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November 22, 2023

PLANNING REVIEW CHECKLIST

Subject Property: 4650-4680 Hazelgreen Road NE

Ref#: 23-121805-PLN (Urban Growth Area Preliminary Declaration, Class 3 Site Plan Review, Class 2 Driveway Approach Permit, Class 2 Adjustment, Class 1 Adjustment, Class 1 Design Review, Property Line Adjustment)

Applicant/Owner: Patricia Jones, Jeff Bivens
I and E Construction
27375 Parkway Avenue
Wilsonville, OR 97070

Phone: (503) 655-7933

Email: jeff@iecon.us

patricia@iecon.us

Contact: Daisy Goebel
AKS Engineering Inc.
3700 River Road N, Suite 1
Keizer, OR 97303

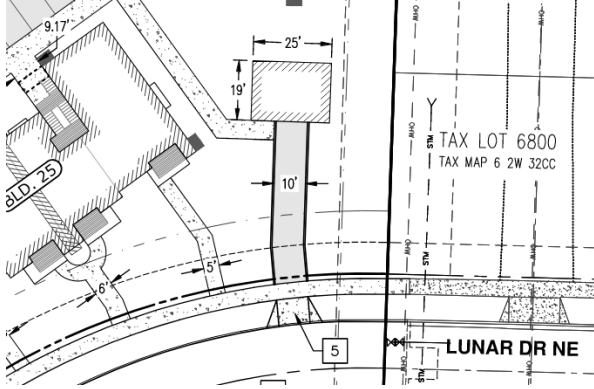
Phone: (503) 400-6028

Email: goebeld@aks-eng.com

An application for an Urban Growth Area Preliminary Declaration, Class 3 Site Plan Review, Class 2 Adjustment, Class 1 Adjustment, Class 2 Driveway Approach Permit, Class 1 Design Review, and Property Line Adjustment was received on November 3, 2023, for property located at 4650-4680 Hazelgreen Road NE.

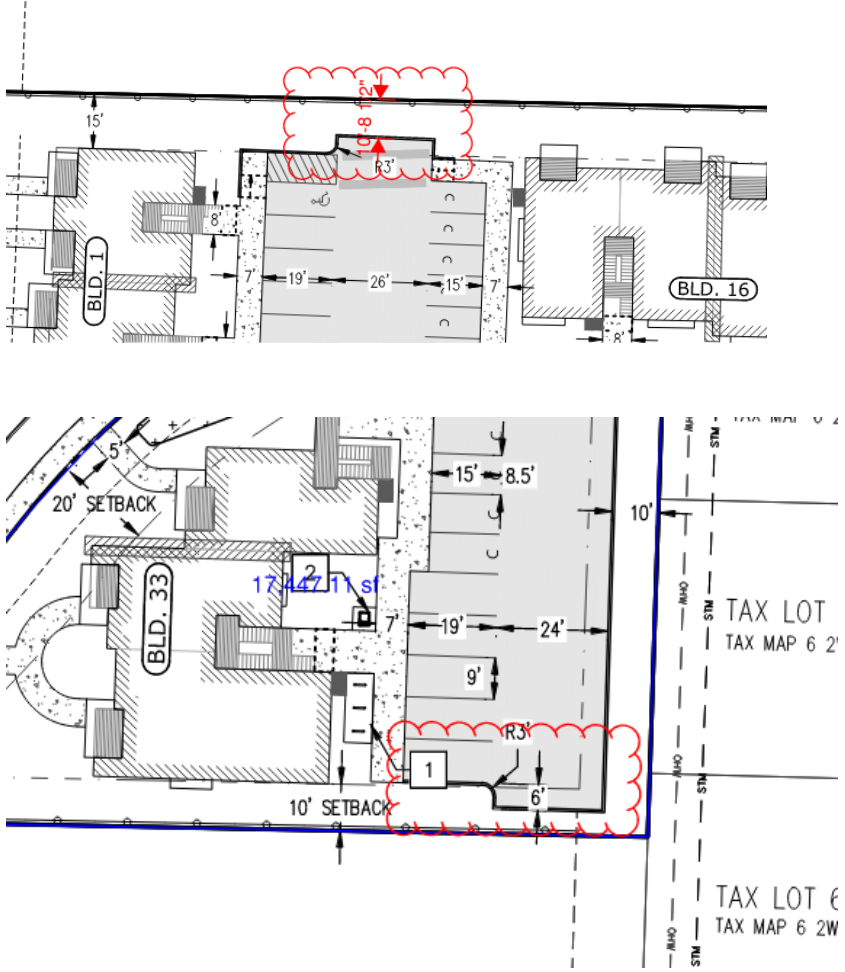
The following information is required for staff to deem the applications complete.

