

Willamette Engineering, Inc.

PO Box 9032, Salem, OR 97305 Ph (503) 304-0905 Fax (503) 304-9512

October 20, 2022

City of Salem
Community Development Dept.
555 Liberty St SE / Room 305
Salem, Oregon 97301

ATT: Olivia Glantz

Subject: **Response to Incompleteness Letter**
Meredith Heights Proposed Subdivision
1440 Boone Road SE, Salem, OR
Ref # 22-115398-PLN

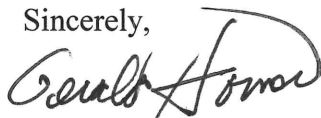
Dear Ms. Dias:

This letter addresses our response to each of the City of Salem Completeness Review Letter Dated August 26, 2022, which is attached.

Each of the Items below corresponds with the numbers listed on the Salem Memo.

1. I have discussed this with Public Works and after further review, Salem Public Works has determined that the Urban Growth Declaration is not required.
2. Current Title Report is included in this Package. It is dated August 25, 2022 and is current.
3. The private drive serves 4 lots and a private street design is not required.
4. Storm water – the Salem comments have been addressed, as well as other items that pertain to site plan adjustments.
5. Driveway Permit will be acquired.
6. I have reviewed the proposed Site Plan and discussed with Olivia Diaz. My understanding is that the proposed site plan meets City of Salem Development Standards..

Sincerely,



Gerald P. Horner, PE
Project Engineer



555 Liberty Street SE / Room 305 • Salem OR 97301-3503 • Phone 503-588-6213 • Fax 503-588-6025
www.cityofsalem.net/planning • www.cityofsalem.net

August 26, 2022

PLANNING REVIEW CHECKLIST

Subject Property: 1440 Boone Road SE

Ref#: 22-115398-PLN

Applicant: Jerry Horner – jer.willengr@juno.com

Replat application was received on July 28, 2022. Prior to deeming your applications complete, modifications and/or additional information must be provided to address the following item(s):

Item:	
Urban Growth Preliminary Declaration ①	Pursuant to SRC 200.025 an Urban Growth Preliminary Declaration is required. The applicant shall apply for an Urban Growth Preliminary Declaration as part of this land use process.
Title Report ②	You must provide a current title report for the property.
Alternative Street Standard ③	Private streets must be constructed to public street standards unless an Alternative Street Standard is approved [SRC 803.020(b)(2)]. The applicant shall submit written findings that address the Alternative Street Standard criteria of SRC 803.065.
Stormwater Management ④	The preliminary storm report was submitted after the initial application was received and is currently being reviewed. Comments on the preliminary storm report will be sent to the project engineer separately after the initial review has been completed.
Driveway Approach Permit ⑤	Private streets require a driveway approach permit. The applicant shall submit an application and written findings addressing the criteria of SRC 804.025.
Tentative Plan ⑥	The tentative plat does not appear to meet the minimum requirements of SRC 205.030(a) at Completeness.

CITY OF *Salem*
AT YOUR SERVICE
**Community Development
Planning Division**

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Legality	The applicant shall provide evidence that tax lots 083W14BB-100 and 200 were lawfully established to be reviewed by the Survey Section.
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Your application, which is incomplete, will be deemed complete upon receipt of one of the following:

- (1) All of the missing information.
- (2) Some of the missing information and written notice from you (the applicant) that no other information will be provided.
- (3) Written notice from you (the applicant) that none of the missing information will be provided.

You have 180 days from the date the application was first submitted to respond in one of the three ways listed above, or the application will be deemed void.

For questions regarding the above requirements, feel free to contact me directly by calling (503) 540-2343 or via email at odias@cityofsalem.net.

