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July 28, 2023

PLANNING REVIEW CHECKLIST

Subject Property: 2710 Broadway Street NE

Ref#: 23-113096-PLN (Class 3 Site Plan Review and Class 2 Adjustment)

Applicant: Gretchen Stone **Phone:** (503) 480-8700
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Owner: Zackary Reitan **Phone:** (503) 779-5724
Reitan RE Holdings LLC **Email:** zach@reitan.co
PO Box 155
Independence, OR 97351

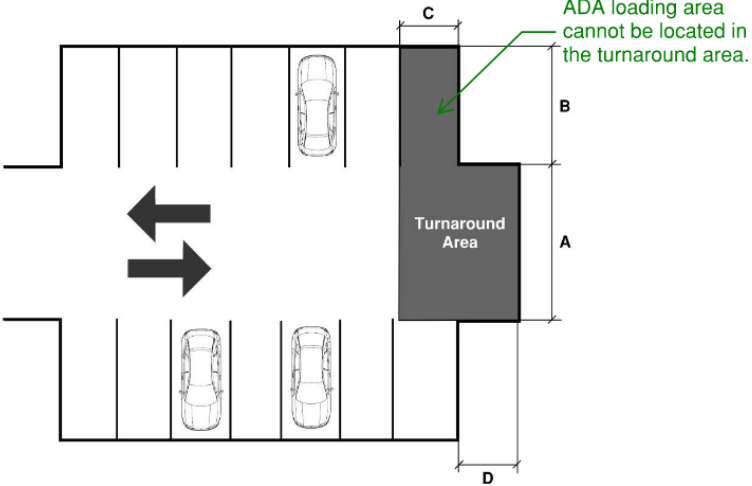
Applications for a Class 3 Site Plan Review and Class 2 Adjustment were received on July 3, 2023, for property located at 2710 Broadway Street NE.

The following information is required for staff to deem the applications complete.

Item:	
Submittal Requirements Site Plan Review – SRC 300.210(a)(1)(G) – Owner Signature Required	Please provide an update land use application form including a signature from the authorized property owner.
Driveway Approach Permit Application and Fee – SRC Chapter 804	A Class 2 Driveway Approach Permit is required for the proposed driveway access to Tryon Avenue NE. The application has been added to 23-113096-PLN. The fee has been billed and is ready for payment through the PacPortal.

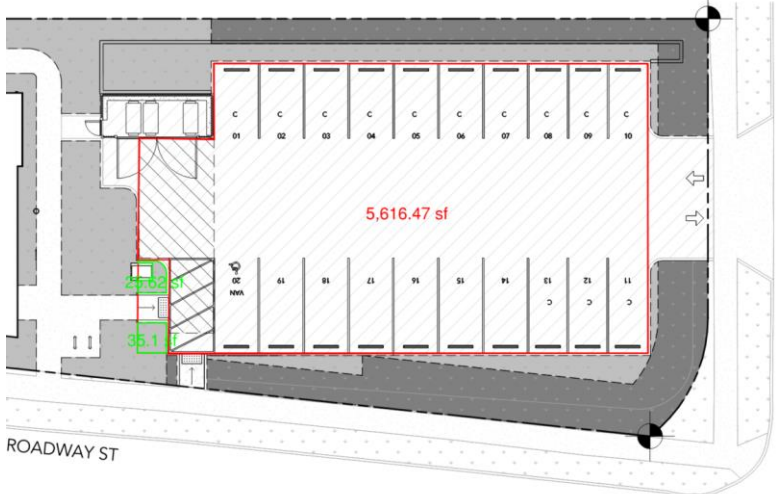
*****The missing items are required information for the City to begin review of the application. Once the completeness items are provided, the City will begin review and may have additional completeness or fatal flaw items to share.***

The following items are not listed in the SRC as specific requirements for a complete application; however, the applicant should be aware that after review of the application materials the following deficiencies have been identified which could result in a recommendation for denial of the applications if not properly addressed.

<p>Item:</p> <p>Off-Street Parking, Loading, and Driveways – SRC Chapter 806 – Off-Street Parking Area Access and Maneuvering</p>	<p>The proposed vehicle use area does not comply with the turnaround requirement in SRC 806.035(f), Figure 806-9. Please revise the layout to comply with the requirements of SRC Chapter 806.</p> 
<p>Off-Street Parking, Loading, and Driveways – SRC Chapter 806 – Interior Parking Area Landscaping</p>	<p>The proposed site plan does not appear to comply with the minimum interior landscape. An approximate calculation indicates 5,616 square feet of parking area and 35 square feet of interior landscape area (<1%), less than the minimum required.</p> <p>SRC 806.035(d)(2) provides that perimeter landscaped setbacks and required landscape strips separating off-street parking areas from buildings and structures shall not count towards satisfying minimum interior landscaping requirements.</p> <p>Per SRC 806.035(d)(4), interior landscape islands and planter bays shall have a minimum planting area of 25 square feet, and shall have a minimum width of five feet.</p> <p>Please update the site plan to comply with the minimum standard.</p>

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**Community Development
Planning Division**

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Driveway Spacing Adjustment	<p>The applicant submitted an Adjustment for driveway spacing, however; this is not required for access onto a local street. SRC 803.030(c) applies to access onto collector streets.</p>
Lot Legality	<p>Survey has reviewed the information submitted by the applicant and provides the following comment:</p> <p>ODOT conveyed fractional lots 14 and 15, outside of a land use action in 1988. The applicant has two options.</p> <ol style="list-style-type: none"> 1) Complete two separate validation plats, one for lot 14 and one for lot 15. 2) Replat the fractional lots into one lot. This can either be consolidated into the current application, or applied for separately.

Your application, which is incomplete, will be deemed complete upon receipt of one of the following:

- (1) All of the missing information.
- (2) Some of the missing information and written notice from you (the applicant) that no other information will be provided.
- (3) Written notice from you (the applicant) that none of the missing information will be provided.

You have 180 days from the date the application was first submitted to respond in one of the three ways listed above, or the application will be deemed void.

For questions regarding the above requirements, feel free to contact me directly by calling (503) 540-2356 or via email at apanko@cityofsalem.net. The Salem Revised Code may be accessed by clicking [HERE](#).

Sincerely,

Aaron Panko, Planner III