



Planning Division • 503-588-6173
555 Liberty St. SE / Room 305 • Salem, OR 97301-3503 • Fax 503-588-6005

PLANNING REVIEW CHECKLIST

Subject Property: 835 Commercial Street SE

Reference Nos.: 22-117603-PLN (Class 3 Site Plan Review)

Applicant: T&L Salem, LLC
4602 Viewcrest Road S
Salem, OR 97302


Phone:
E-Mail: hunsaket@gmail.com

Agent: Ronald James Ped Architect, PC
6850 Burnett Street SE
Salem, OR 97317

Phone: 503-363-1456
E-Mail: rjp@rktect.com

The Planning Division has conducted its completeness review of the proposed Class 3 Site Plan Review for property located at 835 Commercial Street SE. In order to deem the application complete and to continue processing the application, modifications/and or additional information is needed to address the following item(s):

Item:	Description:
Application Form	<p>The application form needs to be revised to address the following:</p> <ul style="list-style-type: none">▪ <u>Comprehensive plan designation.</u> The comprehensive plan designation of the property was changed to Mixed-Use as part of the Our Salem project. The application form, however, indicates that the property is designated Retail Commercial. The application form needs to be updated to identify the correct comprehensive plan designation of the property as Mixed Use.▪ <u>Zoning.</u> The zoning of the property was also changed to MU-I (Mixed-Use) as part of the Our Salem project. The application form, however, indicates that the property is zoned CR. The application form needs to be updated to identify the correct zoning of the property as MU-I with Saginaw Street Overlay zone.▪ <u>Project valuation.</u> The project valuation section of the application form needs to be completed in order to establish the correct Class 3 Site Plan Review application fee.▪ <u>Home Owners' Association.</u> The application form indicates that the South Central Association of Neighbors (SCAN) neighborhood association is the Homeowners Association applicable to the subject property. The SCAN Neighborhood Association is not, however, a Homeowners Association. The application form needs to be revised to indicate "N/A" in the section where it asks whether the property is within a Homeowners Association.

Item:	Description:
Neighborhood Association Contact	The application form indicates that the SCAN Neighborhood Association was contacted via e-mail on August 15, 2022. However, proof of neighborhood association contact, as required under SRC 300.310, has not been submitted. In order to comply with the neighborhood association contact requirements of SRC 300.310(d), a copy of the e-mail sent to the neighborhood association and a list of the e-mail addresses to which the e-mail was sent is needed.
Recorded Deed	SRC 300.210(a)(2) requires a copy of the current deed(s) for the property to be submitted. The subject property consists of six separate tax lots. The deed submitted with the application is the deed for tax lot 9000 . Deeds for the remaining five tax lots which make up the property, however, still need to be provided.
Legal Lot Status of Property	<p>The subject property is made of six separate tax lots. In reviewing the survey records for the property it's currently unclear whether the individual tax lots which make up the property were lawfully created because no record of land division(s) could be found that would have resulted in their creation in their current configuration.</p> <p>In order to confirm that the subject property was lawfully created, evidence is needed demonstrating that the property was created in conformance with, and according to, any applicable land division requirements in effect at the time it was created in its current configuration.</p>
Written Statement in Support of Proposed Development	SRC 300.210(a)(9) requires the submittal of a written statement addressing each approval criterion and standard applicable to the application. A written statement addressing the approval criteria and standards applicable to the application is needed.
Landslide Hazard Susceptibility	<p>The topography of the property is flat. There are, however, three small areas of mapped landslide hazard susceptibility located on the site (<i>see image below</i>). Because of this, a geological assessment or a certification from an engineering geologist or a geotechnical engineer that landslide risk on the site is low, and that there is no need for further landslide risk assessment, is required.</p> 

