

PROPERTY SIZE	= 53,868 S.F. (1.24 AC)
REQ'D LANDSCAPE AREA	= 8,080 S.F. (15%)
EXISTING LANDSCAPE AREA	= 0# S.F. (0%)
NEW LANDSCAPE AREA	= 8,608 S.F. (16%)
BUILDING FOOTPRINT AREA	= 8,400 S.F. (15.6%)
HARD SCAPE AREA	= 36,836 S.F. (68.4%)

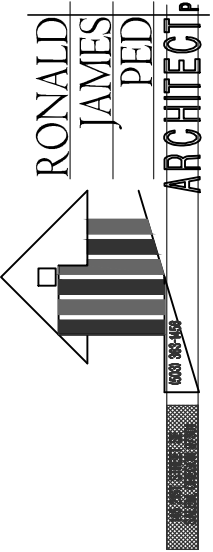
<u>BICYCLE SPACES</u>	<u>1 PER 9,000 sf (MOTOR VEHICLE SALES)</u>
PHASE 1	1 SPACE REQ'D (900 sf / 9,000 = .1)
	1 SPACES PROVIDED
PHASE 2	1 SPACE REQ'D (7,500 sf / 9,000 = .83)
	1 SPACES PROVIDED

NOTE: BOTH BICYCLE SPACES
PROVIDED AT OFFICE (PHASE I)

- SINGLE HEAD LED LIGHT POLE
NOT TO EXCEED 25' IN HEIGHT
- SINGLE HEAD LED LIGHT POLE
NOT TO EXCEED 25' IN HEIGHT
- LED WALL PACK, NOT TO
EXCEED 16' IN HEIGHT



— SS —	SS —	EXISTING SEWER LINE
— SS —	SS —	NEW SEWER LINE
— W —	W —	EXISTING WATER LINE
— W —	W —	NEW WATER LINE
— SD —	SD —	EXISTING STORM DRAIN
— SD —	SD —	NEW STORM DRAIN



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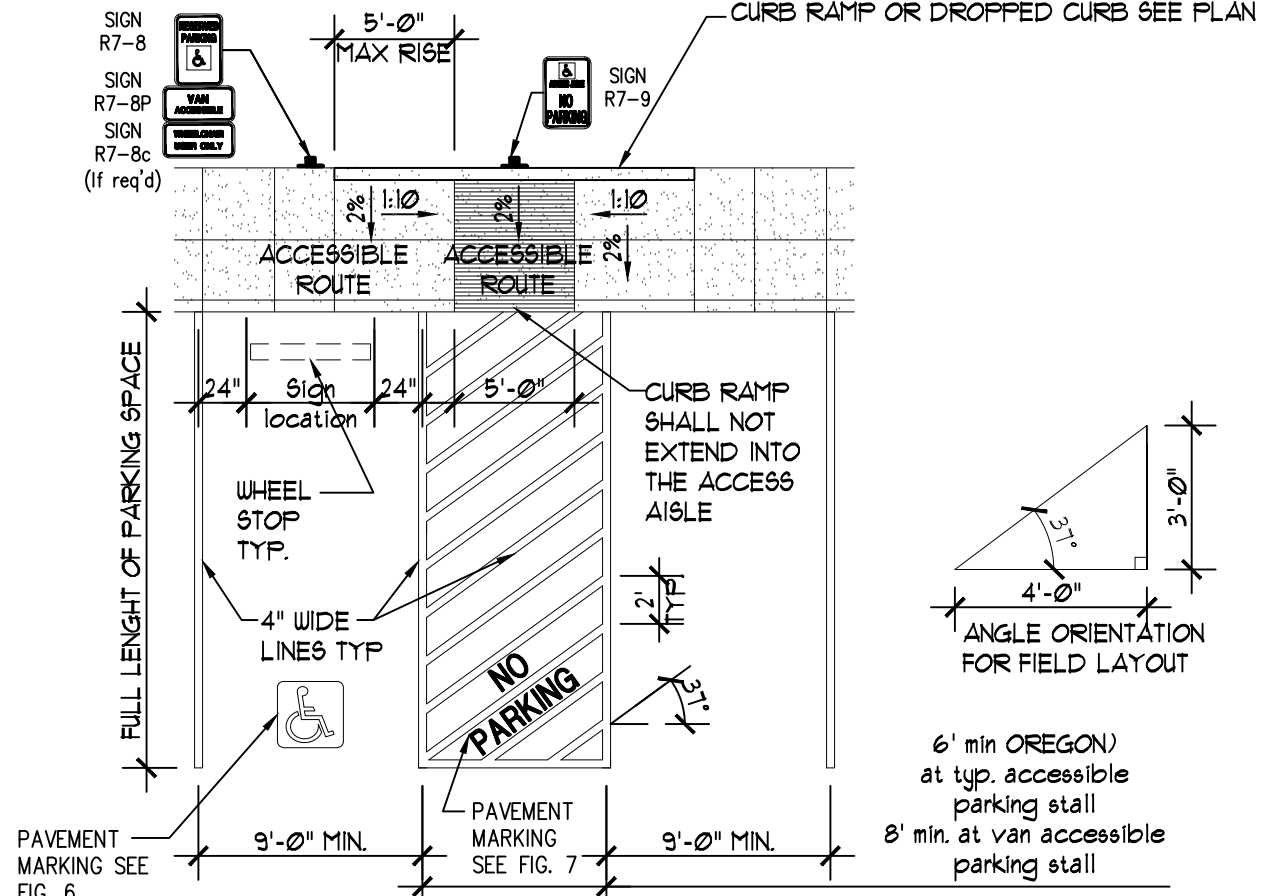
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SPR 4

ALL DETAILS ARE TO COMPLY WITH THE ACCESSIBLE STANDARDS PUBLISHED BY OREGON DEPT OF TRANSPORTATION (2018)
<https://www.oregon.gov/ODOT/Engineering/DOCS_ADA/ADA_Standards-Accessible-Parking.pdf>

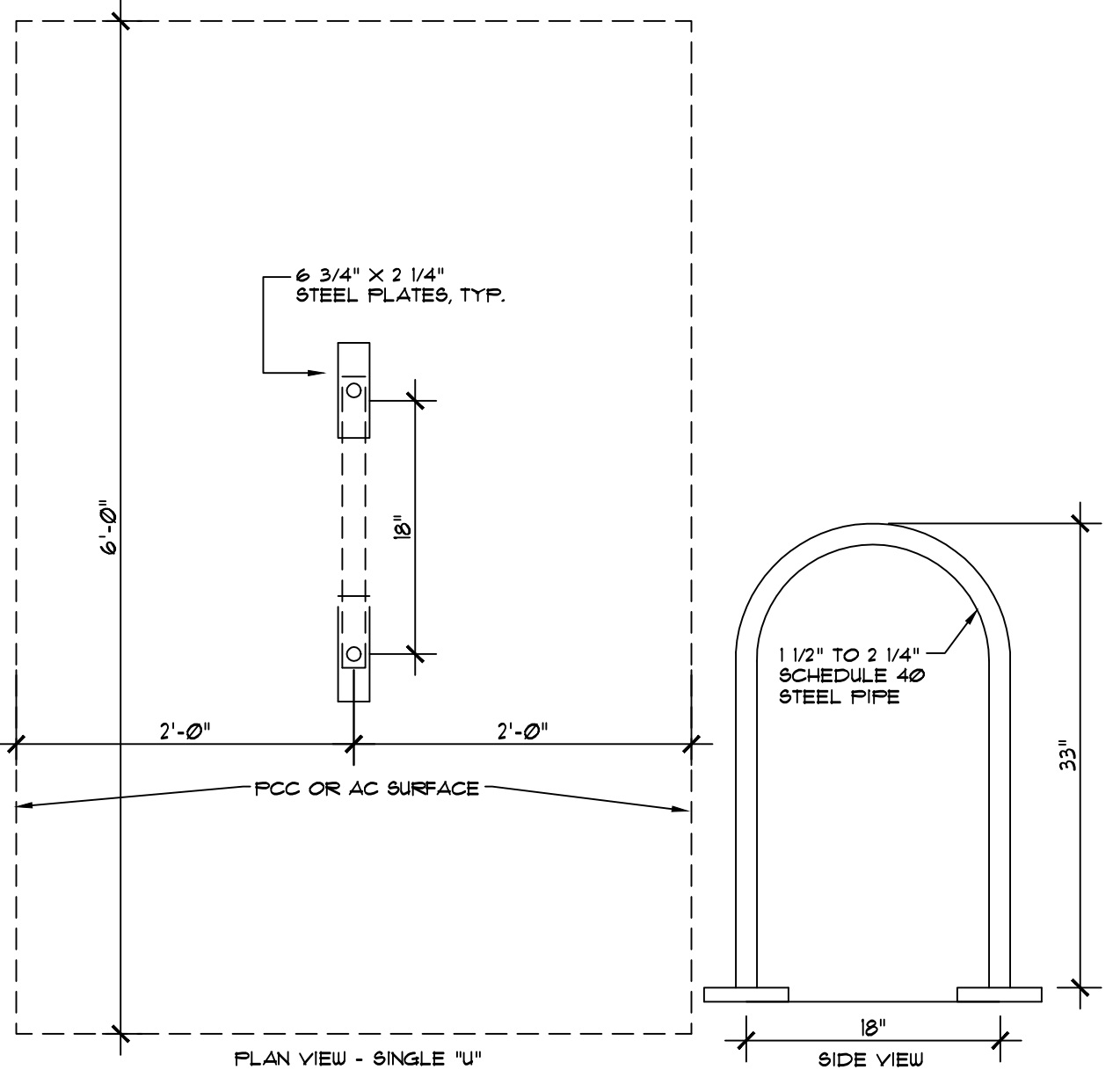
SIGN MOUNTING
POST-MOUNTED SIGNS SHALL BE INSTALLED WITH A VERTICAL CLEARANCE OF 1' (+3") BETWEEN THE BOTTOM OF THE SIGN TO THE GROUND LINE. IF MORE THAN ONE SIGN IS REQUIRED FOR THE ACCESSIBLE PARKING SPACE, ALL SIGNS SHALL BE MOUNTED ON A SINGLE POST EXCEPT FOR THE "ACCESS AISLE NO PARKING" AND ARROW SIGNS. WHEN SIGNS ARE MOUNTED ON BUILDINGS OR PIERS, A VERTICAL CLEARANCE OF 5' MINIMUM SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE SIGN AND THE FLOOR OF THE PARKING SPACE.

