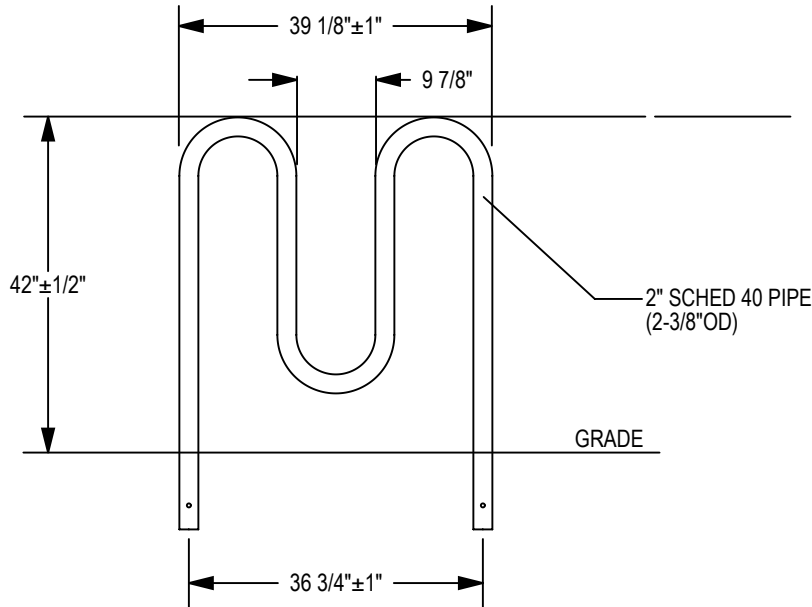
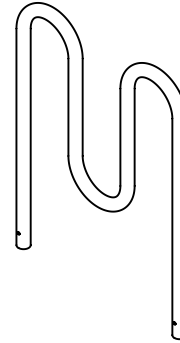


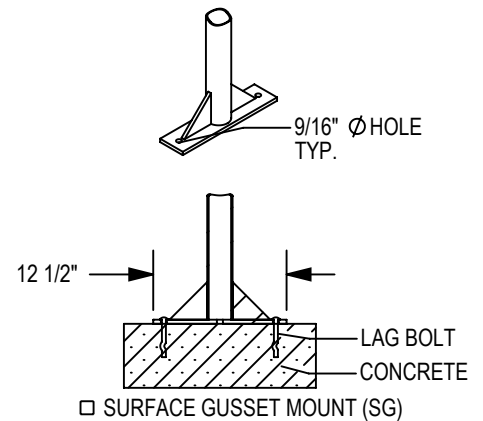
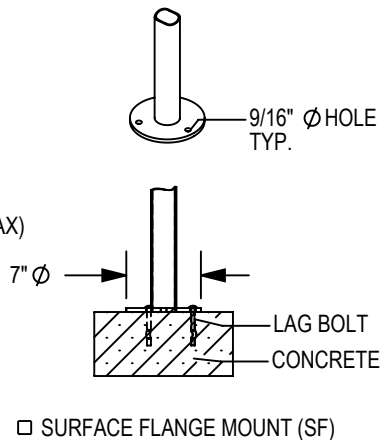
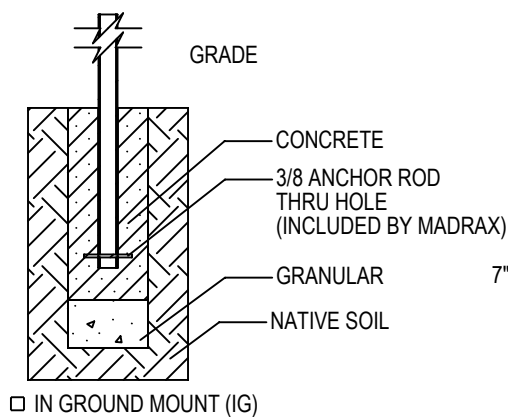


ELEVATION VIEW

3 LOOP - 5 BIKE CAPACITY



CHECK DESIRED MOUNT □



SECTION VIEWS

PRODUCT: HW238-5-IG(SF,SG)
DESCRIPTION: HEAVY DUTY WINDER BIKE RACK
5 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 8-5-02
ENG: TLG

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NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

Galvanized and Powder Coated racks shall be constructed of ASTM A53 Structural Steel. Stainless Steel racks shall be constructed of ASTM A312 TP 304 Schedule 40 Stainless Steel.

Finish / Material:

- (-G) - Hot-Dipped Galvanized After Fabrication
- (-P) - Super TGIC Polyester Powder Coat
- Stocked Color (For Non-Stocked Colors an Additional \$250.00 Set Up Charge / Color Plus the Cost of Powder.)
- (-MS) - Madshield - Galvanized and Powder Coat
- (-T) - Thermoplastic Powder Coat Color (Same Price as (-P))
- (-S) - Stainless Steel
- (-PS) - Powder Coated Stainless Steel
- (-ES) - Electro Polished Stainless Steel
- (-VCC) - Plastisol Coating

Galvanized (-G)

Rack shall be hot-dipped galvanized after fabrication for a utility finish. The rack shall have vent holes for dipping into the hot molten zinc tank. The rack shall weather in appearance similar to a battleship grey color.



Vent Hole



Weathered

Mad Shield (-MS)

Rack shall be galvanized and then coated with an

NEW! Black Vinyl Cushion Coating (-VCC)
Rack shall be dip with a plastisol coating after complete fabrication. The color shall be black. Other colors available upon request.

Super TGIC Powder Coat (-P)

Rack shall be powder coated after complete fabrication with an electrostatically applied super polyester powder coating. The color shall be _____ (list color). To ensure powder coat adhesion, steel shall be free of any scale, paint, varnish, or rust. Substrate preparation prior to powder coating shall include a chemical wash and rinse followed with an iron phosphate treatment.

Thermoplastic Powder Coat (-T)

Rack shall be powder coated after complete fabrication with Thermoplastic polyethylene coating. The color shall be _____ (list color). To ensure powder coat adhesion, steel shall be free of any scale, paint, varnish, or rust. Substrate preparation prior to powder coating shall include a chemical wash and rinse followed with an iron phosphate treatment. (Thermoplastic is not available in all colors.)

Powder Coated Stainless Steel (-PS)

Rack shall be polished and then coated with an electrostatically applied super TGIC polyester powder. The color shall be _____ (list color).



Stainless Steel (-S)

Rack shall be polished to Satin #4.

Electro Polished Stainless

Stocked Super TGIC Powder Coat Colors*



Note: Due to variations in the printing process, colors shown may not be an exact match. Please request color samples from Madrax for accurate color comparisons.

Call for available custom finishes.

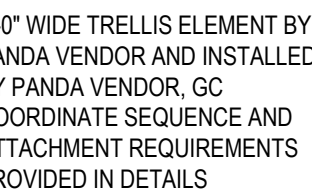
NOTES

1. INSULATING GLASS SOLARBAN 60 LOW-E: WINTER U=0.29 SHGC: 0.25 VIS TRANS: 35%
DOORS: FULL GLAZED DOORS W/10" KICK BASE, ANODIZED ALUM. FINISH. REFER HARDWARE SCHEDULE
2. WINDOW DIMENSIONS ARE FOR BIDDING PURPOSE ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION/INSTALLATION GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERECTED.
3. MANUFACTURER: QUIK-SERV, MODEL SST-4860U WITH THRU-BEAM PHOTO-ELECTRIC BAR. REGIONAL APPLICATION WITH 65-25 NON HEATED AIR CURTAIN OR CHF-25 HEATED AIR CURTAIN. TYPE OF AIR CURTAIN LISTED ON WINDOW SCHEDULE.
4. WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER OF BUILDING CODE.

TEMPERED GLASS

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

⑦



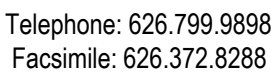
2

A-200



1

A-200



REVISIONS:

ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-23-D22360

ARCH PROJECT #: CRM 2203

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phone: (916) 451-1500

STAMP:

38302
ERVIN McMULLEN
PORTLAND
OREGON
STATE OF OREGON

1292 LANCASTER BLVD
SALEM, OR 97301

2600 Plan

EXTERIOR ELEVATIONS

SPR SUBMITTAL DWGS



EAST ELEVATION 2
Scale= 1/4" = 1'-0" A-202



(FRONT) WEST ELEVATION 1
Scale= 1/4" = 1'-0" A-202

PROPOSED SIGNAGE UNDER SEPARATE
PERMIT & SUBMITTAL BY SIGNAGE COMPANY



PANDA EXPRESS, INC.
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LANCASTER DR. NE &
WEATHERS ST. NE

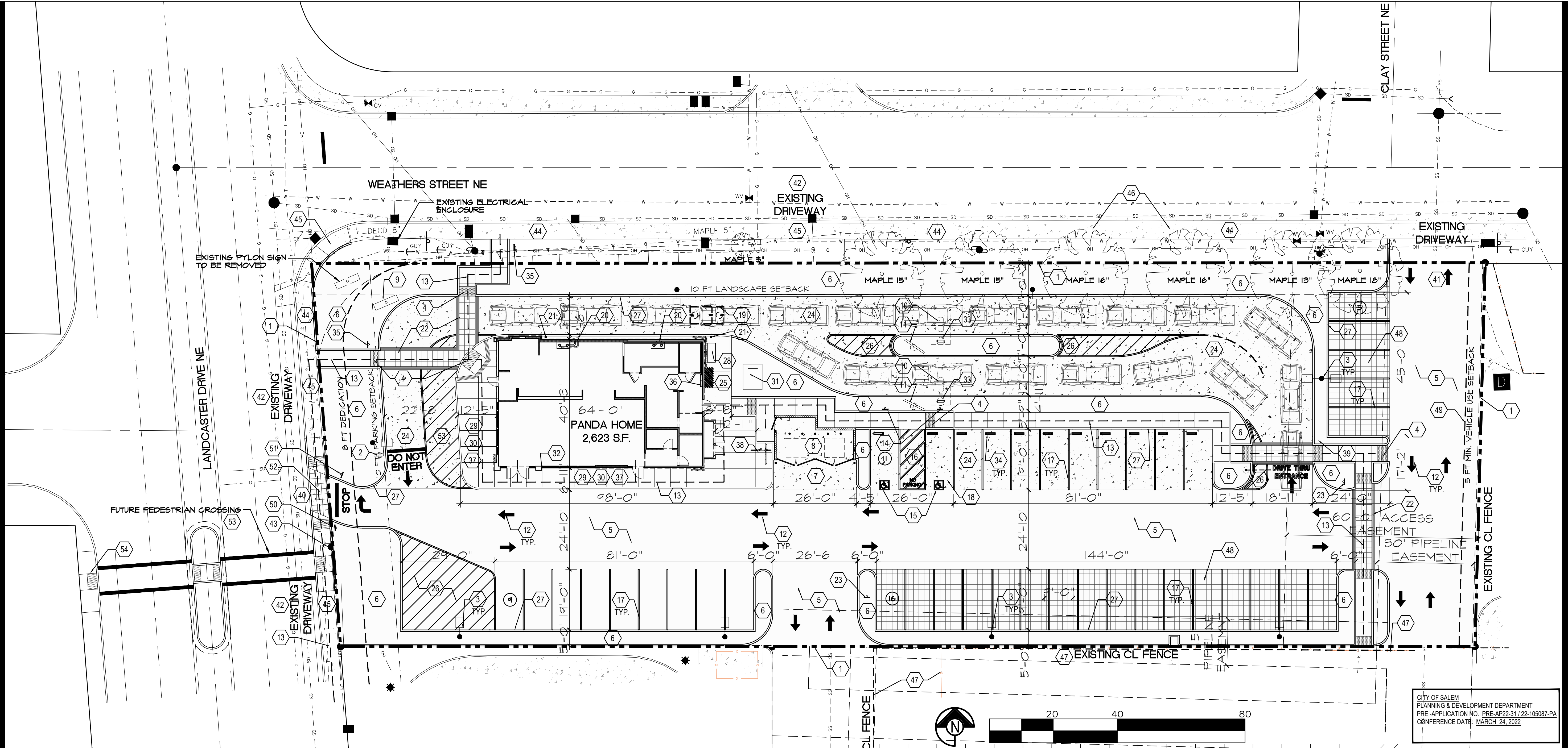
1292 LANCASTER BLVD.
SALEM, OR 97301

2600 Plan

A-202

COLORED EXTERIOR
ELEVATIONS

SPR SUBMITTAL DWGS



GENERAL NOTES:

- G.C. TO VERIFY AND PROVIDE ALL UNDERGROUND WIRING AND CONDUIT (INSTALLED BY LOCAL UTILITY COMPANY) FROM TRANSFORMER TO ELECTRICAL MAIN SWITCHGEAR, DRIVE THRU MENU BOARD, BY G.C. VERIFY WITH PANDA PM.
- WATER METER FOR IRRIGATION SHALL BE A SEPARATE METER THAN MAIN WATER METER. G.C. TO COORDINATE WITH LANDSCAPE/IRRIGATION CONTRACTOR TO INSTALL A SEPARATE METER.
- PROVIDE & INSTALL CAGE AND COVER FOR THE BACK-FLOW PREVENTER AT 4" CONCRETE CURB IN LANDSCAPE AREA. GORILLA CAGE, MANUFACTURED BY HOUSTON IRRIGATION SERVICES SPRING, TEXAS (281-705-8701). PROVIDE INSULATED COVER, AQUA SHIELD MODEL # BFP1-S FOR COLDER REGIONS OF US. COORDINATE WITH PANDA PM. REFER TO DETAIL 110A-407.
- FOR HORIZONTAL CONTROL PLAN REFER TO CIVIL DRAWINGS
- PROPERTY LINE
- DIRECTIONAL SIGN REFER TO SIGN VENDOR FOR ACTUAL LOCATIONS AND LAYOUT (NO ELEC. POWER)
- NEW PARKING LOT POLE LIGHT 22'-0" MOUNTING HEIGHT (20'-0" POLE) TYPICAL. SEE LIGHTING SCHEDULE ON E-106 (REFER TO PHOTOMETRICS PLAN SHEET E-106 FOR LIGHT POLE LOCATIONS. DEVELOPER TO INSTALL LIGHT BASES AND SUBSTRUCTURE. PANDA TO PROVIDE POLE LIGHTS. (LIGHT POLE FIXTURES BY GENERAL CONTRACTOR)
- TRUNCATED DOMES 3" MIN. DEPTH. FLUSH TRANSITION. SEE CIVIL DETAILS.
- ASPHALT PAVING - SEE CIVIL PLAN PER CITY OF SALEM STANDARDS. SEE CIVIL DWGS.
- IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS
- CONC. APRON AT TRASH ENCLOSURE AREA
- TRASH ENCLOSURE, 7'-4" HIGH WALLS, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN)
- NEW 25'-0" HIGH PYLON SIGN UNDER SIGNAGE PERMIT, REFER TO SIGN VENDOR SIGNAGE PACKAGE.
- DRIVE THRU LANE SENSOR LOOP SEE DETAIL
- DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA PM (SEE GENERAL NOTE BELOW)
- DIRECTIONAL ARROW

- ACCESSIBLE PATH OF TRAVEL
- ACCESSIBLE PARKING POLE SIGN
- INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE
- ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @ 3'-0" O.C.
- PAINT 4" WIDE SOLID PARKING STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT PER CITY OF SALEM STDS.
- DESIGNATED ACCESSIBLE PARKING SPACE. SEE CIVIL DRAWINGS
- UNDERGROUND GREASE INTERCEPTOR 1,500 GALLON. SEE PLUMBING DWGS.
- ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF UNDER CONCRETE FLATWORK TO FACE OF CURB OR TIE TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION.
- STEEL PIPE GUARD BOLLARD TO BE PAINTED SAFETY YELLOW PRIOR TO APPLICATION OF LDPE SLEEVE
- PEDESTRIAN PATH OF TRAVEL WITH INTEGRALLY COLORED AND SCORED CONCRETE AT VEHICULAR CROSSINGS (TYP.)
- TOW AWAY WARNING SIGN
- CONC. DRIVEWAY (GRAY COLOR, LIGHT BROOM FINISH).
- 600 AMPS NEMA 3R ELECTRICAL SWITCHGEAR 120/208V 3PH 4W
- PAINTED STRIPED AREAS WITH 4" WIDE STRIPES, PAINT USED FOR STALL STRIPING
- CURB & GUTTER TO BE CONSTRUCTED PER CITY STANDARDS P-5 SEE CIVIL DWGS.
- GAS METER COORDINATE W/ LOCAL UTILITY COMPANY.
- EXPANSION JOINT @ 20'-0" O.C. MAX.
- TOOLED JOINTS @ 5'-0"x5'-0" O.C.

- ELECTRICAL TRANSFORMER AND CT-CAN FOR PANDA. BY UTILITY COMPANY. VERIFY EXACT LOCATION WITH UTILITY CO.
- KNOX BOX TO BE PROVIDED WITH TAMPER SWITCH AND SHALL BE MONITORED BY F.D. APPROVED CENTRAL MONITORING DEVICE.
- ORDER CONFIRMATION BOARD OR PREFABRICATED ORDER CANOPY. VERIFY W/ PX PM. SEE SIGNAGE DWGS.
- WHEEL STOP
- ACCESSIBLE SITE SIGNS
- INTERIOR ELECTRICAL SUBPANELS
- SEALED CONC SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG.
- EXTERIOR BICYCLE RACK (MINIMUM 4 BIKE SPACES REQUIRED)
- CLEARANCE BAR INSTALLED BY SIGN VENDOR SEE ELECTRICAL DRAWING FOR ELECTRICAL REQUIREMENT, G.C. TO COORDINATE. SEE SIGNAGE PLANS.
- PROPOSED NEW RIGHT OUT DRIVEWAY. SEE CIVIL DRAWINGS.
- EXISTING DRIVEWAY TO REMAIN. SEE CIVIL DRAWINGS.
- EXISTING DRIVEWAYS TO BE REMOVED
- EXISTING POWER POLE TO REMAIN AND PROTECT DURING CONSTRUCTION.
- NEW SIDEWALKS TO BE RECONSTRUCTED PER CITY STREET STANDARDS
- EXISTING RAMP ON RIGHT OF WAY TO REMAIN AND PROTECT. NEW SIDEWALKS PER STREET CITY STANDARDS TO CONNECT TO RAMP.
- EXISTING STREET TREES TO REMAIN AND PROTECT. PRESERVING OF TREES REQUIRE 100 PERCENT OF THEIR CRITICAL ROOT ZONES TO BE PROTECTED (CRITICAL ZONE MEASURES ONE-FOOT IN RADIUS FOR EACH ONE-FOOT OF DBH).
- EXISTING PERMANENT GATED FENCE FOR SCHOOL ACADEMY TO REMAIN