Item:	Description:
Site Plan	<p>The site plan needs to be revised to show all of the current property lines which run through the site pursuant to SRC 220.005(e)(1)(A). The existing property lines appear to conflict with the proposed building location and the proposed parking areas.</p> <p>In order to address these conflicts and eliminate the interior property lines in order to accommodate the proposed development, the existing six properties will need to be consolidated into one lot.</p>
Building Elevation Drawings	<p>SRC 220.005(e)(1)(E) & (F) require the submittal of building elevation drawings and architectural drawings or renderings showing all elevations of the proposed building as it will appear upon completion. Site plan drawings have been submitted, but no building elevation drawings have been provided and are required.</p> <p>The building elevation drawings are required to verify conformance with the building height and design standards of the MU-I zone. Within the MU-I zone, the minimum required building height is 20 ft. and the maximum allowed building height is 65 ft.</p>
Proposed Use of Property	<p>Clarification is needed regarding the use or uses that are proposed for the property. The site plan indicates that the proposed building will be a medical/office building. The site plan also indicates that the building is for the Hunsaker Dental Clinic. Will the entire building be used as a dental clinic or will there be additional individual suites created within the building to accommodate separate office uses and/or separate outpatient medical office uses?</p>
Building Frontage Abutting Commercial Street.	<p>The MU-I zone requires a minimum 75 percent building frontage along Commercial Street (per SRC 533.015(d)). The proposed development, however, includes 33.9 percent building frontage adjacent to Commercial Street. The proposed development will need to be revised to provide the minimum required 75% building frontage abutting Commercial Street.</p>
Pedestrian Oriented Design Requirements	<p>The MU-I zone includes pedestrian oriented design requirements that are included under SRC 533.015(h) – Table 533-6. In order to determine the proposed development’s conformance with these requirements, elevation drawings of the proposed building are needed. The requirements establish standards for the following:</p> <ul style="list-style-type: none"> ▪ <u>Ground floor building height.</u> ▪ <u>Building façade articulation.</u> ▪ <u>Ground floor windows.</u> ▪ <u>Building entrance orientation to street.</u> In regard to this requirement, confirmation is needed whether there will be multiple tenant spaces on the ground floor of the proposed building. If multiple tenant spaces will be provided on the ground floor, each ground floor tenant space that faces Commercial Street will need to have a primary entrance that faces Commercial Street. <p>The primary entrance of the proposed building currently faces north rather than facing Commercial Street. The primary entrance to the building will need to be relocated to face Commercial Street in order to meet this design requirement.</p>

Item:	Description:
	<ul style="list-style-type: none"> ▪ <u>Weather protection.</u> ▪ <u>Mechanical and service equipment.</u> In regard to this requirement, confirmation is needed whether the proposed development will include any rooftop mechanical equipment. If the development will include rooftop mechanical or service equipment, it must be setback or screened so as to not be visible to a person standing at ground level 60 feet from the building.
Pedestrian Connection between Building Entrance and Adjacent Streets	<p>SRC 800.065(a)(1) requires a pedestrian connection to be provided between the primary building entrance of a building and each adjacent street.</p> <p>The proposed new building includes a pedestrian connection between the primary building entrance and Commercial Street but it does not include required connections to Kearney Street and Saginaw Street. Pedestrian connections to Kearney Street and Saginaw Street are not required, however, if the primary building entrance is relocated to be within 20 feet of the property line abutting Commercial Street with a pedestrian connection to the street (per SRC 800.065(a)(1)(C)(i)).</p>
Pedestrian Connection between Buildings on Development Site	<p>SRC 800.065(a)(2) requires a pedestrian connection to be provided between the primary building entrances of each building on a development site.</p> <p>Because there will be two buildings on the development site (<i>the existing building at the southwest corner of the site and the proposed new building</i>), a pedestrian connection is required between the primary entrances of both buildings. A pedestrian connection between the buildings is not required, however, if the primary building entrance of the new building is relocated to be within 20 feet of the property line abutting Commercial Street with a connection to the street (per SRC 800.065(a)(2)(B)(i) and (ii)).</p>
Minimum Off-Street Parking Requirements	<p>In order to determine the total minimum number of off-street parking spaces required for the proposed development, the square footage and use of the existing building at the southwest corner of the site needs to be identified on the site plan.</p>
Public Works Department Comments	<p>The Public Works Department reviewed the proposal and provided the following comments:</p> <ul style="list-style-type: none"> ▪ <u>Trip Generation Estimate Form.</u> The TGE form submitted does not provide the square footages of the buildings/uses being demolished on-site. Please provide the square footages on the TGE form. ▪ <u>Stormwater Management.</u> A water quality facility is shown on the plan, however, no sizing information has been provided. It is unclear from the submitted plans whether or not the proposal meets the definition of a large project pursuant to SRC 70.005. The applicant shall submit a written finding regarding the definition of large project and new/replaced impervious surfaces pursuant to SRC 70.005. If the proposal meets the definition of a large project, the applicant has three options for submittal: set aside 10 percent of the total new plus replaced impervious surface area for GSI facilities, submit a preliminary stormwater report demonstrating that GSI is used to mitigate the impacts of at least 80 percent of the stormwater runoff, or apply for a design exception from the City Engineer. ▪ <u>Driveway Approaches.</u> The proposal includes two new driveways which are subject to the Class 2 Driveway Approach Permit criteria. In addition, the