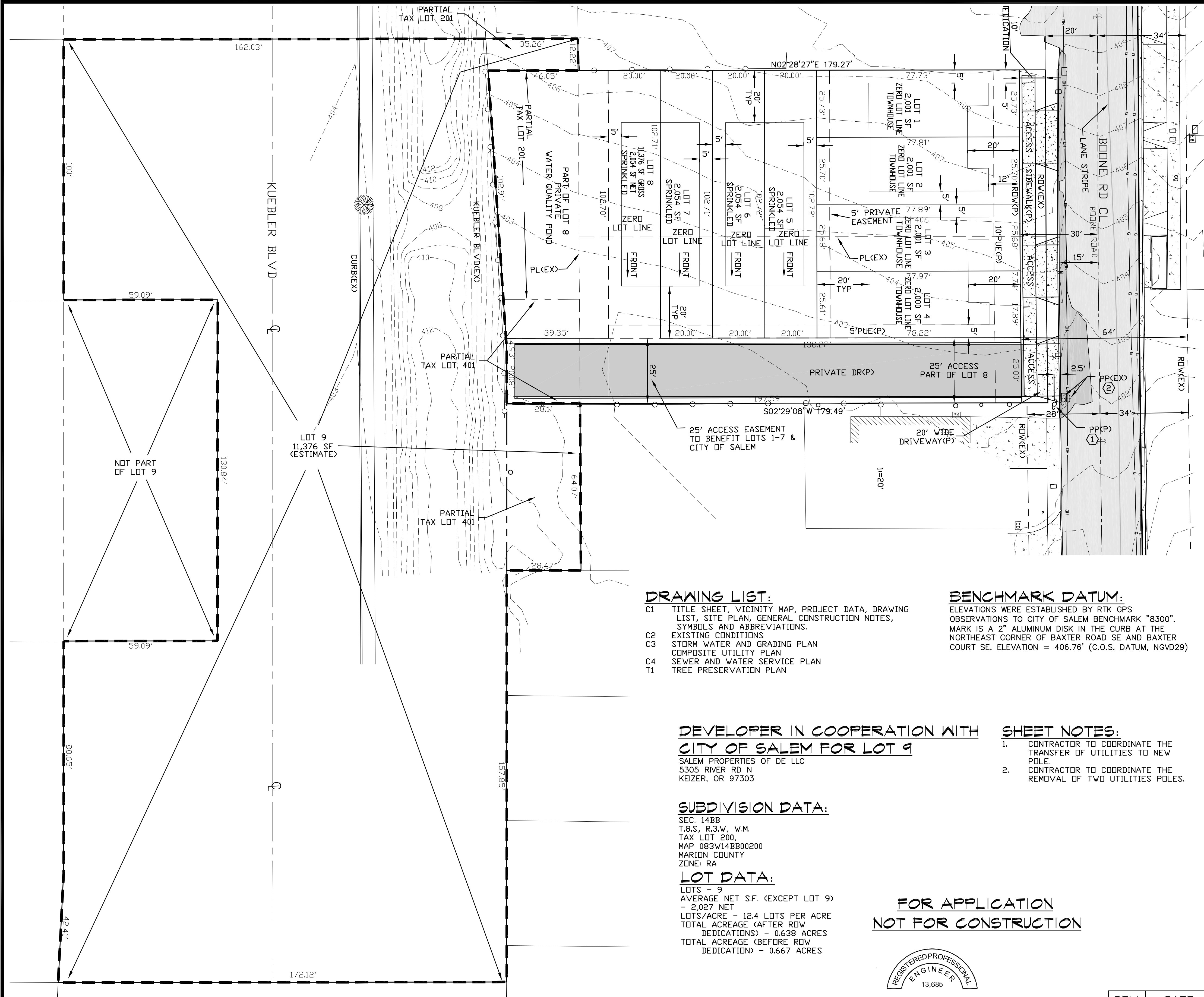
The Salem Revised Code may be accessed online at the following location:

<https://www.cityofsalem.net/Pages/salem-revised-code.aspx>

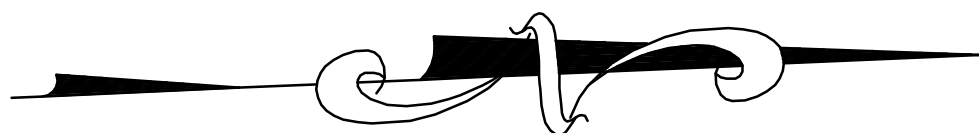
Sincerely,



Olivia Dias, Current Planning Manager



PROPOSED SUBDIVISION PLAN
SCALE 1"=30' FOR 22" x 34" PAPER
SCALE 1"=60' FOR 11" x 17" PAPER



DRAWING LIST:

- C1 TITLE SHEET, VICINITY MAP, PROJECT DATA, DRAWING LIST, SITE PLAN, GENERAL CONSTRUCTION NOTES, SYMBOLS AND ABBREVIATIONS.
- C2 EXISTING CONDITIONS
- C3 STORM WATER AND GRADING PLAN
- C4 COMPOSITE UTILITY PLAN
- C5 SEWER AND WATER SERVICE PLAN
- T1 TREE PRESERVATION PLAN

BENCHMARK DATUM:

ELEVATIONS WERE ESTABLISHED BY RTK GPS OBSERVATIONS TO CITY OF SALEM BENCHMARK "8300". MARK IS A 2" ALUMINUM DISK IN THE CURB AT THE NORTHEAST CORNER OF BAXTER ROAD SE AND BAXTER COURT SE. ELEVATION = 406.76' (C.O.S. DATUM, NGVD29)

DEVELOPER IN COOPERATION WITH
CITY OF SALEM FOR LOT 9

SALEM PROPERTIES OF DE LLC
5305 RIVER RD N
KEIZER, OR 97303

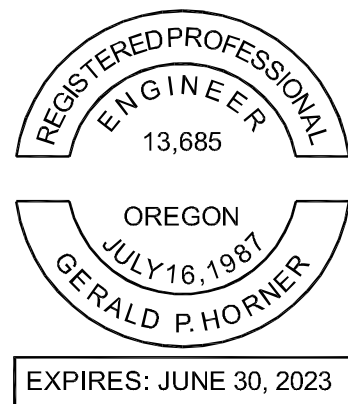
SUBDIVISION DATA:

SEC. 14BB
T.8.S, R.3.W, W.M.
TAX LOT 200,
MAP 083W14BB00200
MARION COUNTY
ZONE: RA

LOT DATA:

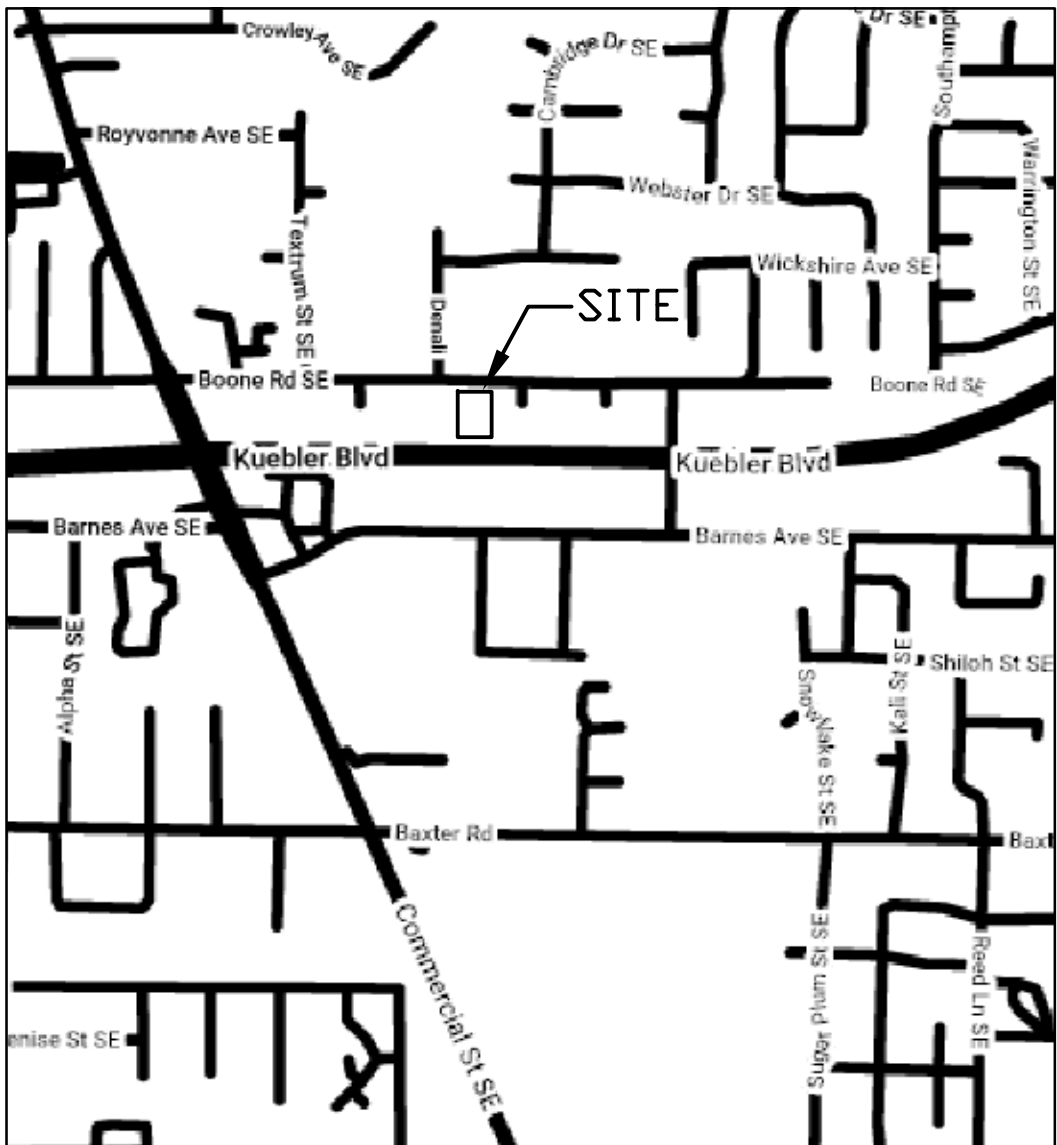
LOTS - 9
AVERAGE NET S.F. (EXCEPT LOT 9) - 2,027 NET
LOTS/ACRE - 12.4 LOTS PER ACRE
TOTAL ACREAGE (AFTER ROW DEDICATIONS) - 0.638 ACRES
TOTAL ACREAGE (BEFORE ROW DEDICATION) - 0.667 ACRES

FOR APPLICATION
NOT FOR CONSTRUCTION



SHEET NOTES:

- 1. CONTRACTOR TO COORDINATE THE TRANSFER OF UTILITIES TO NEW POLE.
- 2. CONTRACTOR TO COORDINATE THE REMOVAL OF TWO UTILITIES POLES.



VICINITY MAP

REV.	DATE	BY	DESCRIPTION
0	07-20-22	GPH	ISSUED FOR APPLICATION
1	10-17-22	GPH	ADDED LOT 9, ADDED THE POND TO LOT 8 AS A PRIVATE EASEMENT.

