

Appeal of Subdivision Tentative Plan, Urban
Growth Area Preliminary Declaration, Class 3
Site Plan Review, Class 2 Adjustments, Tree
Regulation Variance, and Class 1 Design Review

Case No. SUB-UGA-SPR-ADJ-TRV-DR23-02

2100 Block of Doaks Ferry Road NW

Before the Salem City Council

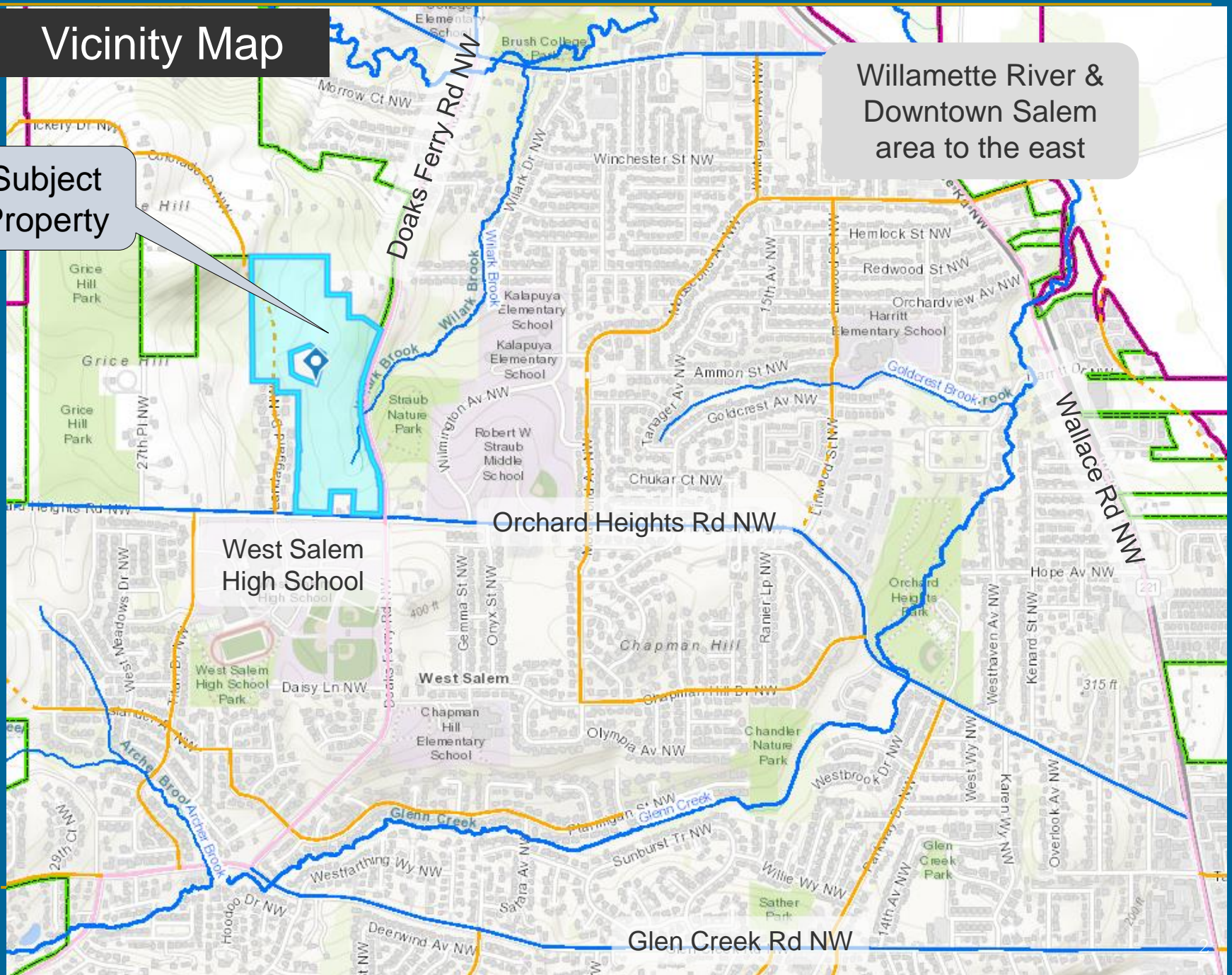
Jamie Donaldson, Planner II

July 24, 2023

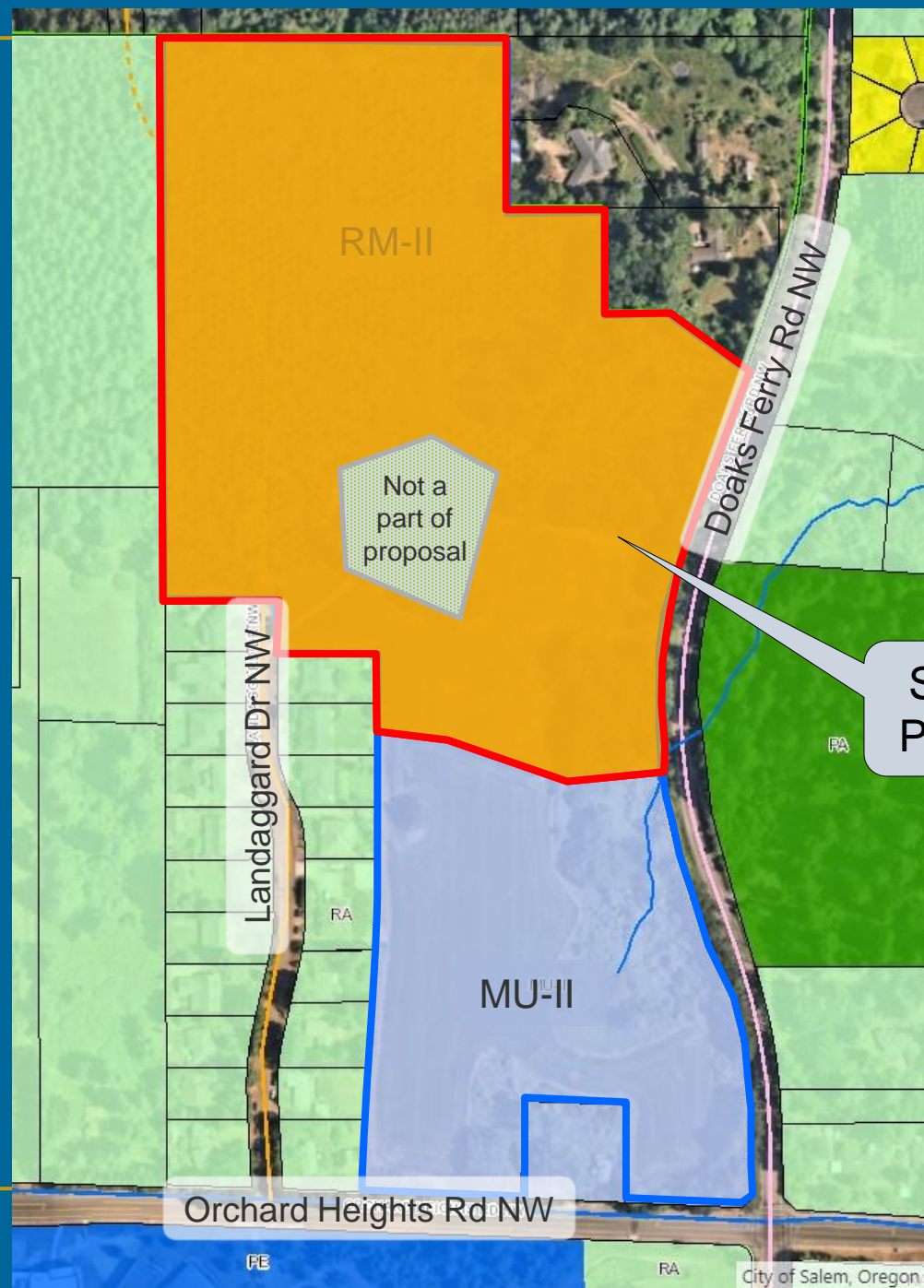