Item:	Description:
	<p>proposed driveway approach on Commercial Street SE does not meet the spacing standards in SRC 804.035(d) due to proximity to adjacent street intersections. The applicant shall submit an application for a Class 2 Adjustment and provide findings for how the proposed driveways meet the criteria in SRC 804.025(d) and SRC 250.005(d)(2).</p> <ul style="list-style-type: none"> ▪ <u>Vision Clearance.</u> The proposed building encroaches into the vision clearance area required under SRC 805.005 at the corner of Commercial Street and Kearney Street. ▪ <u>Right-of-Way Dedication.</u> Right-of-way dedication along the following street frontages will be required per SRC 803.040. The applicant is advised to update the site plan to show the required right-of-way dedication. <ul style="list-style-type: none"> ❖ Along Commercial Street SE dedicate 33-feet from centerline along the property frontage and provide a minimum 25-foot property line radius at the corner of Commercial Street SE and Saginaw Street SE to accommodate future public infrastructure, per SRC 803.040(a)(5). ❖ Along Saginaw Street SE dedicate 30-feet from centerline along the property frontage and provide a minimum 20-foot property line radius at the corner of Saginaw Street SE and Kearney Street SE to accommodate future public infrastructure, per SRC 803.040(a)(5).
Additional Comments on Plans	Please see the additional comments provided on the attached plans.

Unless otherwise noted, the above information is needed in order to deem the application complete. Pursuant to SRC 300.220, the application shall be deemed complete upon receipt of:

- (1) *All of the missing information;*
- (2) *Some of the missing information and written notice from the applicant that no other information will be provided; or*
- (3) *Written notice from the applicant that none of the missing information will be provided.*

Please submit this information to the City of Salem Planning Division, located on the 3rd floor of City Hall, 555 Liberty Street SE, Room 305.

For questions regarding any of the above requirements, please feel free to contact me directly by calling (503) 540-2399 or via e-mail at bbishop@cityofsalem.net.

The Salem Revised Code may be accessed online at the following location:

<https://www.cityofsalem.net/government/laws-rules/salem-revised-code>

Sincerely,

Bryce Bishop
Planner III

These spaces are compact size stalls. Their depth is required to be 15 ft. and they need to be marked as compact.

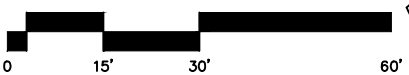
Local Street
-ROW required: 60 ft.
-ROW existing: 49 ft.
-ROW Dedication/Special Setback: **5.5 ft. ROW dedication required along Saginaw Street.**

P:\2259 Hunsacker D\135-877 Commercial ST\SPR\A.1 SPR.dwg, SPR-1, 8/15/2022 4:53:24 PM, Andy, 1:1

SAGINAW STREET SE

PROPOSED SITE PLAN

SCALE : 1" = 30'



KEARNEY ST S

COMMERCIAL ST SE

SITE SUMMARY

LAND AREA	61,107# (1.40AC)
15% LANDSCAPE	9,166#
16.2 % ACTUAL	10,221#
NEW BLDG FOOTPRINT	11,141#
EXISTING HOUSE	1,644#
PAVING	38,101#

PARKING 36,490#	35,122/110 = 319#/SP#
COMPACT	46
FULL SIZE	60
ACCESSIBLE	4
TOTAL	110

There appears to be 50 compact parking stalls

There appears to be 55 full size parking stalls

There appears to be 109 total parking stalls

Bike Parking:
-Min. Spaces: 6.37 or 6 spaces
-Spaces Provided: **4 (Not OK)**

Loading:
-Min. Spaces Required: 1 space 12' W x 19' L x 12' H
-Spaces Provided: **0 (Not OK - No loading space identified)**

