

REQUEST FOR COMMENTS

Sí necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Minor Comprehensive Plan Map
Amendment / Zone Change / Conditional Use Permit /
Urban Growth Preliminary Declaration / Class 3 Site
Plan Review / Class 2 Adjustment / Class 2 Driveway
Approach Permit / Class 1 Design Review
Case No. CPC-ZC-CU-UGA-SPR-ADJ-DAP-DR23-01

AMANDA NO.: 22-104460-ZO

PROJECT ADDRESS: 1851 Cordon Road SE

HEARD BY: Planning Commission

SUMMARY: Proposed 396-unit multiple family residential development with associated off-street parking, common open space, and site improvements.

REQUEST: A consolidated application for a proposed 396-unit multiple family residential development with associated off-street parking, common open space, and site improvements on property totaling approximately 23.3 acres in size. The application includes:

- 1) A Minor Comprehensive Plan Map Amendment from "Industrial" to "Industrial Commercial" and Quasi-Judicial Zone Change from RA (Residential Agriculture) to IC (Industrial Commercial) for an approximate 2.78-acre portion of the property (Marion County Assessor Map and Tax Lot Number: 082W050000300);
- 2) A Conditional Use Permit for the proposed multiple family development;
- 3) An Urban Growth Preliminary Declaration to determine the necessary public facilities required to serve the development;
- 4) A Class 3 Site Plan Review;
- 5) Class 2 Adjustment to:
 - a) Allow parking to be located between Building 29 and the proposed cul-de-sac of Seattle Slew Drive SE (SRC 702.020(e)(3));
 - b) Allow less than 40 percent of the buildable width of the street frontage of the subject property adjacent to Cordon Road SE, proposed A Street, and the cul-de-sac of Seattle Slew Drive SE to be occupied by buildings placed at the setback line (SRC 702.020(e)(4)); and
 - c) Allow ground-level dwelling units located within 25 feet of the property line abutting a street to be developed without an architecturally defined primary building entrance facing the street with a direct pedestrian access to the adjacent sidewalk (SRC 702.020(e)(5));
- 6) A Class 2 Driveway Approach Permit for the proposed driveway approaches serving the development onto proposed A Street; and
- 7) A Class 1 Design Review to determine the proposed development's conformance with the applicable multiple family design review standards of SRC 702.020;

The subject property is zoned IC (Industrial Commercial) and RA (Residential Agriculture) and located at 1851 Cordon Road SE (Marion County Assessor Map and Tax Lot Numbers: 082W050000200, 082W050000300, 082W050000400, 082W050000401, and 082W050000500).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a report for the Review Authority that includes comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments from affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m., Monday, March 27, 2023, will be considered in the staff report. Comments received after this date will be provided to the review body. Comments may also be submitted in person during the public hearing. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Bryce Bishop, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2399; E-Mail: bbishop@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING ITEMS THAT APPLY:

- ____ 1. We have reviewed the proposal and have no comments.
- ____ 2. We have reviewed the proposal and have the following comments:

Name/Agency: _____

Address: _____

Email: _____

Phone No.: _____

Date: _____

IMPORTANT: IF YOU MAIL YOUR COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

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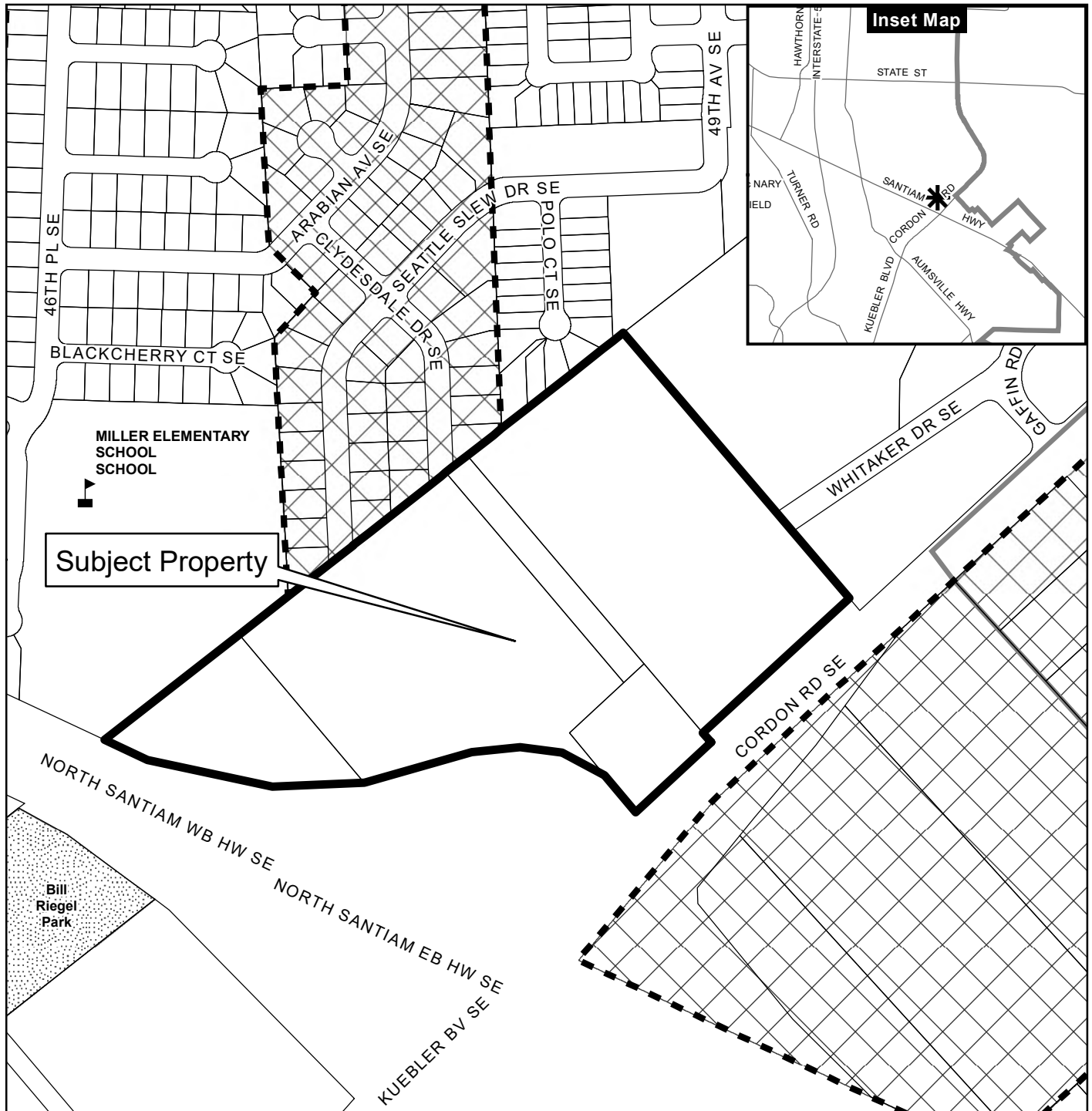


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Vicinity Map

1851 Cordon Road SE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

0 100 200 400 Feet

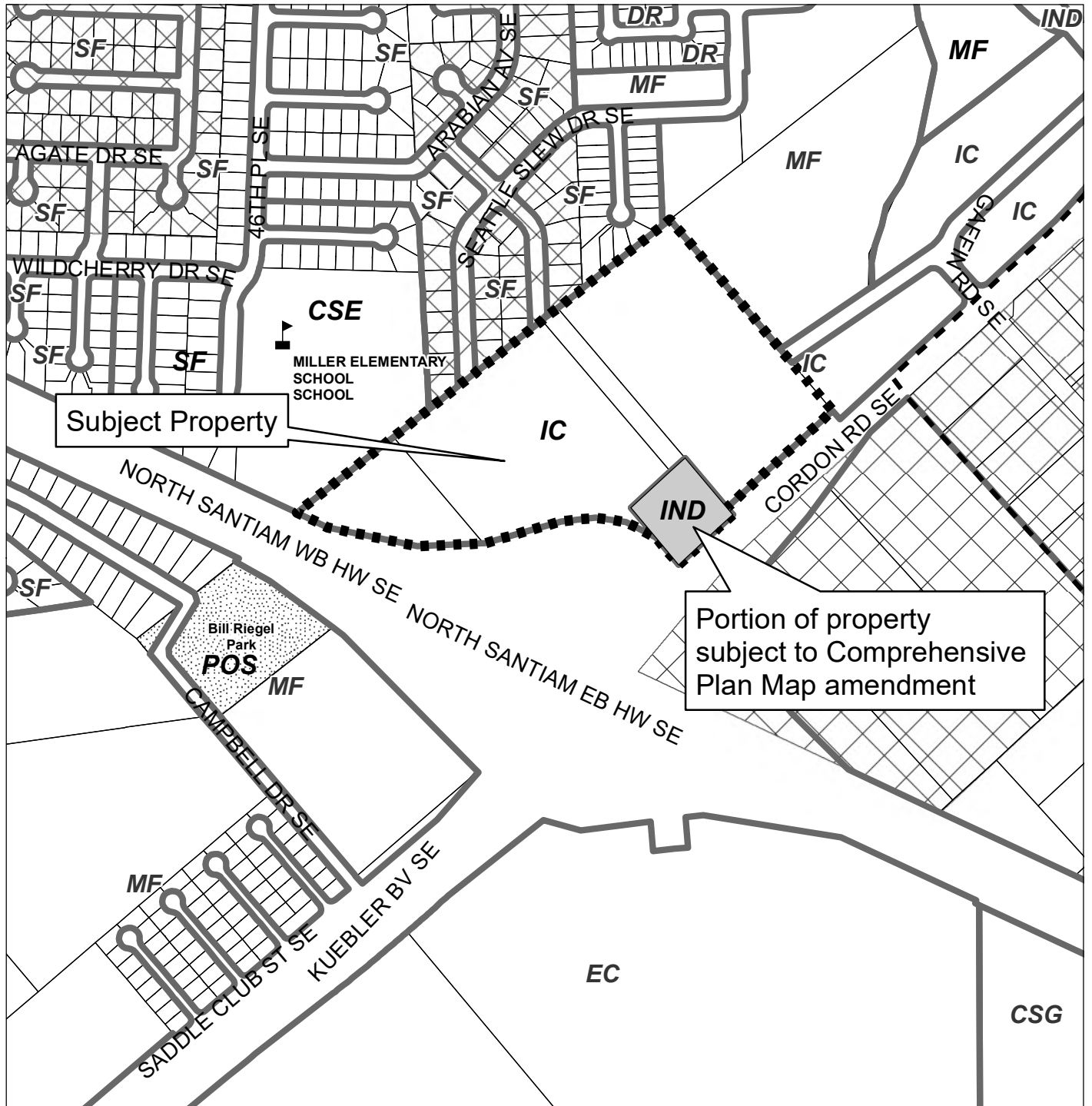


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Community Development Dept.

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Comprehensive Plan Map

(Proposed Comprehensive Plan Map Amendment:
Industrial to Industrial Commercial)



Legend

- | | |
|---------------------------|---------|
| Comprehensive Plan | Taxlots |
| Urban Growth Boundary | Parks |
| Outside Salem City Limits | Schools |

0 50 100 200 Feet

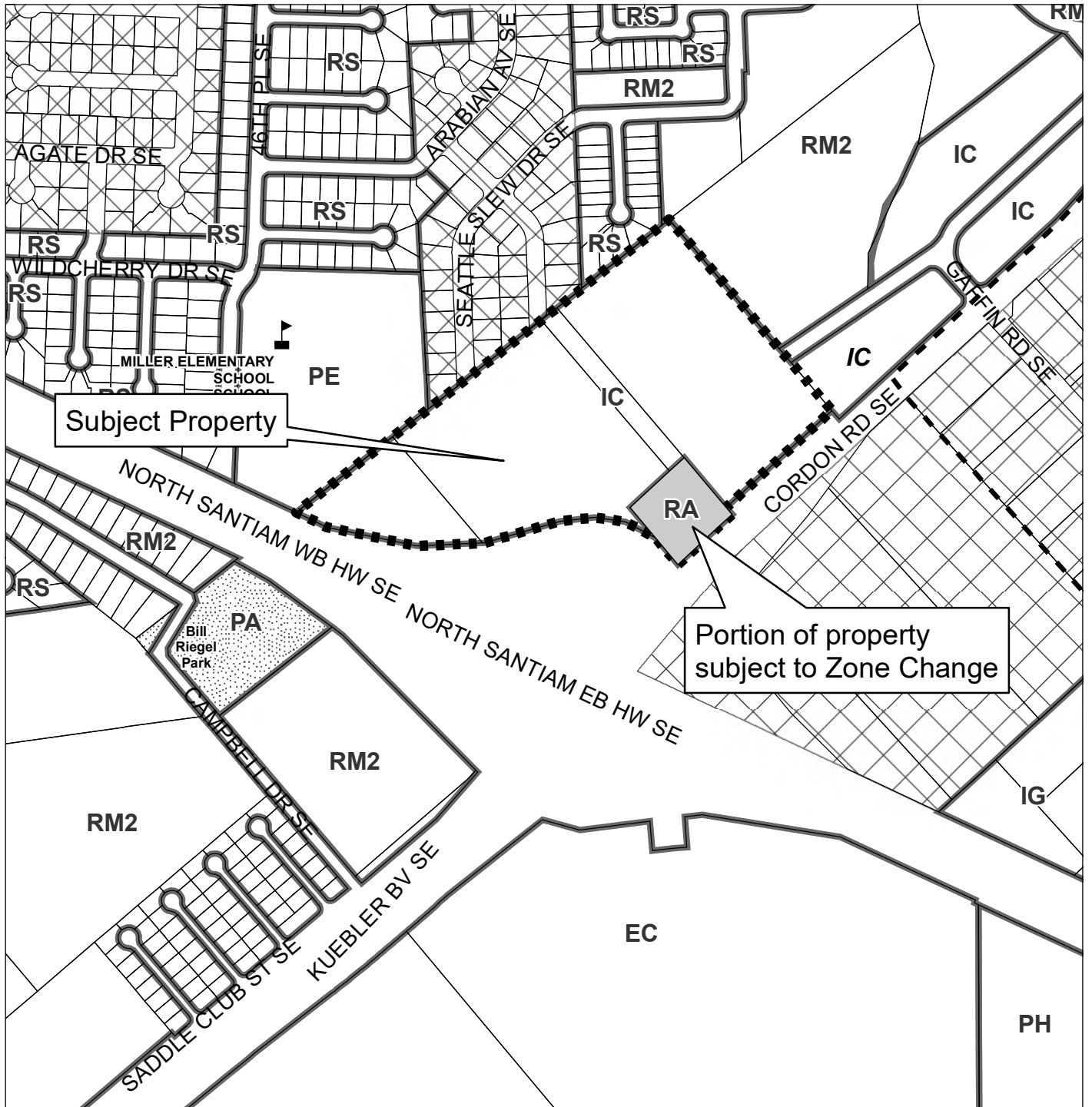


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Zoning Map

(Proposed Zone Change:
RA (Residential Agriculture) to IC (Industrial Commercial))