- +/- 3,600 SQUARE FEET NEW PERVIOUS PAVING AT PARKING SHOWN HATCHED. SEE CIVIL DRAWINGS.
- MINIMUM 5'-0" VEHICLE USE AREA SETBACK.
- DO NOT ENTER SIGN FACING LANCASTER DRIVE
- STOP SIGN AND RIGHT TURN ONLY SIGN
- PEDESTRIAN SIDEWALK CROSSING PER CITY STANDARDS WITH TRUNCATED DOME TACTILE WARNINGS EACH SIDE OF DRIVEWAY.
- STRIPPED AREA FOR DRIVE-THRU ORDER WAITING.
- NEW PEDESTRIAN CROSSING MEDIAN & REQUIRED SIGNAL ELEMENTS PER TRAFFIC ENGINEERING DEPARTMENT STANDARDS
- NEW RIGHT-OF-WAY RAMP CONNECTION PER CITY STANDARDS

PROPERTY DESCRIPTION PER CURRENT TITLE

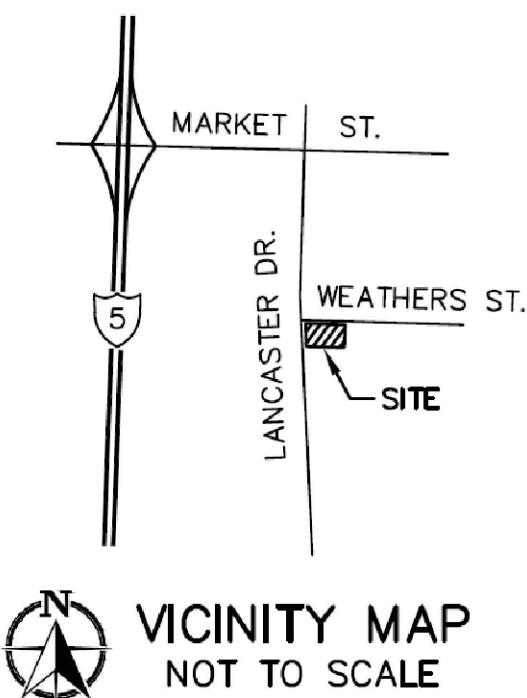
BEGINNING ON THE SOUTH LINE OF WEATHERS STREET AT A POINT WHICH IS 412.43 FEET SOUTH 89°42' WEST AND 30.00 FEET SOUTH 1°14' WEST FROM THE NORTHEAST CORNER OF LOT 12, HELTZEL'S GARDEN TRACTS, IN MARION COUNTY, OREGON, SAID POINT BEING ON THE EXTENSION OF THE EAST LINE OF CLAY STREET; THENCE SOUTH 1°14' WEST ALONG THE EXTENSION OF SAID EAST LINE OF CLAY STREET, A DISTANCE OF 120.04 FEET; THENCE SOUTH 89°42' WEST, PARALLEL WITH THE SOUTH LINE OF WEATHERS STREET, 355.40 FEET TO A POINT ON THE EAST LINE OF LANCASTER DRIVE; THENCE NORTH 4°34' WEST ALONG THE EAST LINE OF SAID LANCASTER DRIVE 120.33 FEET TO THE POINT OF INTERSECTION WITH THE SOUTH LINE OF SAID WEATHER STREET; THENCE NORTH 89°42' EAST 367.52 FEET TO THE PLACE OF BEGINNING.

KEY NOTES A

LEGAL DESCRIPTION B

A-100

A-100



Project Name	Panda Express		
Proposed	1292 Lancaster Dr NE Salem, OR 97301		
Tax #	Panda Express Restaurant		
Existing Zoning	072W19CA06200		
Land Use	Commercial Retail (CR)		
Parking Required	Restaurant w/ Drive-thru		
Parking Provided	11 Minimum --- 28 Maximum Allowed		
	41 (2 Accessible) Exceeds Max. Parking by 46.4 %		
SITE PLAN REQUIREMENTS			
Total Parcel Area	43,362 Sq. Ft. (0.99 Acre)		100 %
Building Coverage	2,623 Sq. Ft.		6 %
Asphalt/ Conc. Coverage	32,664 Sq. Ft.		75 %
Landscaping	8,075 Sq. Ft.		19 %
Owner:	Civil Engineer:		
Baez Brothers, LLC	Scott Steckley, P.E.		
1292 Lancaster Blvd.	Chehalem Diversified, Inc.		
Salem, OR 97301	2800 E. 9th St. Ste. 700		
	Newberg, OR 97132		
	T: 503.538.0337		



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ISSUE DATE:

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PANDA PROJECT #: S8-23-D22360
ARCH PROJECT #: CRM 2203

CRM Architects & Planners Inc.

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Rocklin, CA 95765
phone: (916) 451-1500

STAMP:

REGISTERED ARCHITECT
38302
ERVIN McMULLEN
PORTLAND
OREGON
STATE OF OREGON

LANCASTER DR. NE &
WEATHERS ST. NE

1292 LANCASTER BLVD.
SALEM, OR 97301

2600 Plan

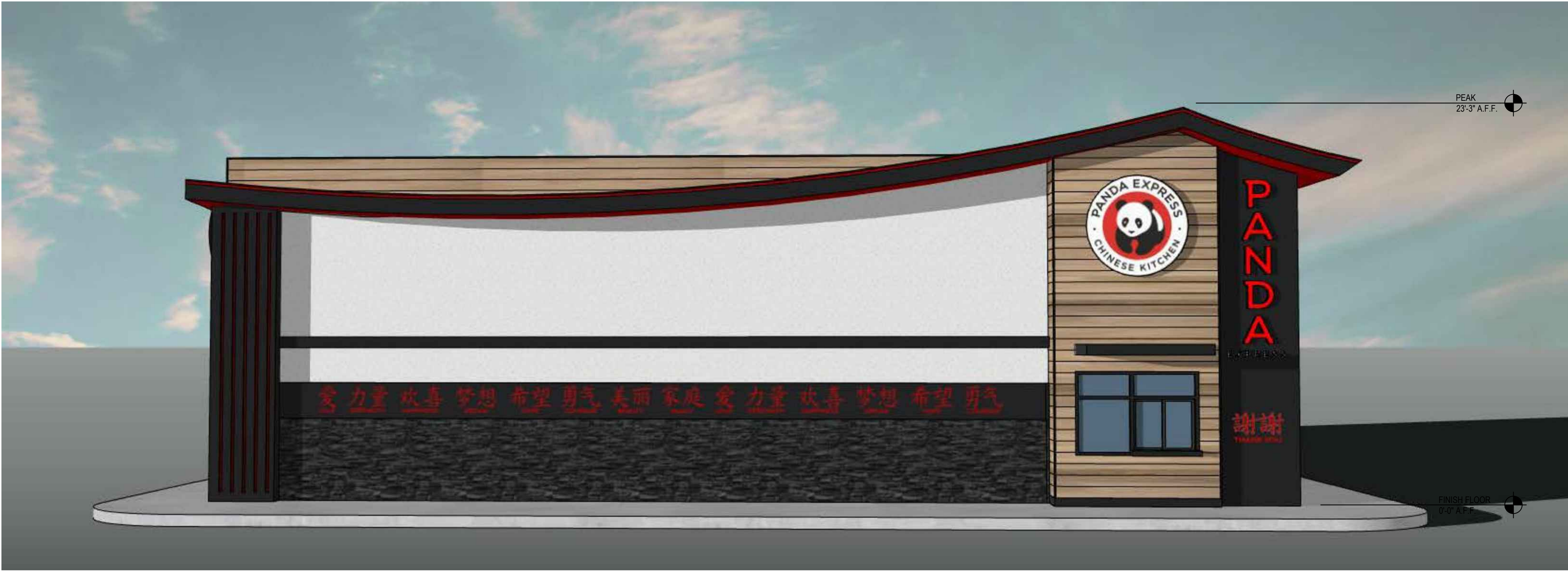
A-100

SITE PLAN
ARCHITECTURAL

SPR SUBMITTAL DWGS



SOUTH ELEVATION 2
Scale= 1/4" = 1'-0" A-203



(DRIVE THRU) NORTH ELEVATION 1
Scale= 1/4" = 1'-0" A-203



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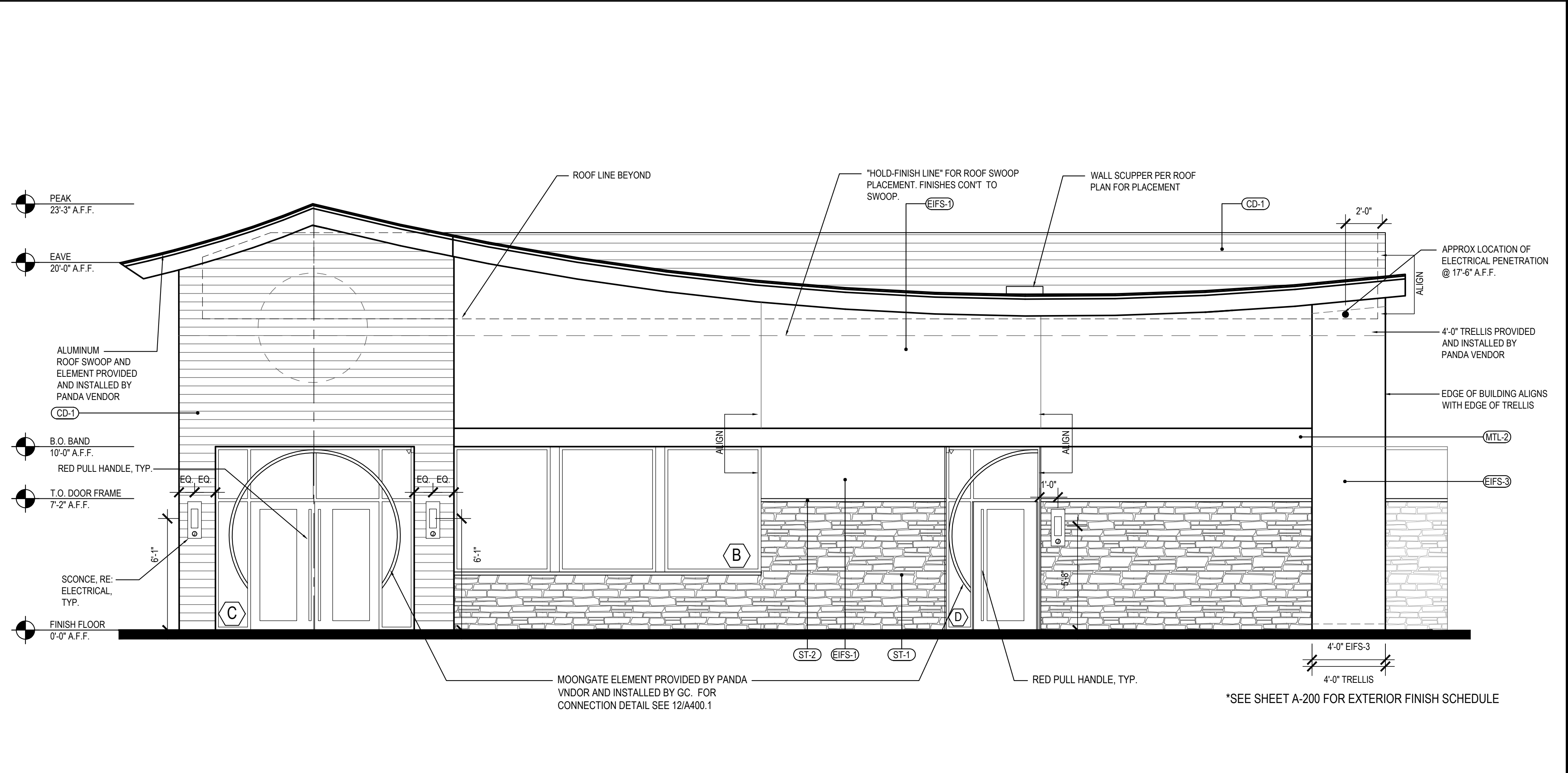
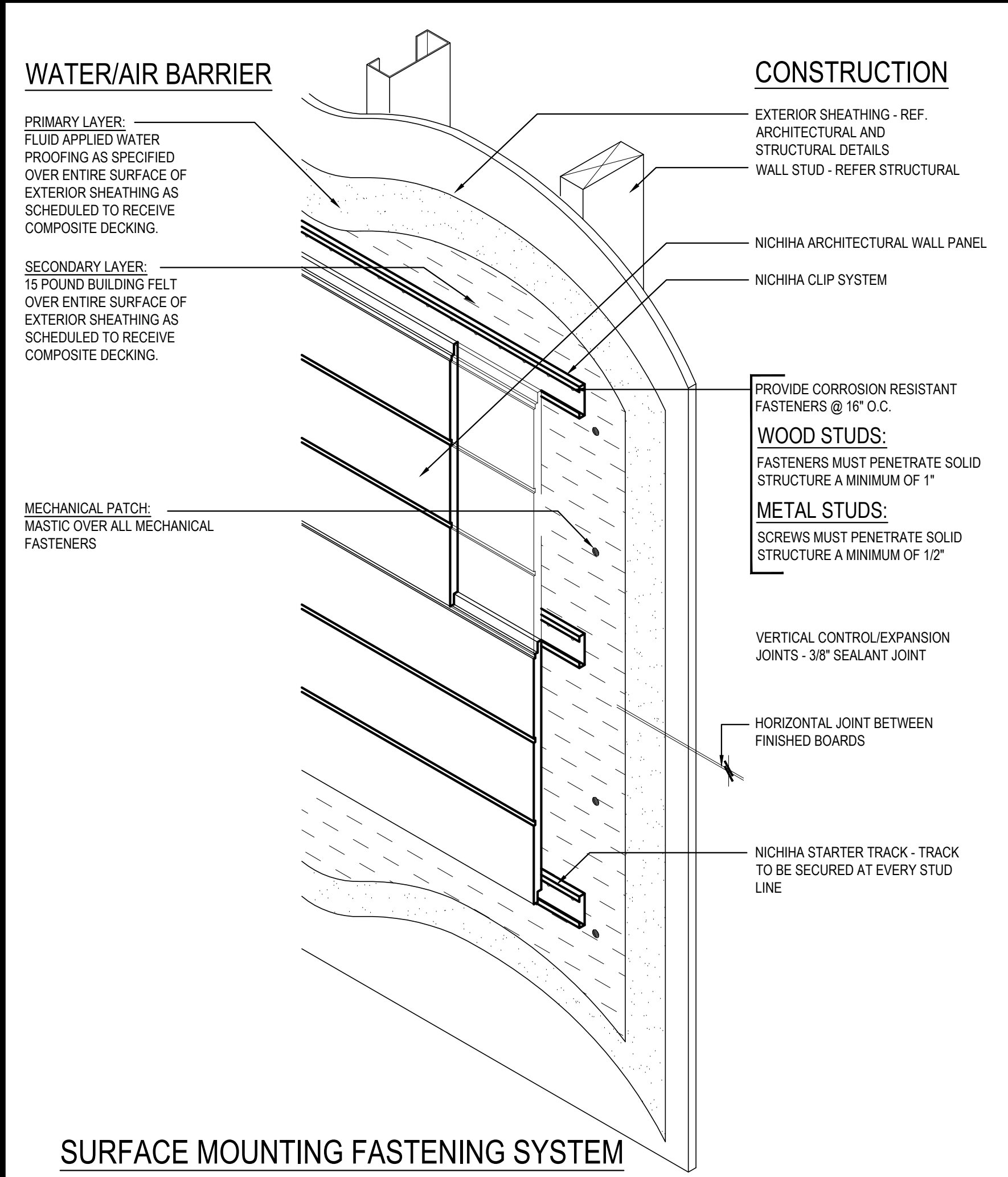
LANCASTER DR. NE &
WEATHERS ST. NE
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A-203