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LOCATED ON A SURFACE WITH A SLOPE NOT TO EXCEED 1 UNIT VERTICAL IN 50 UNITS HORIZONTAL (2%) IN ALL DIRECTIONS.



1 SINGLE-ACCESSIBLE PARKING SPACE VAN-ACCESSIBLE DESIGNATION REQUIRED

SCALE: 1/8" = 1'-0" M:\025ITEWK\580FVMRK\02580 HC-SGL



- NOTES**
- BIKE RACKS SHALL HAVE A GLOSS BLACK POLYESTER POWDER COAT FINISH.
 - MOUNTING RAILS SHALL BE FURNISHED WITH MOUNTING HOLES AND VANDAL RESISTENT CONCRETE ANCHOR MOUNTING HARDWARE.
 - EACH "U" SHALL BE WELDED OR MOUNTED TO RAILS OR PLATES WITH VANDAL RESISTANT OR HIDDEN FASTENERS.
 - FOR SINGLE "U" INSTALLATION, EACH MOUNTING PLATE WILL BE EQUIPPED WITH TWO ANCHOR BOLT HOLES EACH.

PLAN VIEW - MULTIPLE "U"

2 BICYCLE PARKING RACK DETAIL

SCALE: 1" = 1'-0" M:\025ITEWK\600PIFNG\02600 BIKE RACK

Phase 1 Site Summary

PROPERTY SIZE	= 21,979 S.F. (.51 AC)
REQ'D LANDSCAPE AREA	= 3,297 S.F. (15%)
EXISTING LANDSCAPE AREA	= 0# S.F. (0%)
NEW LANDSCAPE AREA	= 3,746 S.F. (17%)
BUILDING FOOTPRINT AREA	= 900 S.F. (4.1%)
HARDSCAPE AREA	= 17,337 S.F. (78.9%)
	(100%)
TOTAL IMPERVIOUS AREA	= 18,237 S.F. (83%)

PHASE 1 LANDSCAPE REQUIREMENTS

LANDSCAPE AREA: 3,746#/20 PU PU REQ.: 187
TREES: 90 PU GC: 2,388#/50 = 48 PU
SHRUBS: 100 PU PU PROVIDED: 238

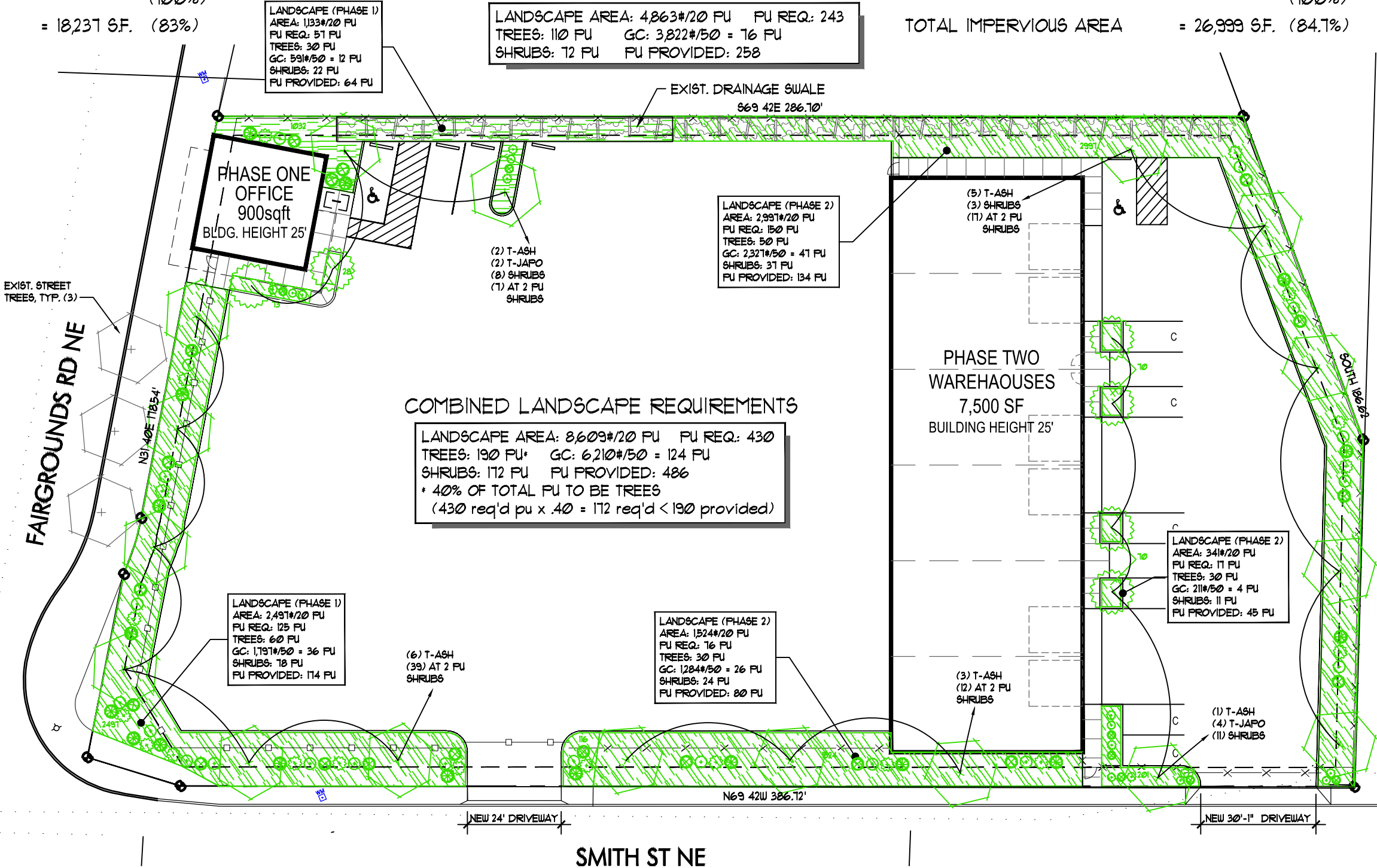
40% OF TOTAL REQ'D
PU TO BE TREES, SEE
COMBINED LANDSCAPE
REQUIREMENTS BELOW

Phase 2 Site Summary

PROPERTY SIZE	= 31,889 S.F. (.73 AC)
REQ'D LANDSCAPE AREA	= 4,783 S.F. (15%)
EXISTING LANDSCAPE AREA	= 0 S.F. (0%)
NEW LANDSCAPE AREA	= 4,862 S.F. (15.3%)
BUILDING FOOTPRINT AREA	= 7,500 S.F. (23.5%)
HARDSCAPE AREA	= 19,499 S.F. (61.2%)
	(100%)
TOTAL IMPERVIOUS AREA	= 26,999 S.F. (84.7%)