Legend

- | | |
|---------------------------|---------|
| Comprehensive Plan | Taxlots |
| Urban Growth Boundary | Parks |
| Outside Salem City Limits | Schools |

0 50 100 200 Feet

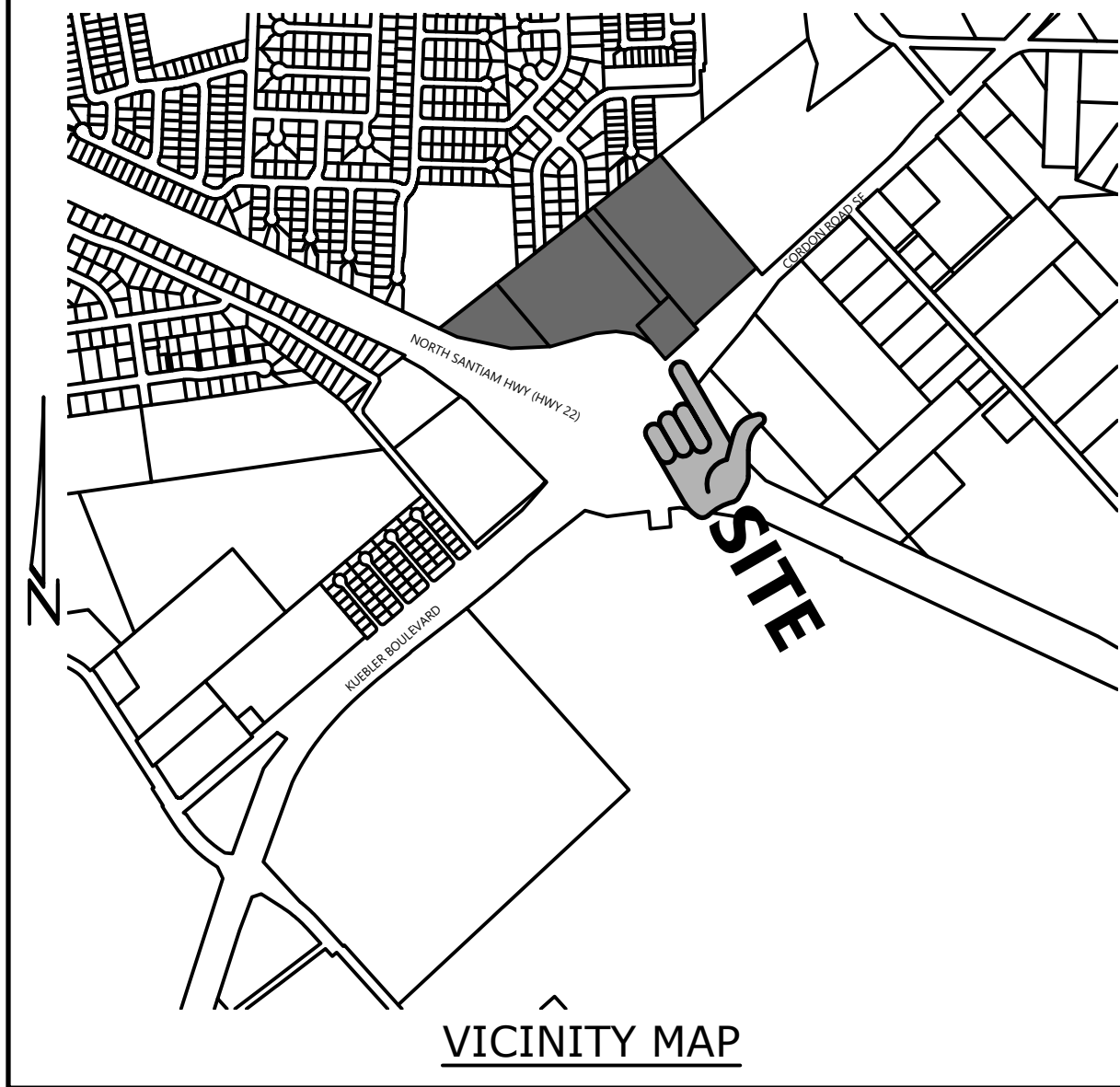
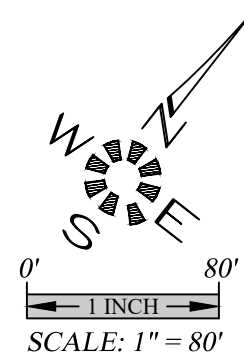


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HAWK'S RIDGE APARTMENTS PH. 3

SEC. 5, T. 8 S., R. 2 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON



T.B.M. 100.00
THIS IS THE DESCRIPTION & LOCATION OF
THE T.B.M. ELEVATION MARKER.
THIS IS THE DESCRIPTION & LOCATION OF
THE NEAREST B.M. ELEVATION MARKER WITH
THE ELEVATION OF THAT B.M.



ENGINEERING SERVICES, INC.
1155 13TH ST. S.E. SALEM, OR. 97302
PH. (503) 363-9227 FAX (503) 364-1260
www.multiphase.com

COVER SHEET

HAWK'S RIDGE APARTMENTS
PH. 3

Owner / Developer:
KCH ENTERPRISES. LLC
10355 LIBERTY ROAD S
SALEM, OREGON 97306

ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	L.P.	LIGHT-POLE
ACMP	ALUMINIZED CMP	M	METER, MAIN
ASSY.	ASSEMBLY	M.H.	MANHOLE
B.O.	BLOW OFF	MTL.	METAL
B.F.V.	BUTTERFLY VALVE	O.H.	OVERHEAD
C & G	CURB & GUTTER	PC	POINT OF CURVE
CATV	CABLE TELEVISION	PCC	POINT OF CONTINUING CURVE
C.B.	CATCH BASIN	PED.	PEDESTAL
C.B.C.O.	CATCH BASIN CLEANOUT	PRC	POINT OF REVERSE CURVE
C.B.I.	CATCH BASIN INLET	PROP.	PROPOSED
C.L.	CENTERLINE	PT	POINT OF TANGENCY
CMP	CORRUGATED METAL PIPE	PUB.	PUBLIC
C.O.	CLEANOUT	PUE	PUBLIC UTILITY EASMT.
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE
CONST.	CONSTRUCT	PVT.	PRIVATE
D.I.	DUCTILE IRON	P.P.	POWER POLE
DIA.	DIAMETER	P.L.	PROPERTY LINE
DWG.	DRAWING	R	RADIUS
EASMT.	EASEMENT	R-	RIM
E.G.	EXIST. GRADE / GROUND	RD	ROOF DRAIN
EOP, E.P.	EDGE OF PAVEMENT	R.O.W.	RIGHT-OF-WAY
ELEC.	ELECTRIC	SAN.S. or S.S.	SANITARY SEWER
ELEV. or EL.	ELEVATION	S	SLOPE
EX. or EXIST.	EXISTING	STA.	STATION
FT.	FEET	STD.	STANDARD
F.F.	FINISH FLOOR	STL.	STEEL
F.G.	FINISH GRADE	STM.DRN. or S.D.	STORM DRAIN
F.H.	FIRE HYDRANT	SVC.	SERVICE
F.M.	FORCE MAIN	SW	SIDEWALK
GUT. or GTR.	GUTTER	T.C.	TOP OF CURB
G.V.	GATE VALVE	TEL.	TELEPHONE
IMP.	IMPROVEMENT	TYP.	TYPICAL
INST.	INSERT	U.G.	UNDERGROUND
INV. or I-	INVERT	VL.	VAULT
L	LENGTH, LINE	W.M.	WATER MAIN

SYMBOLS	
EXIST.	PROP.

SHEET INDEX

SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR4	OPEN SPACE PLAN
SDR5	GRADING PLAN
SDR6	PRIVATE STORM DRAIN PLAN
SDR7	PRIVATE SANITARY SEWER PLAN
SDR8	PRIVATE DOMESTIC WATER PLAN
SDR9	PRIVATE FIRE SERVICE PLAN

L1.1 SCHEMATIC LANDSCAPE PLAN

BUILDING 1 (TYPE "D" UNITS)

A1.3	LOWER FLOOR PLAN
A1.4	MIDDLE & UPPER FLOOR PLAN
A1.8	BUILDING ELEVATIONS

BUILDING 2 (TYPES "A" & "B" UNITS)

A2.3	LOWER FLOOR PLAN
A2.4	UPPER FLOOR PLAN
A2.8	BUILDING ELEVATIONS

BUILDING 3 (TYPE "D" UNITS)

A3.3	LOWER FLOOR PLAN
A3.4	MIDDLE & UPPER FLOOR PLAN
A3.8	BUILDING ELEVATIONS

BUILDING 4 (TYPES "A" & "B" UNITS)

A4.3	LOWER FLOOR PLAN
A4.4	MIDDLE & UPPER FLOOR PLAN
A4.8	BUILDING ELEVATIONS

BUILDING 5 (TYPES "C" & "E" UNITS)

A5.3	LOWER FLOOR PLAN
A5.4	MIDDLE FLOOR PLAN
A5.5	UPPER FLOOR PLAN
A5.9	BUILDING ELEVATIONS

BUILDING 6 (TYPES "A" & "B" UNITS)

A6.3	LOWER FLOOR PLAN
A6.4	MIDDLE & UPPER FLOOR PLAN
A6.8	BUILDING ELEVATIONS

BUILDING 7 (TYPES "C" UNITS)

A8.3	LOWER FLOOR PLAN
A8.4	MIDDLE FLOOR PLAN
A8.5	UPPER FLOOR PLAN
A8.9	BUILDING ELEVATIONS

BUILDING 8 (RECREATION BUILDING)

A7.3	LOWER FLOOR PLAN
A7.6	BUILDING ELEVATIONS

NO CHANGES, MODIFICATIONS
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Date: SEPT. 2021
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JOB # 7314

SDR1

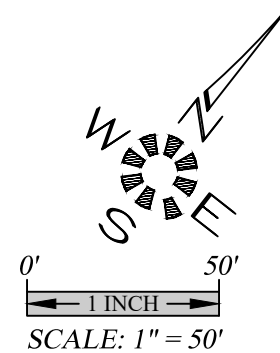
\\V:\V\1731-Hawthorn Ridge Apartments\1731-Hawthorn Ridge Apartments.dwg, 09/19/2022 4:33:45 PM, 25016

N51°48'59"E 683.73'

N51°56'32"E 531.00'

N51°57'20"E 341.77'

N51°35'59"E 36.69'



N78°02'28"W 308.09'

S87°26'02"W 225.88'

S73°56'51"W 265.76'

S84°10'17"W 116.62'
N62°15'03"W 206.16'

N62°15'03"W 206.16'

S53°05'38"W 127.48'

S47°24'41"W 548.23'

S40°14'53"E 241.71'

S40°17'00"E 629.33'

