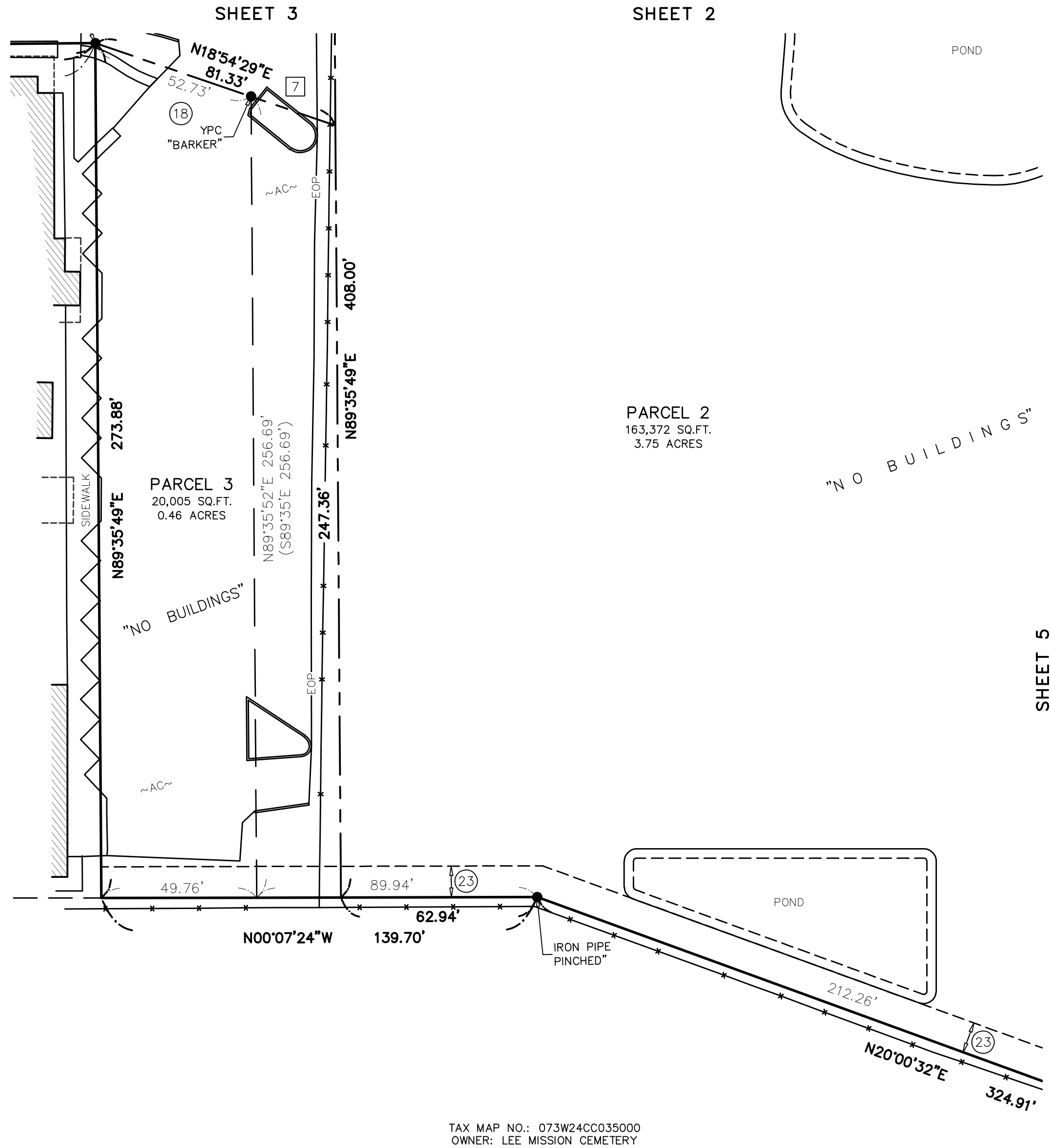
SURVEY NOTES:

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE EAST LINE OF PARCEL 2, PARTITION PLAT NO. 2009-03, MARION COUNTY PLAT RECORDS. THE BEARING OF SAID EAST LINE BEING SOUTH 00°18'24" WEST.
2. THE PROPERTY IS DESIGNATED BY MARION COUNTY, OREGON AS TAX MAP NO. 073W24CC-4000, 073W24CC-3900, AND 073W24CC-4100.
3. THE TOTAL AREA OF THE PROPERTY IS 462,385 SQUARE FEET OR 10.61 ACRES, MORE OR LESS.
4. BOUNDARY LINES SHOWN HEREON IS BASED ON MONUMENTS FOUND OR SET IN PARTITION PLAT NO. 2009-03, MARION COUNTY PLAT RECORDS. NO MONUMENTS WERE OR ARE TO BE SET PER THIS MAP.
5. CURRENTLY THERE ARE ZERO (0) BUILDINGS ON THE PROPERTY.
6. PROPOSED EASEMENT, PROPERTY LINES AND DETENTION PONDS ARE BASED ON DRAWINGS PROVIDED BY HUMBER DESIGN GROUP, LLC.