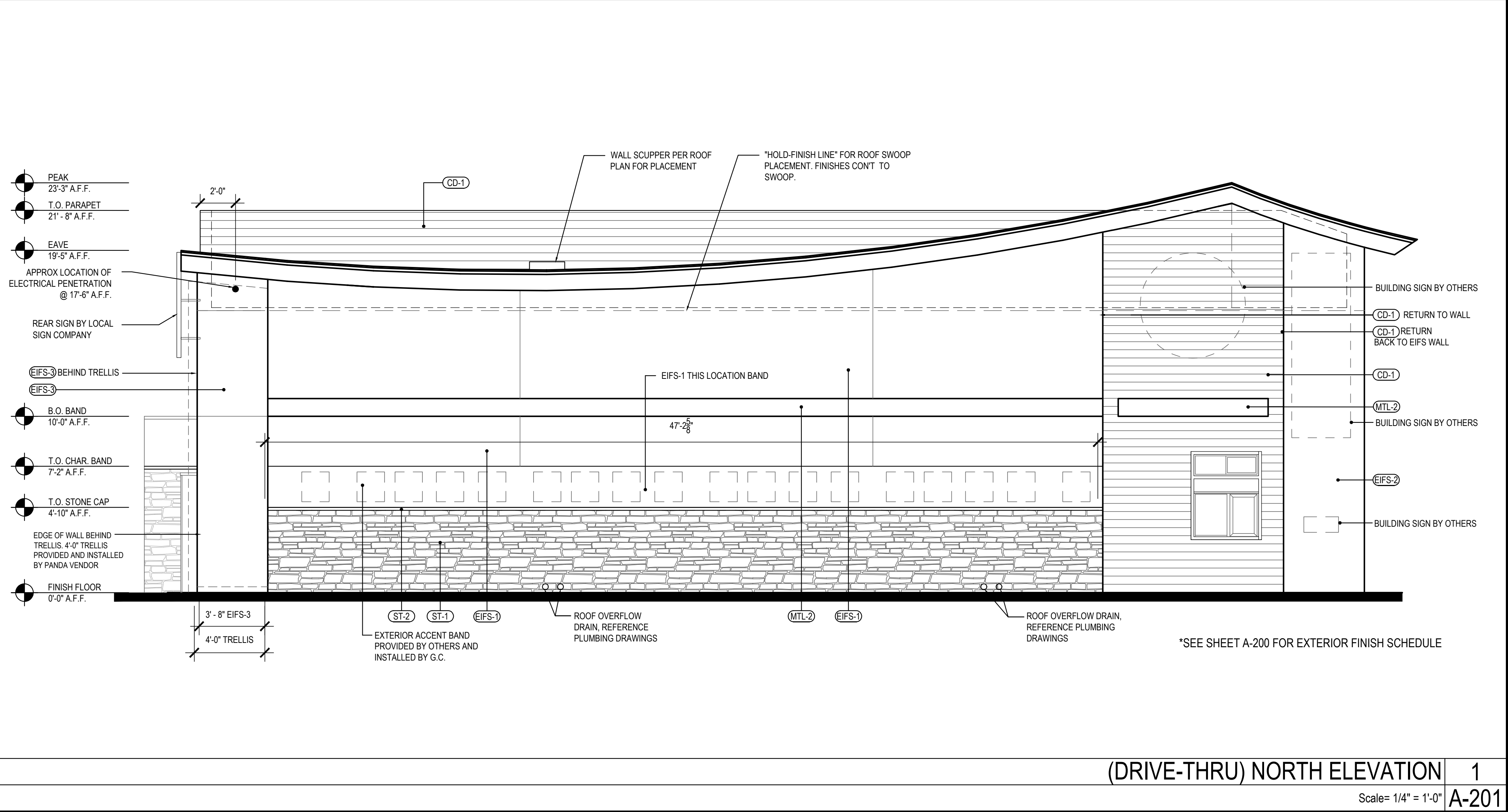
COLOR EXTERIOR
ELEVATIONS

SPR SUBMITTAL DWGS



NICHIHA PANEL FASTENING & WATER PROOFING 3
Scale= 1 1/2" = 1'-0" A-201

SOUTH ELEVATION 2
Scale= 1/4" = 1'-0" A-201



(DRIVE-THRU) NORTH ELEVATION 1
Scale= 1/4" = 1'-0" A-201



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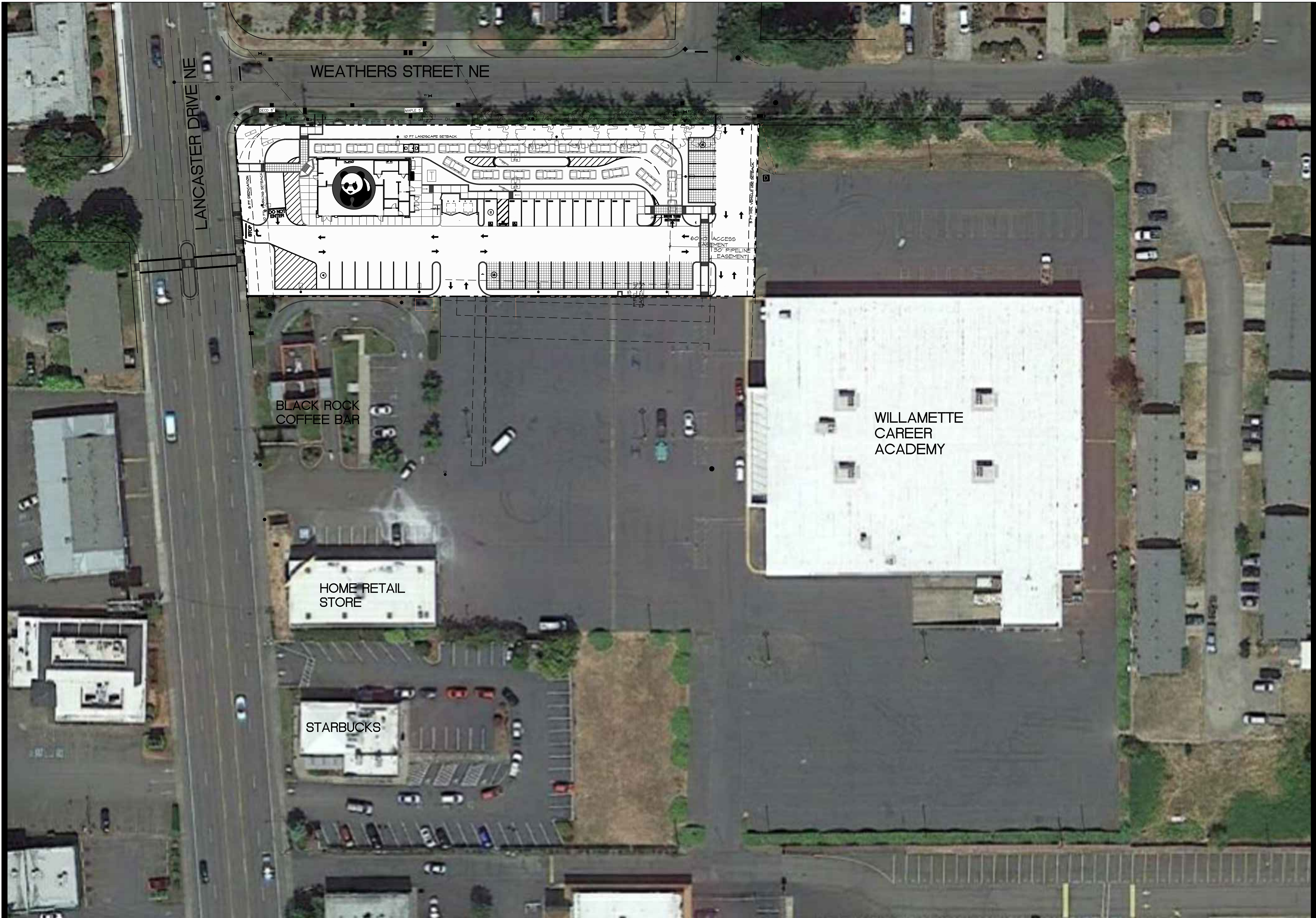
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EXTERIOR
ELEVATIONS

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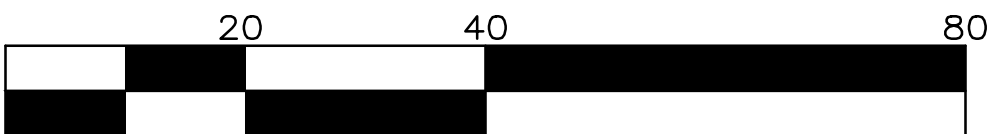
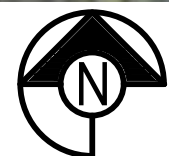
1292 LANCASTER BLVD.
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2600 Plan

A-100.A

OVERALL CENTER SITE PLAN
ARCHITECTURAL

SPR SUBMITTAL DWGS



OVERALL CENTER ARCHITECTURAL SITE PLAN 1

Scale: 1"=30'-0" A-100A

FINISH SCHEDULE					
ROOM NAME	FLOOR	BASE	WALL	CEILING	
(100) DINING ROOM	T200 24" X 24" TILE	T111 TILE SIZE: T.B.D. T.B.D. TILE SIZE: T.B.D.	P101, P104 T111, T.B.D. WALL COVERING	C1 2' X 2' ARMSTRONG, SEPIA #PN91311 GYB BOARD W/ PAINT P103	03-24-22
(101) SERVING AREA	S1 S2 PLAIN ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H. CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	T.B.D. TILE	C3 GYP BOARD W/ SMOOTH WASHABLE PAINT	
(102) DRIVE-THRU STATION	S1 S2 PLAIN ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H. CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYB BOARD PANELS	
(103) KITCHEN	S1 S2 PLAIN ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H. CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP3 S.S. BEHIND COOK LINE WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYB BOARD PANELS	
(104) KITCHEN PREP.	S1 S2 PLAIN ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H. CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYB BOARD PANELS	
(105) WALK-IN COOLER	S1 S2 PLAIN ABRASIVE IN HIGH TRAFFIC AREAS	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL	
(105A) WALK-IN FREEZER	GALVANIZED STAINLESS STEEL S1 SILIKAL UNDER WIF SUBFLOOR	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL	
(106) UNISEX RESTROOM	T200 24" X 24" TILE	SCHLUTER	T108 TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT	
(107) UNISEX RESTROOM	T200 24" X 24" TILE	SCHLUTER	T108 TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT	
(108) VESTIBULE	T200 24" X 24" TILE	T.B.D. TILE SIZE: T.B.D.	P104 PAINT GYB BOARD T.B.D. TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT	
(109) NOT USED	-	-	-	-	
(110) EXTERIOR STORAGE	SEALED CONCRETE, SMOOTH FINISH	-	WP1 FRP PANEL	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT	
(111) NOT USED					