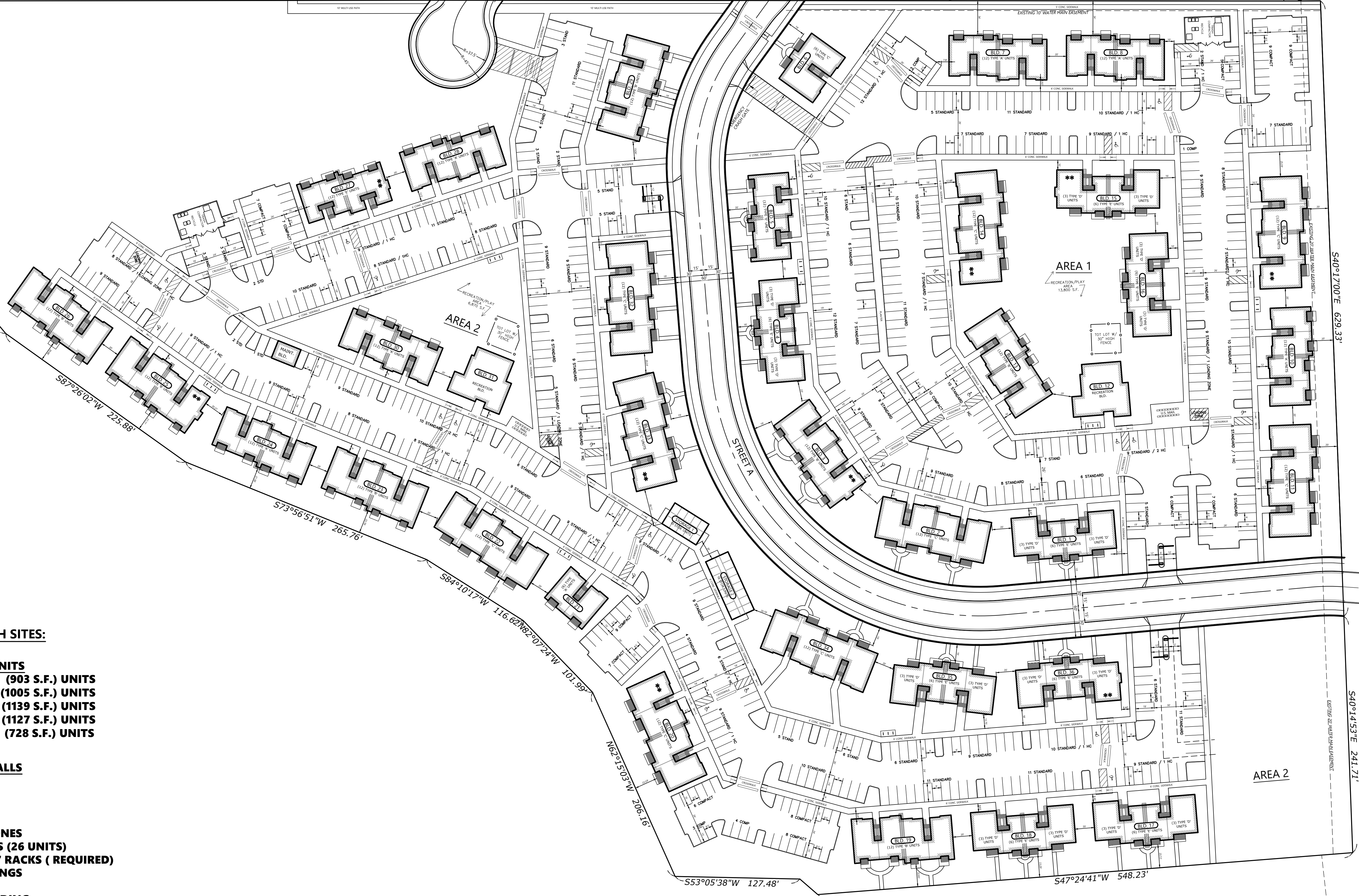
OVERALL TOTAL OF BOTH SITES:

396 TOTAL APARTMENT UNITS

- 78 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS
- 84 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS
- 114 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS
- 48 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS
- 72 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS

775 TOTAL PARKING STALLS

- 641 STANDARD STALLS
- 108 COMPACT STALLS
- 26 HANDICAP STALLS
- 3 12'x20' LOADING ZONES
- 2 STORAGE BUILDINGS (26 UNITS)
- 42 BICYCLE SPACES IN 7 RACKS (REQUIRED)
- 2 RECREATION BUILDINGS
- 2 RECREATION AREAS
- 1 MAINTENANCE BUILDING
- 2 TRASH COMPACTOR / RECYCLE
- 2 U.S. MAIL BOX AREA
- 3 KEY GATE ENTRY'S
- 1 WATER QUALITY AREA



OVERALL SITE PLAN

HAWK'S RIDGE APARTMENTS PH. 3

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Drawn: A.R.T.
Checked: B.M.G.
Date: SEPT. 2021
Scale: AS SHOWN

REGISTERED PROFESSIONAL
ENGINEER
9654
OREGON
JULY 14, 1978
MARK D. GREIV
EXPIRES: 06-30-2023

JOB # 7314

SDR3

SITE PLAN AREA 2:

222 TOTAL APARTMENT UNITS

- 42 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS**
60 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS
60 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS
24 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS
36 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS

431 TOTAL PARKING STALLS

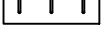
- 359 STANDARD STALLS**
58 COMPACT STALLS
14 HANDICAP STALLS

- 2 12'x20' LOADING ZONES**
2 STORAGE BUILDINGS (26 UNITS)
24 BICYCLE SPACES IN 4 RACKS (REQUIRED)
1 RECREATION BUILDINGS
1 MAINTENANCE BUILDING
1 TRASH COMPACTOR / RECYCLE
1 RECREATION AREA
1 U.S. MAIL BOX AREA
2 KEY GATE ENTRY'S
1 WATER QUALITY AREA

ADA HANDICAP ACCESSIBILITY NOTES:

- ALL ON-SITE WALKWAYS, PEDESTRIAN CONNECTIONS TO THE PUBLIC SIDEWALK AND ROUTES TO BUILDING ENTRANCES ARE ACCESSIBLE WITH RUNNING SLOPES LESS THAN 5% AND CROSS SLOPE LESS THAN 2% MAX. LANDINGS AT BOTTOM OF STAIRS AND EXT. FACE OF ENTRANCE DOORS SHALL HAVE A SLOPE IN THE DIRECTION OF TRAVEL NOT TO EXCEED 2%.
- HANDICAP PARKING STALLS AND ACCESS AISLES ARE TO HAVE SLOPES IN ANY DIRECTION OF LESS THAN 2% MAX. GRAPHIC MARKINGS & SIGNAGE FOR HANDICAP AND VAN ACCESSIBLE STALLS WILL BE PER OSSC 2010 CHPTR. 11 AND ORS. REQUIREMENTS.
- HANDICAP ACCESSIBLE CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 MAX. AND A CROSS SLOPE NOT TO EXCEED 1%.
- THE COMMUNITY BUILDING & ON-SITE LAUNDRY FACILITIES WILL BE FULLY HANDICAP ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 AND CHAPTER 11 OF THE 2010 OSSC.
- 2% OF THE LIVING UNITS OR (3) UNITS WILL BE TYPE 'A' HANDICAP ACCESSIBLE. THESE INCLUDE A 1, 2 AND 3 BEDROOM UNIT AS INDICATED ON THIS SITE PLAN. THE BALANCE OF THE GROUND FLOOR LIVING UNITS WILL BE TYPE 'B' ADAPTABLE UNITS IN ACCORDANCE WITH ANSI A117.1.

★★ THE INDICATED LOWER FLOOR UNITS IN BUILDINGS 20,25,27 & 33 ARE TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.1 (NOTED ON FLOOR PLANS). ALL OTHER LOWER FLOOR UNITS TO BE TYPE B UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.2

-  - POLE LIGHT MAXIMUM 14' TALL
 - POST LIGHT MAXIMUM 5' TALL
 - WALL PACK MOUNTED ON BUILDING
 - LOCATION OF ELECTRICAL SEPARATION WALL
 - MAXIMUM 1:12 SLOPE ON SIDEWALK END RAMPS
 - 6 BICYCLE SPACES.



SITE PLAN AREA 2

**HAWK'S RIDGE APARTMENTS
PH. 3**

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Design: M.D.G.
Drawn: A.R.T.
Checked: B.M.G.
Date: SEPT. 2021
Scale: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
JULY 14, 1978
MARK D. GUNN
EXPIRES: 06-30-2023
JOB # 7314

SDR5

SITE PLAN AREA 1:

174 TOTAL APARTMENT UNITS

- 36 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS
24 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS
54 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS
24 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS
36 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS

344 TOTAL PARKING STALLS

- 282 STANDARD STALLS
50 COMPACT STALLS
12 HANDICAP STALLS

- 1 12'X20' LOADING ZONE
18 BICYCLE SPACES IN 3 RACKS (REQUIRED)
1 RECREATION BUILDINGS
1 TRASH COMPACTOR / RECYCLE
1 REC. AREAS
1 U.S. MAIL BOX AREA
1 KEY GATE ENTRY'S

SITE PLAN AREA 2:

222 TOTAL APARTMENT UNITS

- 42 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS
60 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS
60 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS
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36 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS

431 TOTAL PARKING STALLS

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58 COMPACT STALLS
14 HANDICAP STALLS

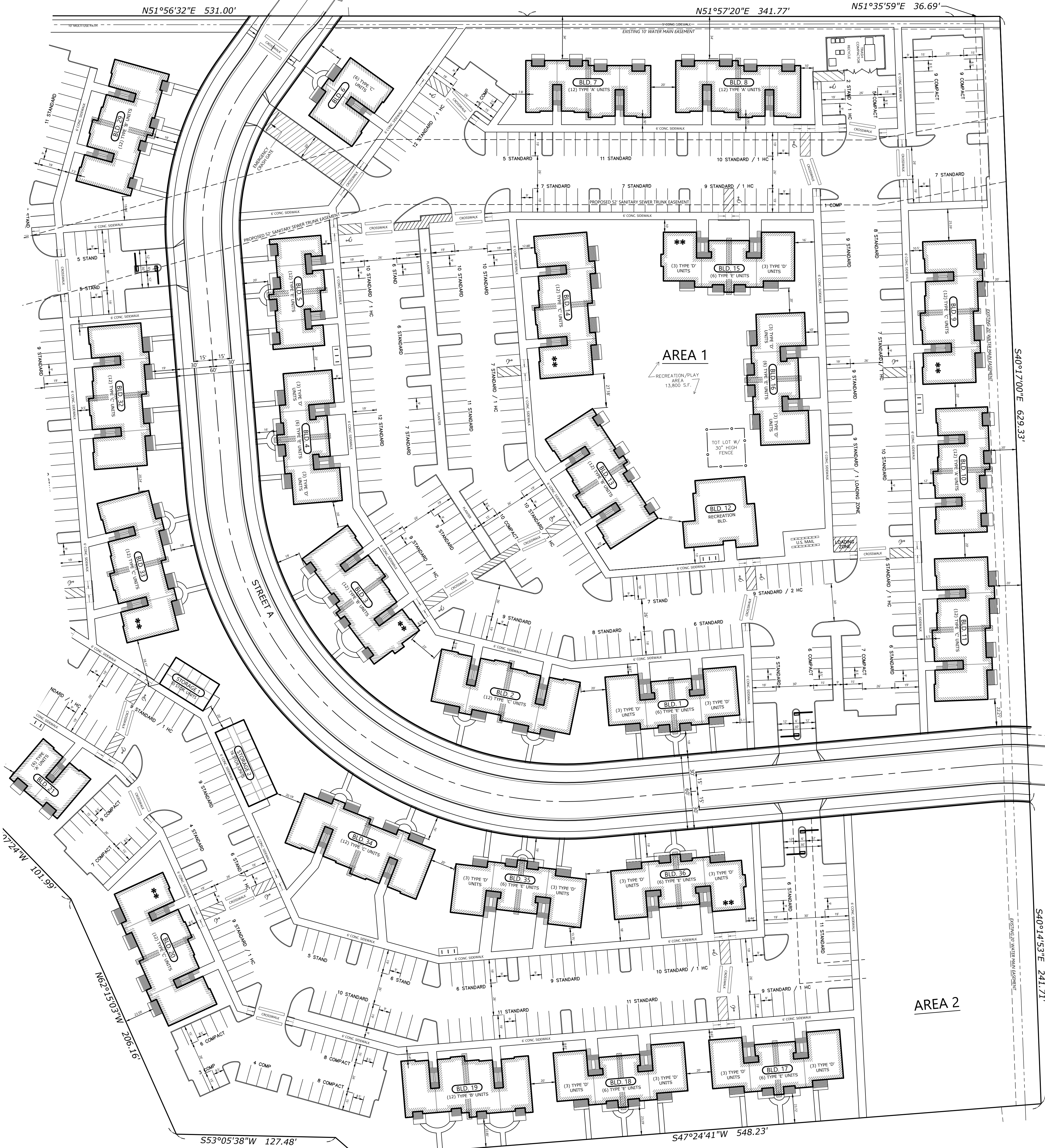
- 2 12'x20' LOADING ZONES
2 STORAGE BUILDINS (26 UNITS)
24 BICYCLE SPACES IN 4 RACKS (REQUIRED)
1 RECREATION BUILDINGS
1 MAINTENANCE BUILDING
1 TRASH COMPACTOR / RECYCLE
1 REC. AREAS
1 U.S. MAIL BOX AREA
2 KEY GATE ENTRY'S
1 WATER QUALITY AREA

★ ★ THE INDICATED LOWER FLOOR UNITS IN BUILDINGS 3,9,14,15 & 36 ARE TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.1 (NOTED ON FLOOR PLANS). ALL OTHER LOWER FLOOR UNITS TO BE TYPE B UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.2

- POLE LIGHT MAXIMUM 14' TALL
• POST LIGHT MAXIMUM 5' TALL
• WALL PACK MOUNTED ON BUILDING
• LOCATION OF ELECTRICAL SEPARATION WALL
• MAXIMUM 1:12 SLOPE ON SIDEWALK END RAMPS
• 6 BICYCLE SPACES.