Vicinity Map

Subject
Property

Willamette River &
Downtown Salem
area to the east



Zoning Map



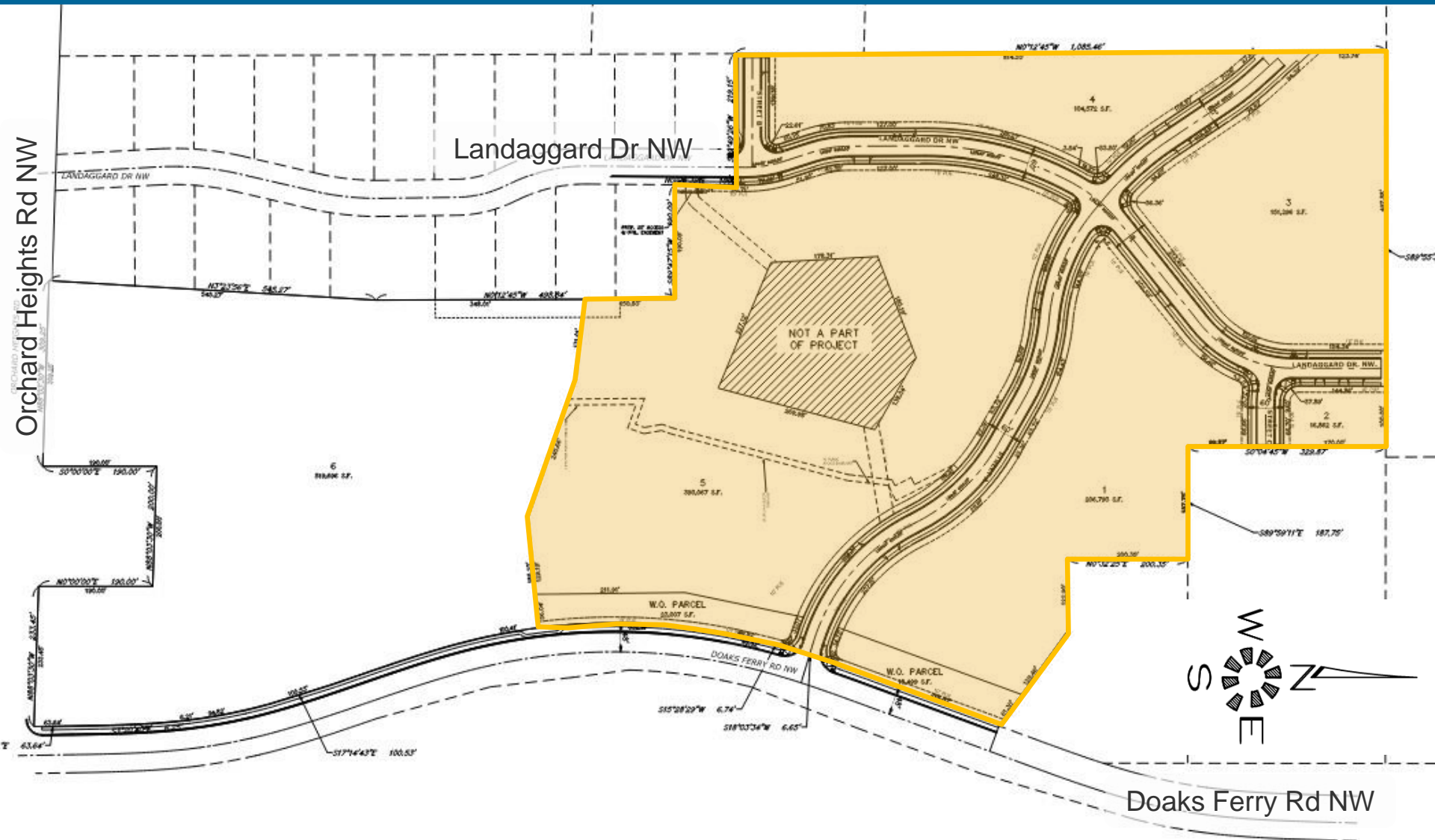
Aerial Photo



Application Request

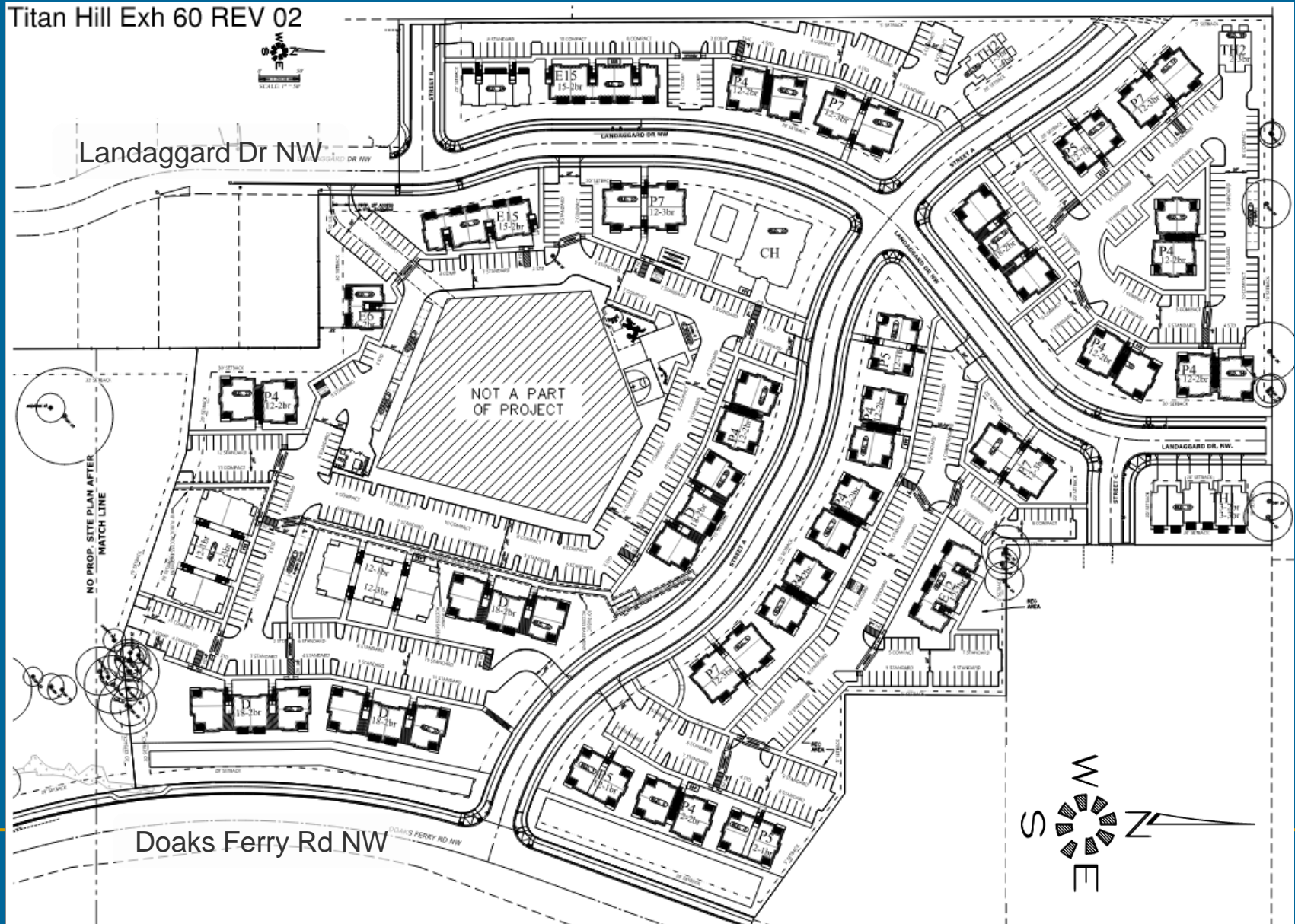
- Subdivision Tentative Plan to divide property into 6 lots, with Alternative Street Standards
- Urban Growth Area Preliminary Declaration
- Class 3 Site Plan Review & Class 1 Design Review for development of 436 units
- 4 Class 2 Adjustments:
 - Increase maximum height for residential clubhouse
 - Eliminate requirement to orient buildings to the street
 - Reduce buildable width along multiple streets
 - Increase maximum allowed parking (Denied)
- Tree Regulation Variance to remove significant trees
- 120-day State deadline is September 22, 2023