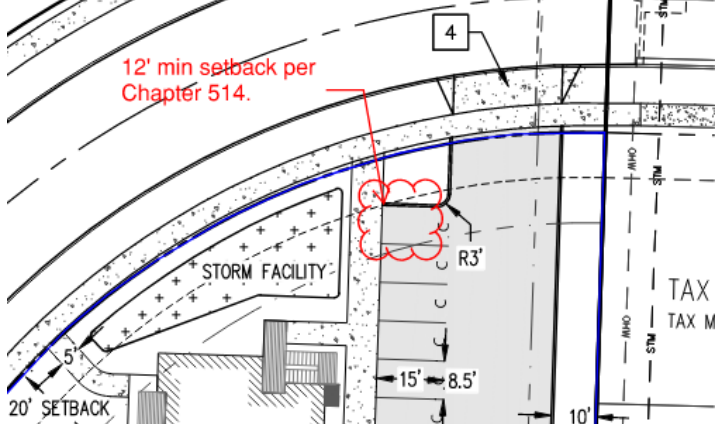
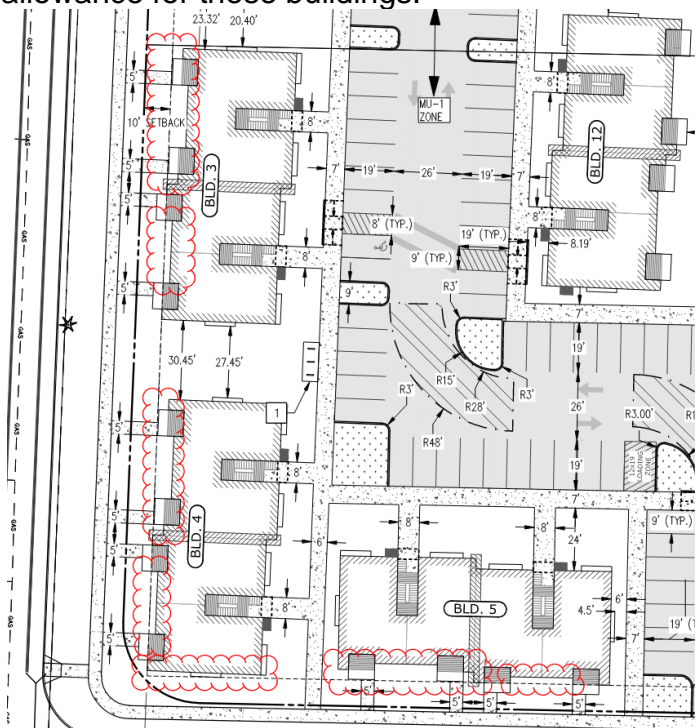
| Item: | |
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| Class 2 Driveway Approach Permits (5) and Adjustments | <p>The applicant paid for two driveway approach permits where five new driveway approaches are shown on the plans. The applicant shall update their written statement and shall pay the applicable fee for all driveway approaches serving the new development.</p> <p>NOTE: If the applicant removes the 10-foot-wide approach, discussed below, only 4 driveway approach permits would be needed.</p> |
| Driveway Approach Adjustments | <p>The applicant shows a 10-foot-wide approach serving a single building. It is unclear based on the information submitted what the use of this building is. SRC 806.035(f) restricts back-out parking into the street for commercial uses. It does not appear that adequate maneuvering space is provided on-site to ensure vehicles will not back-out into</p> |

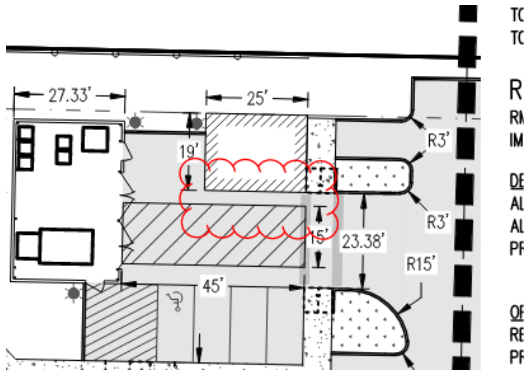
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| | <p>the street. In addition, the driveway approach does not meet minimum width standards in SRC 804.050(b)(2) for one-way or two-way traffic. The applicant should indicate whether or not they are requesting adjustments to these standards.</p> <p>Staff is not supportive of adjustments to SRC 806.035(f) and SRC 804.050(b)(2) for the proposed 10-foot-wide approach.</p>  |
| <p>Draft PLA Deeds</p> | <p>The draft PLA deeds submitted do not meet the form approved by the PW Director; specifically, they should include:</p> <ul style="list-style-type: none"> • Legal descriptions of the adjusted property(ies) and the transacted property prepared and sealed by an Oregon-registered Professional Land Surveyor. <p>The City of Salem approved PLA Deed Template is attached for reference.</p> |
| <p>Tentative PLA Plan</p> | <p>The tentative site plan does not comply with SRC 205.055(c), the following items are missing:</p> <p>The dimensions and areas of the units of land before and after the proposed property line adjustment.</p> |

*****The missing items are required information for the City to begin review of the application. Once the completeness items are provided, the City will begin review and may have additional completeness or fatal flaw items to share.***

The following items are not listed in the SRC as specific requirements for a complete application; however, the applicant should be aware that after review of the application materials the following deficiencies have been identified which could result in a recommendation for denial of the applications if not properly addressed.