PHASE 2 LANDSCAPE REQUIREMENTS

LANDSCAPE AREA: 4,863#/20 PU PU REQ.: 243
TREES: 110 PU GC: 3,822#/50 = 76 PU
SHRUBS: 12 PU PU PROVIDED: 258



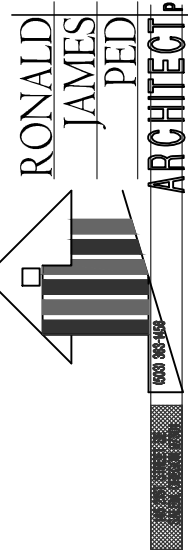
COMBINED LANDSCAPE REQUIREMENTS

LANDSCAPE AREA: 8,609#/20 PU PU REQ.: 430
TREES: 190 PU* GC: 6,210#/50 = 124 PU
SHRUBS: 112 PU PU PROVIDED: 486
* 40% OF TOTAL PU TO BE TREES
(430 req'd pu x .40 = 172 req'd < 190 provided)



LANDSCAPING PLAN

SCALE : 1" = 30'-0"



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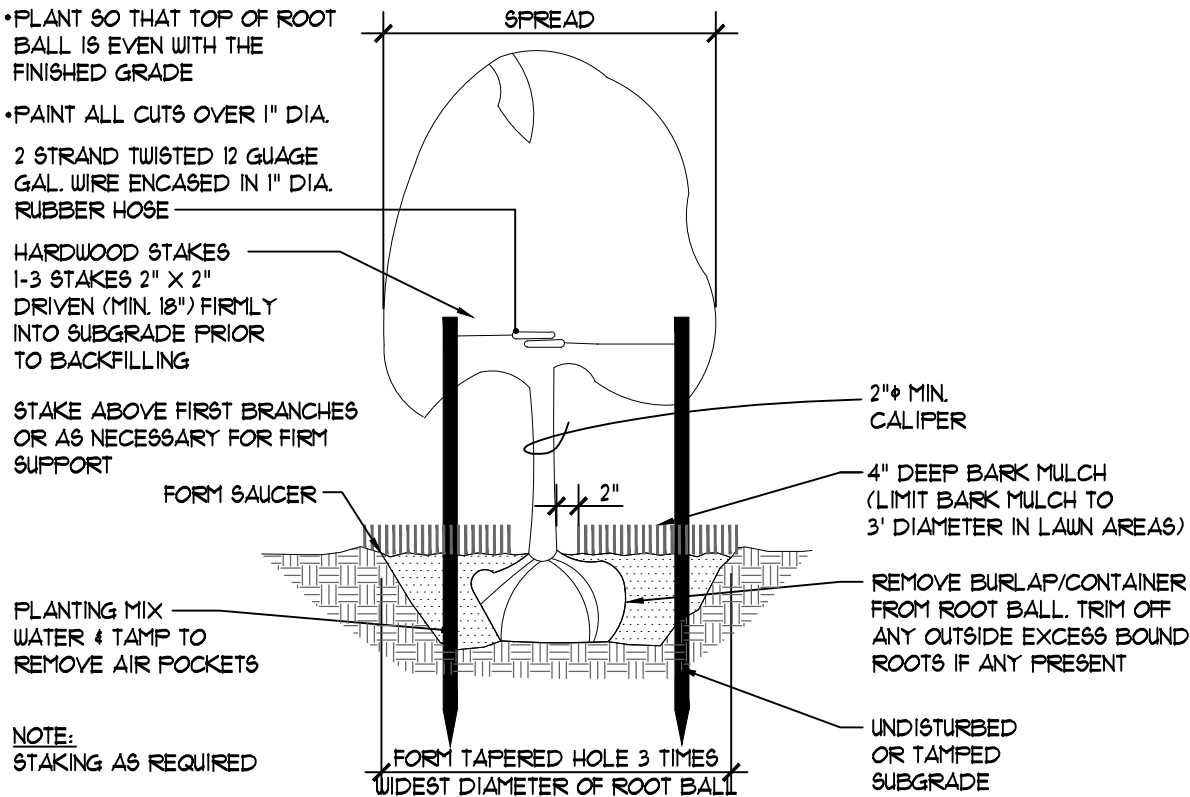
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SPR 6

Complete Site Summary

PROPERTY SIZE	= 53,868 S.F. (1.24 AC)
REQ'D LANDSCAPE AREA	= 8,080 S.F. (15%)
EXISTING LANDSCAPE AREA	= 0# S.F. (0%)
NEW LANDSCAPE AREA	= 8,608 S.F. (16%)
BUILDING FOOTPRINT AREA	= 8,400 S.F. (15.6%)
HARD SCAPE AREA	= 36,836 S.F. (68.4%)
	(100%)

TOTAL IMPERVIOUS AREA = 18,231 S.F. (84%)



TREE PLANTING

VERTICAL STAKES

SCALE: NTS

M:\0251TEWK\00LANDSC\02500 TREE PLANTING

PLANT LIST

STREET TREES	COMMON NAME/BOTANICAL NAME	SIZE	COMMENTS	COUNT
	T-ASH ASH, RAYWOOD FRAXINUS OXYCARPA 'RAYWOOD'	1-8' LARGE	2" CALIPER 10 PU	
	T-LIN LINDEN TILIA CORDATA 'HALA'	1-8' LARGE	2" CALIPER 10 PU	
	T-MAP ARM ARMSTRONG MAPLE, ACER RUBRUM 'ARMSTRONG'	1-8' MEDIUM	2" CALIPER 10 PU	
	T-MAP RED ACER rumbrum/RED MAPLE October Glory	1-8' MEDIUM	2" CALIPER 10 PU	
	T-DOUG FIR DOUGLAS FIR / Pseudotsuga menziesii	LARGE	2" CALIPER 10 PU	

ORNAMENTAL TREES

		COMMON NAME/BOTANICAL NAME	SIZE	COMMENTS
	T-JAPO	CRYPTOMERIA JAPONICA 'ELEGANS'	1-8'	2" MIN CALIPER 5 PU
	T-TAMA	CRYPTOMERIA JAPONICA /TAISHO TAMA (TAISHO TAMA JAPANESE CEDAR)	4-6'	2" MIN CALIPER 5 PU
	T-BLA	CRYPTOMERIA JAPONICA /BLACK DRAGON	4-6'	2" MIN CALIPER 5 PU
	T-MAP VINE	VINE MAPLE/ACER circinatum	1-8'	2" MIN CALIPER 2 PU
	T-CRAB	CRABAPPLE/MALUS 'AMERICAN BEAUTY'	1-8'	2 MIN CALIPER 2 PU
	T-CRY	CRYPTOMERIA JAPONICA /SEKKEN-SUGI	6'	2" MIN CALIPER 5 PU
	T-CUP	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS 'STRICTA'	6'	2" MIN CALIPER 5 PU
	T-CHA	CHAMAECYPARIS OBTUSA HINOKI FALSE CYPRESS 'GRACILIS'	6'	2" MIN CALIPER 5 PU

SIZE

1 gal. 3 gal.

SHRUBS	COMMON NAME/BOTANICAL NAME	COMMENTS
	S-HYB. HYBISCUS/Hyblscus Syriacus ROSE OF SHARON 'MINERVA' 'AZURRI SATIN'	1 PU 1 gal / 2 PU 3 gal
	S-STRA. DEUTZIA x hybridia 'STRAWBERRY FIELDS'	1 PU 1 gal / 2 PU 3 gal
	S-ABE ABELIA grandiflora 'EDWARD GOUCHER' (EVERGREEN)	1 PU 1 gal / 2 PU 3 gal
	S-VIB.D VIBURNUM Japonicum (EVERGREEN)	1 PU 1 gal / 2 PU 3 gal
	S-PIE. PIERIS japonicum LILLY-OF-THE-VALLEY (EVERGREEN/SHADE)	1 PU 1 gal / 2 PU 3 gal
	S-AUC AUCUBA JAPONICA JAPANESE AUCUBA (EVERGREEN/SHADE)	1 PU 1 gal / 2 PU 3 gal
	S-VIB. VIBURNUM ELLIPTICUM. COMMON VIBURNUM	1 PU 1 gal / 2 PU 3 gal
	S-CURR. RED-FLOWERING CURRANT/Ribes sanguinem	1 PU 1 gal / 2 PU 3 gal

GROUND COVER BOTANICAL NAME/COMMON NAME

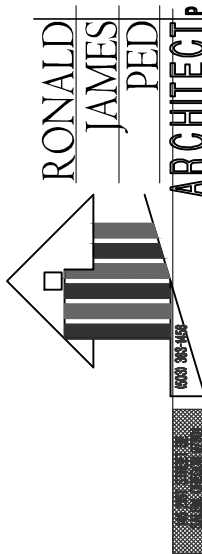
		SIZE	COMMENTS
	G-PHL PHLOX SUBLATA CREEPING PHLOX	1 gal.	24" SPACING 1 PU
	G-VIN VINCA MAJOR PERIWINKLE	1 gal.	24" SPACING 1 PU