Subdivision



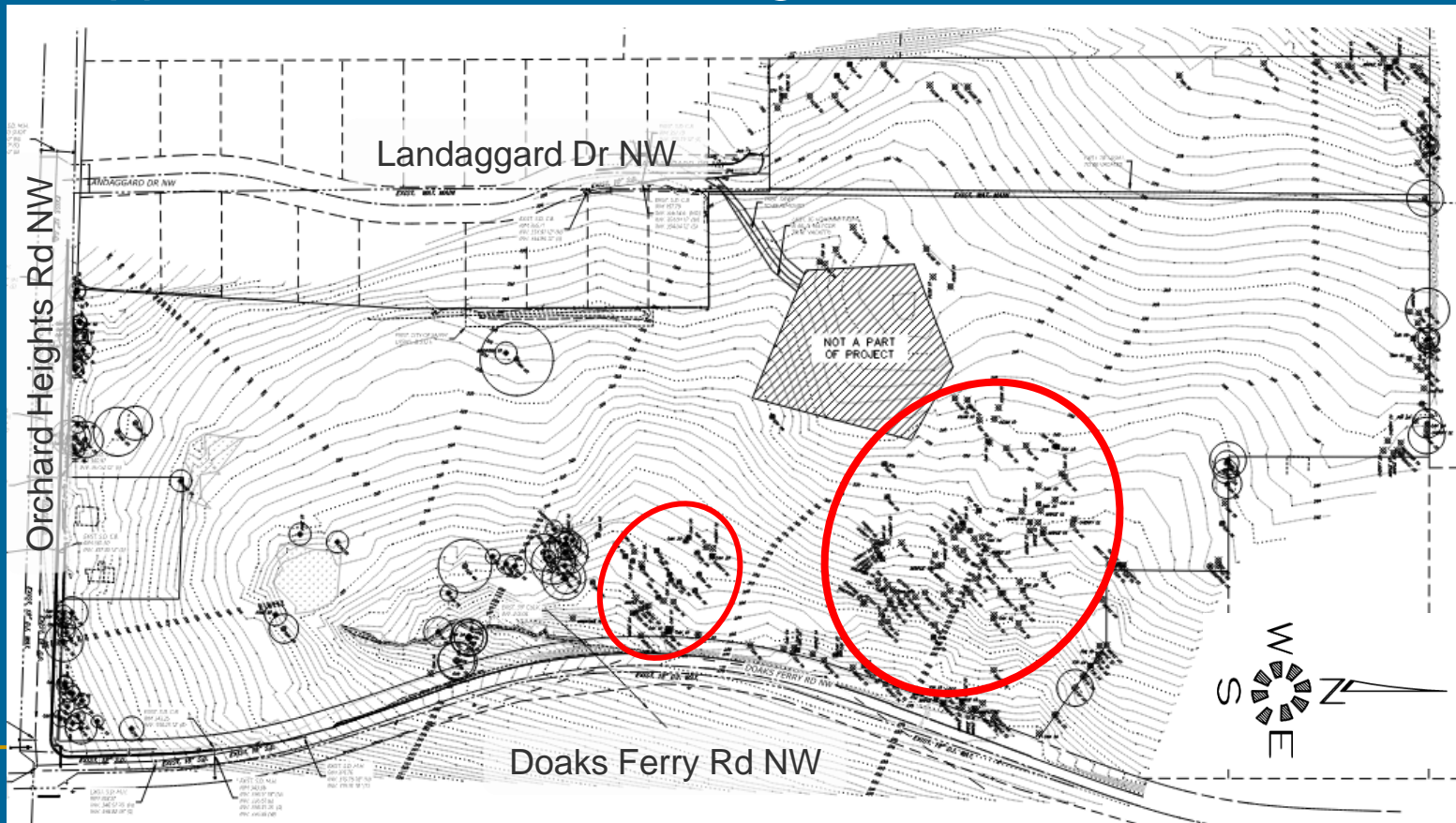
Multi-Family Development

Titan Hill Exh 60 REV 02



Tree Variance

- Request to remove 46 protected trees
 - During review and with conditions of approval, approved removal of 42 significant trees



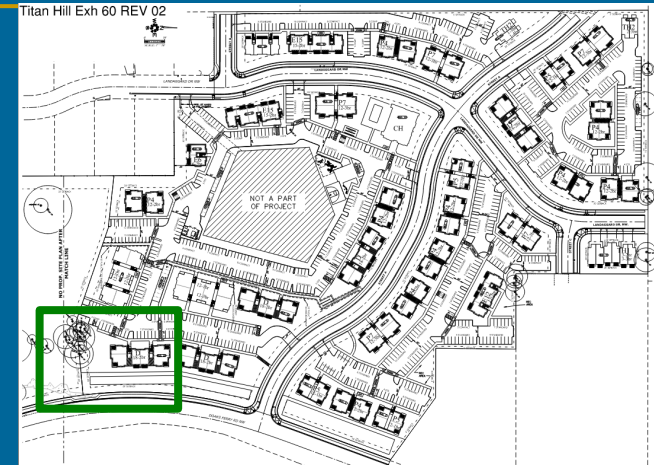
Appeal Request

- West Salem Neighborhood Association
 - Initial Testimony not addressed
 - Unenforceable Conditions
 - Preservation of Significant Trees
 - Preservation of Riparian Trees