ENGINEER:
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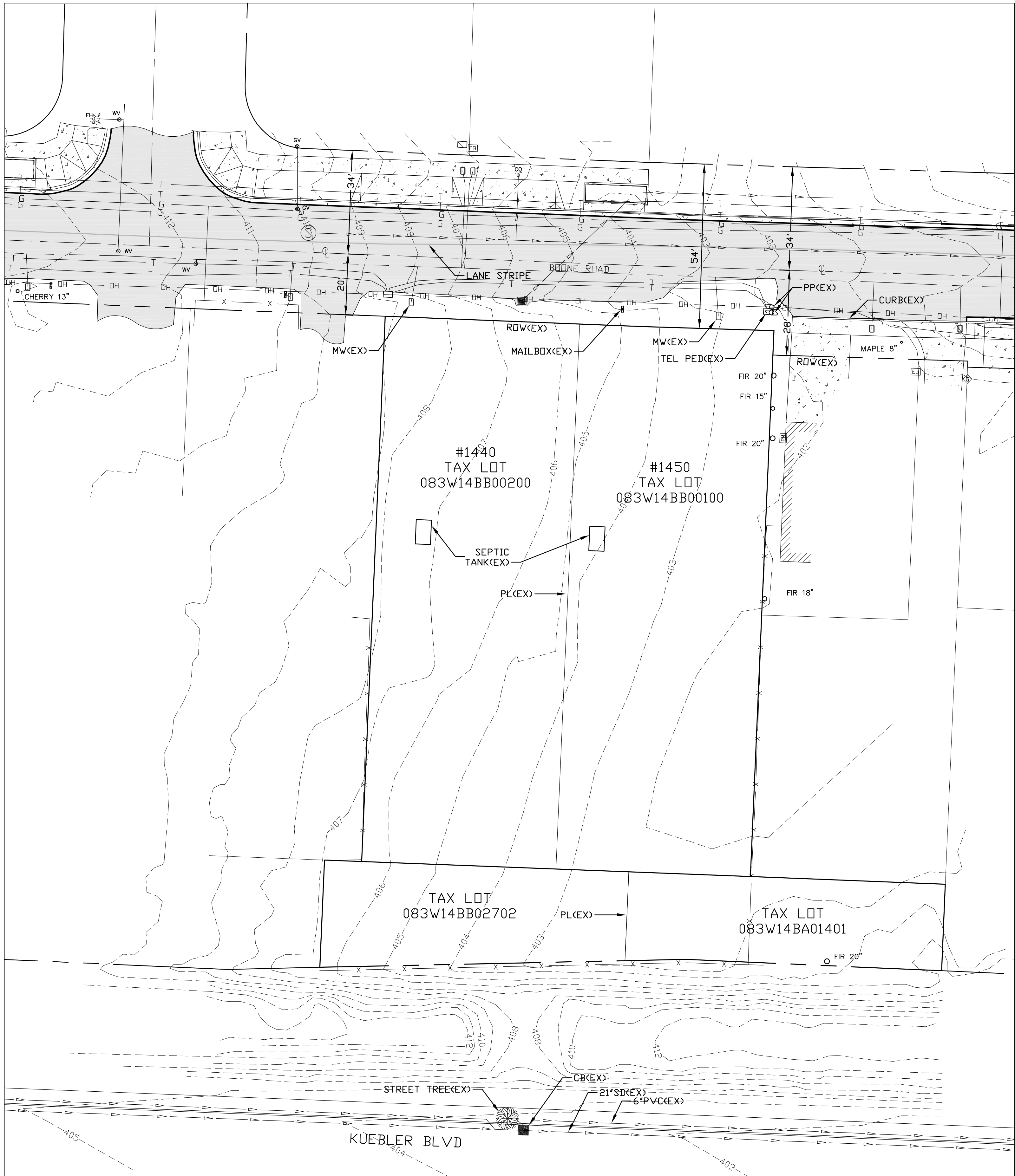
TENTATIVE
SITE PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION

1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-20-22
JOB NO. 2021-105
CLIENT NO.
DRAWING NO.





EXISTING CONDITIONS PLAN
22x34: SCALE: 1"=20'
11x17: SCALE: 1"=40'



MONUMENT PRESERVATION NOTE:

ALL MONUMENTS OF RECORD MUST BE PROTECTED. DISTURBING OR DESTROYING ANY SURVEY MONUMENT OF RECORD IN THE OFFICE OF THE COUNTY SURVEYOR OR COUNTY CLERK SHALL CAUSE A REGISTERED PROFESSIONAL LAND SURVEYOR TO REFERENCE AND REPLACE THE MONUMENT WITHIN 90 DAYS OF THE REMOVAL, DISTURBANCE OR DESTRUCTION (ORS 209.150). THE EXCAVATION CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL MONUMNETS OF RECORD.

GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIALS TO BE TO MARION COUNTY OR SALEM STANDARDS, WHICHEVER IS APPLICABLE. WATER QUALITY DESIGN AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE RESOURCES PROTOCOL.
- COORDINATION WITH UTILITIES.
 - ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987)
 - THE LOCATION AND DESCRIPTION OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE CITY OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS.
 - THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS DAY HOURS PRIOR TO EXCAVATING, BORING, OR AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
 - PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION.
 - UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTEND NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES.
- CONTRACTOR TO NOTIFY ENGINEER 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL TRENCHES IN STREETS AND UNDER SIDEWALKS AND UNDER PAVEMENTS ARE TO BE COMPACTED BY MECHANICAL MEANS.
- ALL STREET AND STORM DRAIN CONSTRUCTION TO CONFORM CITY OF SALEM STANDARDS.
- ALL DOMESTIC WATER CONSTRUCTION TO CONFORM TO CITY OF SALEM STANDARDS.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE THE CITY OF SALEM PUBLIC WORKS CONSTRUCTION STANDARDS.
- PRIOR TO FINAL PAYMENT, CONTRACTOR TO SUPPLY ENGINEER WITH A COMPLETE SET OF "AS BUILT" DRAWINGS SHOWING SERVICE LENGTHS AND DEPTHS, LENGTHS BETWEEN STRUCTURE, AND SERVICE LOCATIONS, OR TEES OR CORP. STOPS, AND STORM AND SANITARY SEWER INVERTS.
- CONSTRUCTION PERMITS:
 - STREET AND STORM SYSTEMS - CONSTRUCT TO CITY OF SALEM STANDARDS AND SPECIFICATIONS, CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM MARION COUNTY PUBLIC WORKS ENGINEERING DEPT. AND SHALL CONTACT CONSTRUCTION MANAGEMENT @ 503-588-6211, (DURING WORKING HOURS) 48 HOURS (EXCLUDING HOLIDAYS AND WEEKENDS) PRIOR TO STARTING WORK.
 - STORMWATER AND STREET IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF SALEM CONSTRUCTION STANDARDS.
- ENGINEER TO SUBMIT APPROVED "AS-BUILTS" AND RECORDED COPIES OF ALL EASEMENTS AND RIGHT-OF-WAY DEDICATIONS TO CONSTRUCTION INSPECTION DEPARTMENT. AS PART OF FINAL ACCEPTANCE BY MARION COUNTY.
- ENGINEER TO SUBMIT APPROVED "AS-BUILTS" AND RECORDED COPIES OF ALL SANITARY SEWER EASEMENTS TO CITY OF SALEM PUBLIC WORKS DEPARTMENT AS PART OF FINAL ACCEPTANCE.
- STANDARD CONSTRUCTION NOTES:
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL (ESC) MEASURES THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO, A 50 FT. LONG GRAVEL CONSTRUCTION ENTRANCE (8" MINIMUM DEPTH WITH RAILROAD BALLAST, SILT FENCES OR STRAW BALES MAY BE REQUIRED AS ADDITIONAL MEASURES. SEE EROSION CONTROL SHEETS FOR ADDITIONAL REQUIREMENTS.
 - ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE PAID FOR BY THE DEVELOPER AND INSTALLED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREON HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY MARION COUNTY UPON REQUEST. FAILURE TO CONFORM TO THIS REQUIREMENT MAY RESULT IN DELAY OF FINAL ACCEPTANCE OF THE PROJECT.
 - ALL NONMETALLIC WATER, SANITARY, AND STORM SEWER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER AND GREEN FOR STORM AND SANITARY PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES, MANHOLES, AND CATCH BASINS. TRACER WIRE PENETRATIONS INTO MANHOLES SHALL BE WITHIN 18" OF THE RIM ELEVATION AND ADJACENT TO MANHOLE STEPS. THE TRACER WIRE SHALL BE TIED TO THE TOP MANHOLE STEP OR OTHERWISE SUPPORTED TO ALLOW RETRIEVAL FROM OUTSIDE OF MANHOLE.
 - SITE GRADING SHALL NOT IMPACT SURROUNDING PROPERTIES IN A NEGATIVE MANNER. CONSTRUCTION OF IMPROVEMENTS ON THE PROPERTY SHALL NOT BLOCK HISTORICAL OR NATURALLY OCCURRING RUNOFF FROM ADJACENT PROPERTIES.

REV.	DATE	BY	DESCRIPTION
0	07-20-22	GPH	ISSUED FOR APPLICATION
1	10-20-22	GPH	ADDED STREET WIDENING AT EAST PROPERTY

ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
SALEM, OREGON 97305
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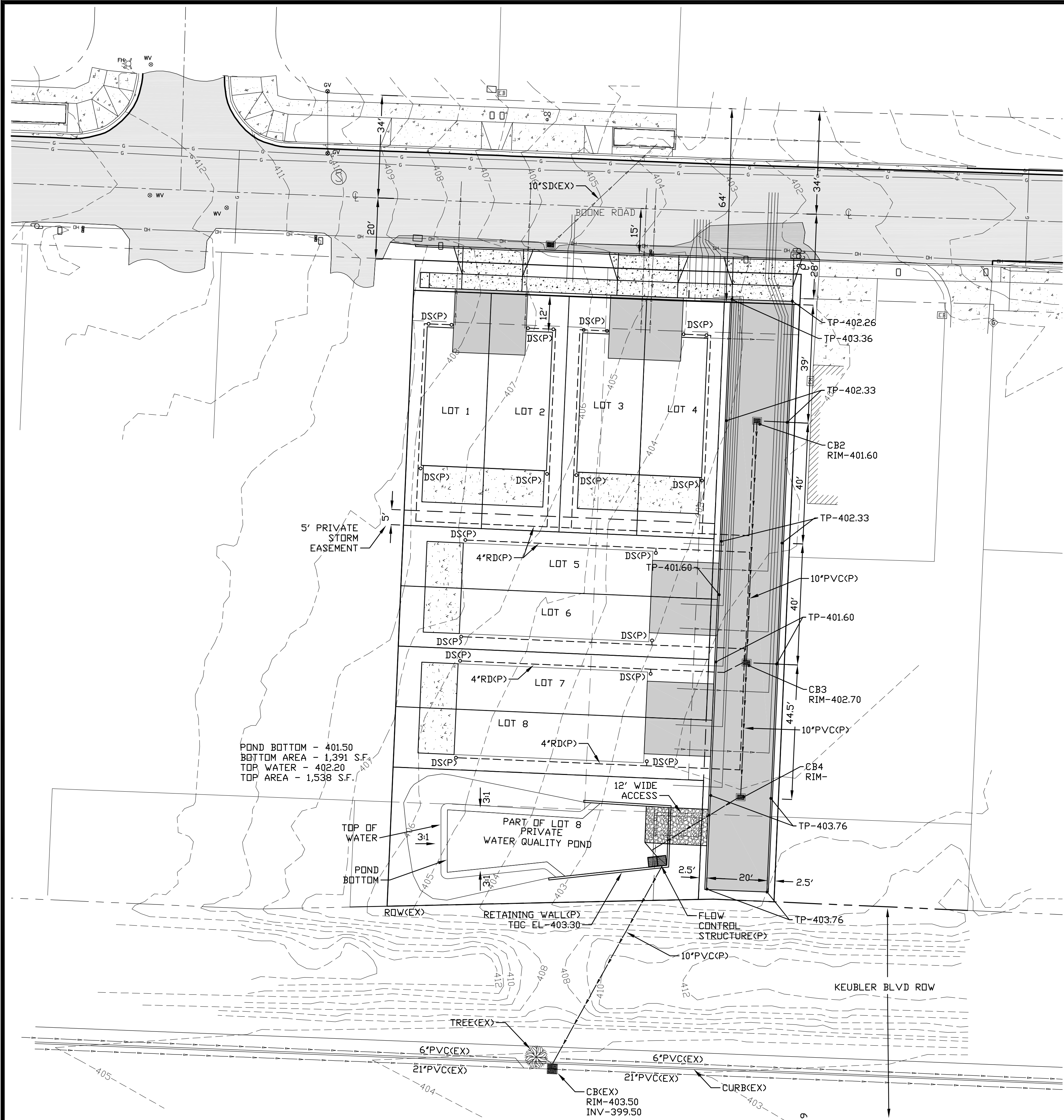
EXISTING CONDITIONS