2

PLANT LIST

SCALE: N/A

M:\0251TEWK\050PLNTS\02550 PLANTLIST



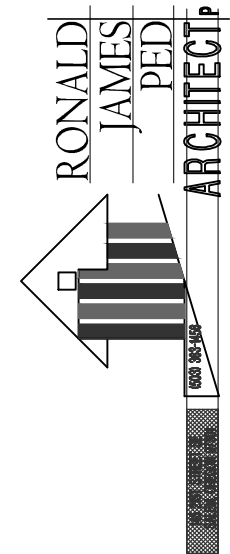
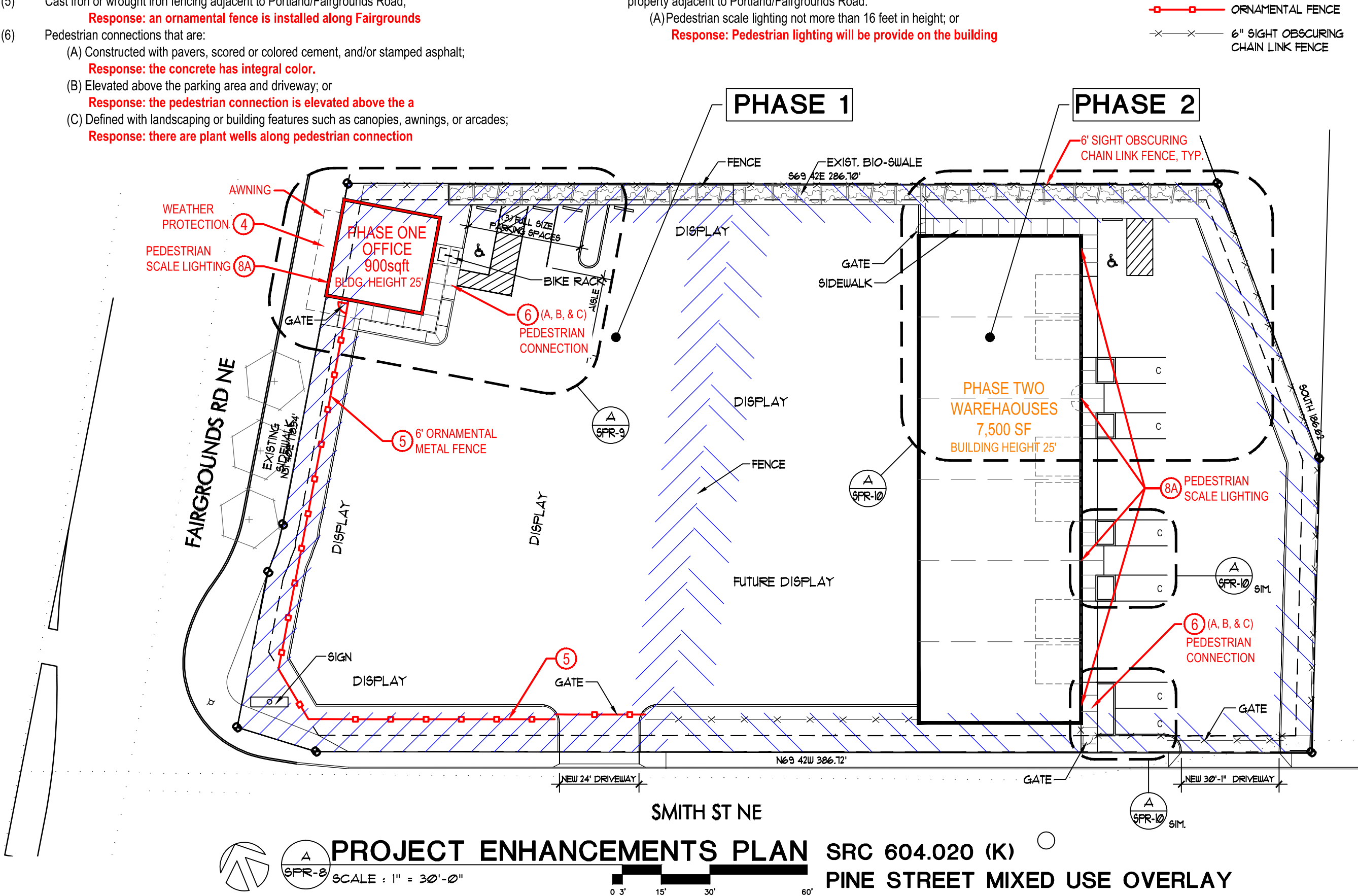
PROJECT ENHANCEMENTS (SRC 604.020)

- (4) Weather protection, in the form of awnings or canopies, along more than 50 percent of the length of the ground floor building facade adjacent to sidewalks or pedestrian connections;
Response: 50 percent of the building facade has pedestrian covered connection

(5) Cast iron or wrought iron fencing adjacent to Portland/Fairgrounds Road;
Response: an ornamental fence is installed along Fairgrounds

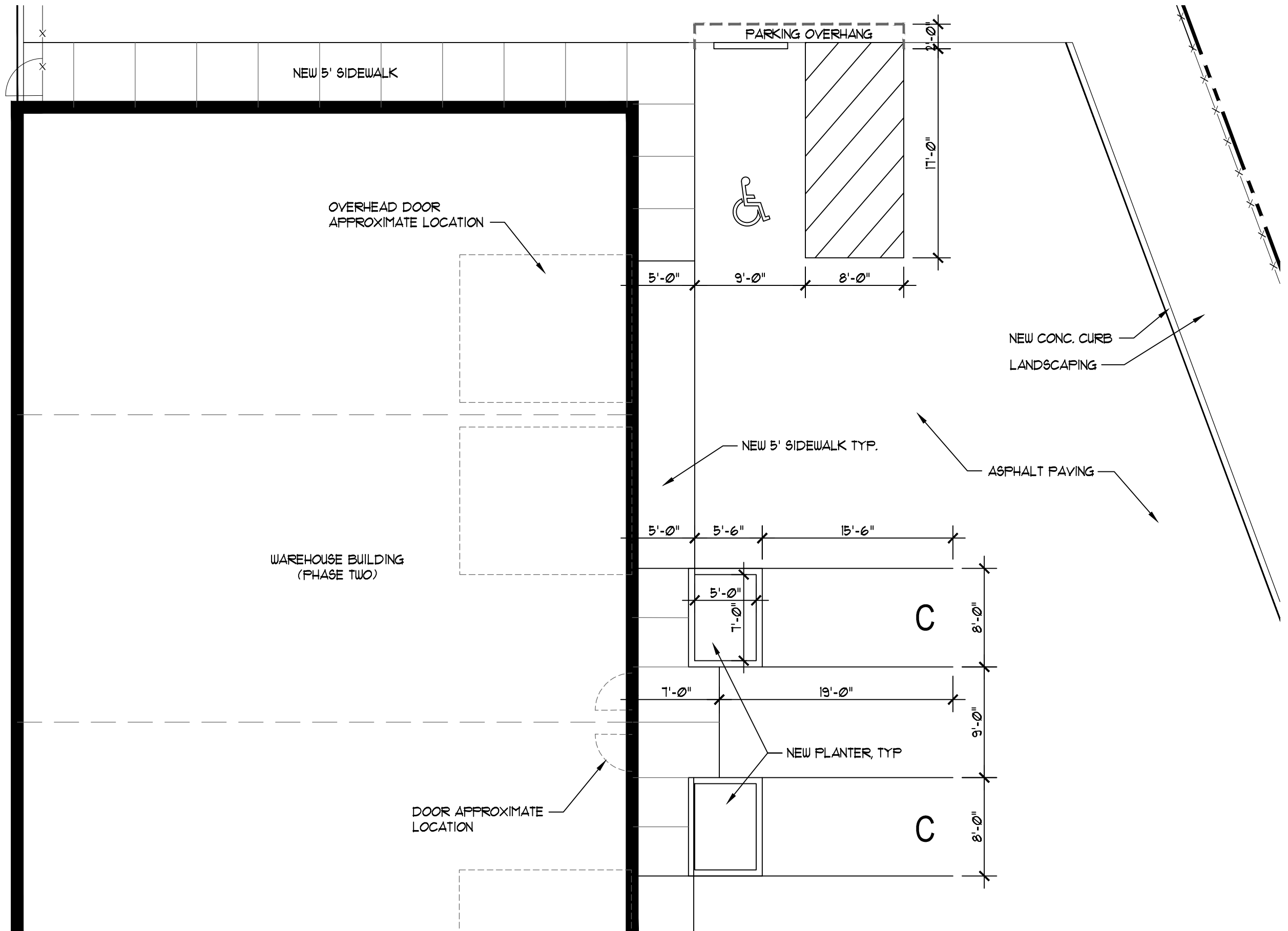
(6) Pedestrian connections that are:
(A) Constructed with pavers, scored or colored cement, and/or stamped asphalt;
Response: the concrete has integral color.
(B) Elevated above the parking area and driveway; or
Response: the pedestrian connection is elevated above the a
(C) Defined with landscaping or building features such as canopies, awnings, or arcades;
Response: there are plant wells along pedestrian connection
- (7) Development on surface parking lots existing on October 1, 2001;
Response: the parking lot/vehicular use are existing prior to 2001.