DOOR & HARDWARE SCHEDULE									
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE									
CONTRACTOR TO PURCHASE DOOR HARDWARE & FRAME DIRECTLY FROM PANDA'S NATIONAL ACCOUNT SUPPLIER. SUPPLIER TO PROVIDE ALL STOREFRONT DOOR HARDWARE, P-LAM DOORS & FRAMES AND HM DOORS & FRAMES									
CONTACT FOR QUOTING, ORDERING & LOGISTICS APRIL WALDREN, PROJECT MANAGER 800-887-4307 EXT. 350 PHONE AprilW@locknet.com, panda@locknet.com									
CONTACT FOR GENERAL ACCOUNT NEEDS ANGIE HAINES, ACCOUNT MANAGER 800-887-4307 EXT. 145 PHONE / 859-509-4031 MOBILE AngieH@locknet.com, panda@locknet.com									
ADDITIONAL CONTACTS: THOMAS DOWNS, SALES MANAGER; ThomasD@locknet.com; 800-887-4307 X116 EDDIE ANDUEZA, DIR. ARCH. DOOR & HRDWR SOL.; eddiea@locknet.com; 859-432-2289									
NO.	DOOR MATERIAL	SIZE	FRAME	FACED/EDGE	THK.	CORE	LITE	RATE	REMARKS
(1)	ALUMINUM STOREFRONT	2) 3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	KAWNEER CURTAIN 1620 SYSTEM PULL ON EXTERIOR SIDE
(2)	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	KAWNEER CURTAIN 1620 SYSTEM PULL ON EXTERIOR SIDE
(3)	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAM. PRE-FINISHED	1 3/4"	SOLID	-	-	KICKPLATE ON EA. SIDE OF DOOR
(4)	NOT USED	-	-	-	-	-	-	-	-
(5)	HOLLOW METAL	3'-6" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	KICKPLATE ON INT. SIDE OF DOOR
(6)	HOLLOW METAL	3) 3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	WI LOUVERED VENT & BUG SCREEN ONE-WAY TINTING FILM ON INTERIOR SIDE
(7)	ALUMINUM STOREFRONT	3'-0" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	-
(8)	ALUM. STORE VESTIBULE	3'-0" X 7'-0"	ALUM.	DARK BRONZE ANODIZED ALUM.	1 3/4"	HOLLOW	GLASS	-	-

WALL SCHEDULE									
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE									
NO.	DESCRIPTION								
(1)	3'-5/8" 20GA. METAL STUD WALL W/ 1/2" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)								
(2)	3'-5/8" 20GA. METAL STUD WALL W/ 1/2" TYPE "X" GYP. BOARD ON ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)								
(3)	(2) 3'-5/8" 20GA. METAL STUD WALLS W/ 1/2" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)								
(4)	3'-5/8" 20GA. METAL STUD LOW WALL W/ 1/2" TYPE "X" GYP. BD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.								
(5)	6" 20GA. METAL STUD WALL W/ 1/2" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)								
(6)	6" 20GA. METAL STUD WALL W/ 1/2" TYPE "X" GYP. BOARD ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)								
(7)	3'-5/8" 20GA. METAL STUD LOW WALL W/ 1/2" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.								
(8)	1 1/2" 20GA. HAT CHANNEL FURRING W/ 1/2" TYPE "X" GYP. BOARD ON ONE SIDE. REFER DETAILS FOR FURRING DISTANCE								

WALL PANEL SCHEDULE				
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE				
NO	MANUFACTURER	DESCRIPTION	MFG #	COLOR / FINISH
(WP1)	CRANE COMPOSITES INC.	F.R.P. THICKNESS: .075	LBCS.14	#636 (GRAY), SM/SM
(WP2)	-	S.S. PANEL (22 GA)	-	BRUSHED FINISH
(WP3)	-	S.S. PANEL (22 GA)	-	DIAMOND PATTERN FINISH
(W101)	WILSONART	PLASTIC LAMINATE	7995	MISSION MAPLE
(W102)	WILSONART	PLASTIC LAMINATE	7984	MANAGLORE MANGO
(W103)	WOLF GORDON	CUSTOM FRACTAL WALL COVERING	-	SATIN SUBSTRATE
(W104)	WOLF GORDON	CUSTOM GOLD/CLOUD WALL COVERING	-	GOLD FOIL SUBSTRATE
(G-1)	-	WALL COVERING	TBD	TBD
(G-4a)	-	WALL COVERING	TBD	TBD
(G-4b)	-	MENU BACKER PANEL	TBD	TBD
(G-7a)	-	WALL MURAL	TBD	TBD
(G-8)	-	CANOPY GRAPHIC	TBD	TBD

SPECIAL SURFACE SCHEDULE					
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE					
NO	MANUFACTURER	PRODUCT	MFG #	STAIN / COLOR	FINISH
(Q2-7)	CORIAN	ARTIFICIAL QUARTZ	-	LONDON SKY	POLISHED
(Q2-8)	DALTILE	ARTIFICIAL QUARTZ	-	BROADWAY BLACK	POLISHED

INTERIOR PAINT SCHEDULE					
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE					
NO	MANUFACTURER	MFG #	COLOR	FINISH	REMARK
(P8Aa)	SHERWIN-WILLIAMS	SW 7065	ARGOS	PROMAR 200, ZERO VOC, LATEX SEMI-GLOSS	REAR SERVICE DOOR
(P101)	SHERWIN-WILLIAMS	SW 6252	ICE CUBE	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	RESTROOM & RESTROOM VESTIBULE CEILING, DINING ROOM SOFFIT
(P102)	NOT USED				
(P103)	NOT USED				
(P104)	SHERWIN-WILLIAMS	SW 2850	CHELSEA GRAY	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	DINING RM. WALLS, RESTROOM VESTIBULE WALLS
(P105)	NOT USED				
(P106)	SHERWIN-WILLIAMS	SW 7020	BLACK FOX	DTM ACRYLIC GLOSS, LOW VOC	RESTROOM DOOR FRAMES
(P205)	SHERWIN-WILLIAMS	SW 7675	SEALSKIN	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	FRONT & UNDERSIDE OF SERVICE LINE & BACK OF SERVICE LINE SOFFIT

WALL LEGEND	
	NEW EXTERIOR WALL
	NEW EXTERIOR WALL FRAMED WITH STRUCTURAL STEEL
	NEW INTERIOR WALL
	NEW INTERIOR WALL (LOW REF. ELEV. & DETAILS)
	WALK-IN BOX PANEL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY PX.-INSTALLED BY G.C.:

- PANEL DIVIDERS AT WP3
- INSIDE CORNER AT WP3 TO WP2
- FLASHING AT TOP OF BASE WP3
- WP2 PIECE AT LENGTH OF WALL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY G.C.-INSTALLED BY G.C.:

5. INSTALL 18 GA STAINLESS STEEL CORNER GUARD & WALL CAP INSIDE KITCHEN

	18 GA. STAINLESS STEEL CORNER GUARD - FULL HT.
	18 GA. STAINLESS STEEL CORNER GUARD - 4'-0" HIGH
	18 GA. STAINLESS STEEL CORNER GUARD/FRAME - ALL AROUND PERIMETER OF OPENING - FRAME TO BE WELDED WITH MITERED CORNERS TO FORM SINGLE UNIT.
	18 GA. STAINLESS STEEL WALL CAP

ALL OTHER STAINLESS STEEL BY G.C.