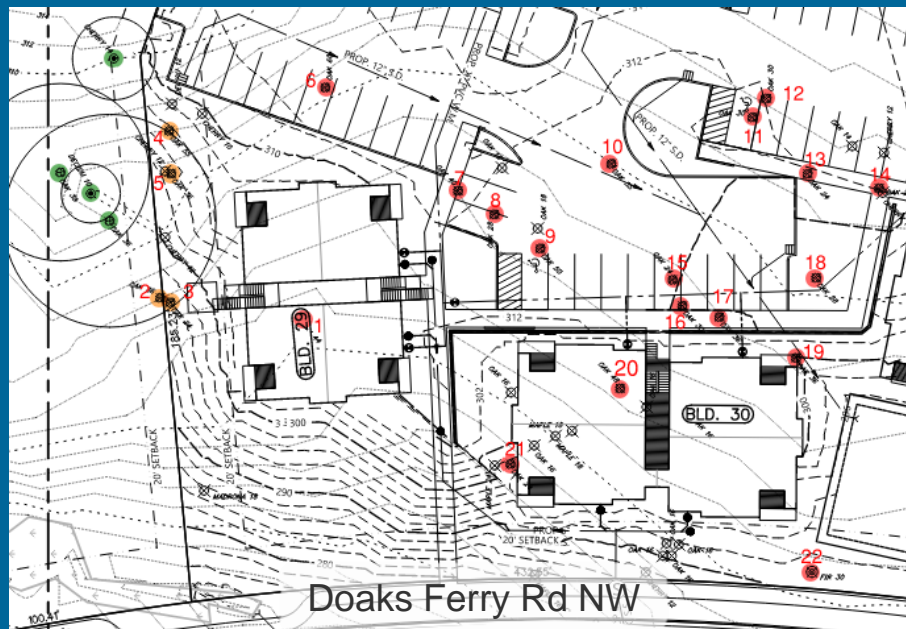
Tree Analysis

■ Intent to Preserve Examples

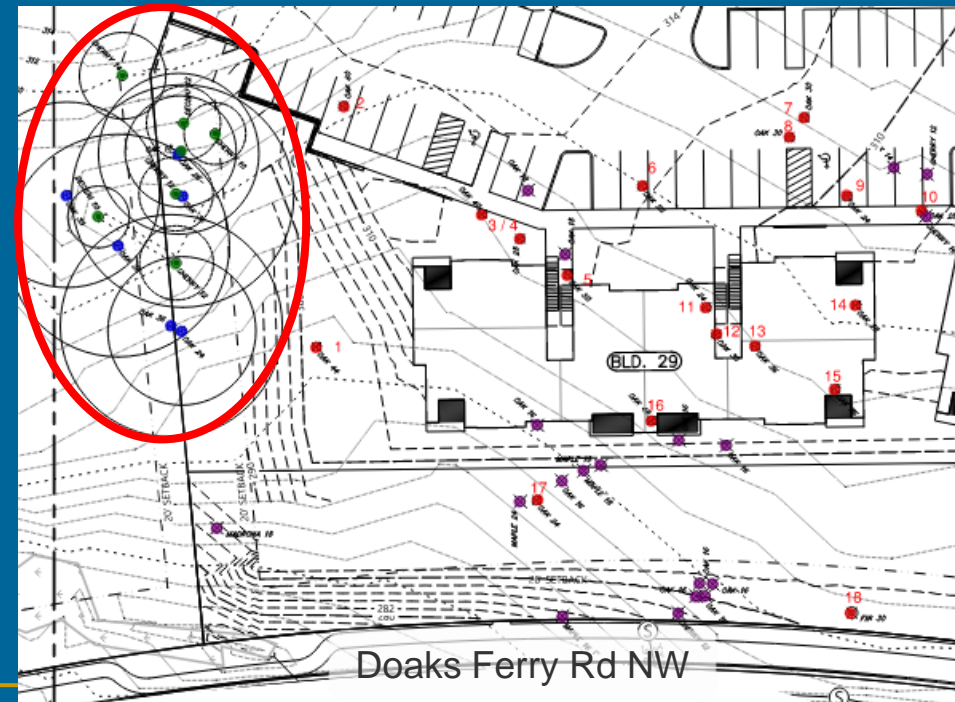
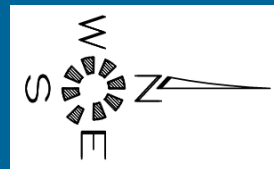
■ Building 29



After

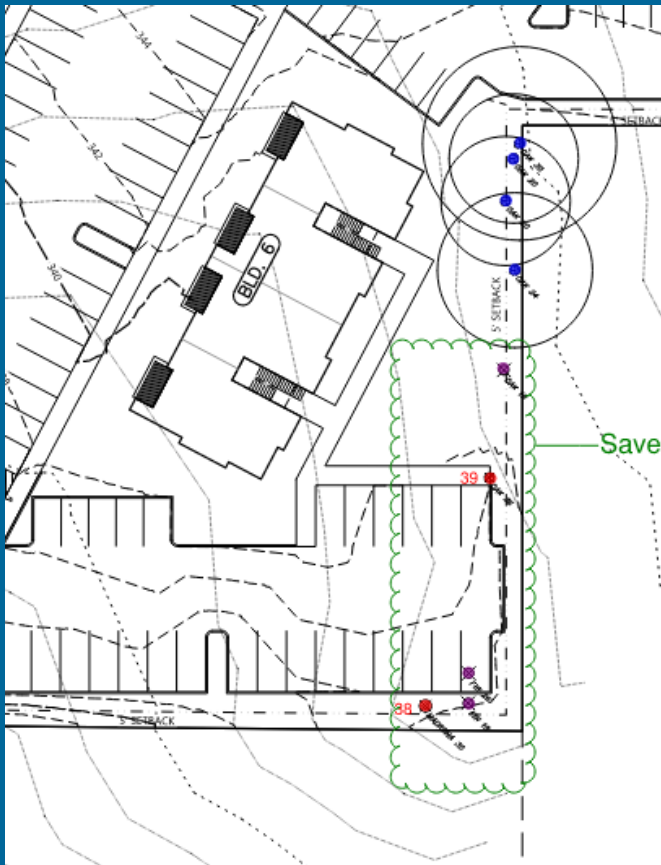


Before



Tree Analysis

- Denied request to increase max parking
 - Condition to remove parking to save trees