Commercial Street Building Frontage
-Property Distance: 194.36 ft.
-Buildings at setback line: 65.89 ft.
-Building Frontage: **33.9% (Min. 75% building frontage required)**

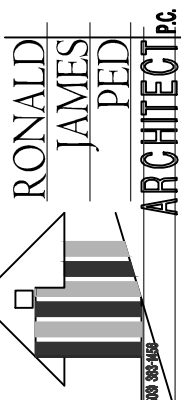
Setback Abutting Street
Setback abutting street is 0 ft. However, a maximum setback of up to 10 ft. is allowed if the area between the building and the street is used for **pedestrian amenities**. Per SRC 533.005, a pedestrian amenity is an area that serves as a place for public use and is closed to motorized vehicles. Examples include plazas, sidewalk extensions, outdoor seating areas, and street furnishings.

INDEX

SPR1	60-PROPOSED SITE PLAN
SPR2	61-EXISTING CONDITIONS PLAN
SPR3	62-UTILITY PLAN
SPR4	63-GRADING PLAN
SPR5	64-LANDSCAPE PLAN
SPR6	65-DETAILS
	66-DETAILS

DATE: 8-12-2020
DRAWN: AK
JOB NO.: 2259

SPR-1



SITE PLAN REVIEW
HUNSAKER DENTAL CLINIC
835-877 COMMERCIAL ST SE

Min. 12 ft. parking setback abutting Saginaw Street will not be met as a result of required ROW dedication.

Parking stalls in this area are not min. 19 ft. in depth. Are these stalls intended to overhang the sidewalk by 2 ft.?

Parking stalls in this area are not min. 19 ft. in depth. Are these stalls intended to overhang the sidewalk by 2 ft.?

The location of this space appears problematic because it extends past the edge of the curb. Someone not paying attention could easily clip the front corner of a car parked in this space. This area might be better converted to landscaping in order to meet interior parking lot landscaping requirements.

Is this proposed to be one-way? If so, arrows and appropriate marking is required and needs to be shown on the site plan.

Is this a pedestrian connection through the parking lot?

Is this a pedestrian connection through the parking lot?

Standard stalls not min. 19 ft. in depth.

Parking stalls in this area are not min. 19 ft. in depth. Are these stalls intended to overhang the sidewalk by 2 ft.? If so, the stall must have a minimum depth of 17 ft. before the curb.

Setback Abutting Street
Setback abutting street is 0 ft. However, a maximum setback of up to 10 ft. is allowed if the area between the building and the street is used for **pedestrian amenities**. Per SRC 533.005, a pedestrian amenity is an area that serves as a place for public use and is closed to motorized vehicles. Examples include plazas, sidewalk extensions, outdoor seating areas, and street furnishings.

Proposed new driveway will not meet minimum spacing requirements to the existing Arco driveway to the north.

Compact stall not min. 15 ft. in depth.

Parking lot drive-aisle width serving all compact stalls required to be min. 22 ft. in width.


Parking lot drive aisle serving both standard and compact size stalls required to be 24 ft. in width.

Parking stall not min. 19 ft. in depth. Are these stalls intended to overhang the sidewalk by 2 ft.?

Compact stall not min. 15 ft. in depth.