MEREDITH HEIGHTS
SUBDIVISION APPLICATION

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-20-22
JOB NO. 2021-105
CLIENT NO.
DRAWING NO.

1440 & 1450 BOONE RD
SALEM, OREGON 97306

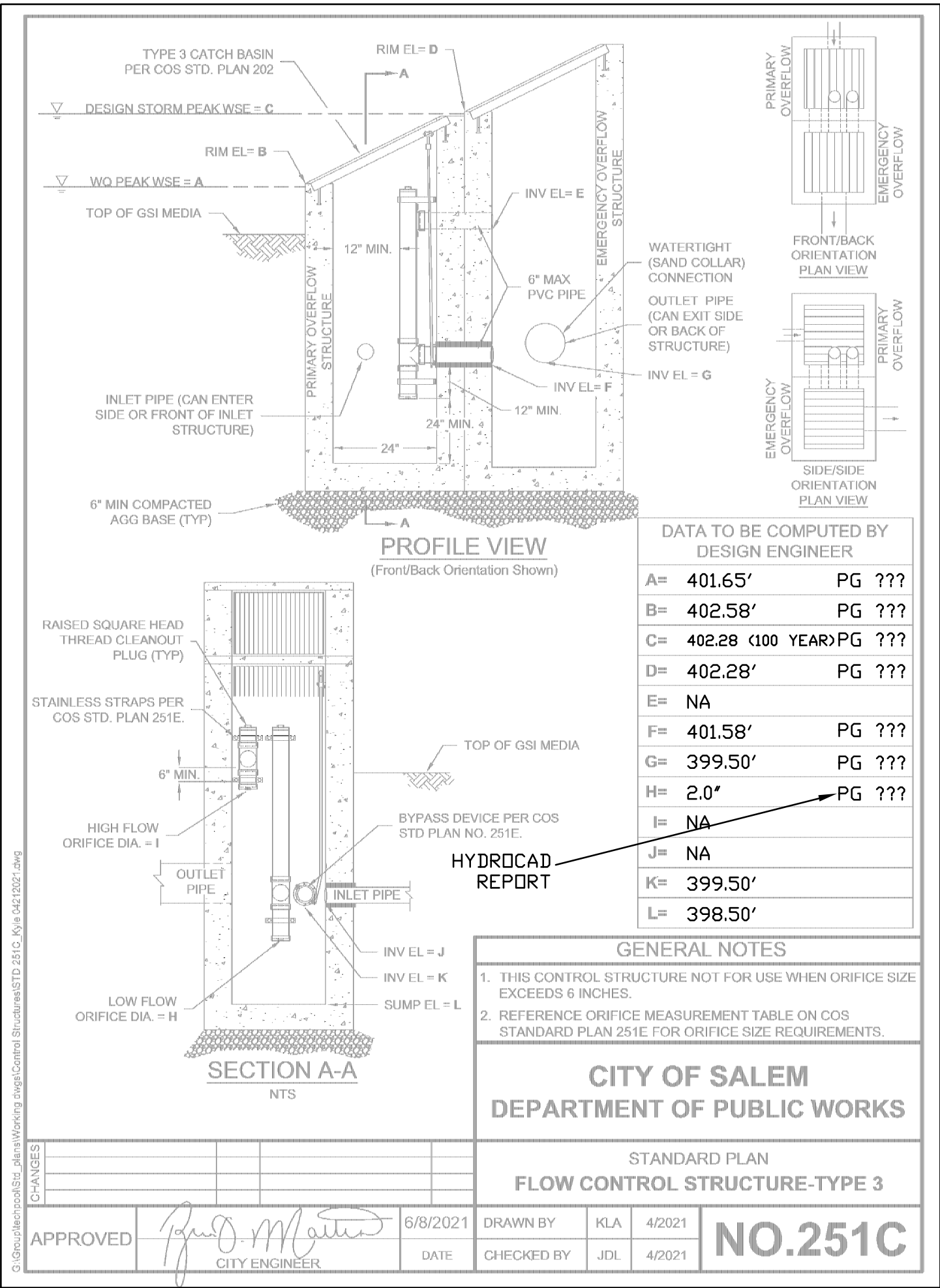
C2



STORMWATER AND GRADING PLAN
SCALE 1"=20' FOR 22" x 34" PAPER
SCALE 1"=40' FOR 11" x 17" PAPER

AREAS:

- 1. RIGHT OF WAY IMPROVEMENTS DO NOT REQUIRE WATER QUALITY OR DETENTION.
- 2. AREAS CONTRIBUTING TO THE WATER QUALITY POND.
TOTAL SUBDIVISION - 25,559 S.F. (0.587 ACRES)
IMPERVIOUS AREAS:
LOT 1 BLG: 902 S.F.
LOT 2 BLG: 902 S.F.
LOT 3 BLG: 903 S.F.
LOT 4 BLG: 903 S.F.
LOT 5 BLG: 940 S.F.
LOT 6 BLG: 940 S.F.
LOT 7 BLG: 940 S.F.
LOT 8 BLG: 940 S.F.