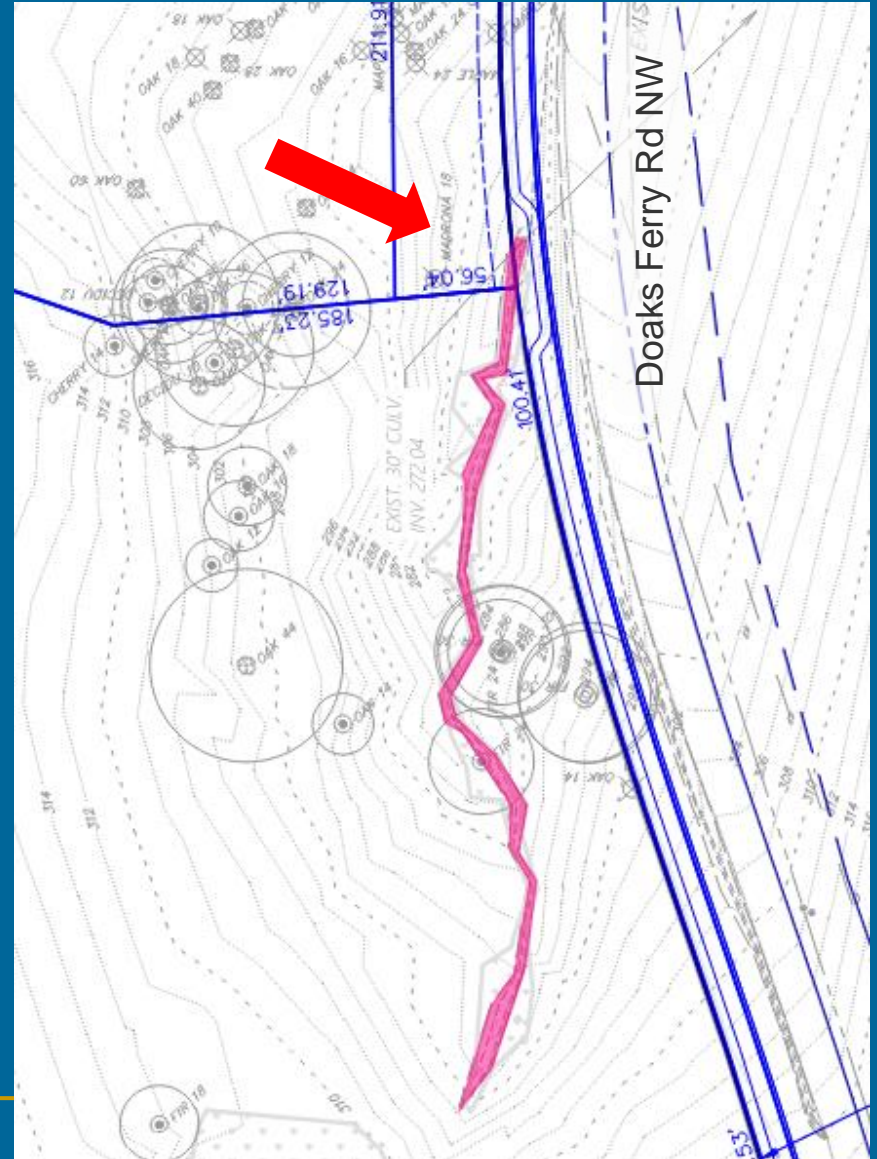
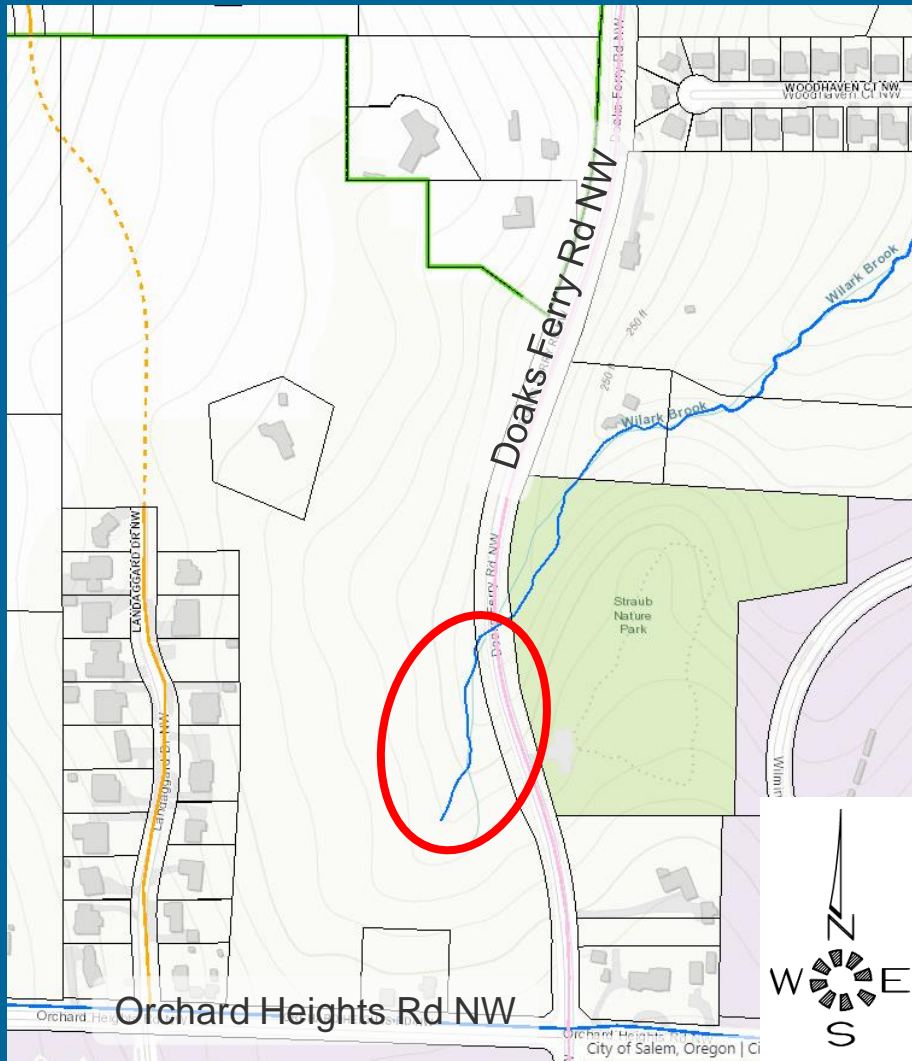
Condition 49: The parking lots near Buildings 3 and 6 shall be shortened and/or reconfigured to ensure survival of trees conditioned for preservation.

Condition 55: Significant trees 35 and 36, two 30-inch Fir trees, adjacent to the parking lot near Building 3 shall be preserved. All other non-significant Fir and Maple trees in the vicinity of this parking lot shall also be preserved.