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| <p>Item:</p> <p>RM-II (Multi-Family Residential) Zone Development Standards – SRC Chapter 514</p> | <p>SRC 514.010(d), Tables 514-4 and 514-5 require a minimum 15-foot-wide vehicle use area setback adjacent to industrial zoned land and a 10-foot-wide vehicle use area setback adjacent to public zoned land. The proposed site plan shows a vehicle maneuvering area encroaching into required setbacks in two areas.</p>  <p>SRC 514.010(d), Table 514-4 provides that the minimum setback for a vehicle use area abutting a street is 12 feet. The proposed off-street parking area serving building 33 encroaches into the minimum setback.</p> |
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| |  <p>12' min setback per Chapter 514.</p> <p>STORM FACILITY</p> <p>20' SETBACK</p> <p>5'</p> <p>15'</p> <p>8.5'</p> <p>10'</p> <p>4</p> <p>R3'</p> <p>TAX TAX M</p> |
| <p>MU-I (Mixed Use-I) Zone Development Standards – SRC Chapter 533</p> | <p>SRC 533.015(c), Table 533-3 provides that the setback requirement abutting a street is 0-10 feet, and specific for multi-family residential the setback requirement is 5-10 feet.</p> <p>Portions of the exterior walls of proposed buildings 3, 4 and 5 are setback greater than 10 feet where abutting Hazelgreen Road NE and Lunar Drive NE. Please revise the site plan to show compliance with the setback requirement, or request an Adjustment(s) to increase the maximum setback allowance for these buildings.</p>  <p>23.32'</p> <p>20.40'</p> <p>10' SETBACK</p> <p>BLD. 3</p> <p>BLD. 4</p> <p>BLD. 5</p> <p>BLD. 12</p> <p>BLD. 1</p> <p>MU-1 ZONE</p> <p>8' (TYP.)</p> <p>9' (TYP.)</p> <p>19' (TYP.)</p> <p>8.19'</p> <p>19'</p> <p>26'</p> <p>7'</p> <p>19'</p> <p>26'</p> <p>19'</p> <p>7'</p> <p>4.5'</p> <p>19'</p> <p>9' (TYP.)</p> <p>R3'</p> <p>R15'</p> <p>R28'</p> <p>R3'</p> <p>R3.00'</p> <p>R1</p> |
| <p>Multi-Family Design Review Standards – SRC Chapter 702</p> | <p>The following items shall be corrected:</p> <p>1) 702.020(a)(1)(A) – The written statement indicates that the required common open space area can be found on proposed site plan, however staff is not able to identify</p> |

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| | <p>the location of the 4,250 square foot common open space area.</p> <ol style="list-style-type: none"> 2) 702.020(b)(7) – The proposed landscape plan does not demonstrate compliance with perimeter parking area tree planting requirements (see attached). 3) 702.020(c)(1) – Windows are not provided on all walls in habitable rooms for proposed buildings 11, 17, 26, 30 and 32 (see attached). 4) 702.020(d)(4) – A pedestrian connection is not provided from the public sidewalk to Hazelgreen Road NE. |
| <p>Off-Street Parking, Loading and Driveways – SRC Chapter 806</p> | <ol style="list-style-type: none"> 1) 806.035(c)(4) provides that there is a minimum vehicle use area setback requirement adjacent to a building or structure of five feet, which may be a paved walkway or landscape strip. This setback is not provided for the maneuvering area along proposed building near the trash enclosure.  <ol style="list-style-type: none"> 2) 806.035(f), Figure 806-9 requires a minimum 9 foot wide by 15 feet in length area for vehicle maneuvering as part of the vehicle turn around area. Proposed parking spaces immediately adjacent to the proposed turn around areas should be hashed out and will be unavailable for parking. ADA loading areas cannot be used for this purpose. 3) 806.060(a)(2) provides that long-term bicycle parking may be provided within a building, on the ground floor or on upper floors when the bicycle parking areas are easily accessible by an elevator. The written statement indicates that long-term bicycle parking will be provided in each unit, however, elevators are not provided in any of the proposed buildings. The applicant shall revise the site plan to comply with the bicycle parking requirements of this chapter. |
| <p>Wetlands and/or Hydric Soils</p> | <p>There is an unnamed drainage channel mapped on the subject property. The applicant should contact the Oregon Department of State Lands to verify if any permits are required for future development. The applicant is required to verify mapped wetland area(s). Once the application is</p> |



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| | deemed complete, Public Works will send Wetlands Notice to the Department of State Lands, as required by SRC 809.025. |
| Development Services Technical Comments | Development Services has provided technical review comments on the applicants plans. These comments will be sent directly to the Project Engineer. |

Your application, which is incomplete, will be deemed complete upon receipt of one of the following:

- (1) All of the missing information.
- (2) Some of the missing information and written notice from you (the applicant) that no other information will be provided.
- (3) Written notice from you (the applicant) that none of the missing information will be provided.

You have 180 days from the date the application was first submitted to respond in one of the three ways listed above, or the application will be deemed void.

For questions regarding the above requirements, feel free to contact me directly by calling (503) 540-2356 or via email at apanko@cityofsalem.net. The Salem Revised Code may be accessed by clicking [HERE](#).

Sincerely,

Aaron Panko, Planner III