

DEVELOPER
SALEM PROPERTIES OF DE LLC
5305 RIVER RD N
KEIZER, OR 97303

SUBDIVISION DATA:

SEC. 14BB
T.8S, R.3W, W.M.
TAX LOT 200
MAP 083W14BB00200
MARION COUNTY
ZONE: RA

LOT DATA:

LOTS - 8
AVERAGE S.F. - 2,027 NET
LOTS/ACRE - 12.4 LOTS PER ACRE
TOTAL ACREAGE (AFTER ROW
DEDICATIONS) - 0.638 ACRES
TOTAL ACREAGE (BEFORE ROW
DEDICATION) - 0.667 ACRES

BENCHMARK DATUM:

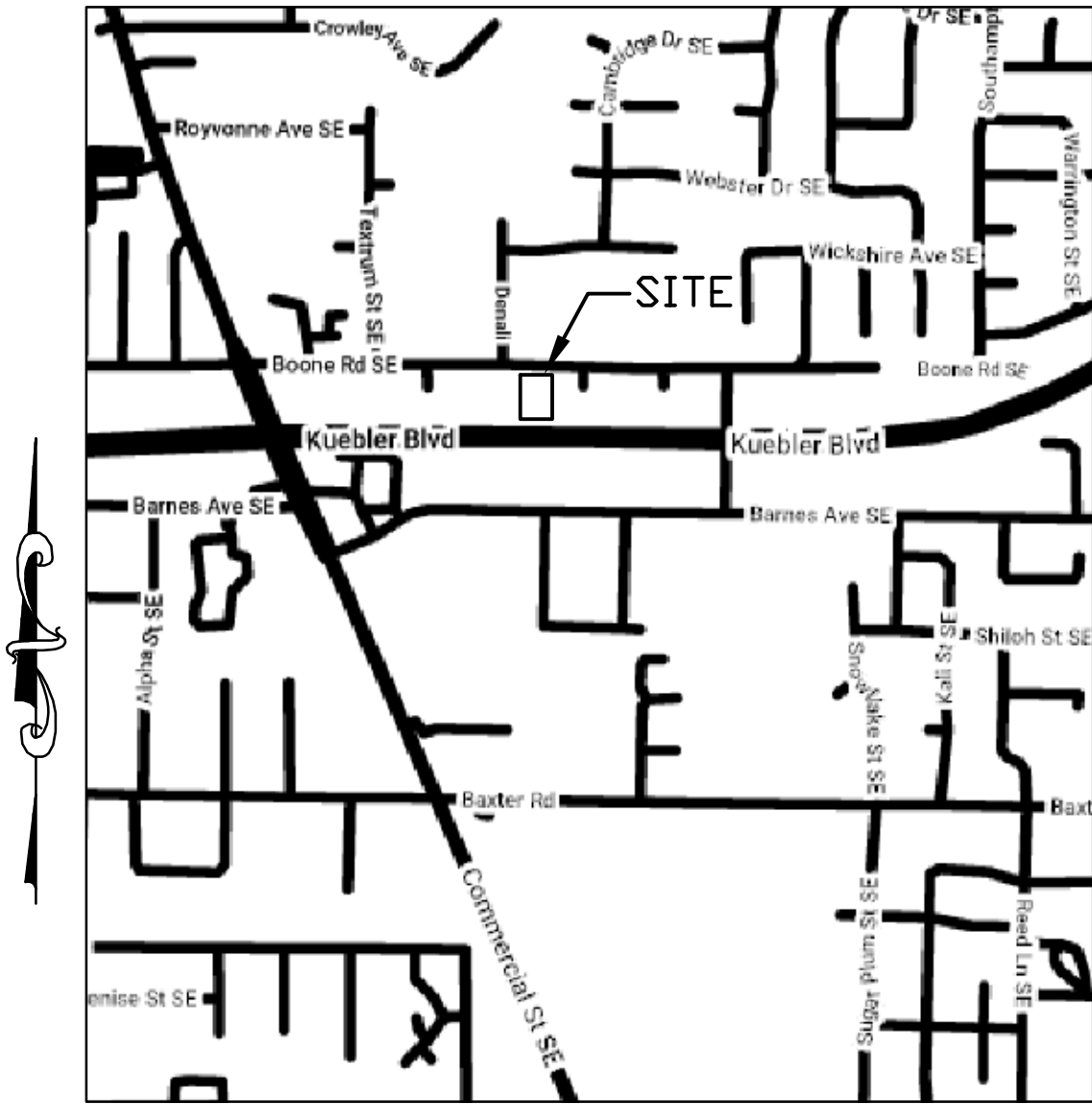
ELEVATIONS WERE ESTABLISHED BY RTK GPS
OBSERVATIONS TO CITY OF SALEM BENCHMARK "8300".
MARK IS A 2" ALUMINUM DISK IN THE CURB AT THE
NORTHEAST CORNER OF BAXTER ROAD SE AND BAXTER
COURT SE. ELEVATION = 406.76' (C.O.S. DATUM, NGVD29)

PROPOSED SUBDIVISION PLAN

SCALE 1"=40' FOR 22" x 34" PAPER
SCALE 1"=80' FOR 11" x 17" PAPER

DRAWING LIST:

- C1 TITLE SHEET, VICINITY MAP, PROJECT DATA, DRAWING LIST, SITE PLAN, GENERAL CONSTRUCTION NOTES, SYMBOLS AND ABBREVIATIONS.
- C2 EXISTING CONDITIONS
- C3 STORM WATER AND GRADING PLAN
- C4 COMPOSITE UTILITY PLAN
- T1 SEWER AND WATER SERVICE PLAN
- T1 TREE PRESERVATION PLAN



VICINITY MAP

**FOR APPLICATION
NOT FOR CONSTRUCTION**

REV.	DATE	BY	DESCRIPTION
0	07-20-22	GPH	ISSUED FOR APPLICATION

ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
SALEM, OREGON 97305
PH: 503-304-0905
FAX: 503-304-9512

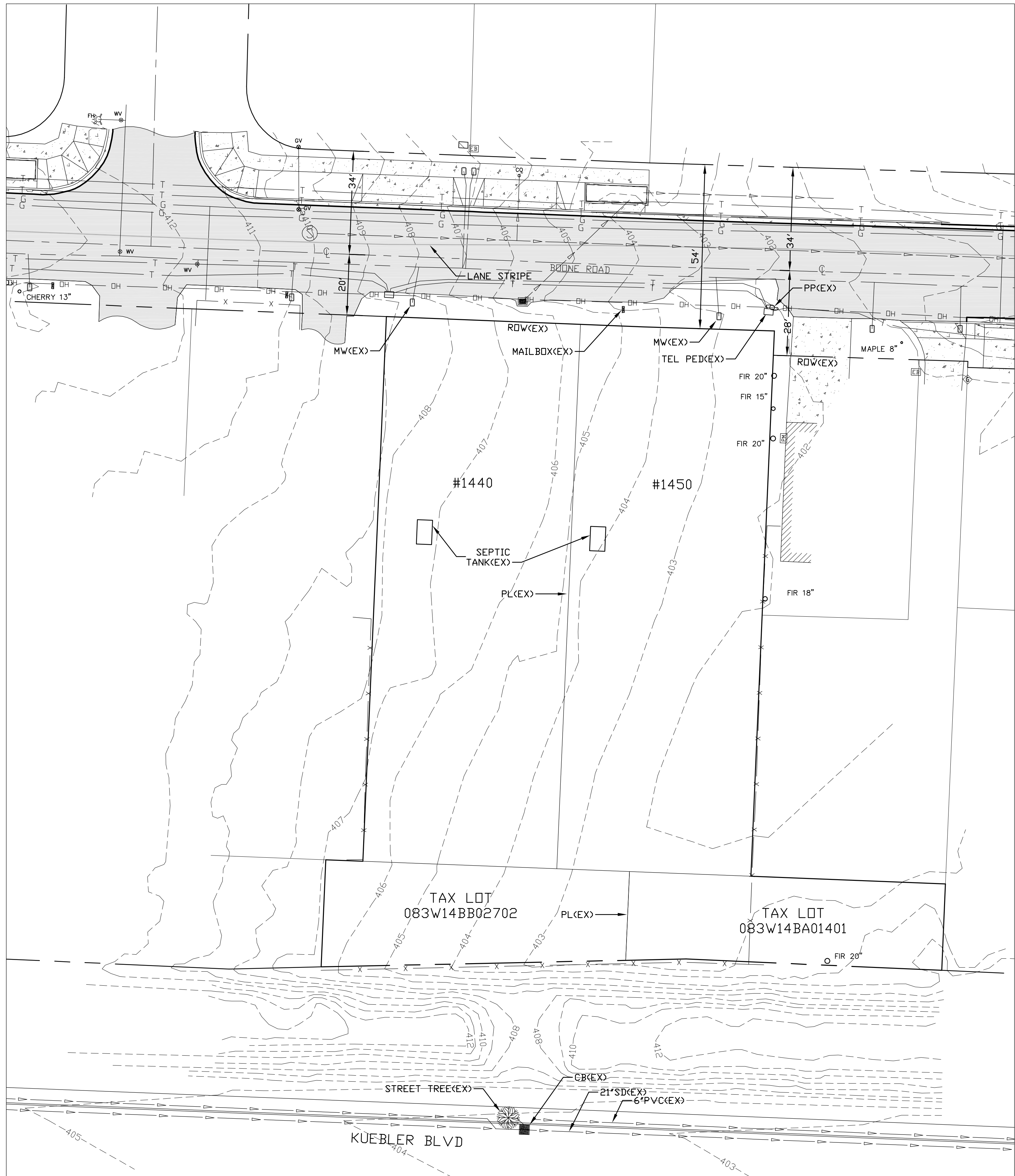
**TENTATIVE
SITE PLAN**

**MEREDITH HEIGHTS
SUBDIVISION APPLICATION**

**1440 & 1450 BOONE RD
SALEM, OREGON 97306**

DESIGNED BY:	GPH
DRAWN BY:	RW
DATE:	07-20-22
JOB NO.	2021-105
CLIENT NO.	
DRAWING NO.	REV.





EXISTING CONDITIONS PLAN

22x34: SCALE: 1"=20'
11x17: SCALE: 1"=40'



EXPIRES: JUNE 30, 2023

MONUMENT PRESERVATION NOTE:

ALL MONUMENTS OF RECORD MUST BE PROTECTED. DISTURBING OR DESTROYING ANY SURVEY MONUMENT OF RECORD IN THE OFFICE OF THE COUNTY SURVEYOR OR COUNTY CLERK SHALL CAUSE A REGISTERED PROFESSIONAL LAND SURVEYOR TO REFERENCE AND REPLACE THE MONUMENT WITHIN 90 DAYS OF THE REMOVAL, DISTURBANCE OR DESTRUCTION (ORS 209.150). THE EXCAVATION CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL MONUMENTS OF RECORD.

GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIALS TO BE TO MARION COUNTY OR SALEM STANDARDS, WHICHEVER IS APPLICABLE. WATER QUALITY DESIGN AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE RESOURCES PROTOCOL.
- COORDINATION WITH UTILITIES.
 - ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987)
 - THE LOCATION AND DESCRIPTION OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE CITY OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS.
 - THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS DAY HOURS PRIOR TO EXCAVATING, BORING, OR AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
 - PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION.
 - UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES.
- CONTRACTOR TO NOTIFY ENGINEER 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL TRENCHES IN STREETS AND UNDER SIDEWALKS AND UNDER PAVEMENTS ARE TO BE COMPACTED BY MECHANICAL MEANS.
- ALL STREET AND STORM DRAIN CONSTRUCTION TO CONFORM CITY OF SALEM STANDARDS.
- ALL DOMESTIC WATER CONSTRUCTION TO CONFORM TO CITY OF SALEM STANDARDS.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SALEM PUBLIC WORKS CONSTRUCTION STANDARDS.
- PRIOR TO FINAL PAYMENT, CONTRACTOR TO SUPPLY ENGINEER WITH A COMPLETE SET OF "AS BUILT" DRAWINGS SHOWING SERVICE LENGTHS AND DEPTHS, LENGTHS BETWEEN STRUCTURE, AND SERVICE LOCATIONS, OR TEES OR CORP. STOPS, AND STORM AND SANITARY SEWER INVERTS.
- CONSTRUCTION PERMITS:
 - STREET AND STORM SYSTEMS - CONSTRUCT TO CITY OF SALEM STANDARDS AND SPECIFICATIONS, CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM MARION COUNTY PUBLIC WORKS ENGINEERING DEPT. AND SHALL CONTACT CONSTRUCTION MANAGEMENT @ 503-588-6211, (DURING WORKING HOURS) 48 HOURS (EXCLUDING HOLIDAYS AND WEEKENDS) PRIOR TO STARTING WORK.
 - STORMWATER AND STREET IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF SALEM CONSTRUCTION STANDARDS.
- ENGINEER TO SUBMIT APPROVED "AS-BUILTS" AND RECORDED COPIES OF ALL EASEMENTS AND RIGHT-OF-WAY DEDICATIONS TO CONSTRUCTION INSPECTION DEPARTMENT. AS PART OF FINAL ACCEPTANCE BY MARION COUNTY.
- ENGINEER TO SUBMIT APPROVED "AS-BUILTS" AND RECORDED COPIES OF ALL SANITARY SEWER EASEMENTS TO CITY OF SALEM PUBLIC WORKS DEPARTMENT AS PART OF FINAL ACCEPTANCE.
- STANDARD CONSTRUCTION NOTES:
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL (ESC) MEASURES THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO, A 50 FT. LONG GRAVEL CONSTRUCTION ENTRANCE (8" MINIMUM DEPTH WITH RAILROAD BALLAST, SILT FENCES OR STRAW BALES MAY BE REQUIRED AS ADDITIONAL MEASURES. SEE EROSION CONTROL SHEETS FOR ADDITIONAL REQUIREMENTS.
 - ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE PAID FOR BY THE DEVELOPER AND INSTALLED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREON HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY MARION COUNTY UPON REQUEST. FAILURE TO CONFORM TO THIS REQUIREMENT MAY RESULT IN DELAY OF FINAL ACCEPTANCE OF THE PROJECT.
 - ALL NONMETALLIC WATER, SANITARY, AND STORM SEWER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER AND GREEN FOR STORM AND SANITARY PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES, MANHOLES, AND CATCH BASINS. TRACER WIRE PENETRATIONS INTO MANHOLES SHALL BE WITHIN 18" OF THE RIM ELEVATION AND ADJACENT TO MANHOLE STEPS. THE TRACER WIRE SHALL BE TIED TO THE TOP MANHOLE STEP OR OTHERWISE SUPPORTED TO ALLOW RETRIEVAL FROM OUTSIDE OF MANHOLE.
 - SITE GRADING SHALL NOT IMPACT SURROUNDING PROPERTIES IN A NEGATIVE MANNER. CONSTRUCTION OF IMPROVEMENTS ON THE PROPERTY SHALL NOT BLOCK HISTORICAL OR NATURALLY OCCURRING RUNOFF FROM ADJACENT PROPERTIES.

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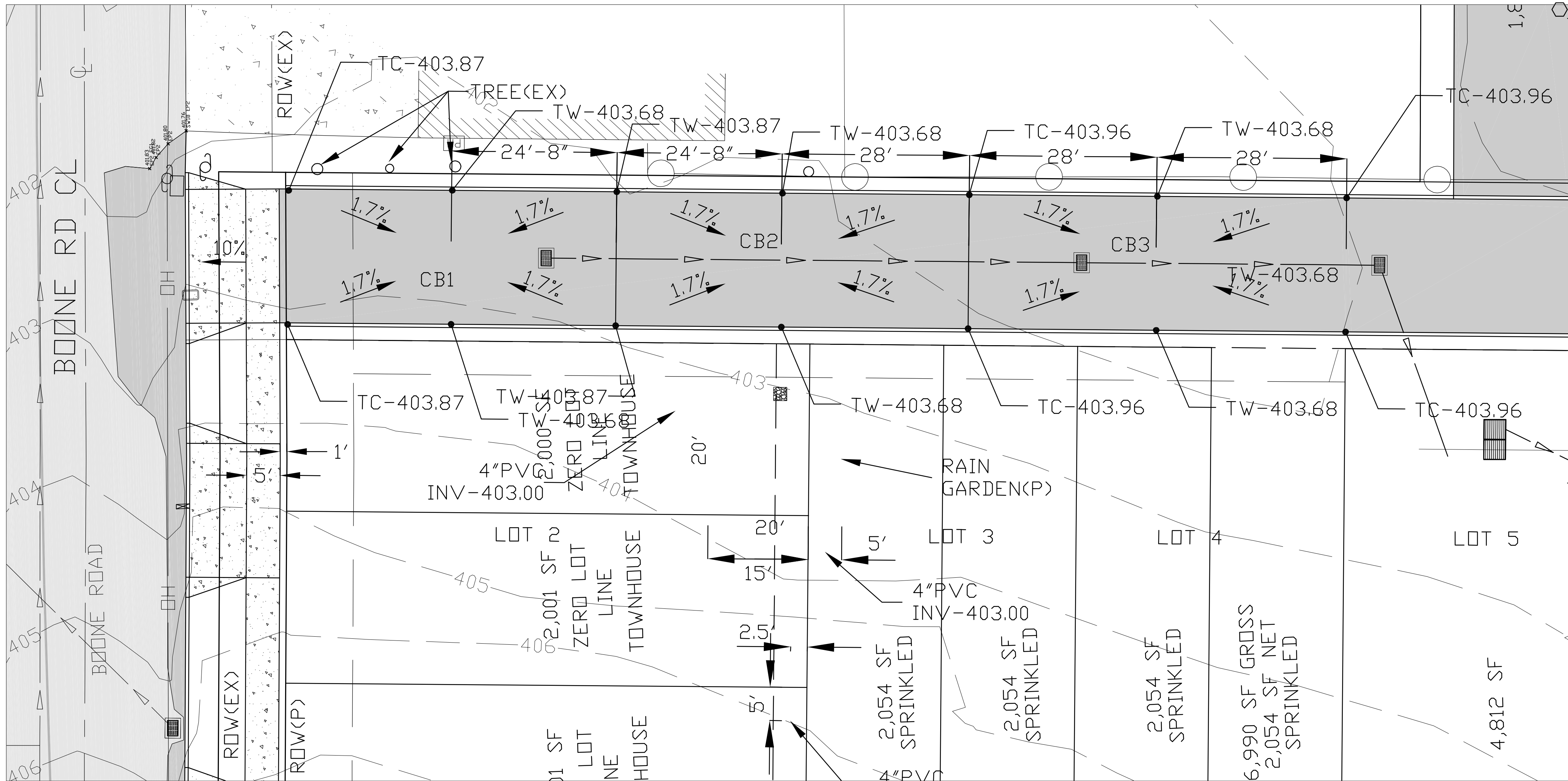
EXISTING CONDITIONS

MEREDITH HEIGHTS
SUBDIVISION APPLICATION

1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-20-22
JOB NO. 2021-105
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DRAWING NO.

020



- PRIVATE LANE NOTES:**
- CONSTRUCT CURB DROPS FOR ADA RAMPS. SEE SHEET C16, C17, C18 AND C19 FOR ENLARGED ADA PLANS.
 - SAWCUT EXISTING ASPHALT EDGE. SEAL AND SAND.
 - STORM WATER TESTING PER CITY OF SALEM. THE CONTRACTOR SHALL PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH CITY OF SALEM. FORMS ARE AVAILABLE AT CITY OF SALEM PUBLIC WORKS DEPT:
 - LEAKAGE AIR TEST.
 - CLEANING INSPECTION PRIOR TO LEAKAGE TESTING.
 - TV INSPECTION IF REQUIRED BY CITY STAFF.
 - CONSTRUCT TYPE 3 CATCH BASIN. SEE COSSD #202.
 - CONSTRUCT 48" MANHOLE. SEE COSSD #101 AND #107. AT EXISTING MAINLINE INSTALL DOGHOUSE RISER BASE AND CAST IN PLACE BOTTOM CONCRETE BASE.
 - CONSTRUCT TYPE 4 CATCH BASIN. SEE COSSD #203.
 - STORM WATER PIPE SHALL BE ASTM 3034 PVC.
 - CONSTRUCT SIDEWALKS WITH THIS PUBLIC WORKS PERMIT. THIS INCLUDES ADA AREAS AND MILDRED LANE.
 - CONSTRUCT TYPE "A" CURB AND GUTTER. SEE COSSD #303.
 - CONSTRUCT 10 TO 1 TAPER WITH 2' WIDE AGGREGATE SHOULDER.
 - CONSTRUCT 5 TO 1 TAPER WITH 2' WIDE AGGREGATE SHOULDER.
 - SEE SHEETS C9 AND C15 FOR MILDRED SECTION.
 - ENGINEER AND DEVELOPER TO COORDINATE WITH PGE TO RELOCATE THE POLE ANCHOR.
 - DESIGN EXCEPTION HAS BEEN SUBMITTED TO SALEM PUBLIC WORKS FOR THE STORM LOCATED UNDER THE SIDEWALK RATHER THAN IN THE STREET.

