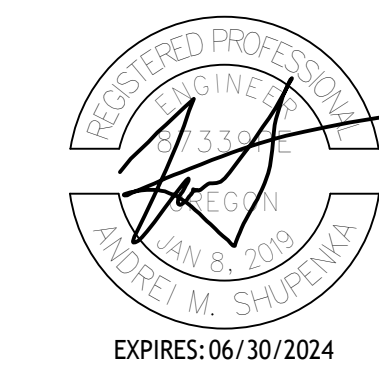


1880 FISHER RD T1

1880 FISHER RD NE., SALEM, OR 97305

REV. 1 10/1/23 JHA CHECK SHEET
REV. 2 10/16/23 CLASS 2 SITE PLAN REVIEW
REV. 3 11/20/23 CLASS 2 SITE PLAN REVIEW CHECK SHEET

PERMIT SET

PROJECT NUMBER A22-006
DATE 5/19/23
DRAWN BY AMS

SITE PLAN

C1.0

1 SITE PLAN
C1.0

GENERAL SHEET NOTES:

- PROPERTY LINE AND BUILDING LOCATION FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATION, SIZE, AND ELEVATION PRIOR TO CONSTRUCTION
- SITE WORK SCOPE INCLUDES RE-STRIPING EXISTING ACCESSIBLE PARKING SPACES, PROVIDING UP TO DATE SIGNS, AND INSTALLING NEW EXIT RAMP. NO INCREASE OF IMPERVIOUS SURFACES.

LEGEND:

- | | |
|--|---|
| | NEW CONCRETE SURFACE |
| | EXISTING CONCRETE SURFACE |
| | EXISTING GRASS AREA |
| | EXISTING GRAVEL AREA |
| | EXISTING FENCE |
| | PROPERTY LINE |
| | NEW LANDSCAPED AREA, PROVIDE BARK DUST COVER AS A MINIMUM |

KEY NOTES:

- EDGE OF EXISTING ASPHALT PAVEMENT, TYP.
- EXISTING CURB, TYP.
- EXISTING WHEEL STOP, TYP.
- EXISTING SHRUBS, TYP.
- EXISTING PINE TREE
- EXISTING ASPHALT PAVEMENT, TYP.
- EXISTING LANDSCAPED AREA, TYP.
- EXISTING ELECTRIC GATE
- EXISTING SITE DRAIN
- EXISTING WATER METER
- EXISTING CLEAN-OUT
- EXISTING LANDSCAPE IRRIGATION VALVE

- EXISTING UTILITY VALVE BOX
- EXISTING PAVEMENT MARKINGS, TYP.
- EXISTING DUMPSTER AND RECYCLING BINS
- NEW RAMP PER ARCHITECTURAL
- NEW VAN ACCESSIBLE PARKING MARKING PER ARCHITECTURAL
- NEW ACCESSIBLE PARKING SIGNS PER ARCHITECTURAL
- NEW 5-FT STRIPED ACCESSIBLE ROUTE PER ARCHITECTURAL
- NEW PAVEMENT TRAFFIC DIRECTION ARROW MARKING
- NEW CANDLE STICK CONES PLACED IN MANNER TO DIRECT TRAFFIC AROUND NEW RAMP
- NEW "ENTRANCE ONLY" SIGN
- NEW "EXIT ONLY" AND "DO NOT ENTER" SIGN

- REMOVE EXISTING SHRUBS IN FRONT OF EMERGENCY ESCAPE WINDOWS
- 4" CONCRETE PAD FOR BIKE PARKING. PROVIDE (2) STAPLE BIKE RACKS FOR SIDE-BY-SIDE PARKING. PROVIDE BIKE PARKING CLEARANCE OF 2' X 6' ON EACH SIDE OF BIKE RACK
- MODIFY EXISTING FENCE TO INSTALL MAN GATE. MAN GATE SIZE, LANDINGS, AND HARDWARE TO COMPLY WITH ACCESSIBILITY REQUIREMENTS
- PROVIDE 4" CONCRETE WALKING PATH FROM MAIN ENTRANCE TO STREET, 36" MIN. WIDE. CONTROL JOINTS PER G.C. AND TO ADHERE TO CURRENT TRADE STANDARDS. WALKING PATH SLOPE AND SURFACE TO ADHERE TO ACCESSIBILITY REQUIREMENTS. PROVIDE NIGHT TIME LIGHTING ALONG THE WHOLE PATH. LIGHTING SYSTEM TO BE DESIGN-BUILD, AND TO BE SUBMITTED FOR REVIEW BY AOR PRIOR TO CONSTRUCTION
- REMOVE EXISTING CURB AND WHEEL STOPS. REMOVE EXISTING HARDSCAPE AND SUBGRADE AS REQUIRED FOR NEW LANDSCAPING AREA

- NEW 6" CURB. PROVIDE CURB DRAINAGE CUTS EVERY 6' TO 8'. PAINT CURB WHITE AS A MINIMUM
- NEW LANDSCAPED AREA TO BE DESIGN-BUILD. PROVIDE SUBMITTAL FOR REVIEW BY AOR PRIOR TO CONSTRUCTION. PROVIDE REQUIRED PU (PLANT UNIT) PER SRC CHAPTER 807.

LOT AREA	24,078 SF
HARDSCAPED AREA	21,477 SF
REQUIRED LANDSCAPED AREA	$24,078 \times 0.15 = 3,612$ SF
LANDSCAPED AREA	3,671 SF
REQUIRED PU	$3,671 / 20 = 184$ PU

PROJECT SUMMARY:

PROJECT ADDRESS: 1880 FISHER RD NE, SALEM OR 97305
TAX MAP: 072W19B057300
ZONING: CR - RETAIL COMMERCIAL
EXISTING BUILDING FOOTPRINT: 5,836 SQFT
AREA OF WORK: 4,957 SQFT

PROPOSED BUILDING AREA USE

RESIDENTIAL	4,690 SF
OFFICE	267 SF
ACCESSORY STORAGE	879 SF

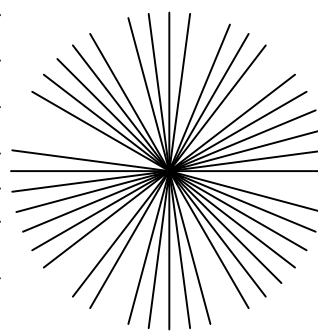
PARKING COUNT

ALL PARKING SPACES ARE EXISTENT

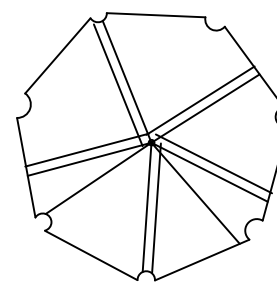
STANDARD PARKING SPACES	- 6
COMPACT PARKING SPACES	- 15
ACCESSIBLE PARKING SPACES	- 2

TOTAL	- 23
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BIKE PARKING - 4



MATURE TREE



SHADE TREE

ORNAMENTAL /
LARGE DECIDUOUS
TREESMALL / MEDIUM
SHRUB