(8) Provision of one or more of the following pedestrian-oriented design features on private property adjacent to Portland/Fairgrounds Road:
(A) Pedestrian scale lighting not more than 16 feet in height; or
Response: Pedestrian lighting will be provide on the building



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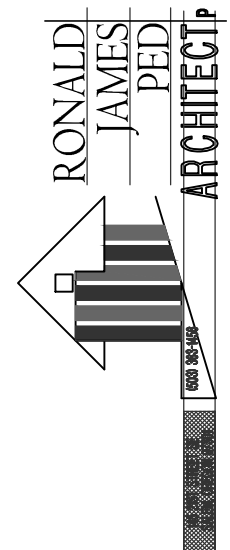
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SPR 8



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SPR-10

ENLARGED WAREHOUSE PLAN

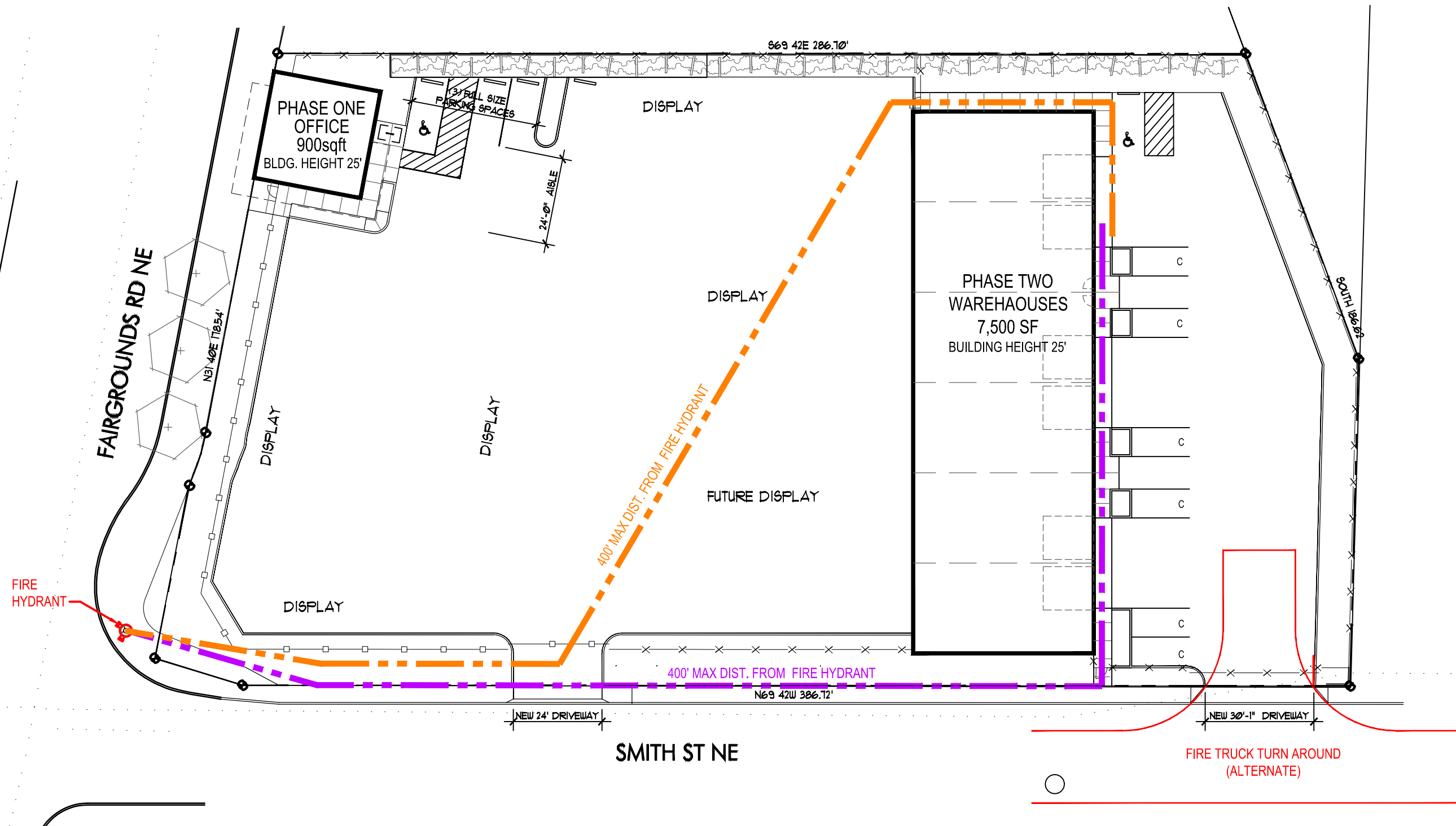
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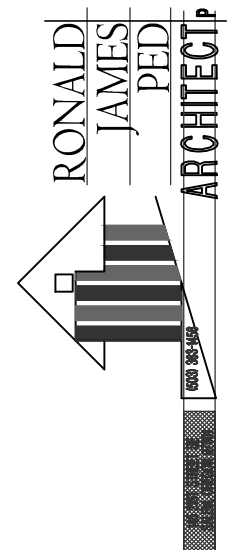
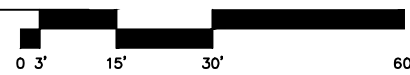
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JOB NO.: 2261