STRUCTURE LIST:

- CONSTR. TYPE 2 CB (CB1)
RIM - 402.93
INV OUT(S) -
- CONSTR. TYPE 2 CB (CB2)
RIM - 402.98
INV IN(N) -
INV IN(S) -
INV OUT(W) -
- CONSTR. TYPE 2 CB (CB3)
RIM -
INV IN(S) -
INV IN(W) -
INV OUT(N) -

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**PRIVATE DRIVE
PLAN**

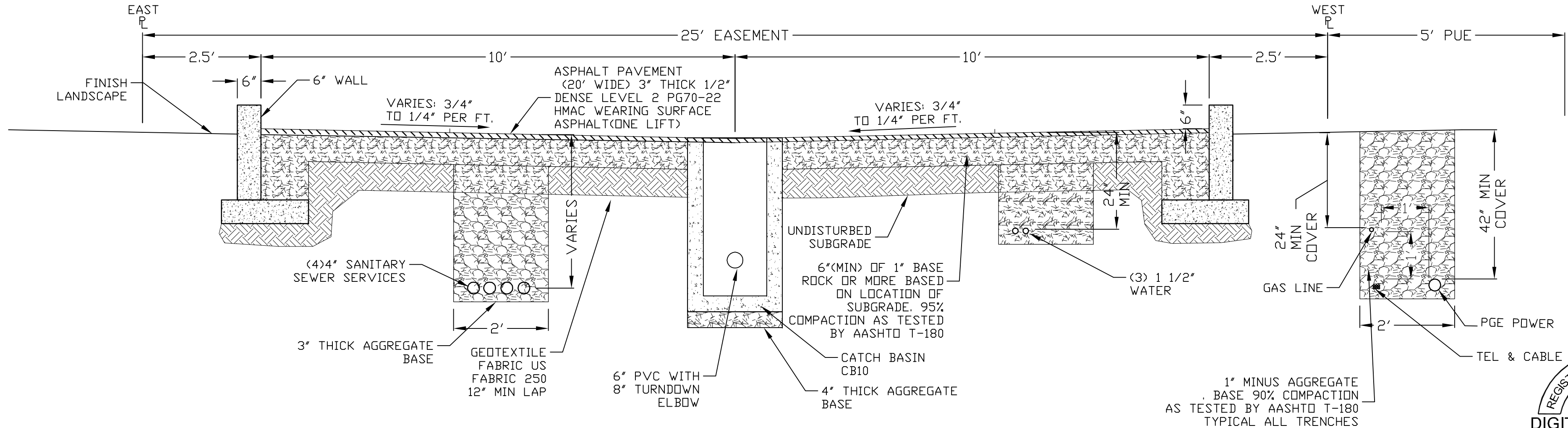
**MEREDITH HEIGHTS
SUBDIVISION APPLICATION**

1440 & 1450 BOONE RD
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CLIENT NO:
DRAWING NO: C3

BOONE ROAD PRIVATE LANE AND STORM PLAN

SCALE: 22x34 1"=10', 11x17 1"=20'

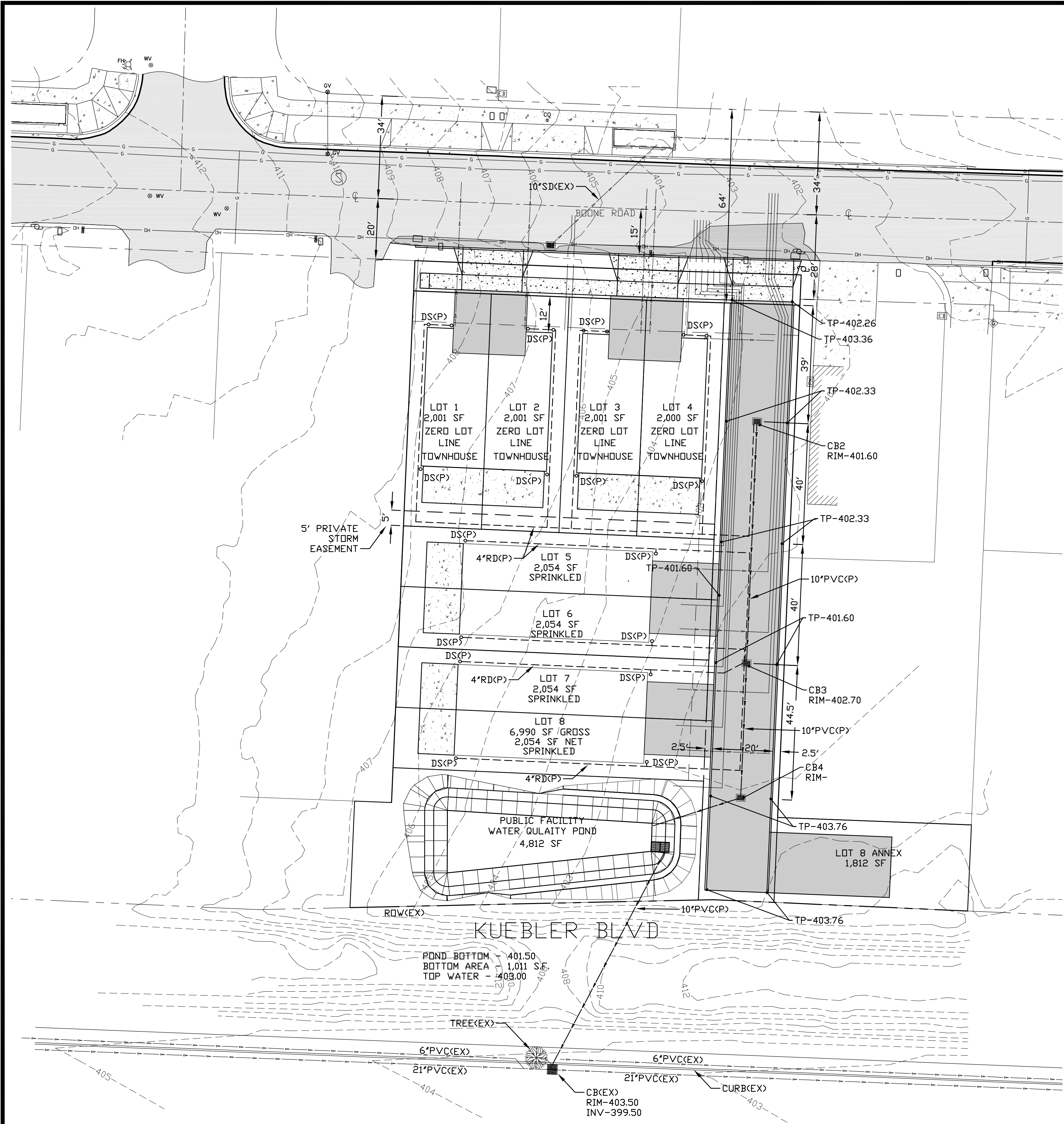


A
C3

PRIVATE DRIVE SECTION

REGISTERED PROFESSIONAL
ENGINEER
13,685
DIGITALLY SIGNED
JULY 18, 1987
GERALD P. HORNER
EXPIRES: JUNE 30, 2021

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STORMWATER AND GRADING PLAN
SCALE 1"=20' FOR 22" x 34" PAPER
SCALE 1"=40' FOR 11" x 17" PAPER

AREAS:

- RIGHT OF WAY IMPROVEMENTS DO NOT REQUIRE WATER QUALITY OR DETENTION.
- AREAS CONTRIBUTING TO THE WATER QUALITY POND.
TOTAL SUBDIVISION - 27,798 S.F. (0.638 ACRES)
IMPERVIOUS AREAS:
LOT 1 BLG: 902 S.F.
LOT 2 BLG: 902 S.F.
LOT 3 BLG: 903 S.F.
LOT 4 BLG: 903 S.F.
LOT 5 BLG: 941 S.F.
LOT 6 BLG: 941 S.F.
LOT 7 BLG: 941 S.F.
LOT 8 BLG: 941 S.F.
LOT 1 PATIO: 240 S.F.
LOT 2 PATIO: 240 S.F.
LOT 3 PATIO: 240 S.F.
LOT 4 PATIO: 240 S.F.
LOT 5 PATIO: 180 S.F.
LOT 6 PATIO: 180 S.F.
LOT 7 PATIO: 180 S.F.
LOT 8 PATIO: 180 S.F.
LOT 5 DRIVEWAY: 264 S.F.
LOT 6 DRIVEWAY: 264 S.F.
LOT 7 DRIVEWAY: 264 S.F.
LOT 8 DRIVEWAY: 264 S.F.
LOT 8 ANNEX PARKING: 800 S.F.
POND PAVEMENT: 755 S.F.
PRIVATE DRIVE: 3,346 S.F.
TOTAL IMPERVIOUS: 15,011 S.F. (0.344 ACRES)
TOTAL PERVIOUS: 12,787 S.F. (0.294 ACRES)

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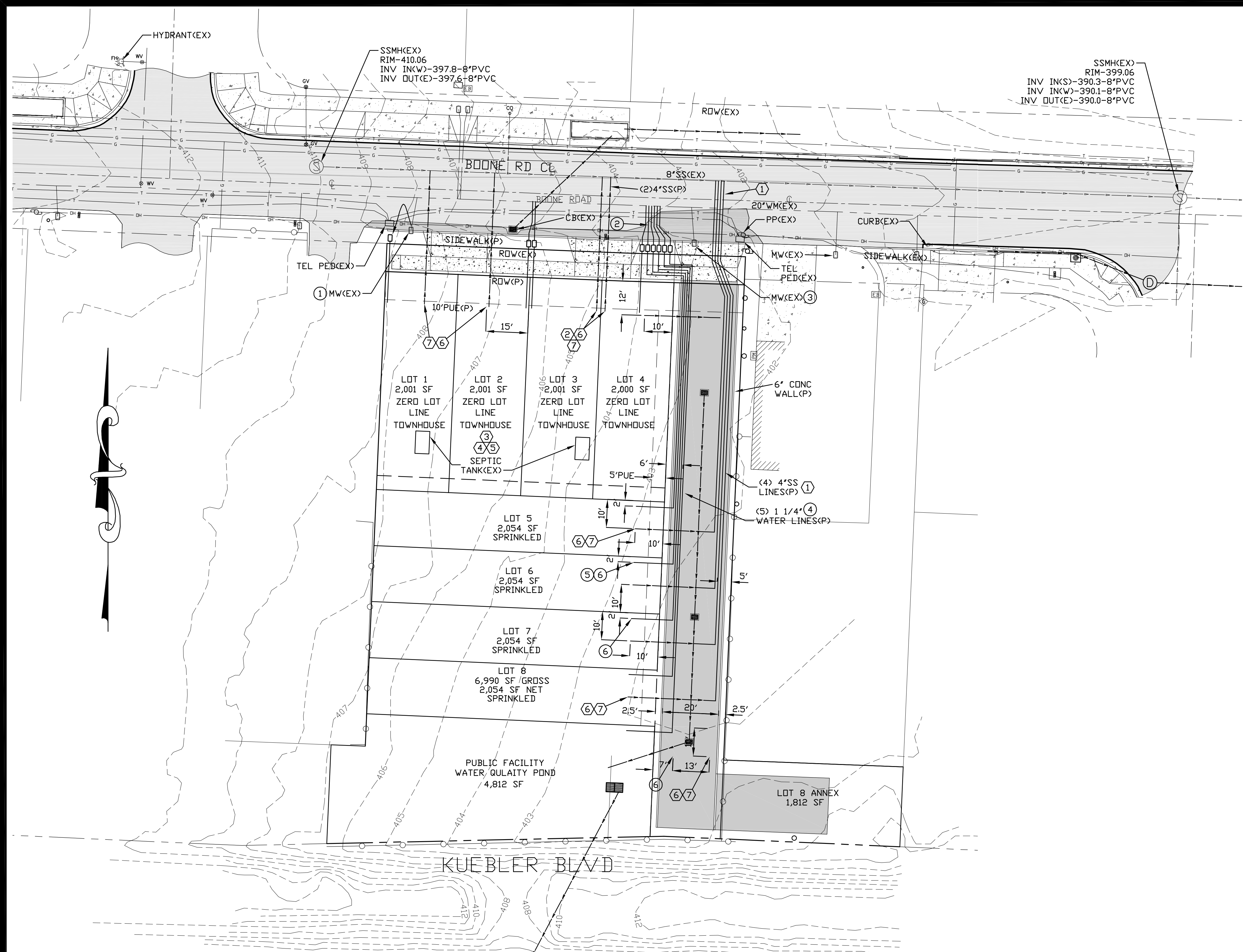
STORM WATER
AND GRADING PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION
1440 & 1450 BOONE RD
SALEM, OREGON 97306