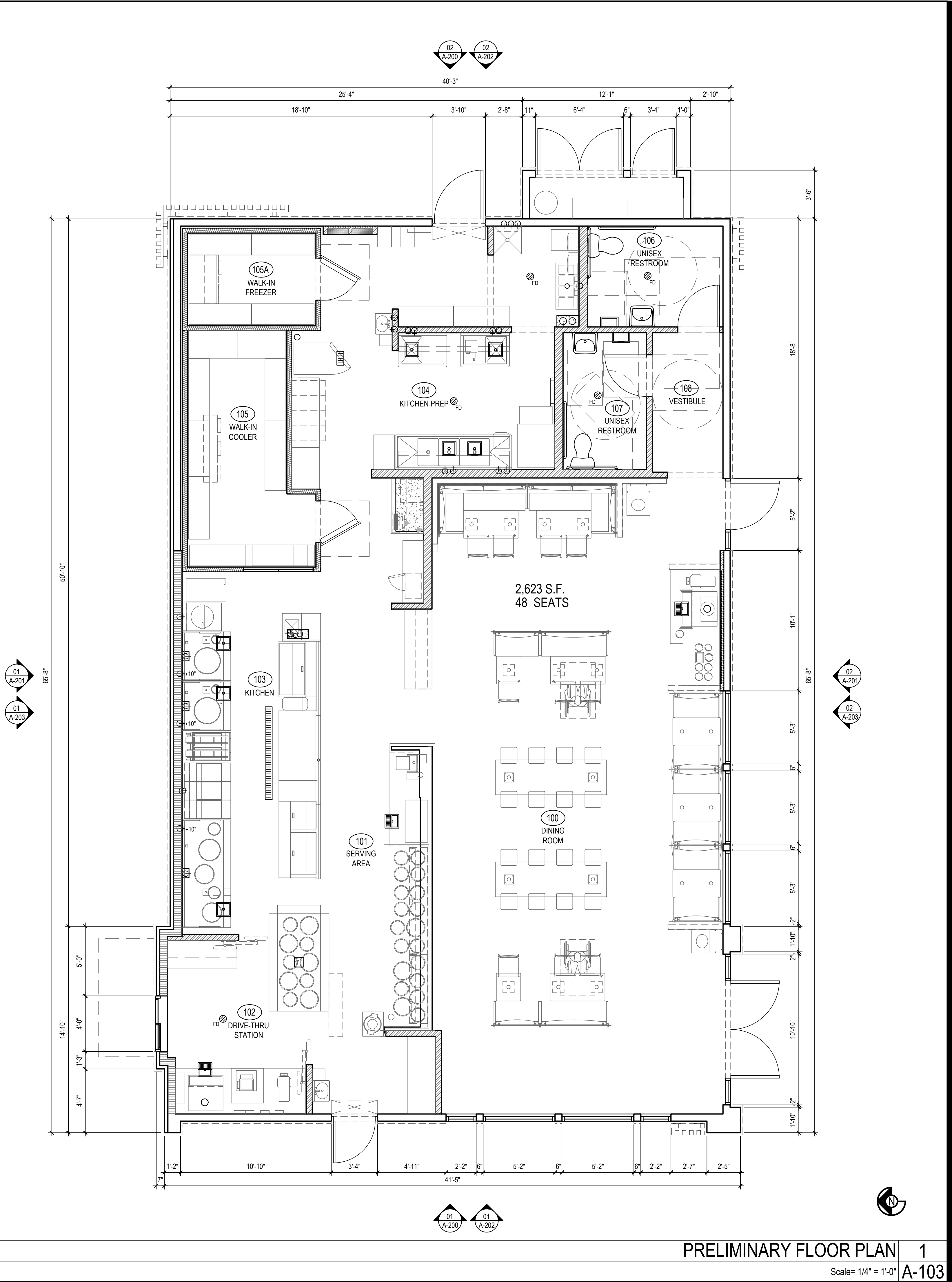
NOTE!!!!!!!!!!!!!!:

***ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD**

NOTE:

CONTRACTOR TO NOTIFY 3rd PARTY VENDOR, PER THE VENDOR LIST, FOR WALL PRE-TREAT BEFORE CLOSING WALLS

TILE SCHEDULE (SEE SHEET A-104)					
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Rosemead, California 91770
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REVISIONS:

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6			
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8			

ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-23-D22360
ARCH PROJECT #: CRM 2203

CRM Architects & Planners Inc.

5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500

STAMP:

REGISTERED ARCHITECT
38302
ERVIN McMULLEN
Portland Oregon
STATE OF OREGON

LANCASTER DR. NE & WEATHERS ST. NE

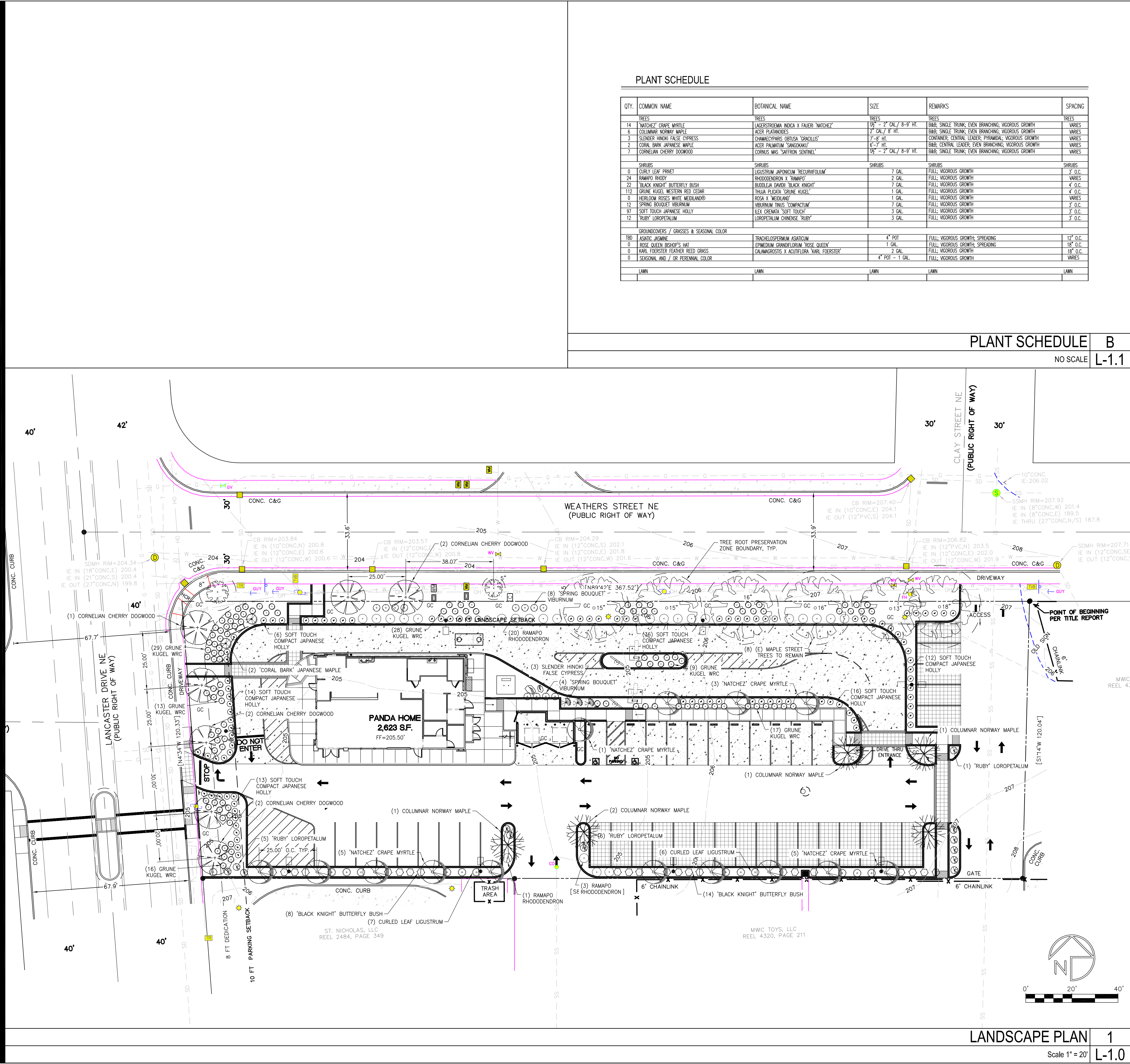
1292 LANCASTER BLVD.
SALEM, OR 97301

2600 Plan

A-103.P

PRELIMINARY FLOOR PLAN

SPR SUBMITTAL DWGS



PLANT SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	SPACING
TREES					
14	'NATCHEZ' GRAPE MYRTLE	LACETOSTROMA INDICA X FAUERI 'NATCHEZ'	10" - 2" CAL / 8-9' HT.	B&B: SINGLE TRUNK, EVEN BRANCHING, VIGOROUS GROWTH	VARIES
6	COLUMNAR NORWAY MAPLE	ACER PLATANODES	2" CAL / 8' HT.	B&B: SINGLE TRUNK, EVEN BRANCHING, VIGOROUS GROWTH	VARIES
3	SLENDER HINKO FALSE CYPRESS	CHAMAECYPARIS OBTUSA 'GRACILIS'	7'-8' HT.	CONTAINER, CENTRAL LEADER, PYRAMIDAL, VIGOROUS GROWTH	VARIES
2	CORAL BARK JAPANESE MAPLE	ACER PALMATUM 'SANGOKAKU'	6'-7' HT.	B&B: CENTRAL LEADER, EVEN BRANCHING, VIGOROUS GROWTH	VARIES
7	CORNELIAN CHERRY DOGWOOD	CORNUS MAS 'SAFRON SENTINEL'	1 1/2" - 2" CAL / 8-9' HT.	B&B: SINGLE TRUNK, EVEN BRANCHING, VIGOROUS GROWTH	VARIES
SHRUBS					
0	CURLY LEAF PRIVET	LIGUSTRUM JAPONICUM 'RECURVIFOLIUM'	7 GAL	FULL, VIGOROUS GROWTH	3' O.C.
24	RAMAPO 'RUBY'	RHOODODENDRON X 'RAMAPO'	2 GAL	FULL, VIGOROUS GROWTH	VARIES
22	'BLACK KNIGHT' BUTTERFLY BUSH	BUDLEJA DWARF 'BLACK KNIGHT'	7 GAL	FULL, VIGOROUS GROWTH	4' O.C.
112	GRUNE KUGEL WESTERN RED CEDAR	THUJA PLICATA 'GRUNE KUGEL'	1 GAL	FULL, VIGOROUS GROWTH	4' O.C.
0	HEIRLOOM ROSES WHITE MEDIANDB	ROSA X 'MEDIANDB'	1 GAL	FULL, VIGOROUS GROWTH	VARIES
12	SPRING BOUQUET VIBURNUM	VIBURNUM TILUS 'COMPACTUM'	7 GAL	FULL, VIGOROUS GROWTH	3' O.C.
97	SOFT TOUCH JAPANESE HOLLY	ILEX CHENNA 'SOFT TOUCH'	3 GAL	FULL, VIGOROUS GROWTH	3' O.C.
12	'RUBY' LOROPETALUM	LOROPETALUM CHINENSE 'RUBY'	3 GAL	FULL, VIGOROUS GROWTH	3' O.C.
GROUNDCOVERS / GRASSES & SEASONAL COLOR					
180	PLANT JOHNNIE	TRACHELOSPERMUM ASHITOMI	4" POT	FULL, VIGOROUS GROWTH, SPREADING	12" O.C.
0	ROSE QUEEN BISHOP'S HAT	EPIMEDIUM GRANDIFOLIUM 'ROSE QUEEN'	1 GAL	FULL, VIGOROUS GROWTH, SPREADING	18" O.C.
0	KARL FORSTER FEATHER REED GRASS	CAULAGRISTIS X ACUTIFOLIA 'KARL FORSTER'	2 GAL	FULL, VIGOROUS GROWTH	18" O.C.
0	SEASONAL AND / OR PERENNIAL COLOR		4" POT - 1 GAL	FULL, VIGOROUS GROWTH	VARIES
LAWN					
LAWN	LAWN	LAWN	LAWN	LAWN	LAWN