SPR 10



FIRE ACCESS PLAN

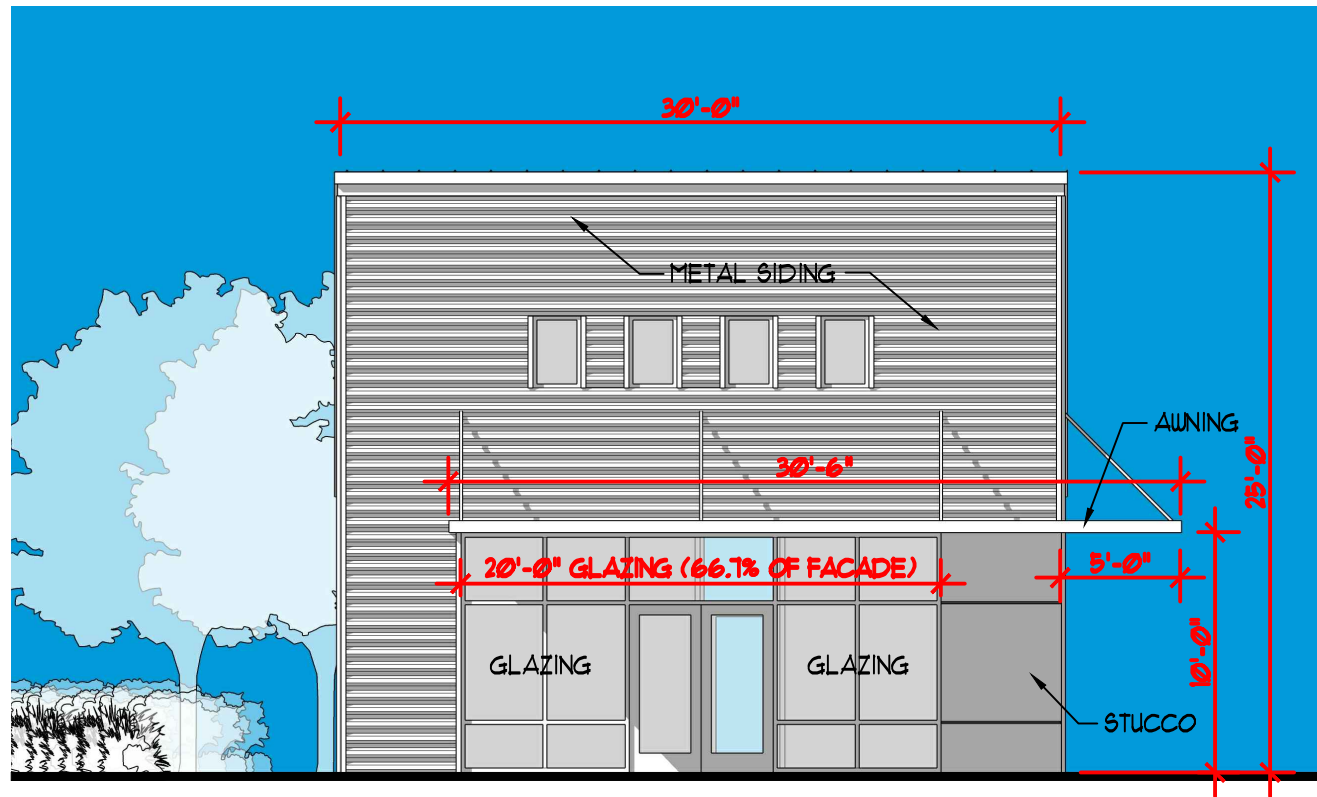
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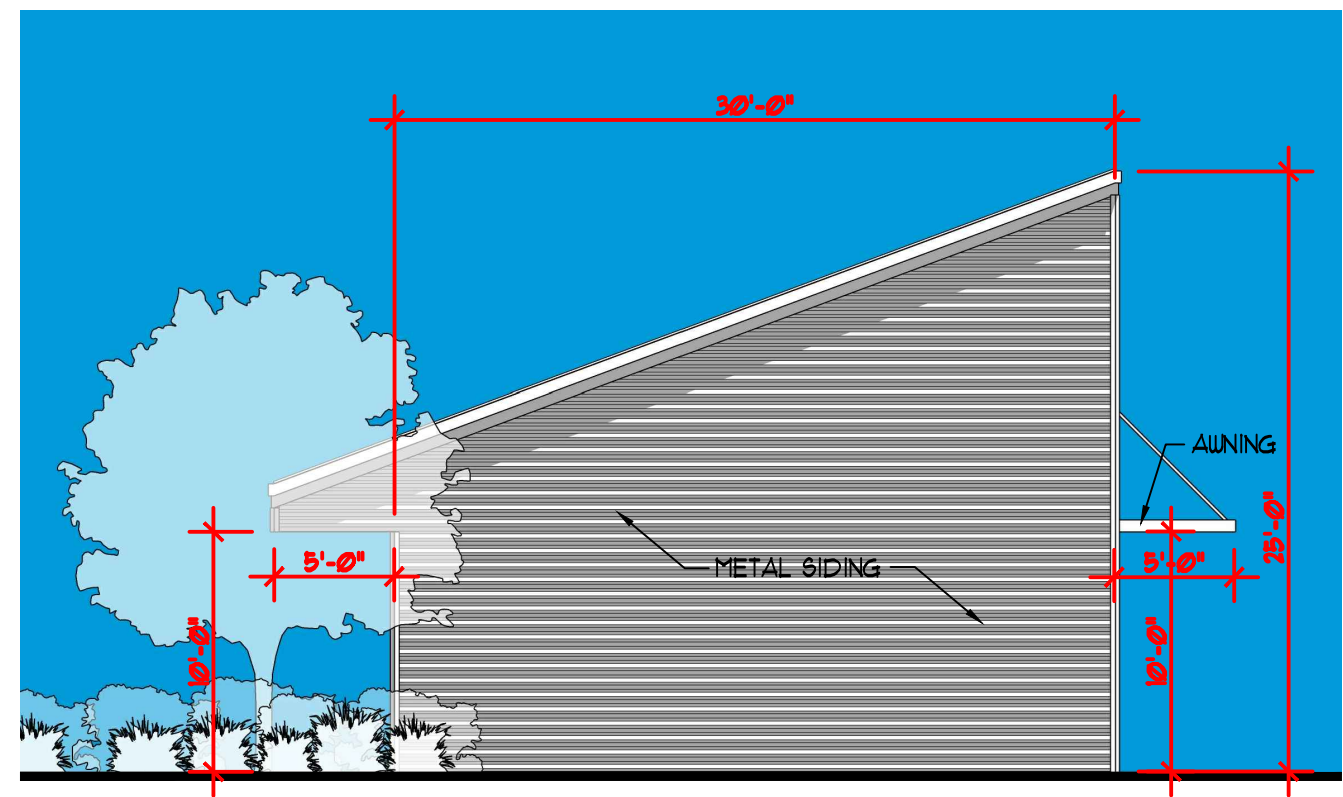
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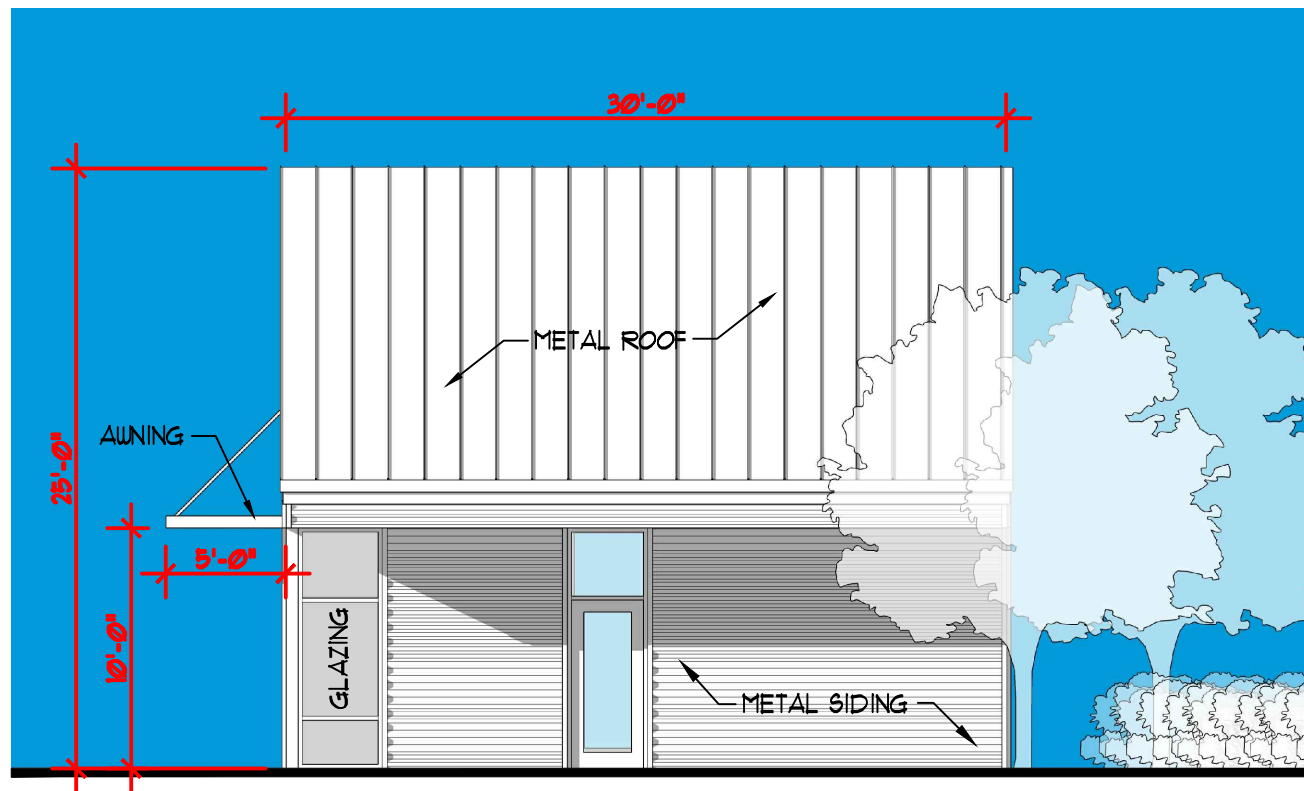
SPR 11