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03 0



SEWER AND WATER SERVICE PLAN

SCALE 1"=20' FOR 22" x 34" PAPER
SCALE 1"=40' FOR 11" x 17" PAPER

DOMESTIC WATER NOTES:

1. CITY OF SALEM STAFF SHALL RELOCATE WATER METER TO NEW LOCATION FOR LOT 1 SERVICE.
2. 6 NEW WATER METERS FOR LOTS 4-8 & PUBLIC FACILITY LOT.
3. CITY OF SALEM STAFF WILL REMOVE EXISTING WATER METER AND PLUG AT MAINLINE.
4. (5) NEW 1 1/4" SCH40 PVC WATER LINES - 24" MINIMUM COVER.
5. END WATER LINE WITH GLUE CAP.
6. MARK END OF WATER LINE WITH 2x4 PAINTED "BLUE" PROJECTING 36" ABOVE FINISH GRADE AND WIRE 2x4 TO END OF WATER PIPE.

SANITARY SEWER NOTES:

1. 4 NEW SANITARY SERVICES FOR LOTS 5-8.
2. NEW SANITARY SERVICE FOR LOTS 1 & 2.
3. CONTRACTOR SHALL ACQUIRE A SEPTIC TANK REMOVAL PERMIT FROM MARION COUNTY BUILDING DEPT. CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE EFFLUENT PUMPED FROM TANKS. THEN HAVE TANK REMOVED FROM SITE AND APPROVED BY MARION COUNTY BUILDING DEPT.
4. SEND ALL SEPTIC TANK PUMP AND REMOVAL PERMIT APPROVALS TO WILLAMETTE ENGINEERING.
5. CONTRACTOR SHALL FILL SEPTIC TANK HOLE WITH AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION PER ASSHTO T1-80.
6. CONTRACTOR SHALL MARK THE END OF THE SEWER SERVICE WITH A 2x4 PAINTED WHITE PROJECTING 36" ABOVE FINISH GRADE AND WIRED TO END OF PIPE.
7. END PIPE WITH 4" GLUE CAP.

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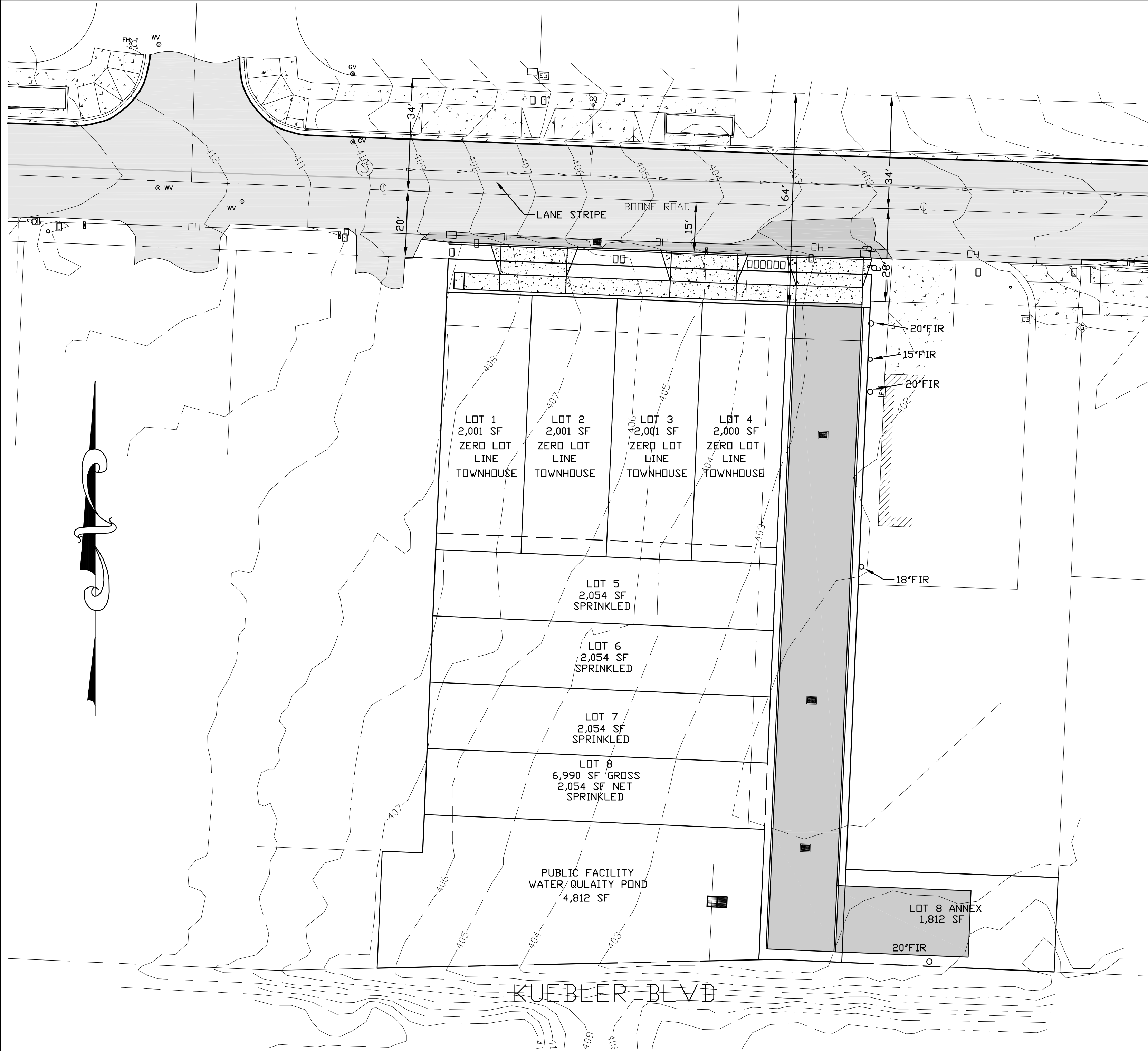
SEWER AND WATER
SERVICE PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION

1440 & 1450 BOONE RD
SALEM, OREGON

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C4 0



TREE PRESERVATION PLAN

SCALE 1"=40' FOR 22" x 34" PAPER
SCALE 1"=80' FOR 11" x 17" PAPER

TREE SCHEDULE

X - TREE TO BE REMOVED
O - TREE TO BE REMAIN

	TOTAL EXISTING	TOTAL REMOVED	TOTAL REMAINING	% REMAINING
FIR	1	0	1	100%
TOTALS	1	0	1	100%
SIGNIFICANT OAK TREES	0	0	0	0%

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**TREE PRESERVATION
PLAN**

**MEREDITH HEIGHTS
SUBDIVISION APPLICATION**
1440 & 1450 BOONE RD
SALEM, OREGON 97306

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Olivia Dias

From: Olivia Dias
Sent: Wednesday, August 3, 2022 10:18 AM
To: sidrakdragon@live.com; Alan Meyer
Cc: Olivia Dias
Subject: Land Use Application

Hello,

This is a courtesy email to let you know that a land use application(s) has been received for property within the boundaries of, or abutting, your neighborhood association. The Planning Division provides this early notice to the Chair(s) and Land Use Chairs of the affected Neighborhood Association(s).

The current proposal is for an Eight-lot subdivision.
The property address is: 1440 Boone Road SE

This application has not yet been deemed complete. Once the application is deemed complete, official notice, noting the comment period and/or public hearing date, will be sent. Please note this proposal may substantially change based on comments City staff provide to the applicant during our review. It is also possible that this application may be withdrawn or may expire before notice is sent.

All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <https://egov.cityofsalem.net/PACPortal> . You can use the search function without registering and enter the permit number listed here: 22-115398. Paper copies can be obtained for a reasonable cost.
Find other land use applications within your area <https://salem.maps.arcgis.com/apps/opsdashboard/index.html#/819dd777a21045d5895348d869d503bd> .