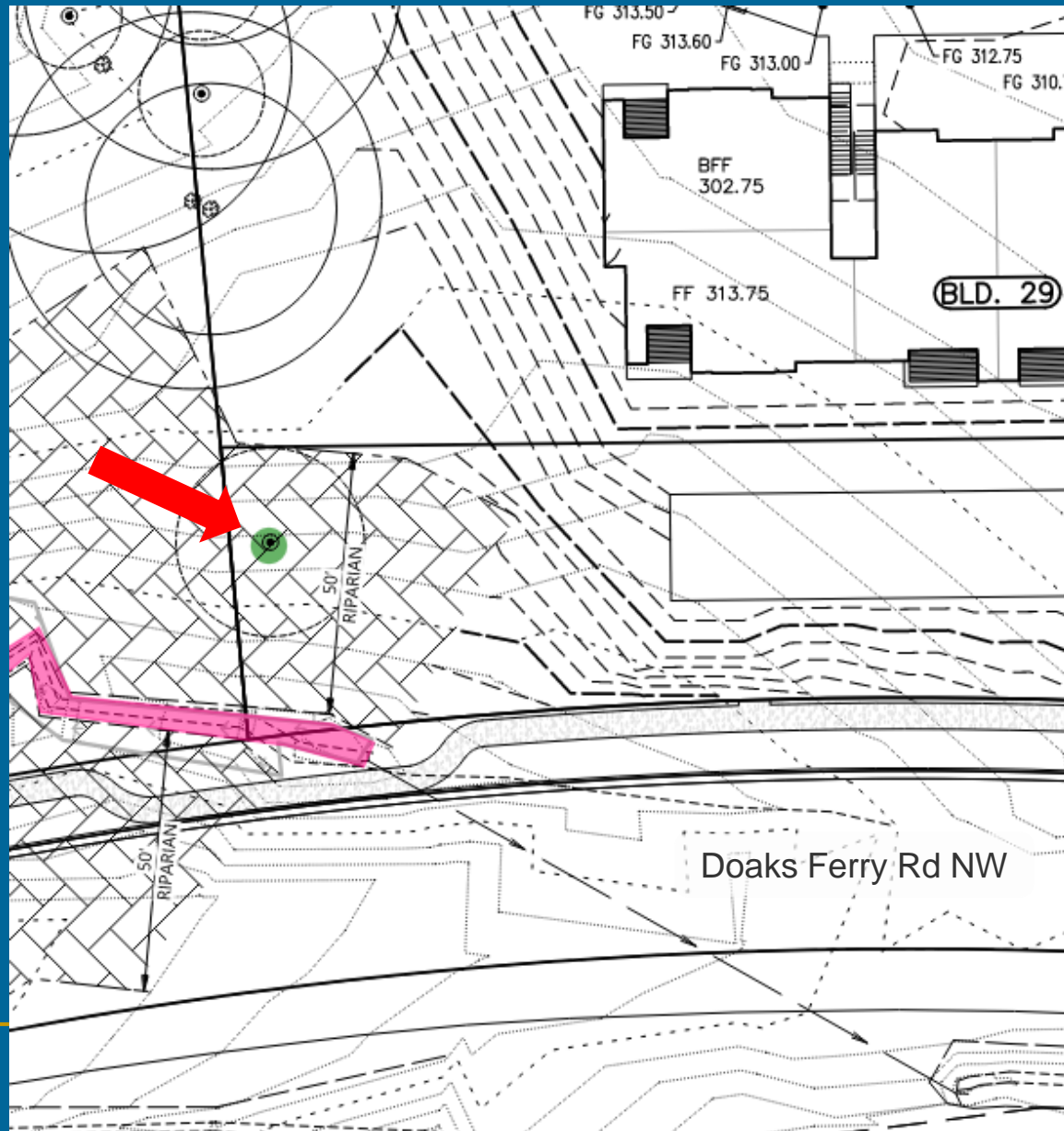
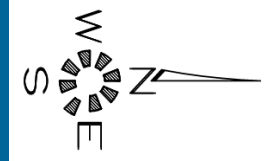
Condition 56: Significant trees 38 and 39, a 30-inch Madrona and 36-inch Oak, adjacent to the parking lot near Building 6 shall be preserved. All other non-significant Oak and Fir trees in this area shall also be preserved.



Riparian Zone & Wilark Brook



Riparian Zone & Wilark Brook



Conditions of Approval

- Meet minimum setback requirements
- Additional pedestrian connections & access easements
- Remove excess parking
- Updated tree plans meeting preservation conditions
- Planting of over 500 new trees
- Replanting at 2:1 ratio for trees removed within setbacks
- Street improvements, including sidewalks & street trees
- Open Channel Drainage easement for Wilark Brook
- TSP Amendment scenarios