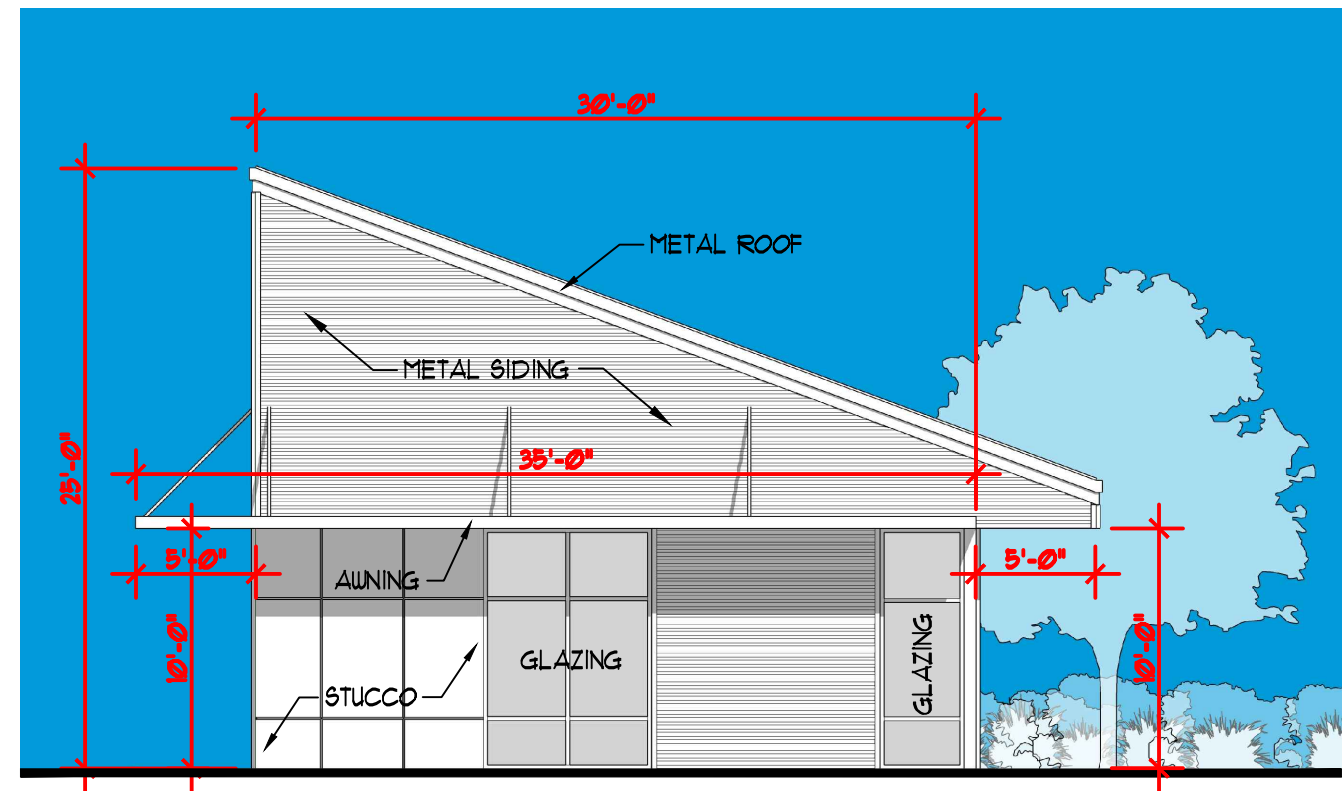
OFFICE BUILDING - WEST ELEVATION
 SCALE : 1/8" = 1'-0"



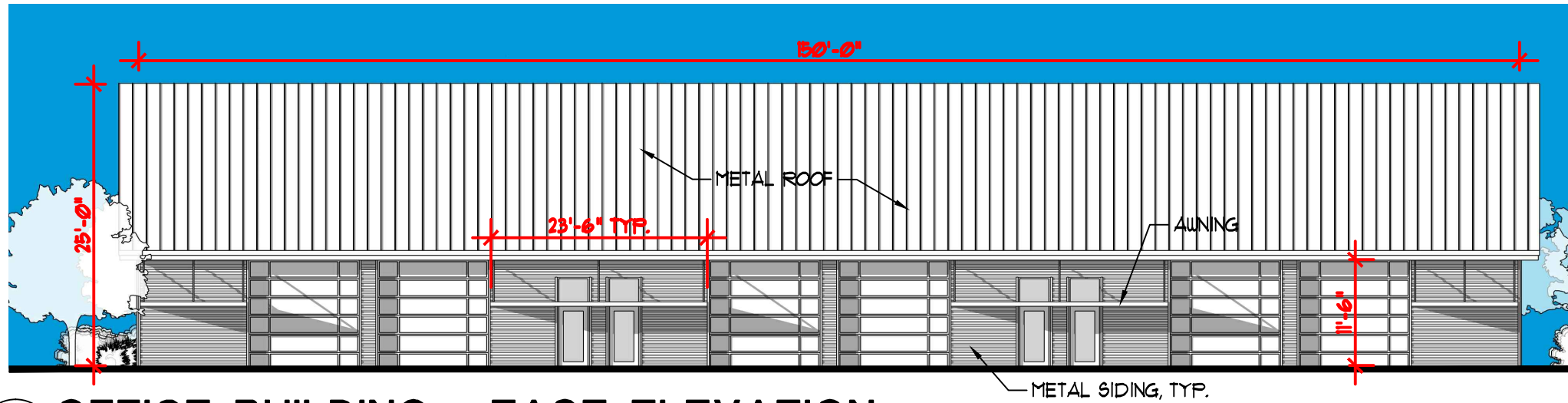
OFFICE BUILDING - NORTH ELEVATION
 SCALE : 1/8" = 1'-0"



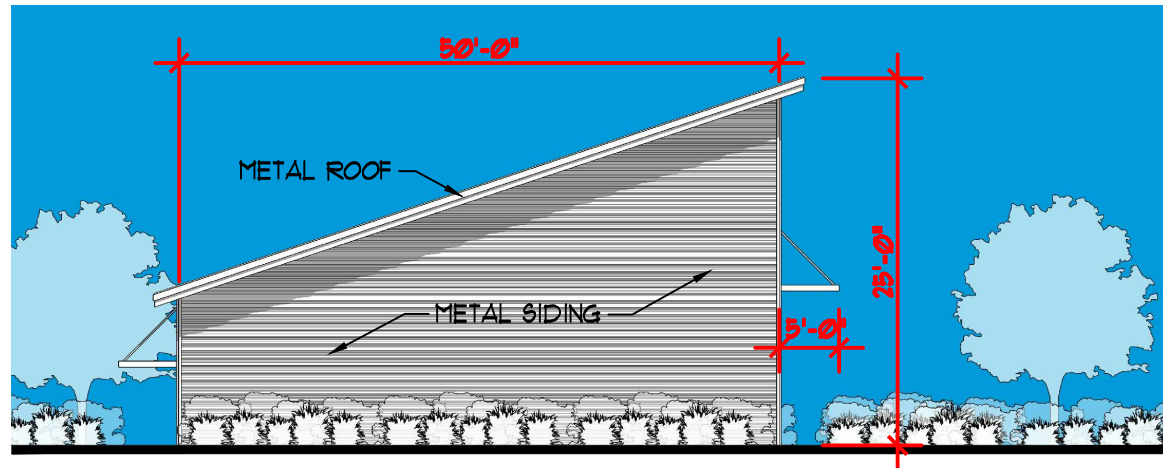
OFFICE BUILDING - EAST ELEVATION
 SCALE : 1/8" = 1'-0"



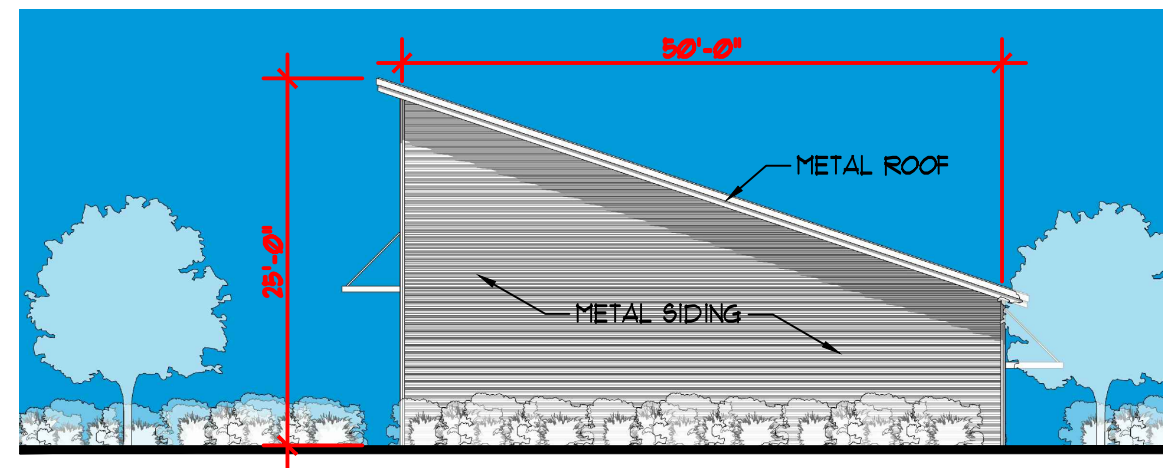
OFFICE BUILDING - SOUTH ELEVATION
 SCALE : 1/8" = 1'-0"