Best,

Olivia Dias (she/her)
Current Planning Manager
City of Salem | Community Development Department
555 Liberty St SE, Suite 305, Salem, OR 97301
odias@cityofsalem.net | 503-540-2343
Facebook | Twitter | LinkedIn | YouTube | CityofSalem.net

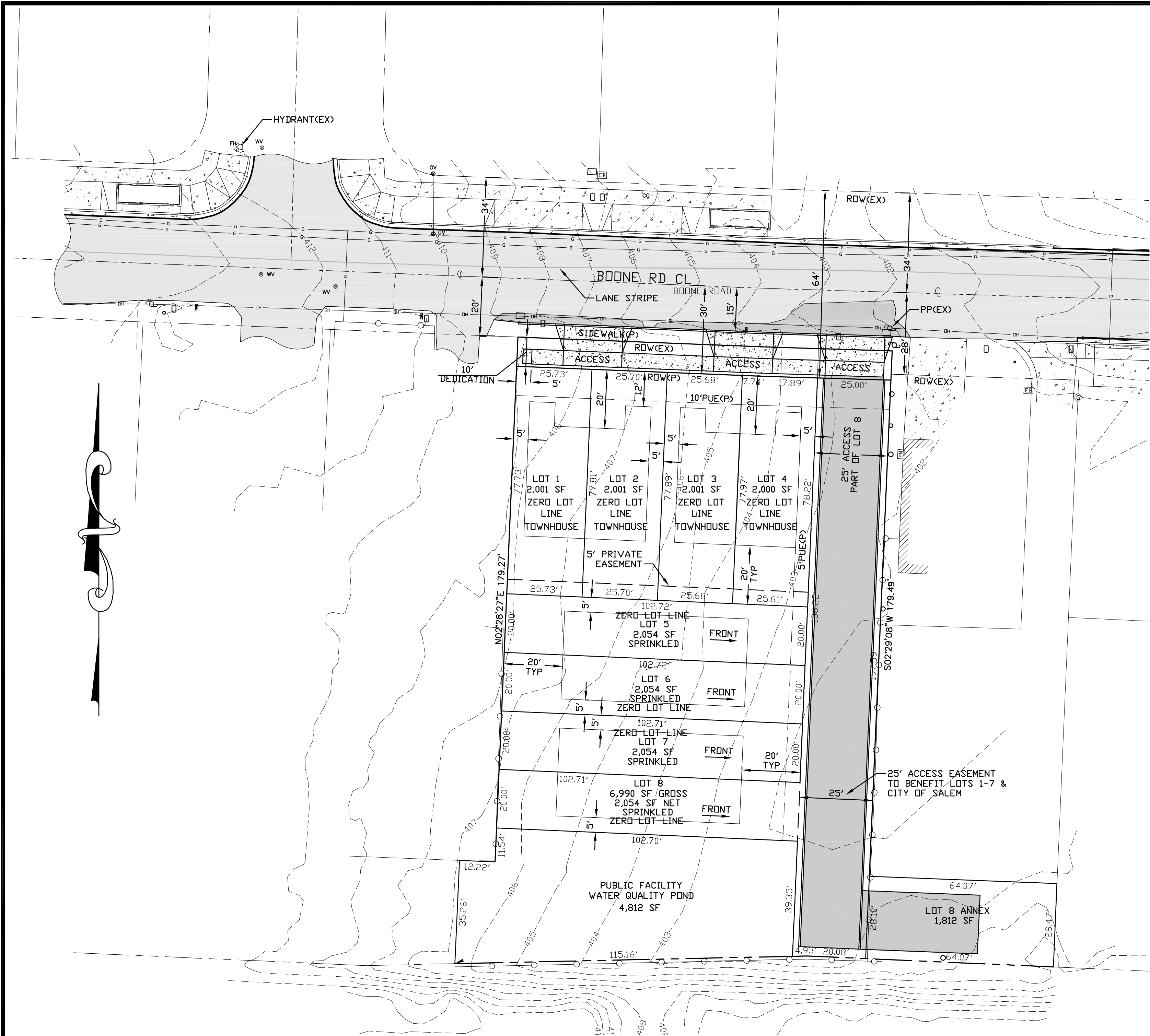
Due to limited staffing, the Planner's Desk has new temporary hours: 10-4 Monday-Friday
Questions on Zoning and Sign Permits can also be submitted by email to Planning@cityofsalem.net

AUGUST 7, 2022
PROPOSED MEREDITH HEIGHTS SUBDIVISION APPLICATION
1440 AND 1450 BOONE ROAD SE, SALEM OREGON
DISCUSSION ON DEVELOPMENT STANDARDS

Requirements of the SRC 205.010(d) have been considered in the preparation of this subdivision application.

1. The lot standards concerning minimum width, minimum depth, and minimum areas of the proposed lots meet City of Salem development standards.
2. Frontage requirements of the proposed lots also meet City of Salem development standards.
3. Most front and rear lot designations are obvious. The front of Lots 1, 2, 3, and 4 will face north toward Boone Road. The front of Lots 5, 6, 7, and 8 will face East toward the private lane.
4. There are no flag lots proposed.
5. Existing City infrastructure has been reviewed. The only entrance to the subdivision is Boone Road. This access meets the requirements of the City of Salem Fire Department.
6. The Salem water, sanitary, and storm water systems have capacity for the increased demands from the proposed residential subdivision.
7. A geological and geotechnical investigation has not been prepared and is not required. There are no special setbacks or flood plain.
8. There are no new streets. Boone Road will be improved on the south side. A private drive will be constructed to access lots 5, 6, 7, and 8. There is no development through or from this Meredith Heights subdivision.
9. The current street system bordering the tentative subdivision conform to the City of Salem Transportation System.
 - a. Standard 6.4.1 – The development is bordered on the north by Boone Road and on the south by Kuebler Blvd. There is no adjacent land to develop. This standard is met.
 - b. Standard 6.4.2 - the street arrangement follows the natural contours of the property. This standard is met.

- c. Standard 6.4.3 – The private drive has access to an accepted city street. This standard is met.
- d. Standard 6.4.4 - the street centerline spacings are existing. This standard is met.
- e. Standard 6.4.5 – all street and private drive intersections meet Salem Public Works street intersection standards. This standard is met.
- f. Standard 6.4.6 – There are no street corners. This standard is met.
- g. Standard 6.4.7 – Boone Road is existing. This standard is met.
- h. Standard 6.4.8 – Boone Road is existing. This standard is does not apply.
- i. Standard 6.4.9 and 10 - Boone Road is existing. This standard is met.
- j. Street Right of Way Width –Existing Boone Road Street ROW is 28'. This application adds 2' to complete the 30' south side ROW for a local street.



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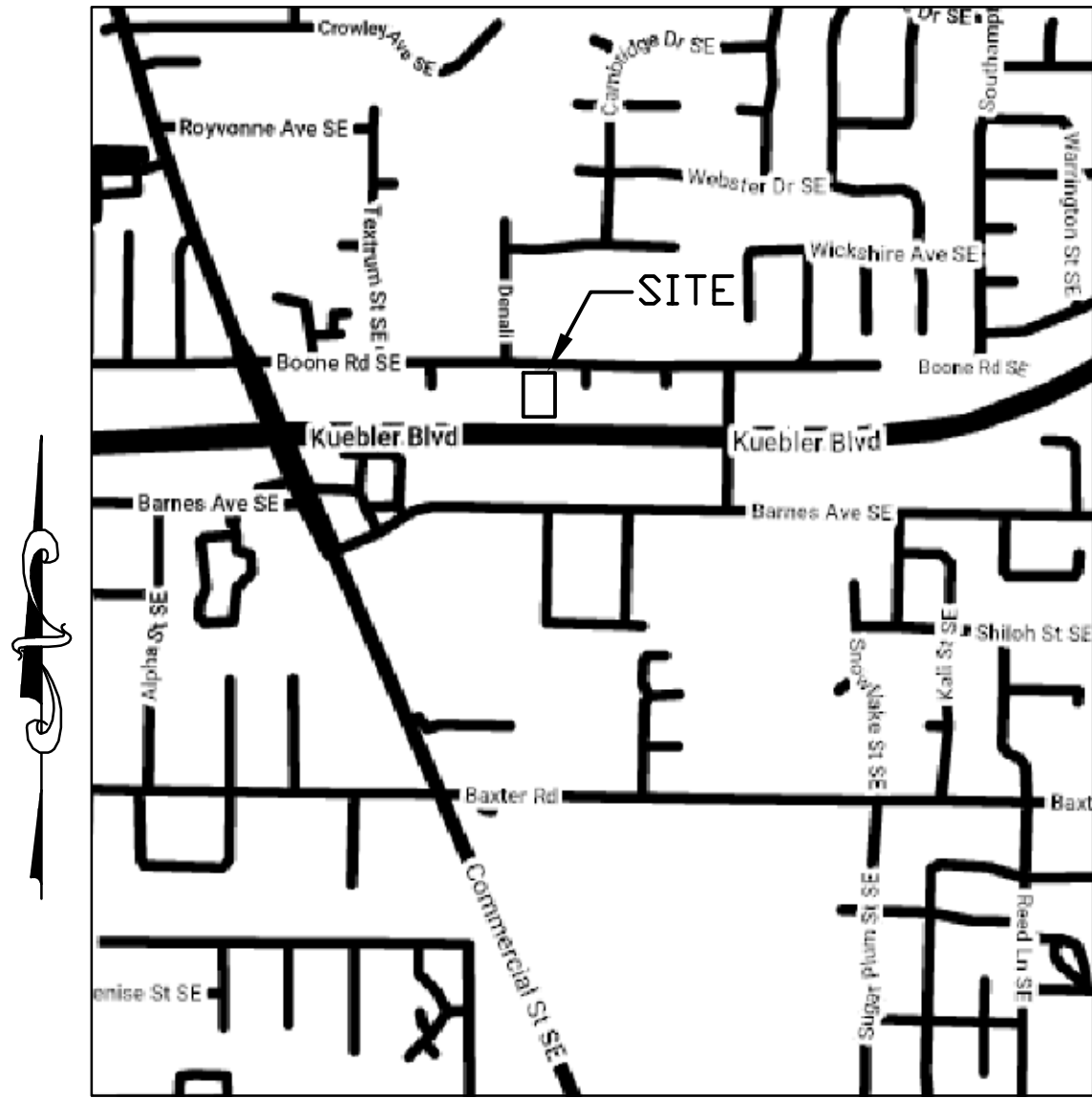
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VICINITY MAP