LOT 1 PATIO: 240 S.F.
LOT 2 PATIO: 240 S.F.
LOT 3 PATIO: 240 S.F.
LOT 4 PATIO: 240 S.F.
LOT 5 PATIO: 180 S.F.
LOT 6 PATIO: 180 S.F.
LOT 7 PATIO: 180 S.F.
LOT 8 PATIO: 180 S.F.
LOT 5 DRIVEWAY: 264 S.F.
LOT 6 DRIVEWAY: 264 S.F.
LOT 7 DRIVEWAY: 264 S.F.
LOT 8 DRIVEWAY: 264 S.F.
PRIVATE DRIVE: 4,101 S.F.
TOTAL IMPERVIOUS: 14,207 S.F. (0.326 ACRES)
TOTAL PERVIOUS: 11,352 S.F. (0.261 ACRES)



REV.	DATE	BY	DESCRIPTION
0	07-18-22	GPH	ISSUED FOR APPLICATION
1	10-20-22	GPH	REMOVED EAST AND WEST PORTIONS OF SALEM PROPERTIES.

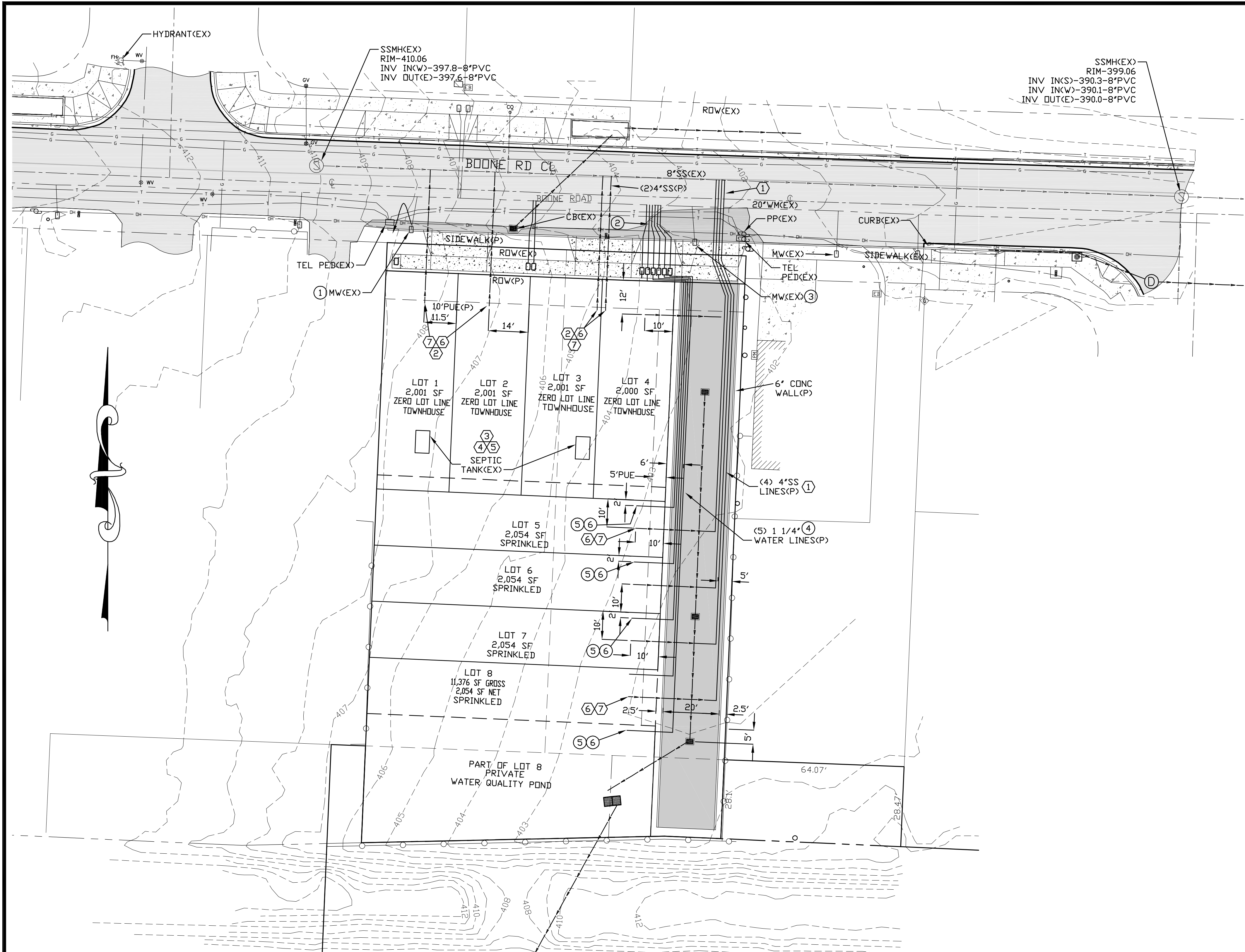
ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
SALEM, OREGON 97305
PH: 503-304-0905
FAX: 503-304-9512