SITE SUMMARY

LAND AREA	61,107# (1.40AC)
15% LANDSCAPE	9,166#
16.2 % ACTUAL	9,881#
PAVING	35,123#

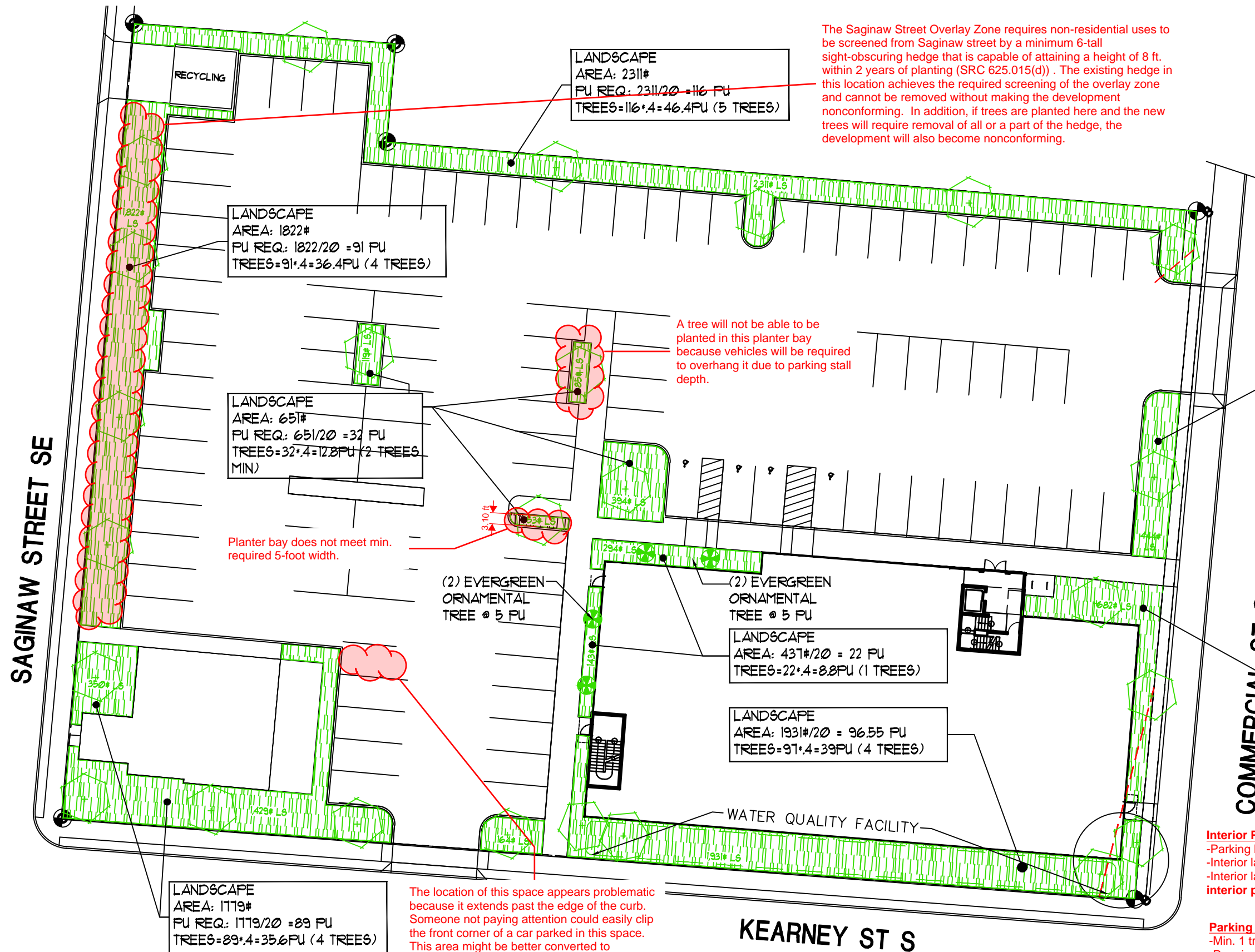

 RONALD
JAMES
PED
ARCHITECT P.C.

SIE PLAN REVIEW
HUNSAKER DENTAL CLINIC
835-877 COMMERCIAL ST SE

SITE PLAN REVIEW

DATE: 8-12-2020
DRAWN: AK
JOB NO.: 2259

SPR-5



PROPOSED LANDSCAPE PLAN



SCALE : 1" = 30'



The location of this space appears problematic because it extends past the edge of the curb. Someone not paying attention could easily clip the front corner of a car parked in this space. This area might be better converted to landscaping in order to meet interior parking lot landscaping requirements.

KEARNEY ST S

Interior Parking Lot Landscaping

- Parking lot area: 34,714 ft.²
- Interior landscaping required: 0.05 x 34,714 ft.² = Min. 1,735.7 ft.²
- Interior landscaping provided: **806.25 ft.² (Additional 929.45 ft.² of interior parking lot landscaping required)**

Parking Lot Trees

- Min. 1 tree per 12 parking spaces required.
- Required trees: $109 / 12 = 9.08$ or 9 trees min.
- Trees provided: **5 trees (Additional 4 interior parking lot trees required)**