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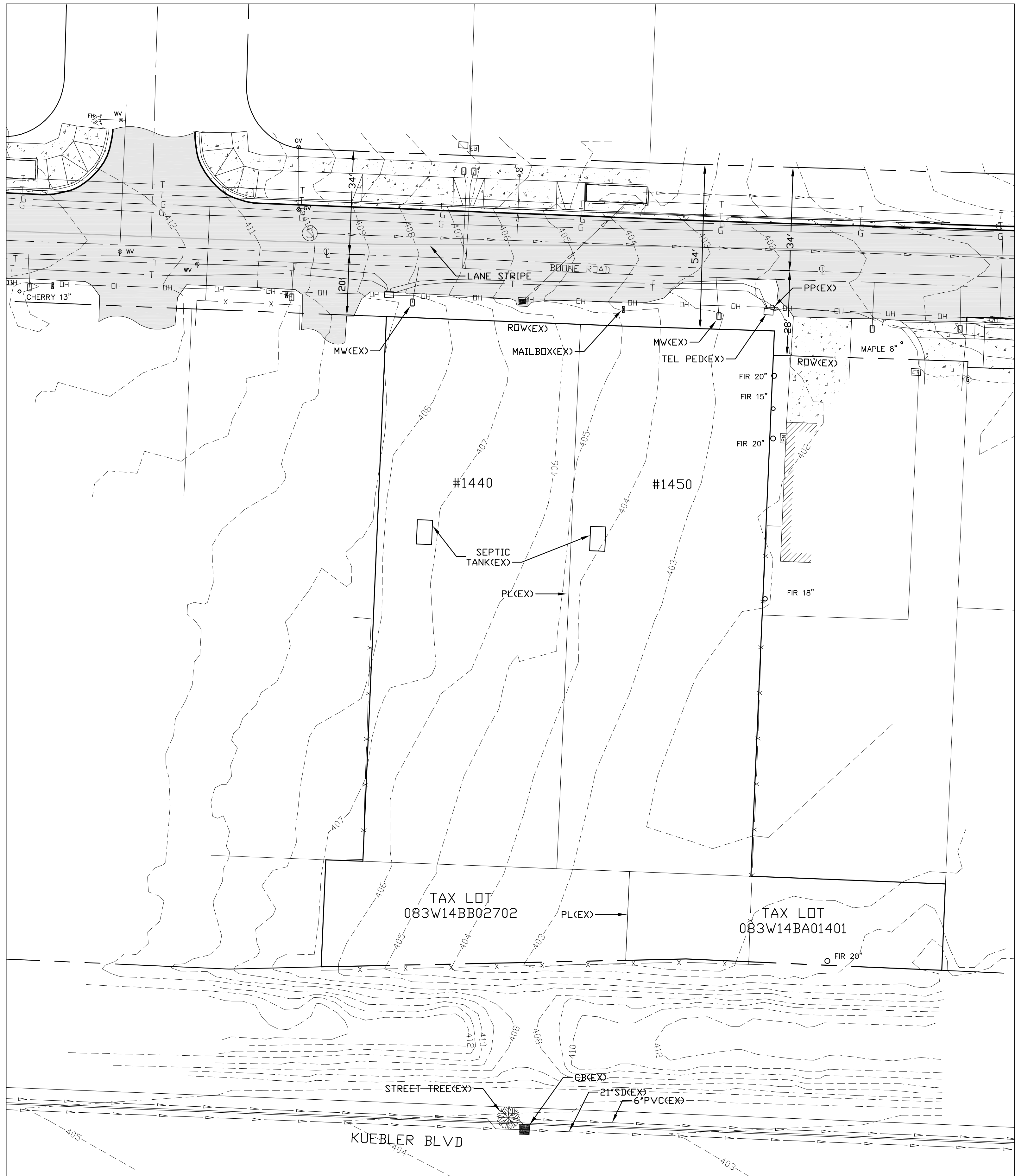
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11x17: SCALE: 1"=40'



EXPIRES: JUNE 30, 2023

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ALL MONUMENTS OF RECORD MUST BE PROTECTED. DISTURBING OR DESTROYING ANY SURVEY MONUMENT OF RECORD IN THE OFFICE OF THE COUNTY SURVEYOR OR COUNTY CLERK SHALL CAUSE A REGISTERED PROFESSIONAL LAND SURVEYOR TO REFERENCE AND REPLACE THE MONUMENT WITHIN 90 DAYS OF THE REMOVAL, DISTURBANCE OR DESTRUCTION (ORS 209.150). THE EXCAVATION CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL MONUMENTS OF RECORD.

GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIALS TO BE TO MARION COUNTY OR SALEM STANDARDS, WHICHEVER IS APPLICABLE. WATER QUALITY DESIGN AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE RESOURCES PROTOCOL.
- COORDINATION WITH UTILITIES.
 - ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987)
 - THE LOCATION AND DESCRIPTION OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE CITY OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS.
 - THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS DAY HOURS PRIOR TO EXCAVATING, BORING, OR AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
 - PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION.
 - UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES.
- CONTRACTOR TO NOTIFY ENGINEER 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL TRENCHES IN STREETS AND UNDER SIDEWALKS AND UNDER PAVEMENTS ARE TO BE COMPACTED BY MECHANICAL MEANS.
- ALL STREET AND STORM DRAIN CONSTRUCTION TO CONFORM CITY OF SALEM STANDARDS.
- ALL DOMESTIC WATER CONSTRUCTION TO CONFORM TO CITY OF SALEM STANDARDS.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SALEM PUBLIC WORKS CONSTRUCTION STANDARDS.
- PRIOR TO FINAL PAYMENT, CONTRACTOR TO SUPPLY ENGINEER WITH A COMPLETE SET OF "AS BUILT" DRAWINGS SHOWING SERVICE LENGTHS AND DEPTHS, LENGTHS BETWEEN STRUCTURE, AND SERVICE LOCATIONS, OR TEES OR CORP. STOPS, AND STORM AND SANITARY SEWER INVERTS.
- CONSTRUCTION PERMITS:
 - STREET AND STORM SYSTEMS - CONSTRUCT TO CITY OF SALEM STANDARDS AND SPECIFICATIONS, CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM MARION COUNTY PUBLIC WORKS ENGINEERING DEPT. AND SHALL CONTACT CONSTRUCTION MANAGEMENT @ 503-588-6211, (DURING WORKING HOURS) 48 HOURS (EXCLUDING HOLIDAYS AND WEEKENDS) PRIOR TO STARTING WORK.
 - STORMWATER AND STREET IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF SALEM CONSTRUCTION STANDARDS.
- ENGINEER TO SUBMIT APPROVED "AS-BUILTS" AND RECORDED COPIES OF ALL EASEMENTS AND RIGHT-OF-WAY DEDICATIONS TO CONSTRUCTION INSPECTION DEPARTMENT. AS PART OF FINAL ACCEPTANCE BY MARION COUNTY.
- ENGINEER TO SUBMIT APPROVED "AS-BUILTS" AND RECORDED COPIES OF ALL SANITARY SEWER EASEMENTS TO CITY OF SALEM PUBLIC WORKS DEPARTMENT AS PART OF FINAL ACCEPTANCE.
- STANDARD CONSTRUCTION NOTES:
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL (ESC) MEASURES THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO, A 50 FT. LONG GRAVEL CONSTRUCTION ENTRANCE (8" MINIMUM DEPTH WITH RAILROAD BALLAST, SILT FENCES OR STRAW BALES MAY BE REQUIRED AS ADDITIONAL MEASURES. SEE EROSION CONTROL SHEETS FOR ADDITIONAL REQUIREMENTS.
 - ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE PAID FOR BY THE DEVELOPER AND INSTALLED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREON HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY MARION COUNTY UPON REQUEST. FAILURE TO CONFORM TO THIS REQUIREMENT MAY RESULT IN DELAY OF FINAL ACCEPTANCE OF THE PROJECT.
 - ALL NONMETALLIC WATER, SANITARY, AND STORM SEWER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER AND GREEN FOR STORM AND SANITARY PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES, MANHOLES, AND CATCH BASINS. TRACER WIRE PENETRATIONS INTO MANHOLES SHALL BE WITHIN 18" OF THE RIM ELEVATION AND ADJACENT TO MANHOLE STEPS. THE TRACER WIRE SHALL BE TIED TO THE TOP MANHOLE STEP OR OTHERWISE SUPPORTED TO ALLOW RETRIEVAL FROM OUTSIDE OF MANHOLE.
 - SITE GRADING SHALL NOT IMPACT SURROUNDING PROPERTIES IN A NEGATIVE MANNER. CONSTRUCTION OF IMPROVEMENTS ON THE PROPERTY SHALL NOT BLOCK HISTORICAL OR NATURALLY OCCURRING RUNOFF FROM ADJACENT PROPERTIES.

REV.	DATE	BY	DESCRIPTION
0	07-20-22	GPH	ISSUED FOR APPLICATION

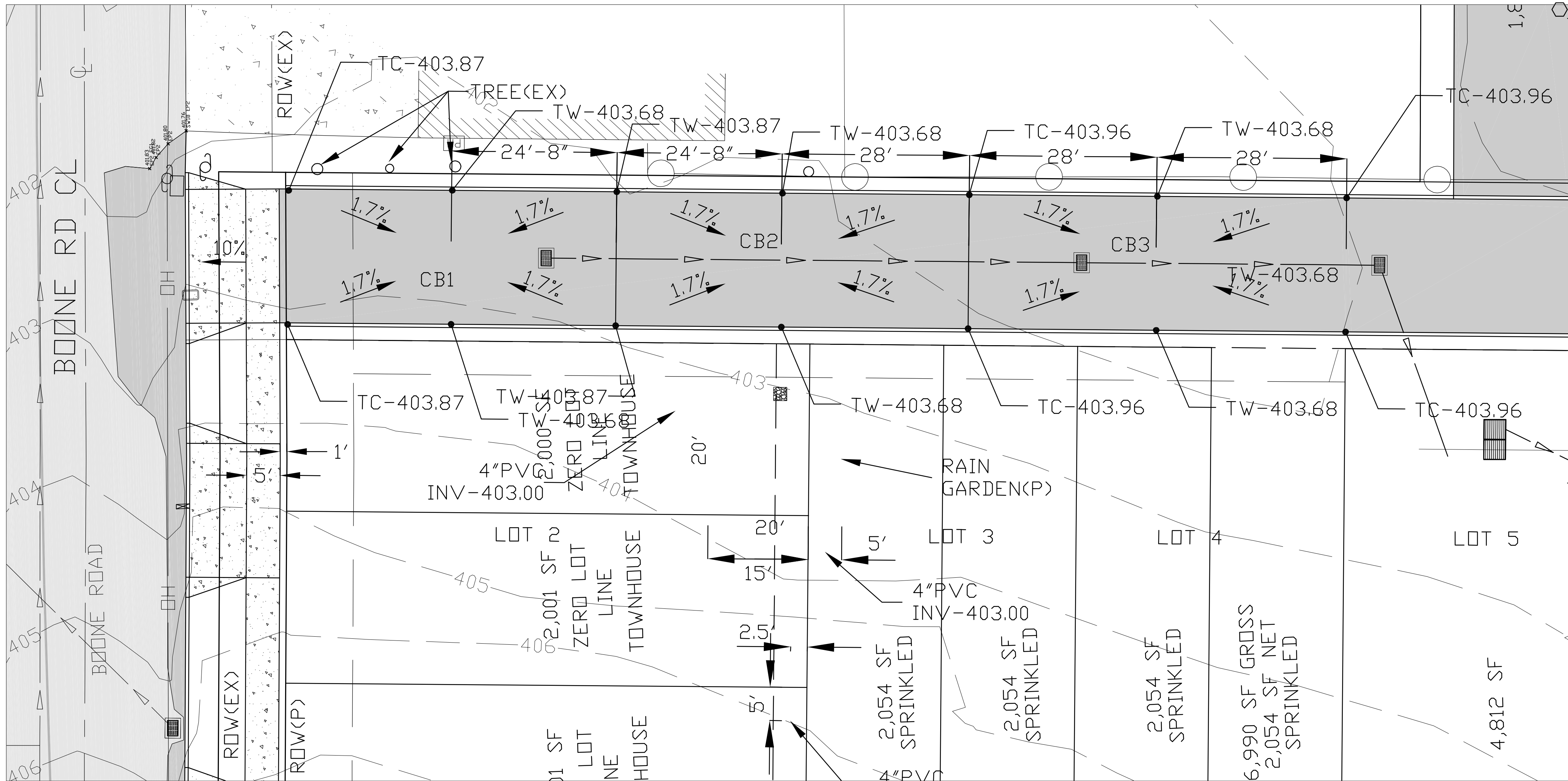
ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
SALEM, OREGON 97305
PH: 503-304-0905
FAX: 503-304-9512