ADA HANDICAP ACCESSIBILITY NOTES:

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SITE PLAN AREAS 1 & 2

HAWK'S RIDGE APARTMENTS
PH. 3

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Drawn: A.R.T.
Checked: B.M.G.
Date: SEPT. 2021
Scale: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
MARK D. GUNN
JULY 14, 1978
EXPIRES: 06-30-2023
JOB # 7314

PLANT KEY

SYMBOL	COMMON NAME
TREES	
M	MORTON STATE STREET MAPLE
+	LEYLAND CYPRESS
F	ROUND-LEAVED BEECH
+	CLEVELAND SELECT FLOWERING PEAR

SHRUBS	
⊗	RUDY HAAG DWARF BURNING BUSH
⊗	GOLDEN EUONYMUS
⊗	SKY PENCIL JAPANESE HOLLY
⊗	WAXLEAF PRIVET
⊗	CREeping MAHONIA
⊗	HARBOR DWARF HEAVENLY BAMBOO
⊗	GOSHIKI FALSE HOLLY
⊗	DWARF MUGO PINE
⊗	DOUBLE KNOCK OUT ROSE
⊗	LITTLE PRINCESS SPIREA

GROUND COVER	
■	ELIJAH BLUE BLUE FESCUE
■	TURF



REGISTERED
78
ANDREW J. LEISINGER
LANDSCAPE ARCHITECT
PRELIMINARY
1/25/82

LANDSCAPE ARCHITECTURE
SITE PLANNING
Andrew J. Leisinger, RLA
Landscape Architect
3295 Triangle Drive SE, STE. 105, Salem, Oregon 97302
Phone: (503) 378-0200, Cell: (503) 580-2103, andy@leisingerdesigns.com



HAWK'S RIDGE APARTMENTS PH. 3
SCHEMATIC/DESIGN DEVELOPMENT

JOB NO.	7314
DATE	06/25/22
DESIGN BY	AL/NP
CHECKED BY	AL
SHEET	LS-1



PLANT KEY

SYMBOL **COMMON NAME**

TREES

- MORTON STATE STREET MAPLE
- LEYLAND CYPRESS

- ROUND-LEAVED BEECH
- CLEVELAND SELECT FLOWERING PEAR

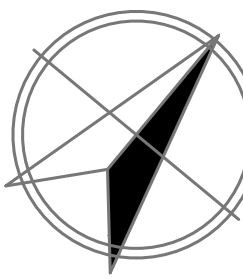
SHRUBS

- RUDY HAAG DWARF BURNING BUSH
- GOLDEN EUONYMUS
- SKY PENCIL JAPANESE HOLLY
- WAXLEAF PRIVET
- CREEPING MAHONIA
- HARBOR DWARF HEAVENLY BAMBOO

- GOSHIKI FALSE HOLLY
- DWARF MUGO PINE
- DOUBLE KNOCK OUT ROSE
- LITTLE PRINCESS SPIREA

GROUNDCOVER

- ELIJAH BLUE BLUE FESCUE
- TURF



0' 5' 10'
SCALE: 1"=30'0"
24"x36" ORIGINAL SIZE



**HAWK'S RIDGE APARTMENTS PH. 3
SCHEMATIC/DESIGN DEVELOPMENT**



PLANT KEY

SYMBOL **COMMON NAME**

TREES

- MORTON STATE STREET MAPLE
- LEYLAND CYPRESS

- ROUND-LEAVED BEECH
- CLEVELAND SELECT FLOWERING PEAR

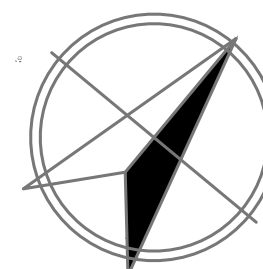
SHRUBS

- RUDY HAAG DWARF BURNING BUSH
- GOLDEN EUONYMUS
- SKY PENCIL JAPANESE HOLLY
- WAXLEAF PRIVET
- CREEPING MAHONIA
- HARBOR DWARF HEAVENLY BAMBOO

- GOSHIKI FALSE HOLLY
- DWARF MUGO PINE
- DOUBLE KNOCK OUT ROSE
- LITTLE PRINCESS SPIREA

GROUND COVER

- ELIJAH BLUE BLUE FESCUE
- TURF



0' 5' 10'
SCALE: 1"=30'0"
24"x36" ORIGINAL SIZE



WEST ELEVATION (TYPE D UNIT) (TYPE E UNITS) (TYPE D UNIT)
BLD. 1.4.16.17.18.+35
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (TYPE D UNITS)
BLD. 1.4.16.17.18.+35
SCALE: 1/8" = 1'-0"



EAST ELEVATION (TYPE D UNIT) (TYPE E UNITS) (TYPE D UNIT)
BLD. 1.4.16.17.18.+35
SCALE: 1/8" = 1'-0"

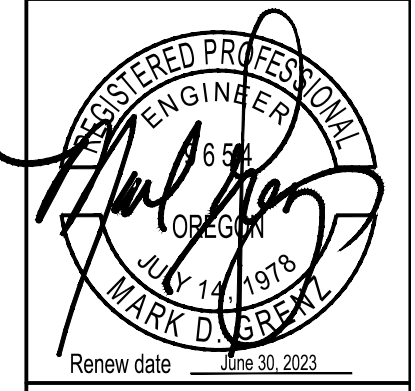


NORTH ELEVATION (TYPE D UNITS)
BLD. 1.4.16.17.18.+35
SCALE: 1/8" = 1'-0"

NO CHANGES, MODIFICATIONS OR
REVISIONS TO BE MADE TO
REPRESENTATIONS WITHOUT THE
AUTHORIZATION FROM THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

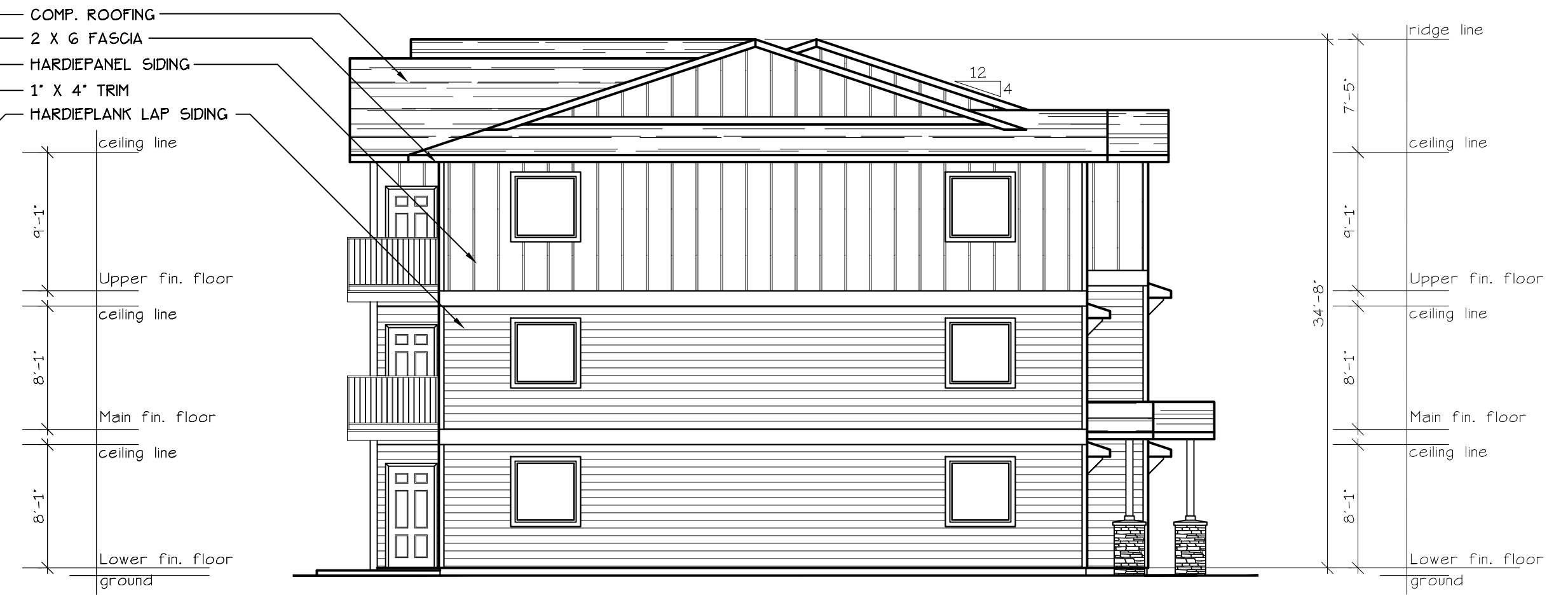
Design: P.L.M.
Drawn: G.L.D./A.R.T.
Checked: M.D.G.
Date: Oct-21
Scale: AS SHOWN

JOB # 7314





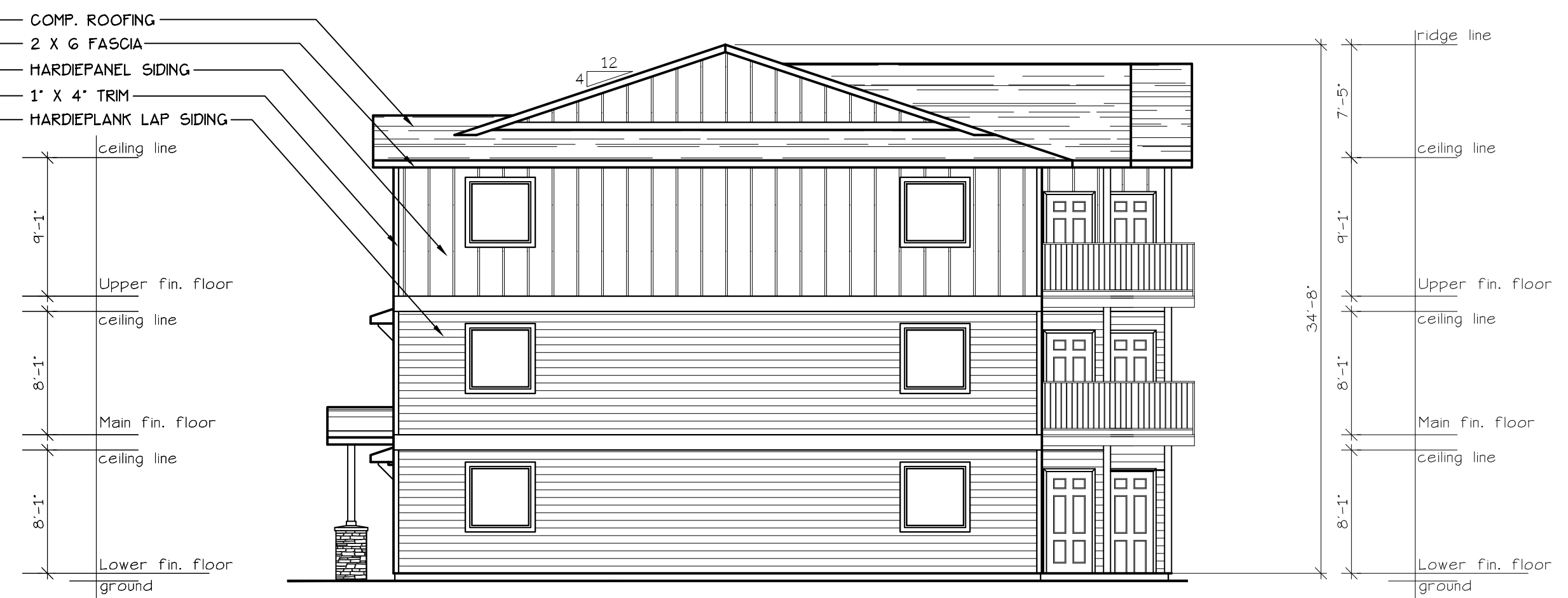
WEST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 2.11.22.32.+34



SOUTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 2.11.22.32.+34



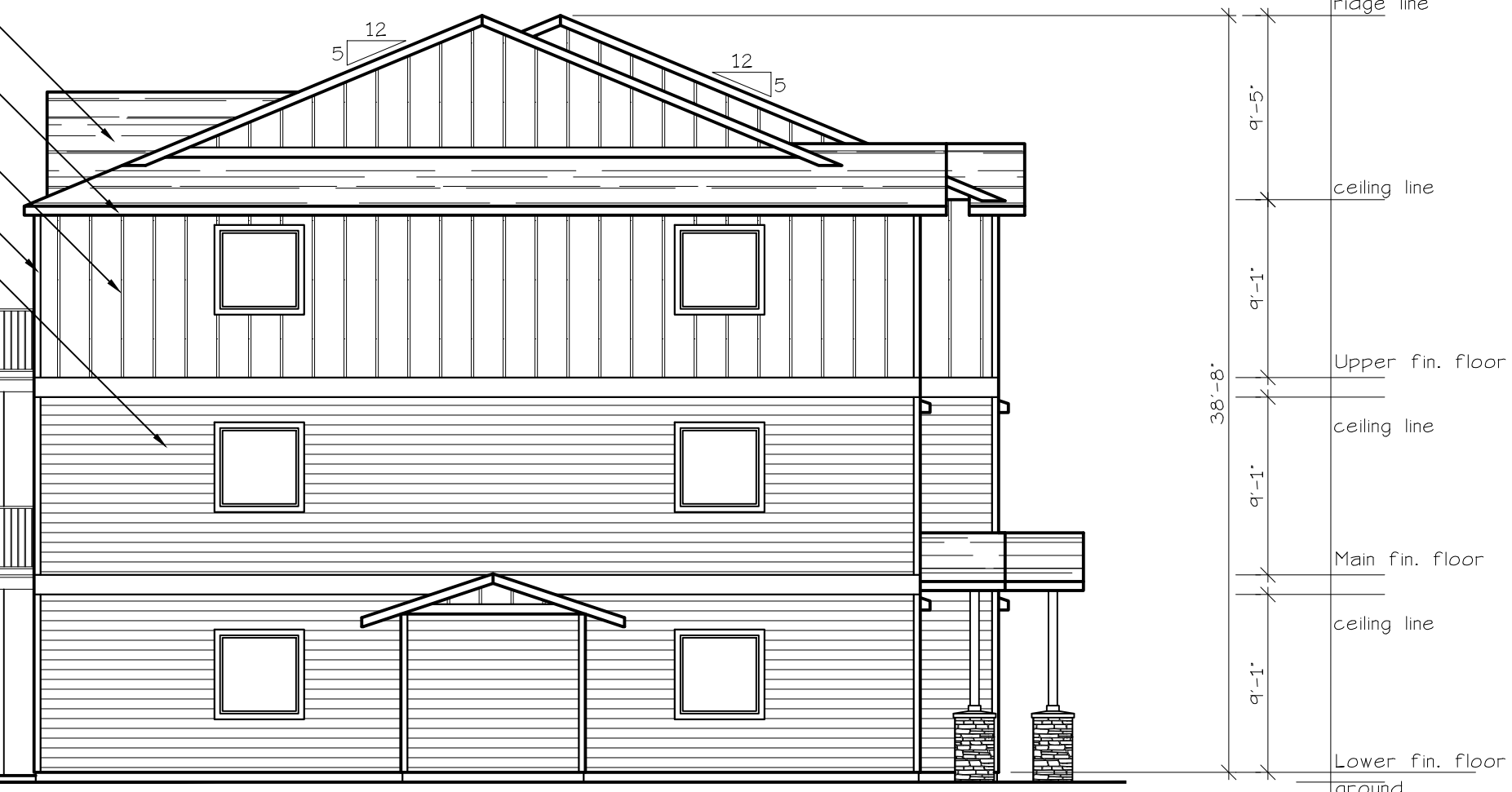
EAST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 2.11.22.32.+34



NORTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 2.11.22.32.+34



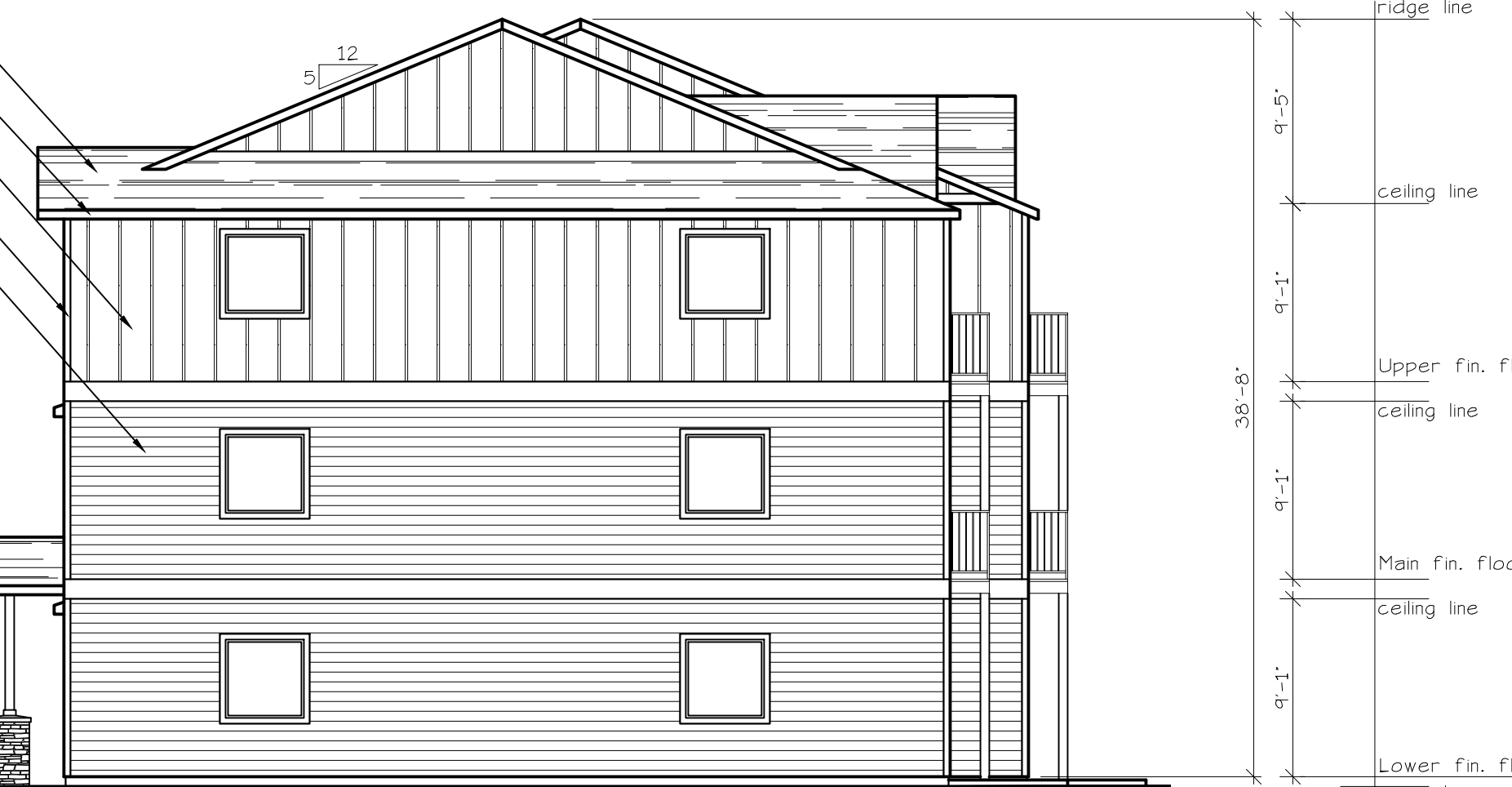
EAST ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 3 + 25



NORTH ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 3 + 25



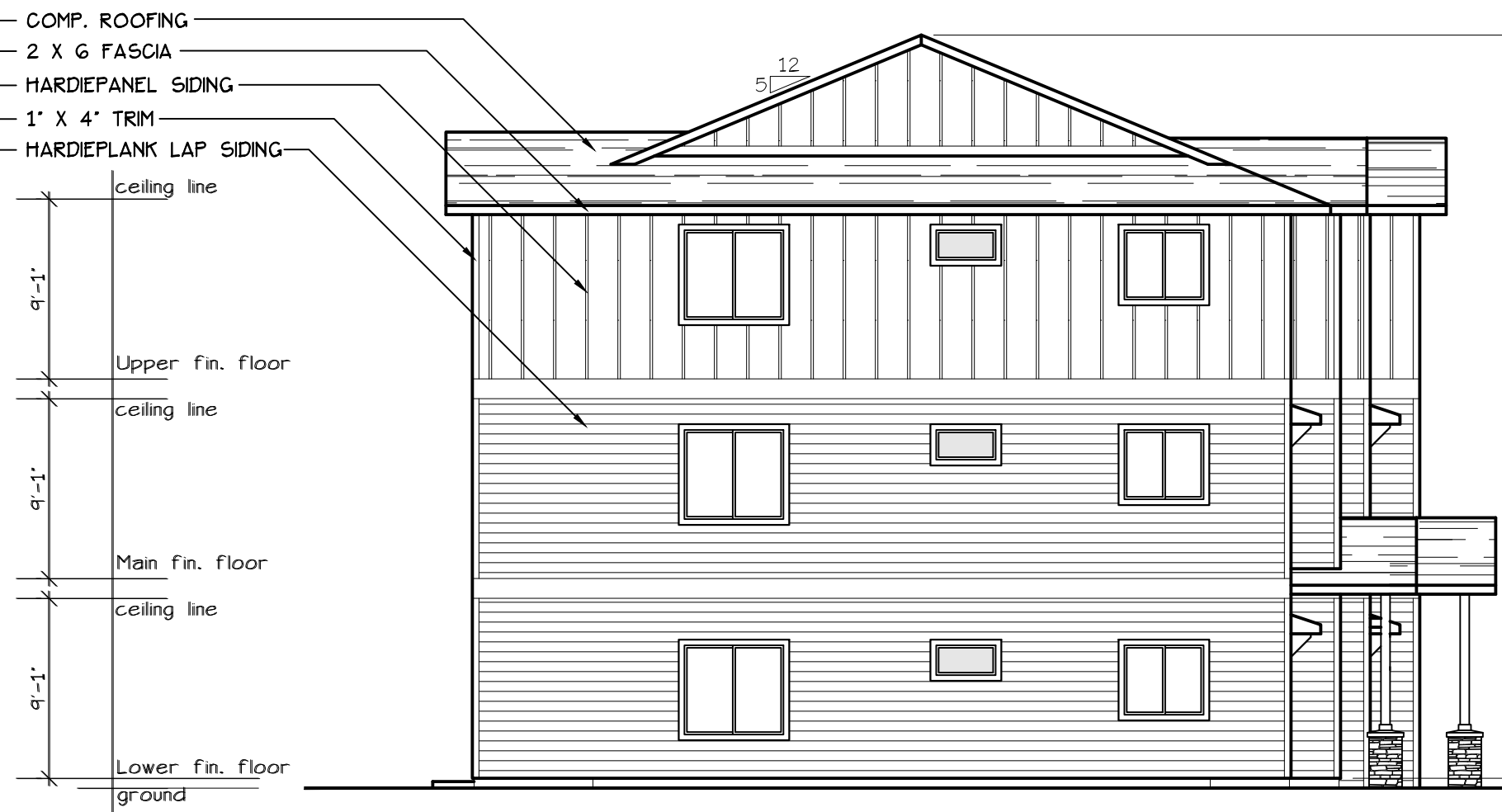
WEST ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 3 + 25



SOUTH ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 3 + 25



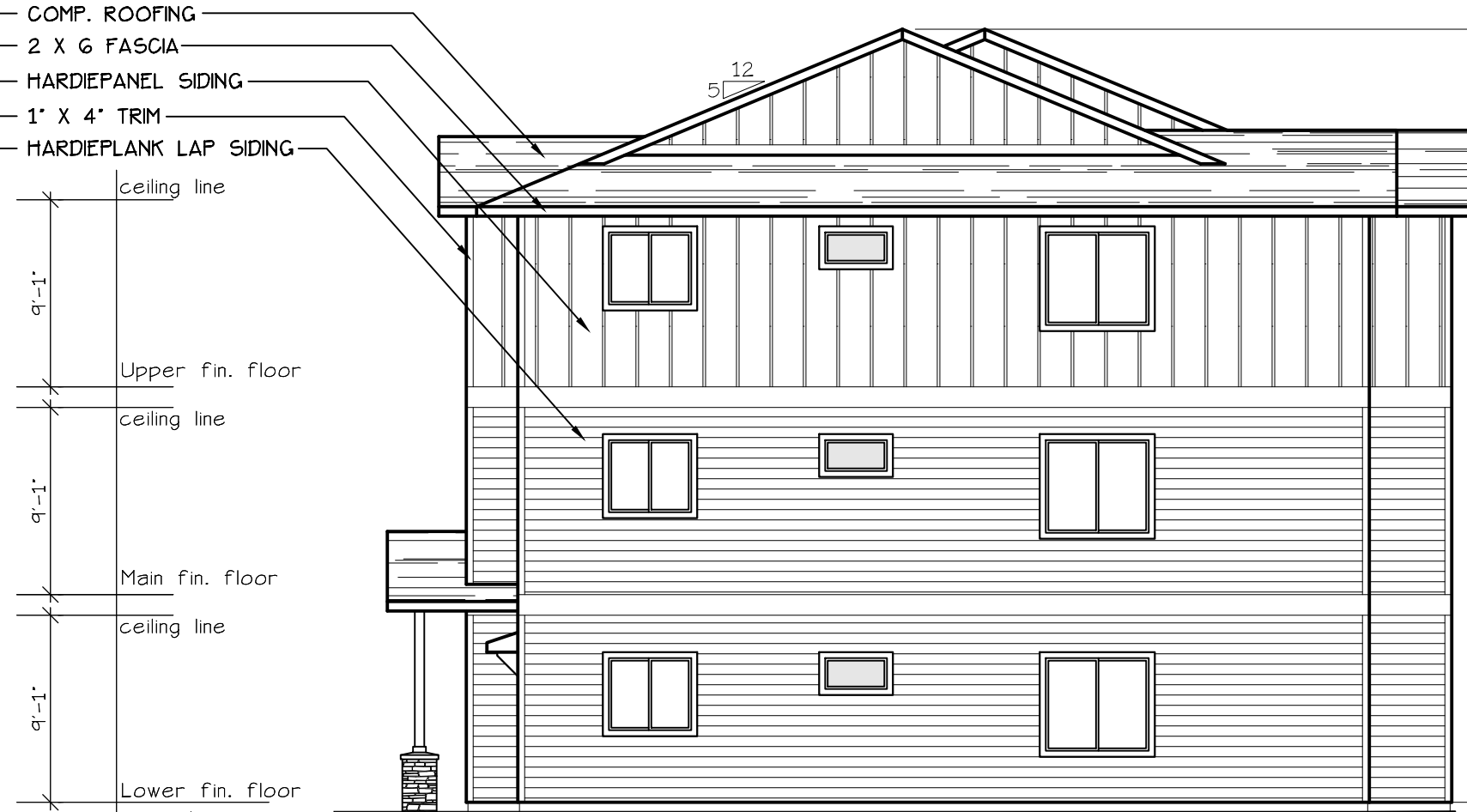
WEST ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 5