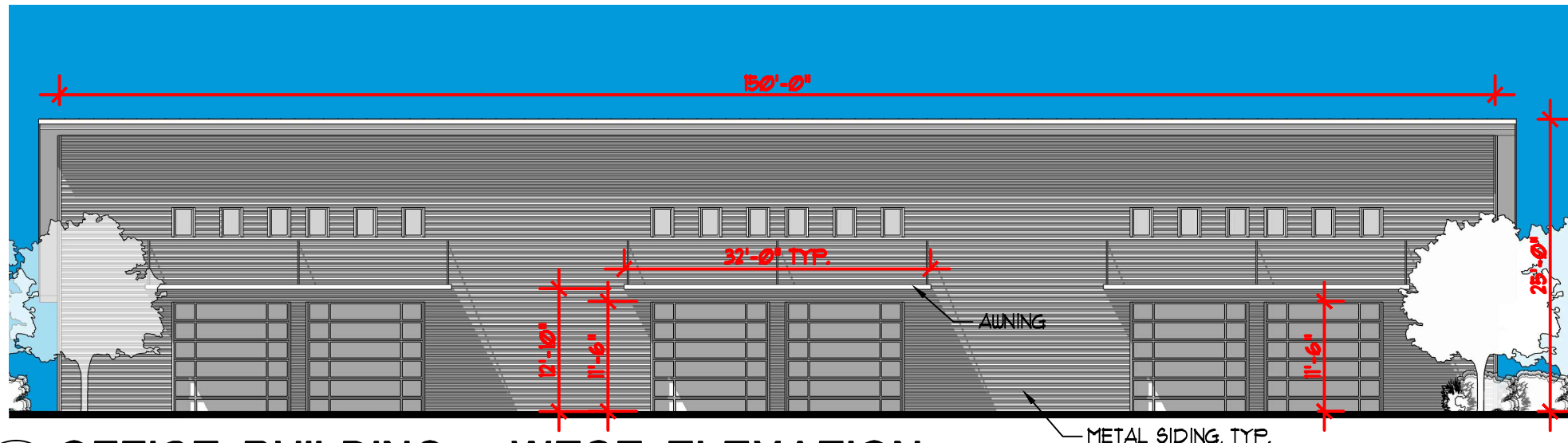
A
A32
OFFICE BUILDING - EAST ELEVATION
SCALE : 1/16" = 1'-0"



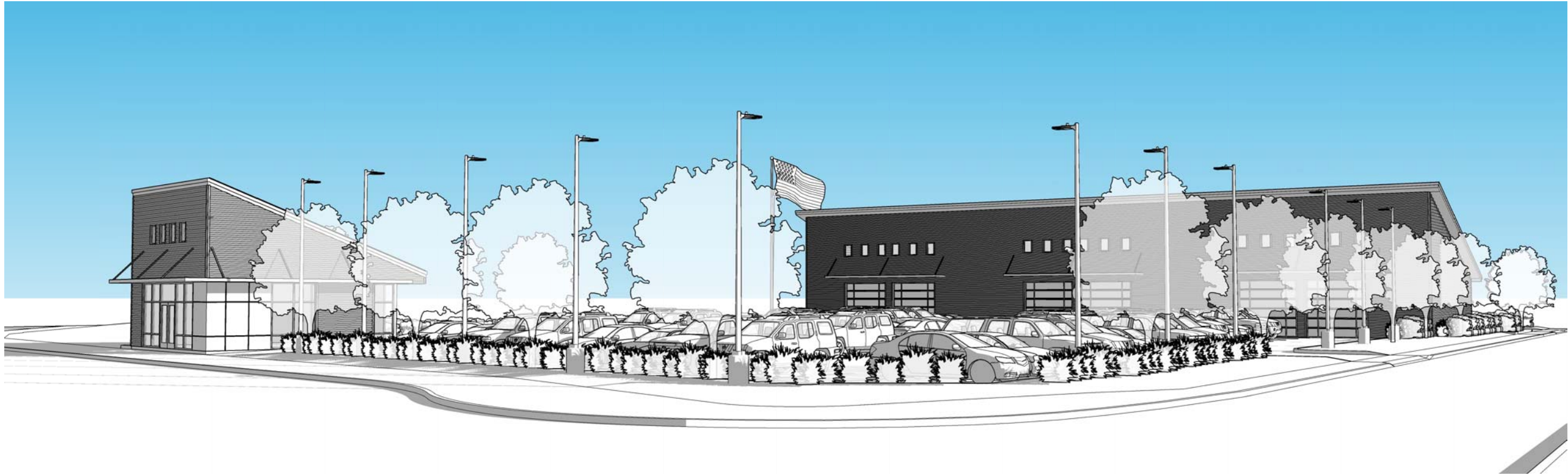
B
A32
OFFICE BUILDING - NORTH ELEVATION
SCALE : 1/16" = 1'-0"



C
A32
OFFICE BUILDING - SOUTH ELEVATION
SCALE : 1/16" = 1'-0"



D
A32
OFFICE BUILDING - WEST ELEVATION
SCALE : 1/16" = 1'-0"



A
A3.3 **SOUTHWEST PERSPECTIVE**
SCALE : NTS



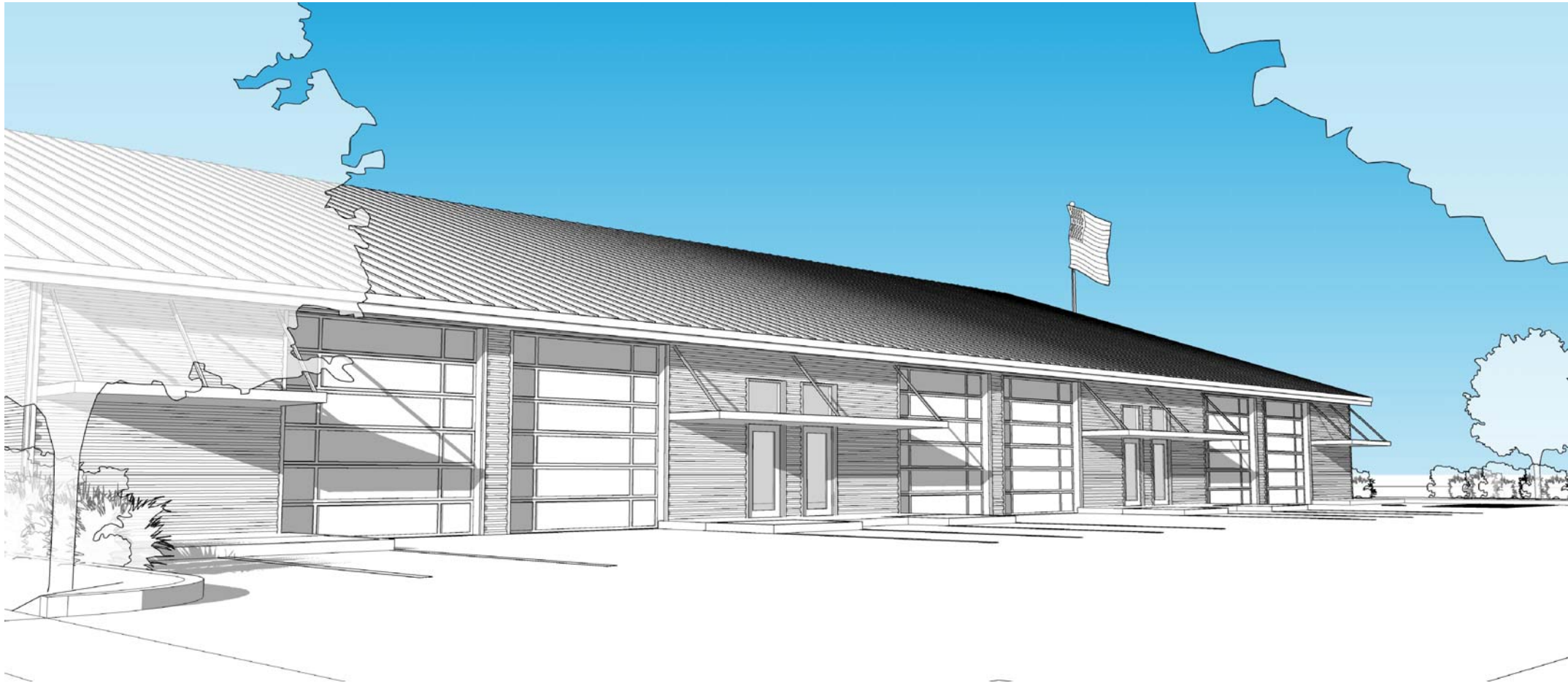
B
A3.3 **OFFICE NORTHWEST PERSPECTIVE**
SCALE : NTS



A
A3.4 **OFFICE SOUTHEAST PERSPECTIVE**
SCALE : NTS



B
A3.4 **WAREHOUSE SOUTHWEST PERSPECTIVE**
SCALE : NTS



A
A3.5

WAREHOUSE SOUTHEAST PERSPECTIVE

SCALE : NT5

Site Plan Review Class 3

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A3.5