EXISTING CONDITIONS

MEREDITH HEIGHTS
SUBDIVISION APPLICATION

1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-20-22
JOB NO: 2021-105
CLIENT NO:
DRAWING NO: 020



- PRIVATE LANE NOTES:**
- CONSTRUCT CURB DROPS FOR ADA RAMPS. SEE SHEET C16, C17, C18 AND C19 FOR ENLARGED ADA PLANS.
 - SAWCUT EXISTING ASPHALT EDGE. SEAL AND SAND.
 - STORM WATER TESTING PER CITY OF SALEM. THE CONTRACTOR SHALL PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH CITY OF SALEM. FORMS ARE AVAILABLE AT CITY OF SALEM PUBLIC WORKS DEPT:
 - LEAKAGE AIR TEST.
 - CLEANING INSPECTION PRIOR TO LEAKAGE TESTING.
 - TV INSPECTION IF REQUIRED BY CITY STAFF.
 - CONSTRUCT TYPE 3 CATCH BASIN. SEE COSSD #202.
 - CONSTRUCT 48" MANHOLE. SEE COSSD #101 AND #107. AT EXISTING MAINLINE INSTALL DOGHOUSE RISER BASE AND CAST IN PLACE BOTTOM CONCRETE BASE.
 - CONSTRUCT TYPE 4 CATCH BASIN. SEE COSSD #203.
 - STORM WATER PIPE SHALL BE ASTM 3034 PVC.
 - CONSTRUCT SIDEWALKS WITH THIS PUBLIC WORKS PERMIT. THIS INCLUDES ADA AREAS AND MILDRED LANE.
 - CONSTRUCT TYPE "A" CURB AND GUTTER. SEE COSSD #303.
 - CONSTRUCT 10 TO 1 TAPER WITH 2' WIDE AGGREGATE SHOULDER.
 - CONSTRUCT 5 TO 1 TAPER WITH 2' WIDE AGGREGATE SHOULDER.
 - SEE SHEETS C9 AND C15 FOR MILDRED SECTION.
 - ENGINEER AND DEVELOPER TO COORDINATE WITH PGE TO RELOCATE THE POLE ANCHOR.
 - DESIGN EXCEPTION HAS BEEN SUBMITTED TO SALEM PUBLIC WORKS FOR THE STORM LOCATED UNDER THE SIDEWALK RATHER THAN IN THE STREET.

STRUCTURE LIST:

- CONSTR. TYPE 2 CB (CB1)
RIM - 402.93
INV OUT(S) -
- CONSTR. TYPE 2 CB (CB2)
RIM - 402.98
INV IN(N) -
INV IN(S) -
INV OUT(W) -
- CONSTR. TYPE 2 CB (CB3)
RIM -
INV IN(S) -
INV IN(W) -
INV OUT(N) -

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**PRIVATE DRIVE
PLAN**

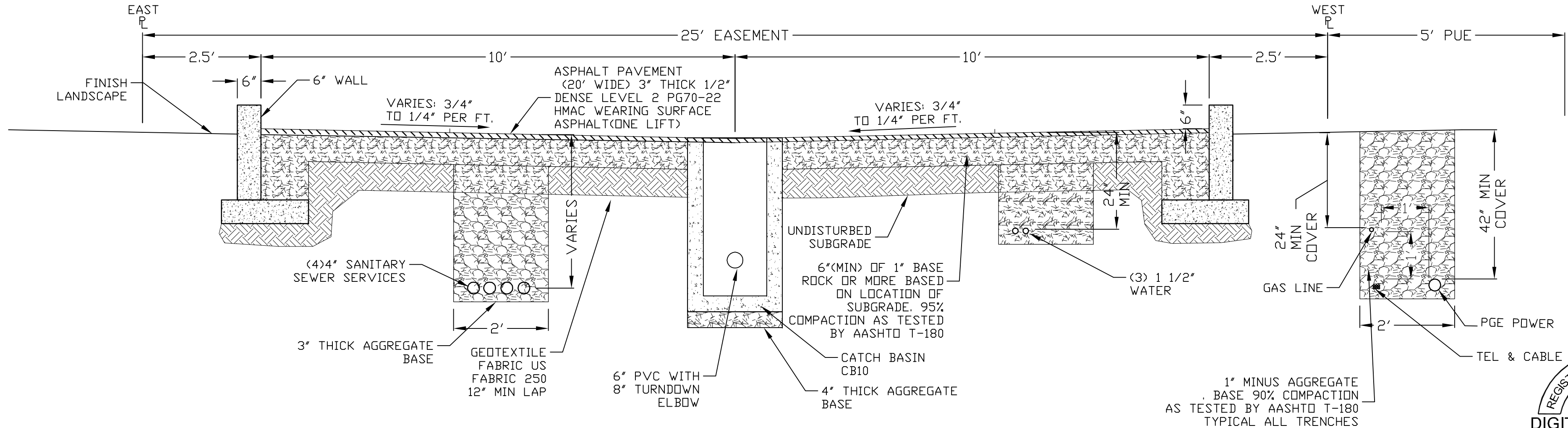
**MEREDITH HEIGHTS
SUBDIVISION APPLICATION**

1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY: GPH
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DATE: 07-20-22
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CLIENT NO:
DRAWING NO: C3

BOONE ROAD PRIVATE LANE AND STORM PLAN

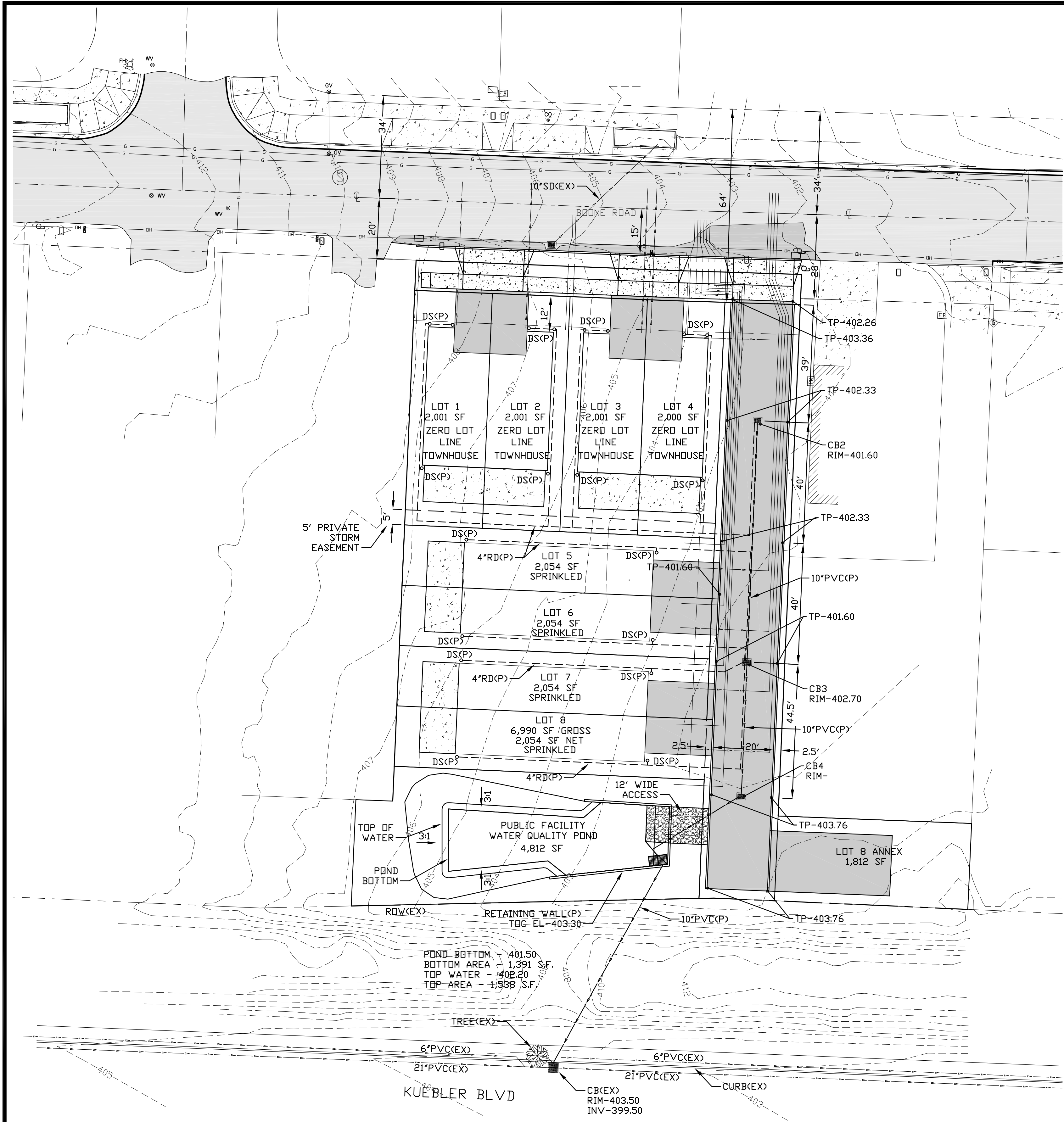
SCALE: 22x34 1"=10', 11x17 1"=20'