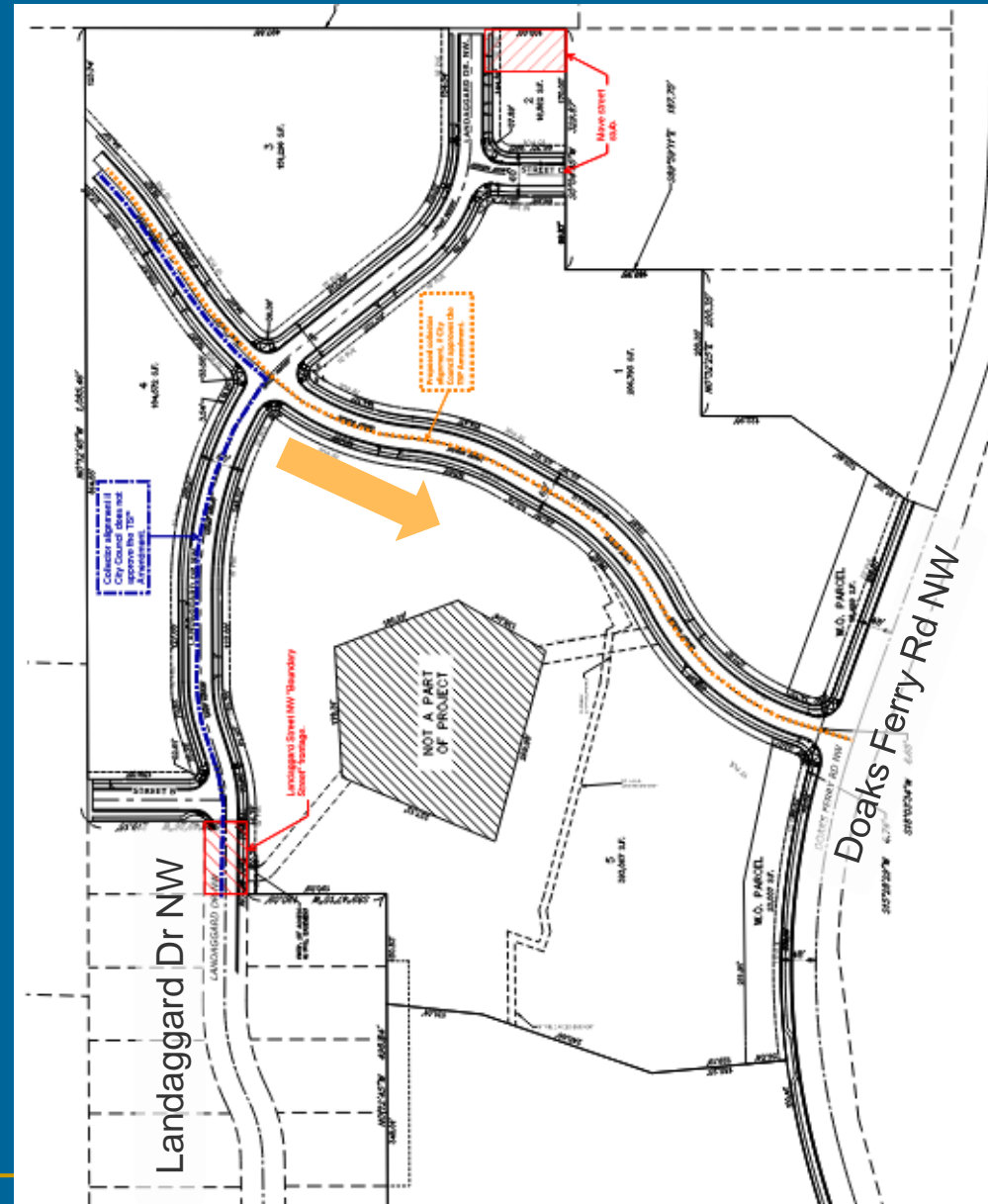
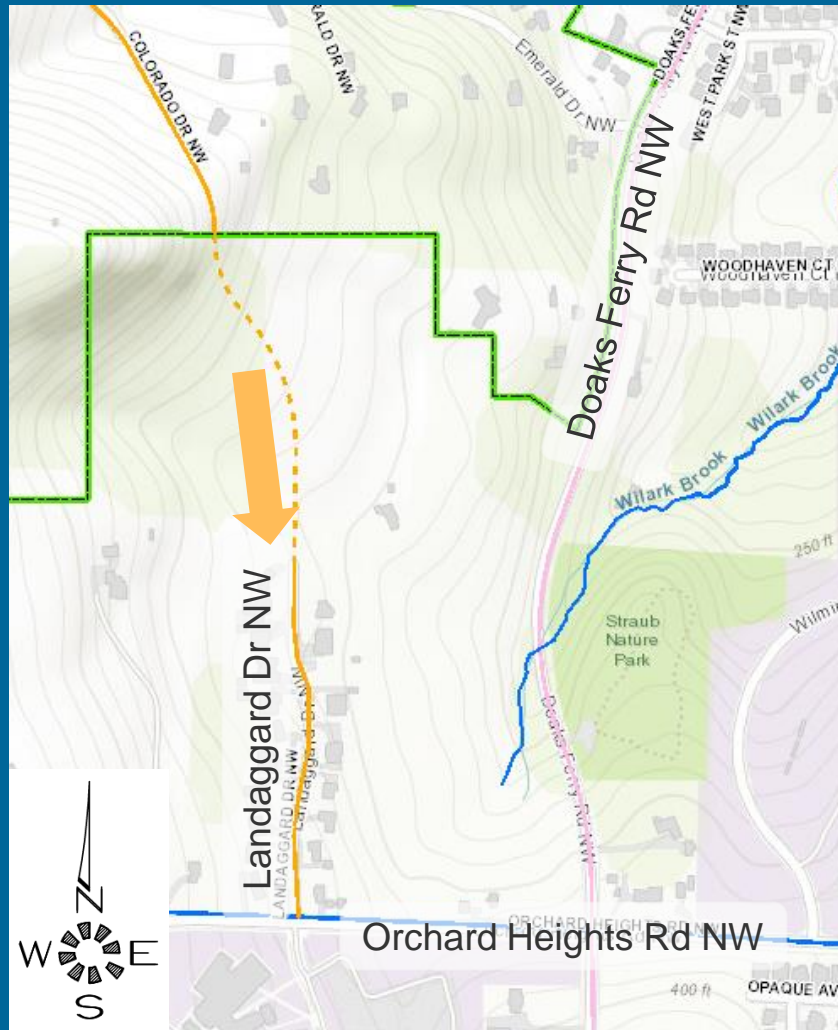
Recommendation

- Affirm the May 10, 2023, Planning Administrator's decision
 - Approve development
 - Deny request to increase maximum parking
 - Recommended Conditions of Approval

3D Aerial

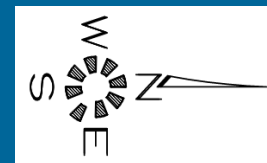


TSP Amendment



Sewer Map





Photos



Photos