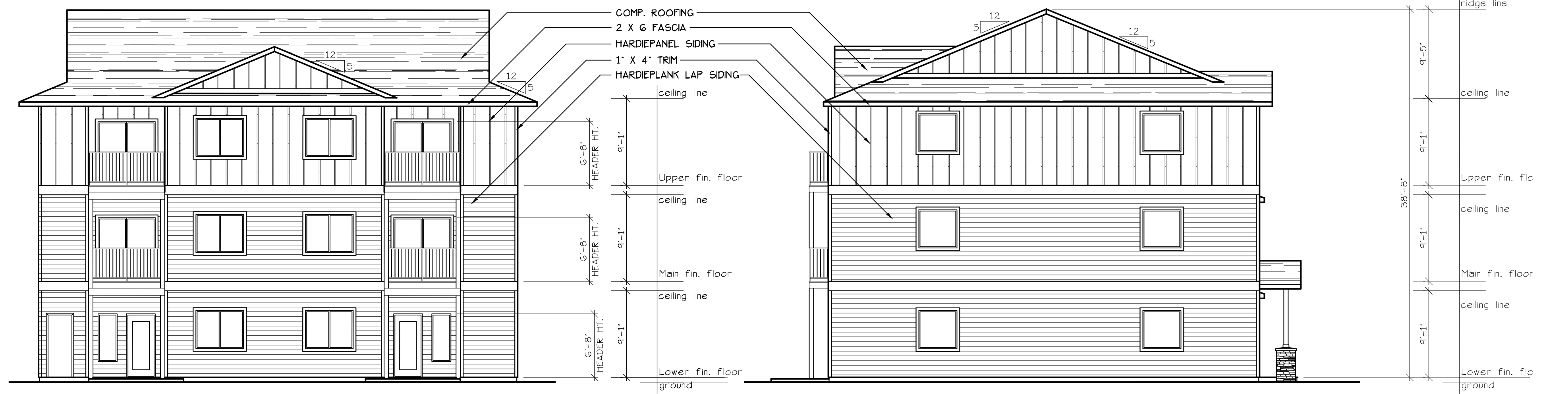
SOUTH ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 5



EAST ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 5

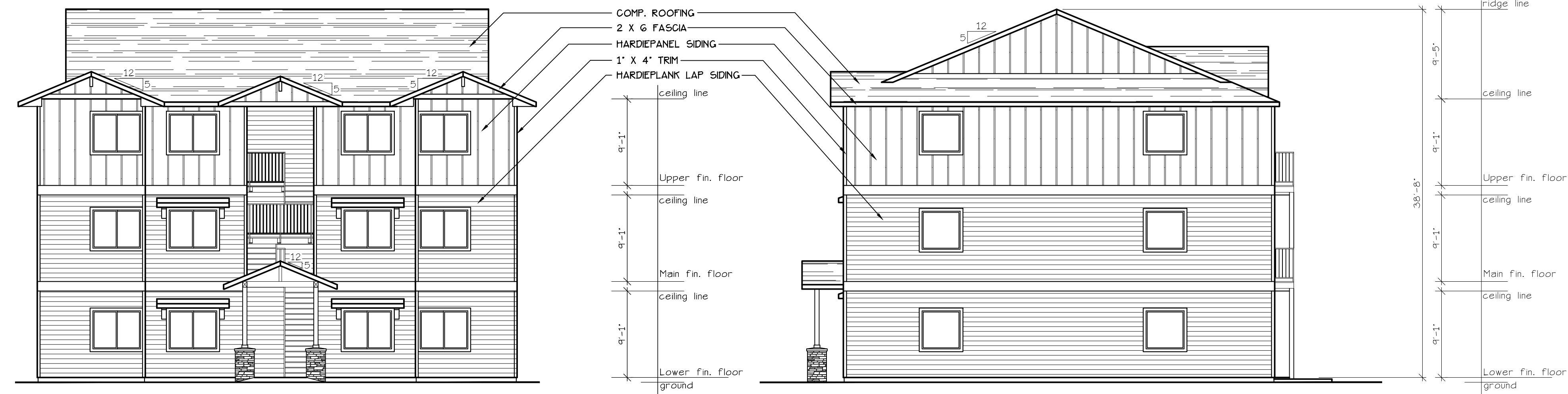


NORTH ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 5



EAST ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 6

NORTH ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 6



WEST ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 6

SOUTH ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 6



NORTHWEST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 7.8.10.24.28.+30



SOUTHWEST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 7.8.10.24.28.+30



SOUTHEAST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 7.8.10.24.28.+30



NORTHEAST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 7.8.10.24.28.+30



NORTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 9.14.20.+33



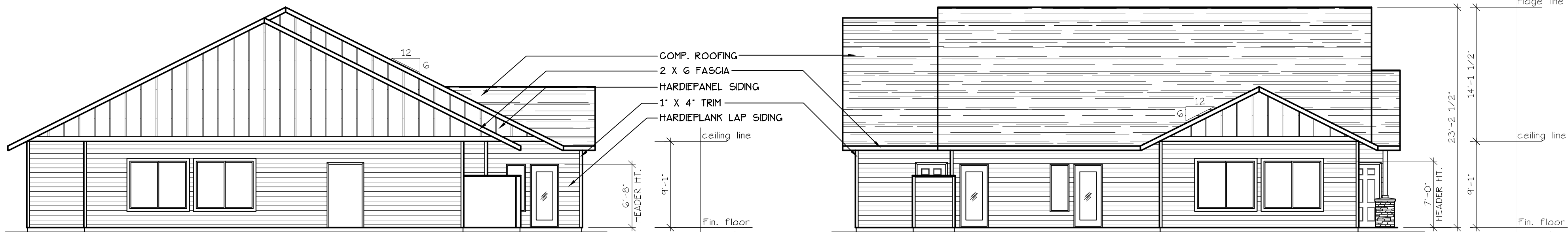
WEST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 9.14.20.+33



SOUTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 9.14.20.+33

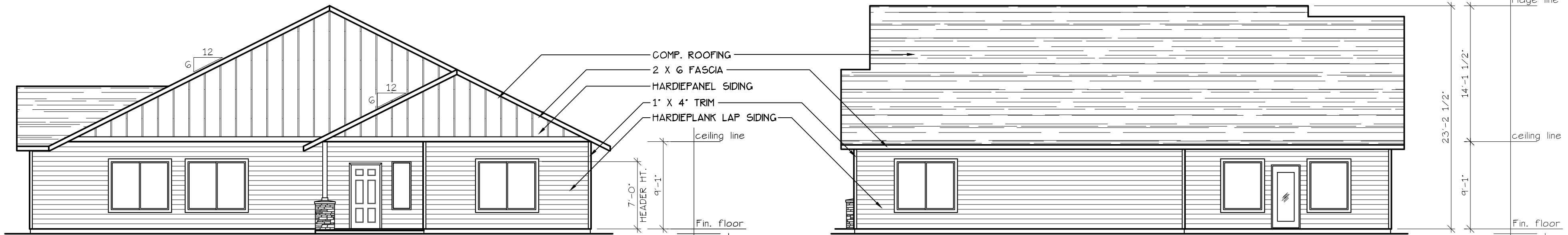


EAST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 9.14.20.+33



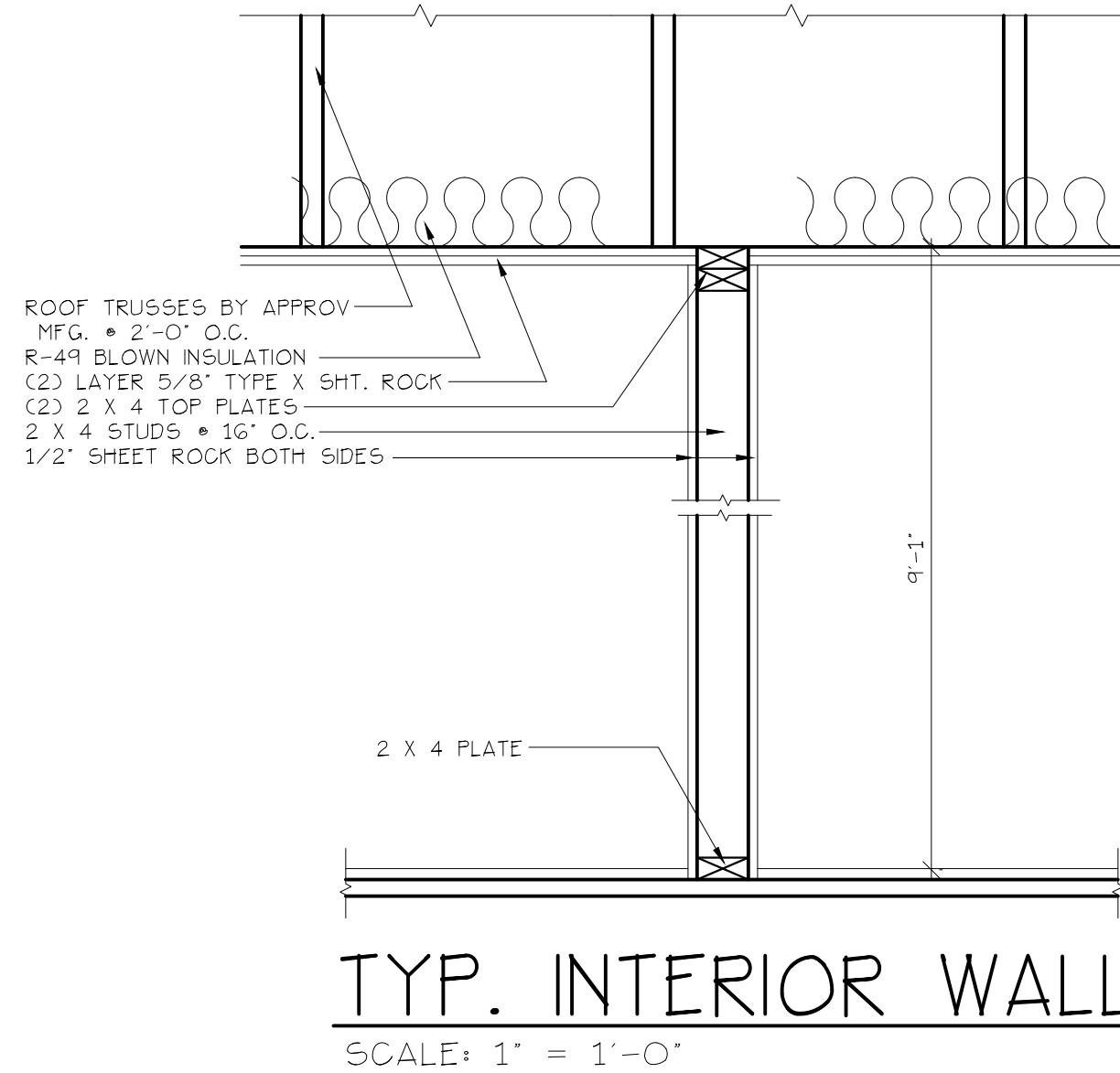
WEST ELEVATION (RECREATION BLD.)
SCALE: 1/8" = 1'-0"
BLD. 12 + 31

SOUTH ELEVATION (RECREATION BLD.)
SCALE: 1/8" = 1'-0"
BLD. 12 + 31



EAST ELEVATION (RECREATION BLD.)
SCALE: 1/8" = 1'-0"
BLD. 12 + 31

NORTH ELEVATION (RECREATION BLD.)
SCALE: 1/8" = 1'-0"
BLD. 12 + 31



TYP. INTERIOR WALL
SCALE: 1" = 1'-0"

HEADER NOTES

1. ALL DOOR AND WINDOW HEADERS TO BE #2 4x12 UNLESS NOTED OTHERWISE ON PLANS.
2. ALL 6x12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).
4. ALL LOWER FLOOR WINDOW HEADERS TO BE FRAMED AT 7'-0" A.F.F. ALL OTHER WINDOW HEADERS TO BE FRAMED AT 7'-6" A.F.F. (SEE ELEVATIONS FOR ANY EXCEPTIONS).

BUILDING COMPONENT	STANDARD CASE		LOG HOMES ONLY	
	Required Performance	Equivalent Value ^a	Required Performance	Equivalent Value ^a
Wall insulation—above grade	U-0.060	R-21 ^a	Note d	Note d
Wall insulation—below grade ^b	R-0.565	R-15	R-0.565	R-15
Floor ceilings ^c	U-0.031	R-38	U-0.025	R-49
Vaulted ceilings ^d	U-0.042	R-38 ^a	U-0.027	R-38 ^a
Underfloors	U-0.028	R-30	U-0.028	R-30
Slab edge perimeter	R-0.520	R-15	R-0.520	R-15
Heated slab interior ^e	n/a	R-10	n/a	R-10
Windows ^f	U-0.35	U-0.35	U-0.35	U-0.35
Window area limitation ^g	n/a	n/a	n/a	n/a
Skylights ^h	U-0.60	U-0.60	U-0.60	U-0.60
Exterior doors ⁱ	U-0.20	U-0.20	U-0.54	U-0.54
Exterior doors w/ > 2.5 ft ² glazing ^j	U-0.40	U-0.40	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8	n/a	R-8

For SF: 1 square foot = 0.0929m².

a. As allowed in Section 404.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-value standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-values contained in Table 404.1(1).

b. Values used in this table are nominal, for the insulation only in standard wood framed construction and not for the entire assembly.

c. Wall insulation requirements apply to all exterior wood framed, concrete or masonry walls that are above grade. This includes gable walls and rim joint areas. R-19 Advanced Frame or 2 x 4 wall with rigid insulation may be substituted if total nominal limitation R-value is 18.5 or greater.

d. The wall component shall be a minimum solid log or timber wall thickness of 3.5 inches (90 mm).

e. Below-grade wood, concrete or masonry walls include all walls that are below grade and does not include those portions of such wall that extend more than 24 inches above grade.

f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet (13.9 m²) in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces).

g. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless area has a U-factor no greater than U-0.031. The U-factor of 0.041 is representative of a vaulted ceiling truss. A 10 inch (254 mm) deep rafter vaulted ceiling with R-30 insulation is U-0.033 and complies with this requirement, not to exceed 50 percent of the total heated space floor area.

h. A w/ Advanced Frame construction, which shall provide full required insulating value to the outside of exterior walls.

i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab.

j. Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section 411.2, Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frame and double pane glazing with low-emissivity coatings of 0.10 or less.

k. Reduced window area may not be used as a trade-off criterion for thermal performance of any component.

l. Skylight area installed at 7 percent or less of total heated space floor area shall be deemed to satisfy this requirement with vinyl, wood, or thermally broken aluminum frames and double-pane glazing with low-emissivity coatings. Skylight U-factor is limited to the 20 degree (0.33 rad) overhead plane per NFRC standards.

m. A maximum of 28 square feet (2.6 m²) of exterior door area per dwelling unit can have a U-factor of 0.54 or less.

n. Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this U-0.40 requirement.