STORM WATER
AND GRADING PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION
1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-18-22
JOB NO: 2021-105
CLIENT NO:
DRAWING NO:

3



- DOMESTIC WATER NOTES:**
1. CITY OF SALEM STAFF SHALL RELOCATE WATER METER TO NEW LOCATION FOR LOT 1 SERVICE.
 2. 6 NEW WATER METERS FOR LOTS 4-8 & PRIVATE FACILITY.
 3. CITY OF SALEM STAFF WILL REMOVE EXISTING WATER METER AND PLUG AT MAINLINE.
 4. (5) NEW 1 1/4" SCH40 PVC WATER LINES - 24" MINIMUM COVER.
 5. END WATER LINE WITH GLUE CAP.
 6. MARK END OF WATER LINE WITH 2x4 PAINTED "BLUE" PROJECTING 36" ABOVE FINISH GRADE AND WIRE 2x4 TO END OF WATER PIPE.
- SANITARY SEWER NOTES:**
1. 4 NEW SANITARY SERVICES FOR LOTS 5-8.
 2. NEW SANITARY SERVICE FOR LOTS 1 & 2.
 3. CONTRACTOR SHALL ACQUIRE A SEPTIC TANK REMOVAL PERMIT FROM MARION COUNTY BUILDING DEPT. CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE EFFLUENT PUMPED FROM TANKS. THEN HAVE TANK REMOVED FROM SITE AND APPROVED BY MARION COUNTY BUILDING DEPT.
 4. SEND ALL SEPTIC TANK PUMP AND REMOVAL PERMIT APPROVALS TO WILLAMETTE ENGINEERING.
 5. CONTRACTOR SHALL FILL SEPTIC TANK HOLE WITH AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION PER ASSHTO T1-80.
 6. CONTRACTOR SHALL MARK THE END OF THE SEWER SERVICE WITH A 2x4 PAINTED WHITE PROJECTING 36" ABOVE FINISH GRADE AND WIRED TO END OF PIPE.
 7. END PIPE WITH 4" GLUE CAP.

SEWER AND WATER SERVICE PLAN
SCALE 1"=20' FOR 22" x 34" PAPER
SCALE 1"=40' FOR 11" x 17" PAPER

**FOR APPLICATION
NOT FOR CONSTRUCTION**



REV.	DATE	BY	DESCRIPTION
0	07-18-22	GPH	ISSUED FOR APPLICATION
1	10-20-22	GPH	ADDED METER FOR POND, MOVED METERS TO SIDEWALK.

ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
SALEM, OREGON 97305
PH: 503-304-0905
FAX: 503-304-9512

SEWER AND WATER
SERVICE PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION
1440 & 1450 BOONE RD
SALEM, OREGON

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-18-22
JOB NO: 2021-105
CLIENT NO:
DRAWING NO: C4

REV.



TREE PRESERVATION PLAN

SCALE 1"=40' FOR 22" x 34" PAPER
SCALE 1"=80' FOR 11" x 17" PAPER

TREE SCHEDULE

X - TREE TO BE REMOVED
O - TREE TO BE REMAIN

	TOTAL EXISTING	TOTAL REMOVED	TOTAL REMAINING	% REMAINING
FIR	1	0	1	100%
TOTALS	1	0	1	100%
SIGNIFICANT OAK TREES	0	0	0	0%

**FOR APPLICATION
NOT FOR CONSTRUCTION**



EXPIRES: JUNE 30, 2023

REV.	DATE	BY	DESCRIPTION
0	07-20-22	GPH	ISSUED FOR APPLICATION

DESIGNED BY:	GPH
DRAWN BY:	RW
DATE:	07-20-22
JOB NO.	2021-105
CLIENT NO.	
DRAWING NO.	

**TREE PRESERVATION
PLAN**

**MEREDITH HEIGHTS
SUBDIVISION APPLICATION**

**1440 & 1450 BOONE RD
SALEM, OREGON 97306**

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