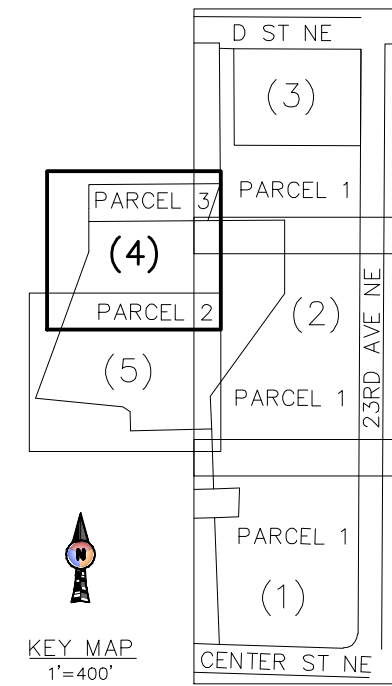
LEGEND:

- FOUND MONUMENT
- ~AC~ PAVED SURFACE
- SQ.FT. SQUARE FEET
- YPC YELLOW PLASTIC CAP
- R.O.W. RIGHT-OF-WAY
- (21) EXISTING EASEMENTS NOTE
- [3] PROPOSED EASEMENT NOTE
- PROPERTY LINE
- - - ORIGINAL PROPERTY LINES
- == CURB LINE
- EOP— EDGE OF PAVING
- * - * - FENCE LINE
- - - - - EXISTING EASEMENT LINE
- - - - - CENTERLINE

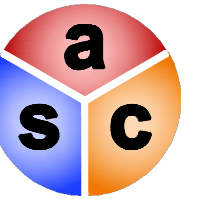
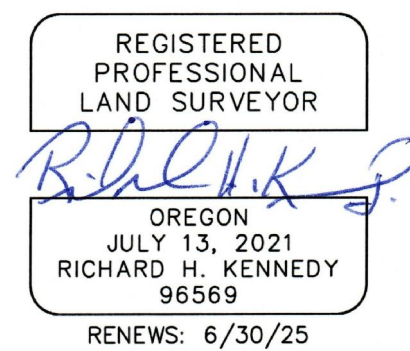
* SEE SHEET 5 FOR EASEMENT NOTES



TAX MAP NO.: 073W24CC035000
OWNER: LEE MISSION CEMETERY



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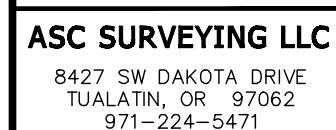
NOVEMBER 15, 2023

DRAWN BY

RK

SHEET

4 OF 5



SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

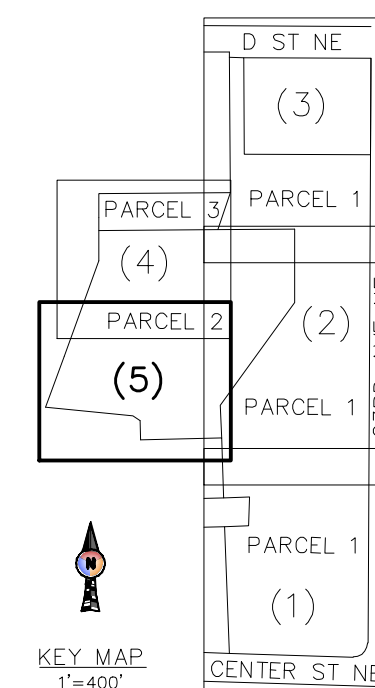
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DATE
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DRAWN BY
RK
SHEET
5 OF 5

EXISTING

11. VOLUME: 391 PAGE: 71
PGE EASEMENT -UNDEFINED WIDTH
12. VOLUME: 392 PAGE: 277
MODIFIED BY REEL: 1114, PAGE: 689
6' UTILITY EASEMENT
13. VOLUME: 399 PAGE: 78
10' WATER PIPE EASEMENT
14. VOLUME: 405 PAGE: 437
10' WATER PIPELINE EASEMENT
NO LONGER IN USE, CITY PLANS TO QUITCLAIM
15. BOOK: 430 PAGE: 427
15' STORM WATER EASEMENT
16. VOLUME: 491 PAGE: 426
ACCESS EASEMENT FOR PROPERTIES TO THE WEST
17. VOLUME: 492 PAGE: 784
10' ELECTRIC EASEMENT
18. VOLUME: 526 PAGE: 350
ACCESS TO MEDICAL CENTER DRIVE
19. VOLUME: 529 PAGE: 34
PDG EASEMENT -UNDEFINED WIDTH
20. VOLUME: 529 PAGE: 136
8' STORM SEWER EASEMENT
APPROXIMATE LOCATION SHOWN HEREON
21. VOLUME: 652 PAGE: 94
10' GAS PIPELINE EASEMENT
23. VOLUME: 758 PAGE: 316
10' GAS PIPELINE EASEMENT
27. REEL: 2491 PAGE: 36
13' SIDEWALK EASEMENT
ENDS SOUTH OF DRIVEWAY ON 23RD AVE. NW
30. PARTITION PLAT NO. 2009-003
EASEMENTS AS SHOWN ON SAID PARTITION PLAT
(A) RIGHT-OF-WAY DEDICATION
(B) 15' STORM DRAIN EASEMENT

PROPOSED

1. 18' RIGHT-OF-WAY DEDICATION
2. 15' WATER PIPELINE EASEMENT
3. ±6.17' WIDE SIDEWALK EASEMENT
4. 5'x56' EASEMENT AROUND EXISTING SIDEWALK
5. 14.5'x65' EASEMENT AROUND EXISTING DRIVEWAY ENTRANCE
6. ACCESS EASEMENT FOR DOCTOR'S PARKING AREA
7. ACCESS EASEMENT ACROSS PROPERTY LINE



KEY MAP
1"=400'



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