TABLE 401.1(2) ADDITIONAL MEASURES (select one) ^a	
MEASURE	
1	High efficiency HVAC system: Gas-fired furnace or boiler with minimum AFUE of 90%, or Air-source heat pump with minimum HSPF of 8.5, or Closed-loop ground source heat pump with minimum COP of 3.0
2	High efficiency duct sealing: Certified performance tested duct systems ^b or All ducts and air handler are contained within building envelope ^c
3	High efficiency building envelope: Replace corresponding Table 401.1(1) components with all of the following: Wall insulation—above grade – U-0.047/R-24, and Vaulted ceilings – U-0.033/R-30A ^d , and Flat ceilings – U-0.025/R-49, and Windows – U-0.32
4	Zonal electric, ductless furnace or ductless heat pumps: 75 percent of lamps in permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt, or Windows – U-0.32, or Flat ceilings – U-0.025/R-49 and vaulted ceilings – U-0.033/R-30A, or Exterior walls – U-0.047/R-24
5	High efficiency ceilings & windows/lighting: Replace corresponding Table 401.1(1) components with all of the following: Vaulted ceilings – U-0.033/R-30A ^d , and Flat ceilings – U-0.025/R-49, and Windows – U-0.32, and 75 percent of lamps in permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt
6	High efficiency ceilings & windows/water heating: Replace corresponding Table 401.1(1) components with all of the following: Vaulted ceilings – U-0.033/R-30A ^d , and Flat ceilings – U-0.025/R-49, and Windows – U-0.32, and Natural gas/propane, on-demand water heating with min. EF of 0.80
7	High efficiency water heating/lighting: Natural gas/propane, on-demand water heating with min. EF of 0.80, and 75 percent of lamps in permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt
8	Solar photovoltaic: Minimum 1 Watt/ft ² conditioned floor space ^e
9	Solar water heating: Minimum of 40 ft ² of gross collector area ^f

For SF: 1 square foot = 0.0929m².

a. Furnaces located within the building envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.

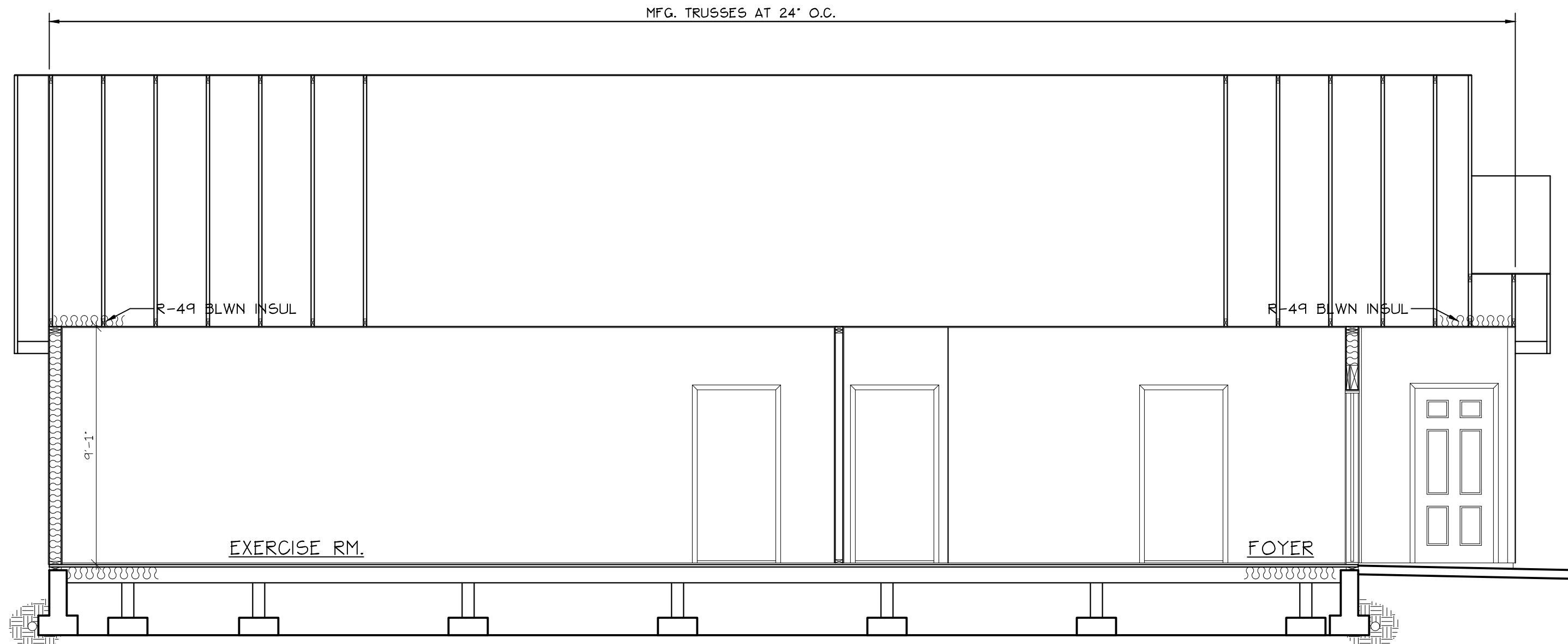
b. Documentation of performance tested (ductwork) shall be submitted to the building official upon completion of work. This work shall be performed by a contractor that is certified by the Oregon Department of Energy's (ODOB) Residential Energy Tax Credit program and documentation shall be provided that work demonstrates conformance to ODOB duct performance standards.

c. A w/ Advanced Frame construction, which shall provide full required ceiling insulation value to the outside of exterior walls.

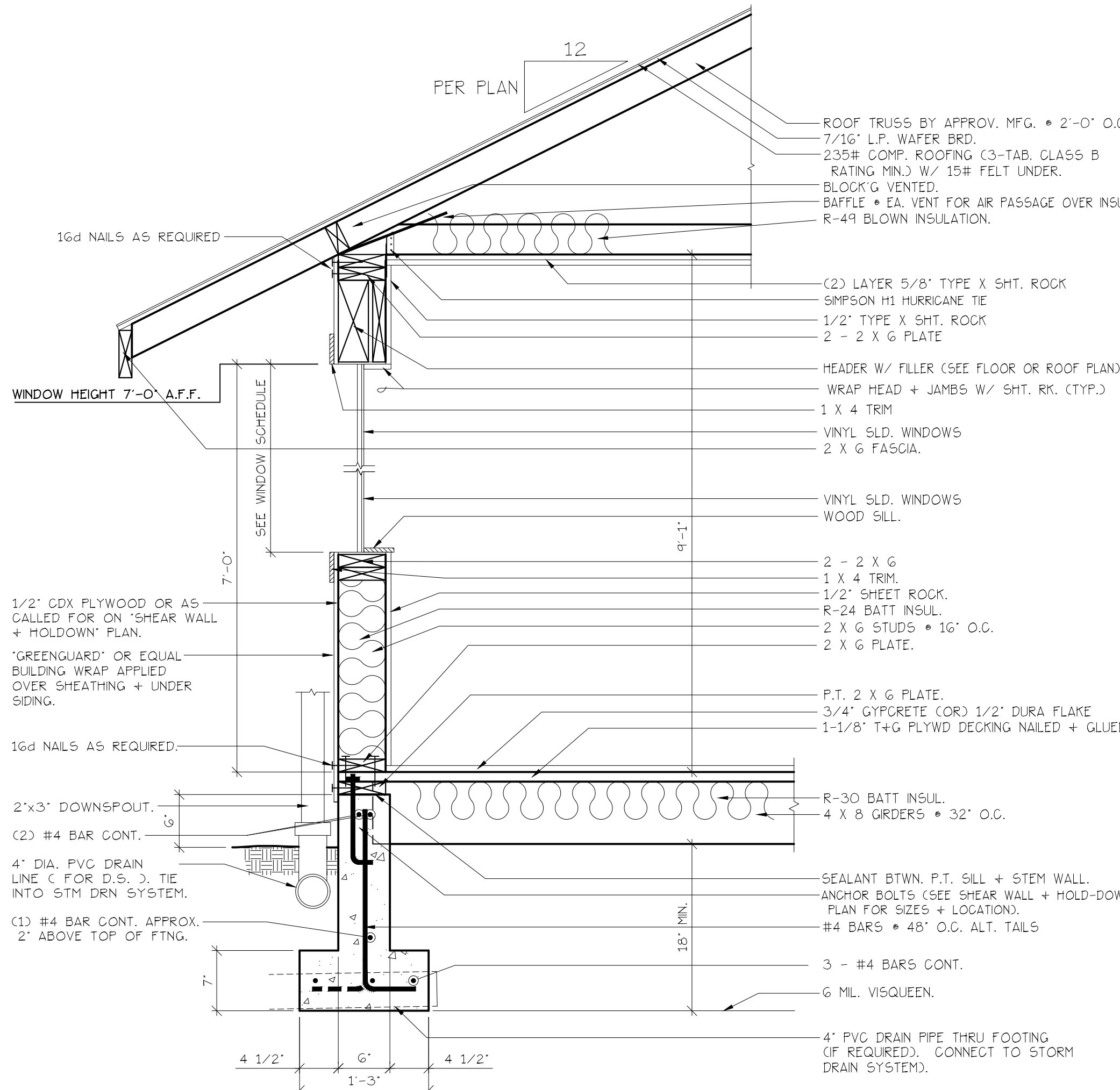
d. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.031.

e. Solar electric system size shall include documentation indicating that total solar resource fraction is not less than 75 percent.

f. Solar water heating panels shall be Solar Rating and Certification Corporation (SRCC) Standard OG-300 certified and labeled, with documentation indicating that total solar resource fraction is not less than 75 percent.



SECTION
SCALE: 1/4" = 1'-0"
A12.3 A12.3



TYP. EXTERIOR WALL
SCALE: 1" = 1'-0"



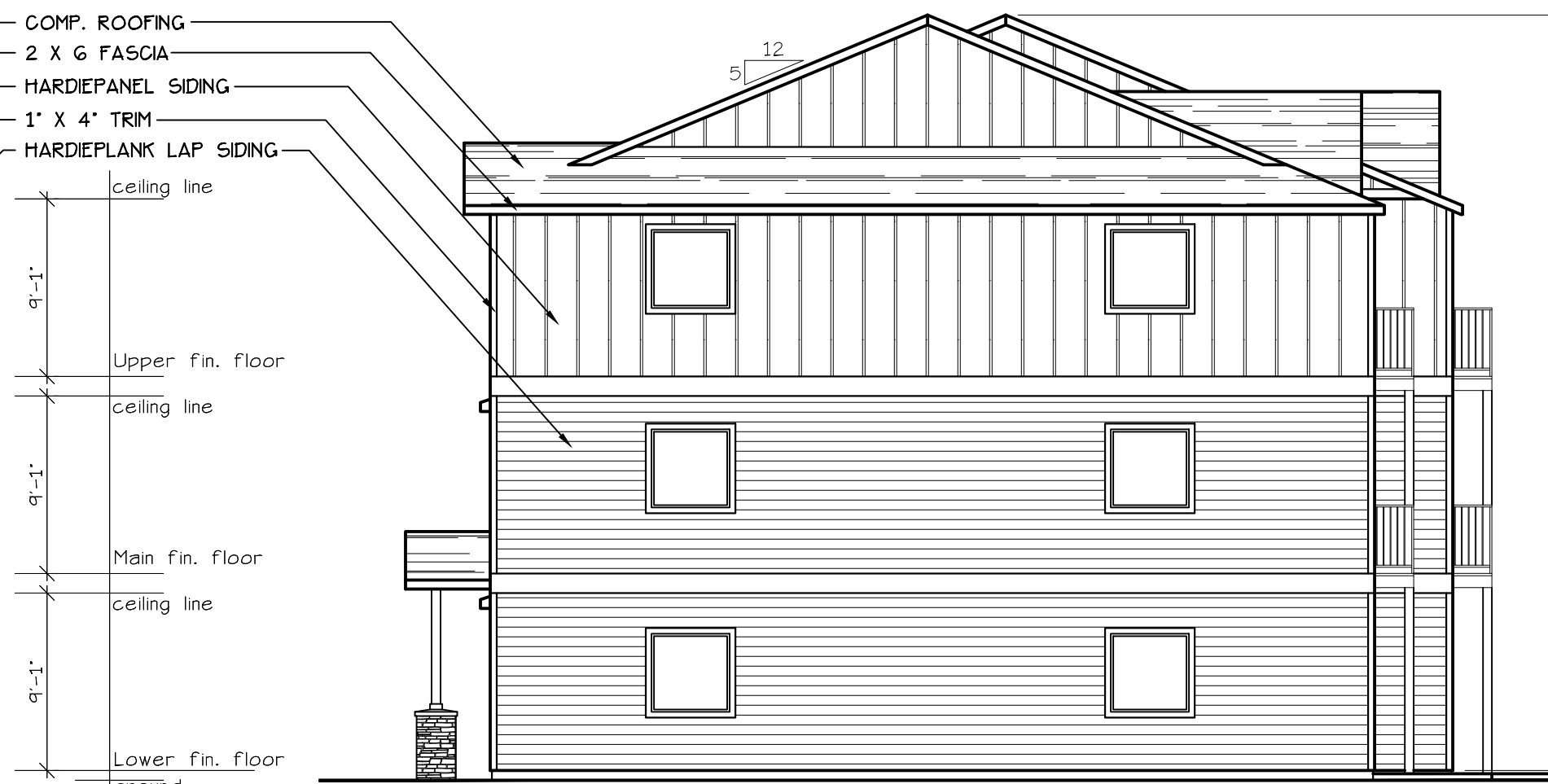
EAST ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13,19,23,26,+29