PLANT SCHEDULE

B

NO SCALE

L-1.1

LANDSCAPE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL HAVE A SOILS FERTILITY TEST DONE WITH RECOMMENDATIONS. FOR BID PURPOSES PLANTING AREAS SHALL RECEIVE PER 1000 SQ.FT.: 6 CU.YDS. OF ROCK MULCH, 10 LBS. OF 15-15-15 FERTILIZER TILLED INTO THE TOP 6" OF SOIL. ADJUSTMENTS TO THE CONTRACT SHALL BE MADE BASED ON THE RECOMMENDATIONS OF THE FERTILITY TEST. EXCEPTION: PLANTING AREAS TO RECEIVE 12" OR MORE OF PLANTING MEDIUM DO NOT REQUIRE A SOIL FERTILITY TEST.
- PLACE A MINIMUM OF 18" OF GROWING MEDIUM IN ALL LANDSCAPE AREAS THAT HAVE BEEN OVER EXCAVATED. SEE DETAIL 1403, SHEET L-1.1 FOR GROWING MEDIUM.
- AFTER PLANTS AND GROUND COVERS ARE PLANTED, BEFORE APPLICATION OF TOP DRESSING, APPLY RONSSTAR PRE-EMERGENCE WEED KILLER PER MANUFACTURER'S DIRECTIONS.
- ALL SHRUB AREAS SHALL HAVE A WEED BARRIER MAT INSTALLED PRIOR TO PLACING THE TOP DRESSING.
- APPLY TOP DRESSING OF 2" OF ROCK MULCH AFTER APPLICATION OF PRE-EMERGENT.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE PLANTS FOR 60 DAYS AND TREES FOR 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINAL GRADING AND DRAINAGE IN ALL LANDSCAPED AREAS. FINISHED GRADES IN PLANTER AREAS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE ADJACENT SIDEWALK OR CURB.
- PRIOR TO FINAL ACCEPTANCE THE LANDSCAPE CONTRACTOR SHALL PROVIDE TO OWNER OR OWNER'S AGENT THE ORIGINAL DELIVERY TAGS OF ALL PLANT MATERIALS, FERTILIZER, HUMUS, TOP DRESSING AND PRE-EMERGENCE WEED KILLER.
- AFTER WRITTEN FINAL ACCEPTANCE BY THE OWNER, A MAINTENANCE PERIOD OF 60 DAYS WILL COMMENCE. AT THE END OF THE MAINTENANCE PERIOD ANY UNHEALTHY PLANTS SHALL BE REPLACED. AT THE END OF TREE GUARANTEE PERIOD ANY UNHEALTHY TREES SHALL BE REPLACED.
- EXISTING TREES SHOWN ARE TO REMAIN AS NOTED. THE CONTRACTOR SHALL TAKE MEASURES TO MAINTAIN THE HEALTH OF THE TREES. AT A MINIMUM THE DRIP LINE SHALL BE TAPED OFF AND THE AREA INSIDE THE TAPE SHALL BE LEFT UNDISTURBED DURING DEMOLITION AND CONSTRUCTION.
- PLANTING AREAS TO RECEIVE SOD SHALL HAVE LIME APPLIED AT THE RATE OF 50 POUNDS PER 500 SQUARE FEET AND TILLED INTO THE TOP 6" OF SOIL.
- ALL PLANTING AREAS TO BE WATERED BY TIMER ACTIVATED IRRIGATION SYSTEM. TURF AREAS TO BE SPRINKLED, SHRUBS AND TREES TO BE DRIPPED. IRRIGATION SYSTEM IS DESIGN BUILD BY GENERAL CONTRACTOR.
- SEE DETAILS 1401 AND 1402, SHEET L-1.1 FOR SHRUB AND TREE PLANTING REQUIREMENTS.
- ALL LANDSCAPE AREAS THAT DO NOT CONTAIN SHRUBS OR GROUNDCOVER SHALL BE PLANTED WITH SOD INSTALLED PER THE PLANT SCHEDULE REQUIREMENTS.
- SEE SHEET L-2.0 FOR IRRIGATION SLEEVE LOCATIONS AND IRRIGATION SYSTEM REQUIREMENTS.
- PLANT SCHEDULE INDICATES QUANTITY OF NEW PLANTINGS ONLY. OTHER PLANTS LISTED ARE EXISTING AND SHOWN FOR REFERENCE.
- ALL TREES, SHRUBS AND GROUNDCOVER SHALL BE HEALTHY GROWN NURSERY STOCK. ALL STOCK SHALL BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. TREES SHALL HAVE A SINGLE TRUNK, A WELL DEVELOPED LEADER WITH TOPS AND ROOTS CHARACTERISTIC OF THE CULTIVAR OR VARIETY AND MEET ANSI STANDARD Z60.1.
- SEE PLANT SCHEDULE, DETAIL B, THIS SHEET.
- NONE OF THE EXISTING TREES TO REMAIN ARE SIGNIFICANT IN EITHER SPECIES OR SIZE. GIVEN THEIR SIZE AND LOCATION NEXT TO OVERHEAD POWER FACILITIES ONE OR MORE TREES MAY NEED TO BE REMOVED FOR CONSTRUCTION. IF THIS IS THE CASE IT IS RECOMMENDED THAT A REPLACEMENT COLUMNAR NORWEGIAN MAPLE BE PLANTED ON SITE AND A STREET TREE MATCHING THOSE SPECIFIED ON THE PLAN BE PLANTED IN THE ROW.

MAINTENANCE NOTES:

- AERATE AND DE-THATCH TURF AREAS ONCE A YEAR.
- REPLENISH MULCH IN THE SHRUB BEDS ON AN ANNUAL BASIS.
- FERTILIZE TURF, GROUNDCOVER AND SHRUB BEDS WITH APPROPRIATE FERTILIZER ANNUALLY AND WHEN NEEDED.
- PRUNE SHRUBS AS NECESSARY TO ALLOW FULL PERFORMANCE OF IRRIGATION SYSTEM AND PROVIDE SAFETY TO PEDESTRIANS AND VEHICLES.
- CONTROL WEEDS IN LANDSCAPED AREAS BY REMOVING AS OFTEN AS NECESSARY.
- MAINTAIN GRASS HEIGHT OF 3-4". MOW WEEKLY OR MORE OFTEN TO NOT REMOVE MORE THAN 1/3 OF THE GRASS HEIGHT DURING MOWING OPERATIONS.



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REVISIONS:

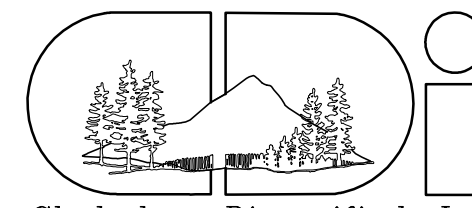
NO.	DESCRIPTION	DATE

ISSUE DATE:

LAND USE REVIEW	5/25/2022

DRAWN BY: CHEHALEM DIVERSIFIED, INC.

PANDA PROJECT #: S8-23-D22360
ARCH PROJECT #: 2203
ENGR PROJECT #: 1603-10



Chehalem Diversified, Inc.
2800 E. 9th Street, Ste. 700
Newberg, OR 97132-3575
(503) 538-0337



EXPIRES: 6/30/2024

Panda Express
w/ Drive Through

LANCASTER DRIVE NE & WEATHERS STREET NE
SALEM, OR 97301

Panda Next Generation 2600

L-1.0

CIVIL
LANDSCAPE PLAN

LANDSCAPE PLAN

1

Scale 1" = 20'

L-1.0

NOTES

A

NO SCALE

L-1.0