NORTH ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13,19,23,26,+29



WEST ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13,19,23,26,+29



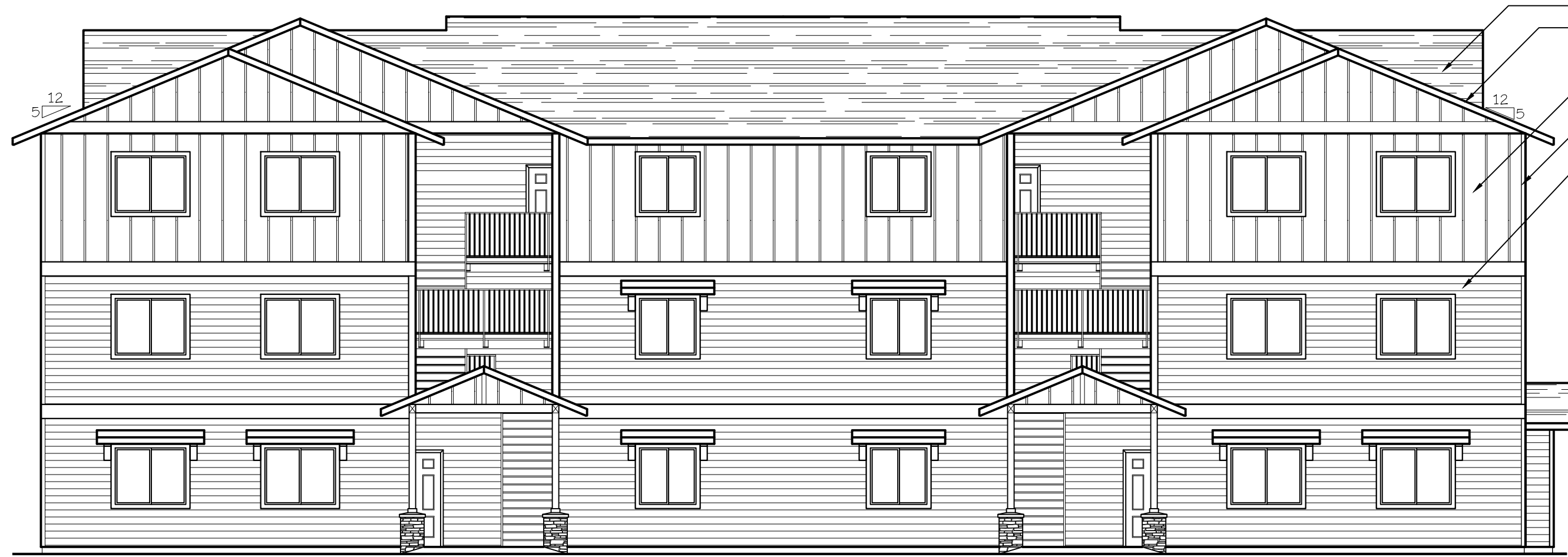
SOUTH ELEVATION (TYPE B UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13,19,23,26,+29



WEST ELEVATION (TYPE D UNIT) (TYPE E UNITS) (TYPE D UNIT)
BLD. 15 + 36
SCALE: 1/8" = 1'-0"



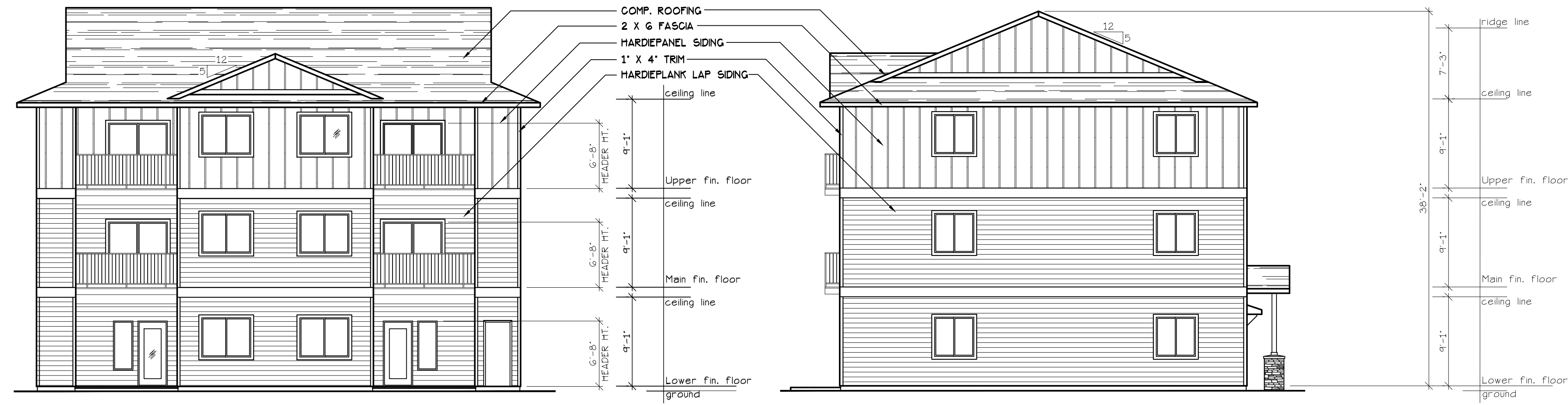
SOUTH ELEVATION (TYPE D UNITS)
BLD. 15 + 36
SCALE: 1/8" = 1'-0"



EAST ELEVATION (TYPE D UNIT) (TYPE E UNITS) (TYPE D UNIT)
BLD. 15 + 36
SCALE: 1/8" = 1'-0"

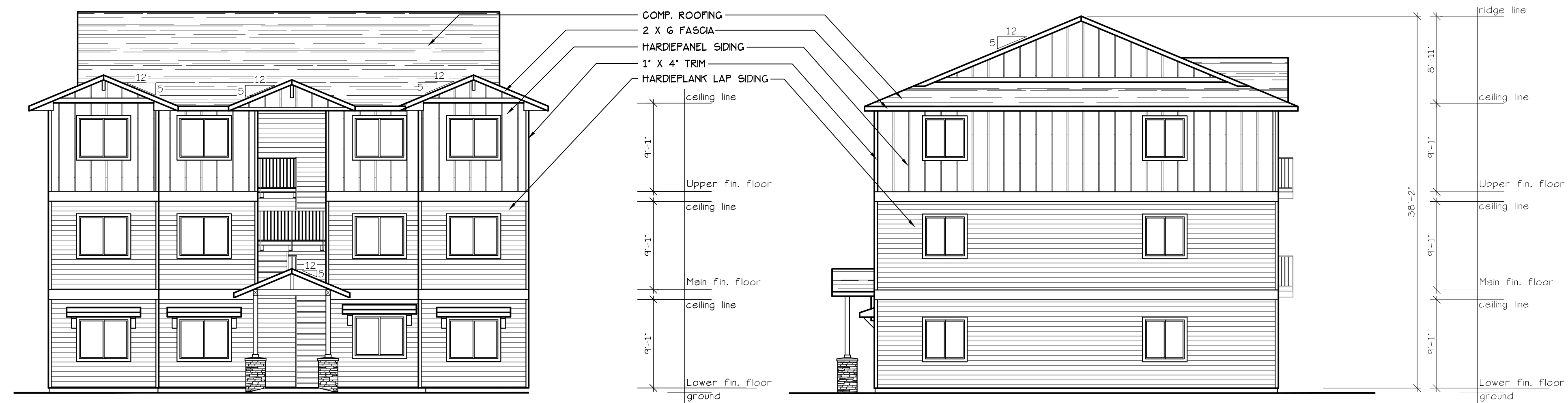


NORTH ELEVATION (TYPE D UNITS)
BLD. 15 + 36
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 21

SOUTHWEST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 21



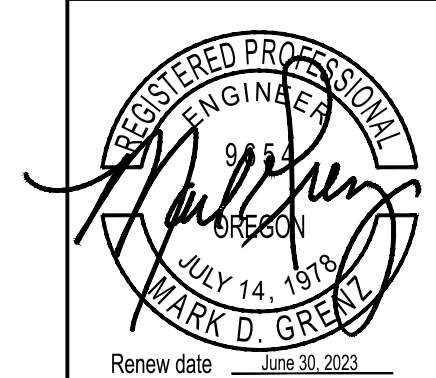
SOUTHEAST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 21

NORTHEAST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 21

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REPRESENTATION.

BLD21-6-20-031
A21.80 ELEV
Design: P.L.M.
Drawn: G.L.D./A.R.T.
Checked: M.D.G.
Date: Oct-21
Scale: AS SHOWN

JOB # 7314



Renew date: June 30, 2023



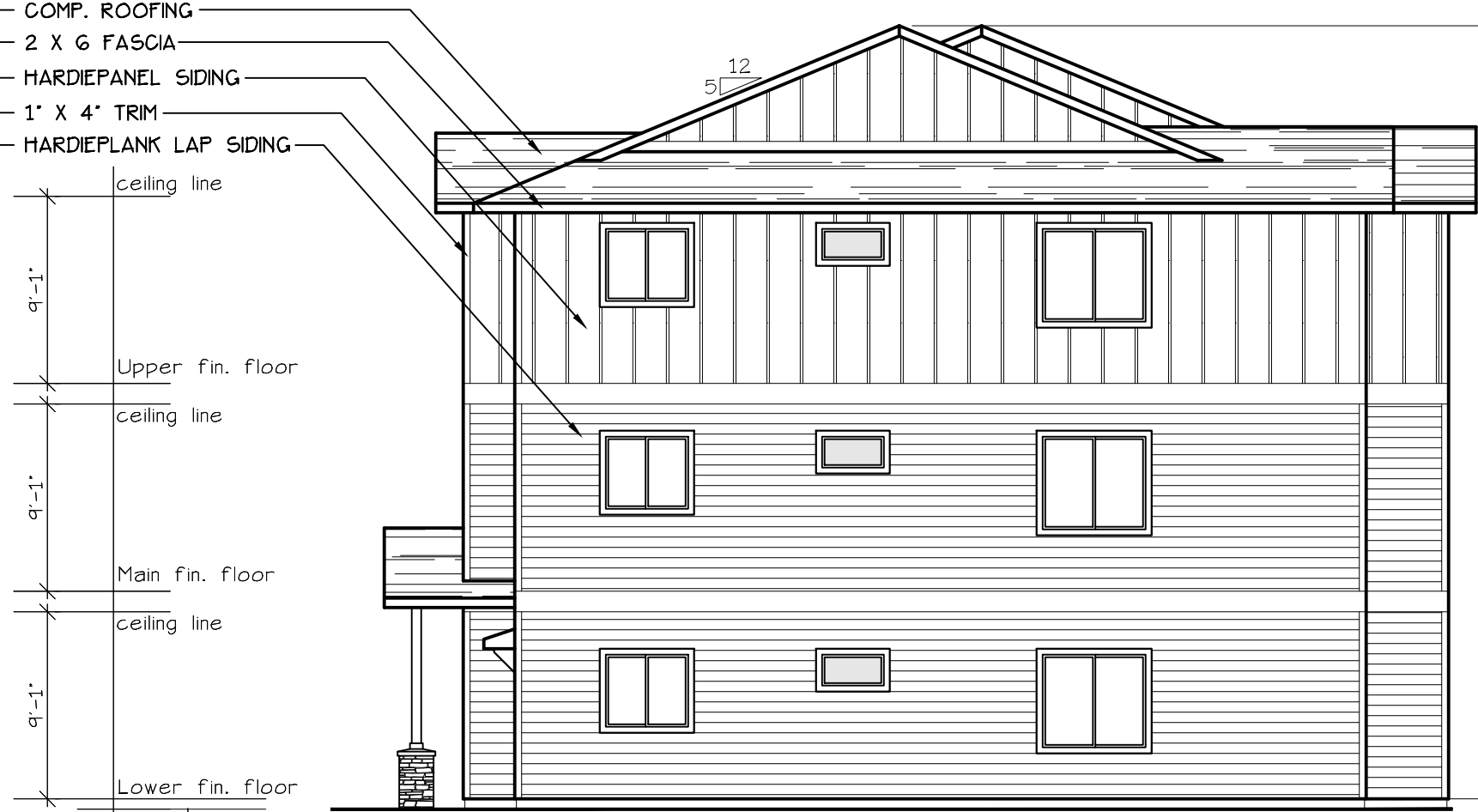
WEST ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 27



SOUTH ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 27



EAST ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 27



NORTH ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 27