PRIVATE DRIVE SECTION



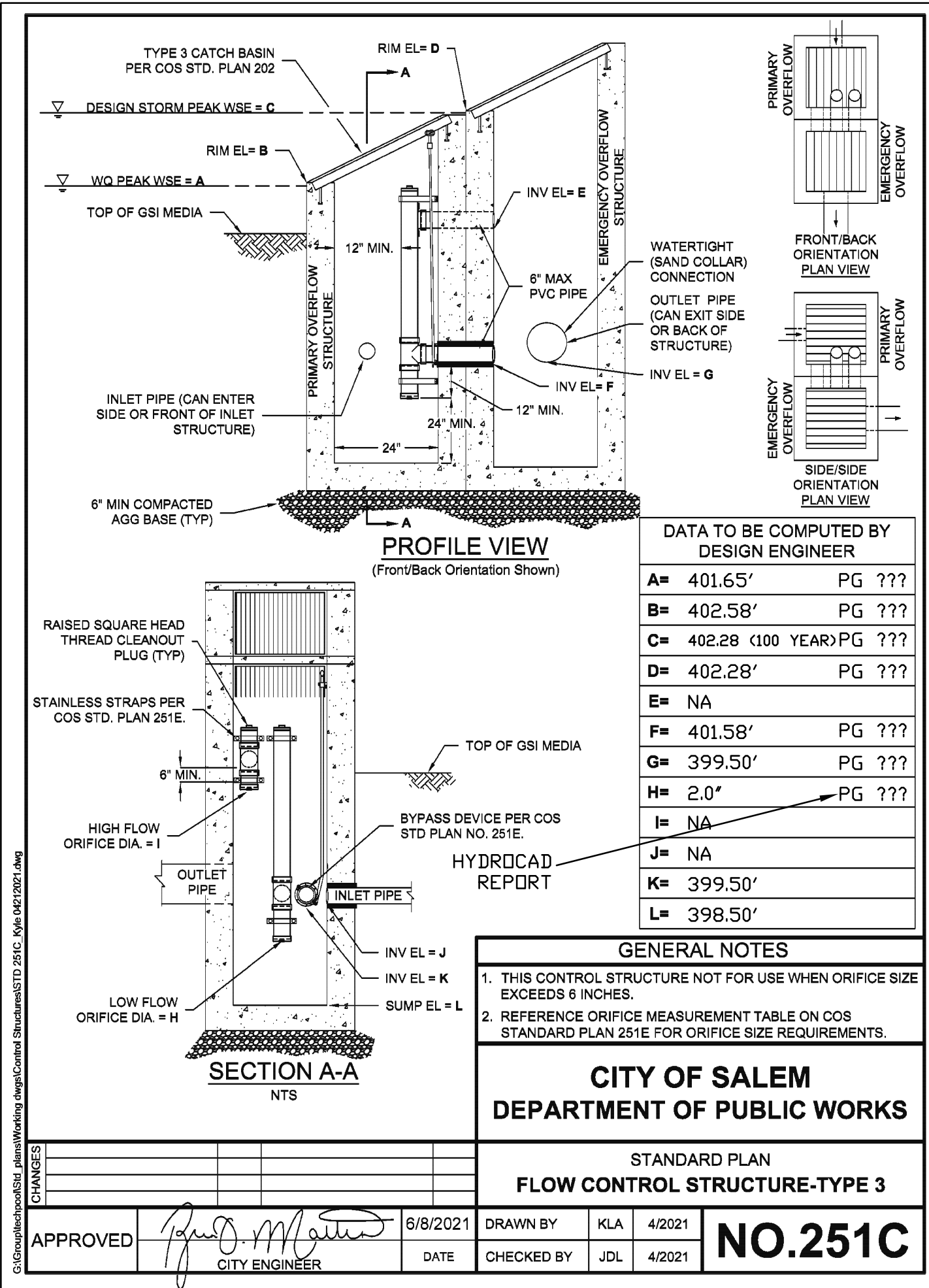
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STORMWATER AND GRADING PLAN
SCALE 1"=20' FOR 22" x 34" PAPER
SCALE 1"=40' FOR 11" x 17" PAPER

AREAS:

- 1. RIGHT OF WAY IMPROVEMENTS DO NOT REQUIRE WATER QUALITY OR DETENTION.
 - 2. AREAS CONTRIBUTING TO THE WATER QUALITY POND.
TOTAL SUBDIVISION - 27,798 S.F. (0.638 ACRES)
- IMPERVIOUS AREAS:
- | | | |
|---------------------|--------|--------------------|
| LOT 1 BLG: | 902 | S.F. |
| LOT 2 BLG: | 902 | S.F. |
| LOT 3 BLG: | 903 | S.F. |
| LOT 4 BLG: | 903 | S.F. |
| LOT 5 BLG: | 941 | S.F. |
| LOT 6 BLG: | 941 | S.F. |
| LOT 7 BLG: | 941 | S.F. |
| LOT 8 BLG: | 941 | S.F. |
| LOT 1 PATIO: | 240 | S.F. |
| LOT 2 PATIO: | 240 | S.F. |
| LOT 3 PATIO: | 240 | S.F. |
| LOT 4 PATIO: | 240 | S.F. |
| LOT 5 PATIO: | 180 | S.F. |
| LOT 6 PATIO: | 180 | S.F. |
| LOT 7 PATIO: | 180 | S.F. |
| LOT 8 PATIO: | 180 | S.F. |
| LOT 5 DRIVEWAY: | 264 | S.F. |
| LOT 6 DRIVEWAY: | 264 | S.F. |
| LOT 7 DRIVEWAY: | 264 | S.F. |
| LOT 8 DRIVEWAY: | 264 | S.F. |
| LOT 8 ANNEX PARKING | 800 | S.F. |
| POND PAVEMENT | 755 | S.F. |
| PRIVATE DRIVE: | 3,346 | S.F. |
| TOTAL IMPERVIOUS: | 15,011 | S.F. (0.344 ACRES) |
| TOTAL PERVIOUS: | 12,787 | S.F. (0.294 ACRES) |



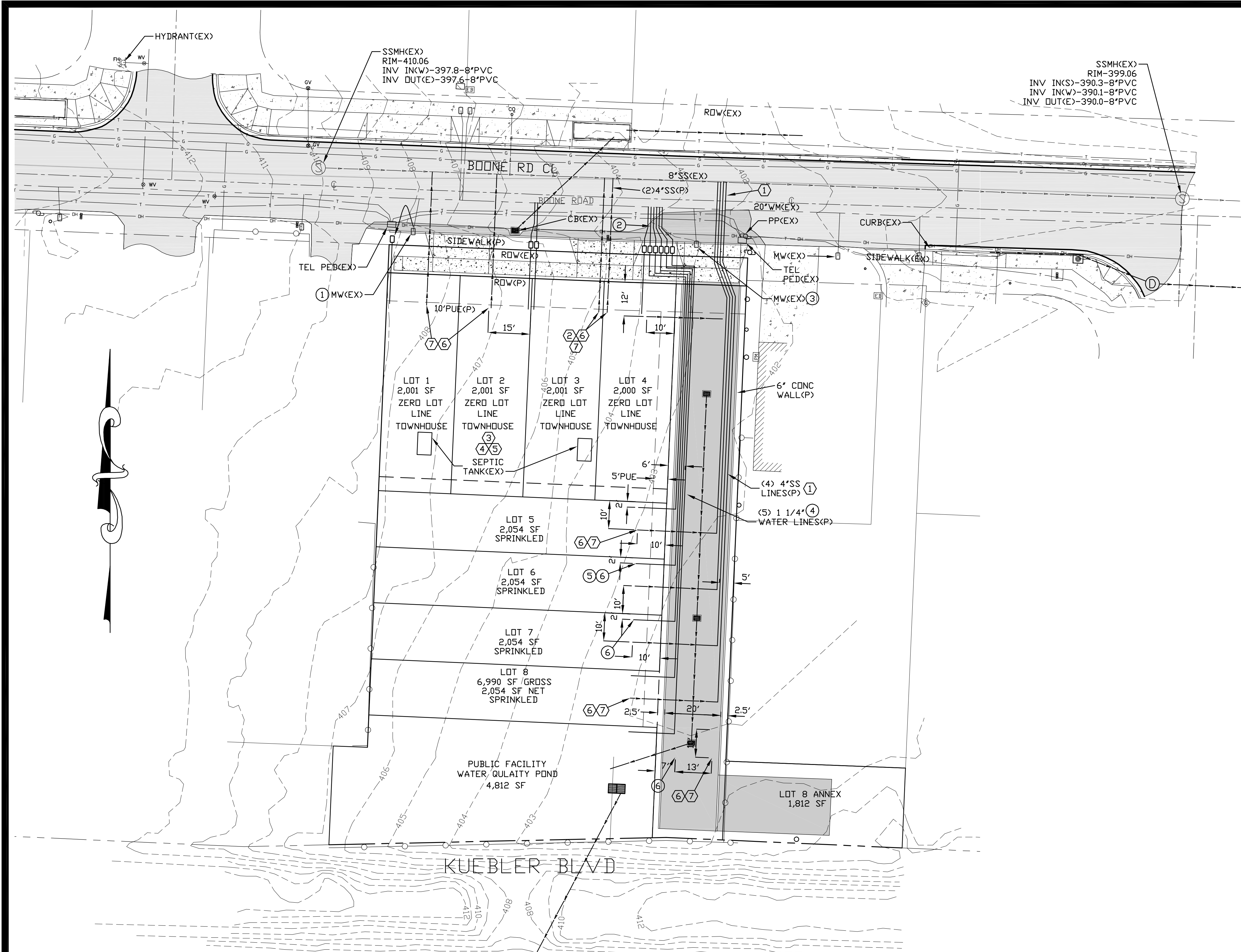
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ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
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PH: 503-304-0905
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STORM WATER
AND GRADING PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION
1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY: GPH
DRAWN BY: RW
DATE: 07-18-22
JOB NO. 2021-105
CLIENT NO.
DRAWING NO. 030



SEWER AND WATER SERVICE PLAN
SCALE 1"=20' FOR 22" x 34" PAPER
SCALE 1"=40' FOR 11" x 17" PAPER

- DOMESTIC WATER NOTES:**
1. CITY OF SALEM STAFF SHALL RELOCATE WATER METER TO NEW LOCATION FOR LOT 1 SERVICE.
 2. 6 NEW WATER METERS FOR LOTS 4-8 & PUBLIC FACILITY LOT.
 3. CITY OF SALEM STAFF WILL REMOVE EXISTING WATER METER AND PLUG AT MAINLINE.
 4. (5) NEW 1 1/4" SCH40 PVC WATER LINES - 24" MINIMUM COVER.
 5. END WATER LINE WITH GLUE CAP.
 6. MARK END OF WATER LINE WITH 2x4 PAINTED "BLUE" PROJECTING 36" ABOVE FINISH GRADE AND WIRE 2x4 TO END OF WATER PIPE.
- SANITARY SEWER NOTES:**
1. 4 NEW SANITARY SERVICES FOR LOTS 5-8.
 2. NEW SANITARY SERVICE FOR LOTS 1 & 2.
 3. CONTRACTOR SHALL ACQUIRE A SEPTIC TANK REMOVAL PERMIT FROM MARION COUNTY BUILDING DEPT. CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE EFFLUENT PUMPED FROM TANKS. THEN HAVE TANK REMOVED FROM SITE AND APPROVED BY MARION COUNTY BUILDING DEPT.
 4. SEND ALL SEPTIC TANK PUMP AND REMOVAL PERMIT APPROVALS TO WILLAMETTE ENGINEERING.
 5. CONTRACTOR SHALL FILL SEPTIC TANK HOLE WITH AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION PER ASSHTO T1-80.
 6. CONTRACTOR SHALL MARK THE END OF THE SEWER SERVICE WITH A 2x4 PAINTED WHITE PROJECTING 36" ABOVE FINISH GRADE AND WIRED TO END OF PIPE.
 7. END PIPE WITH 4" GLUE CAP.

FOR APPLICATION
NOT FOR CONSTRUCTION



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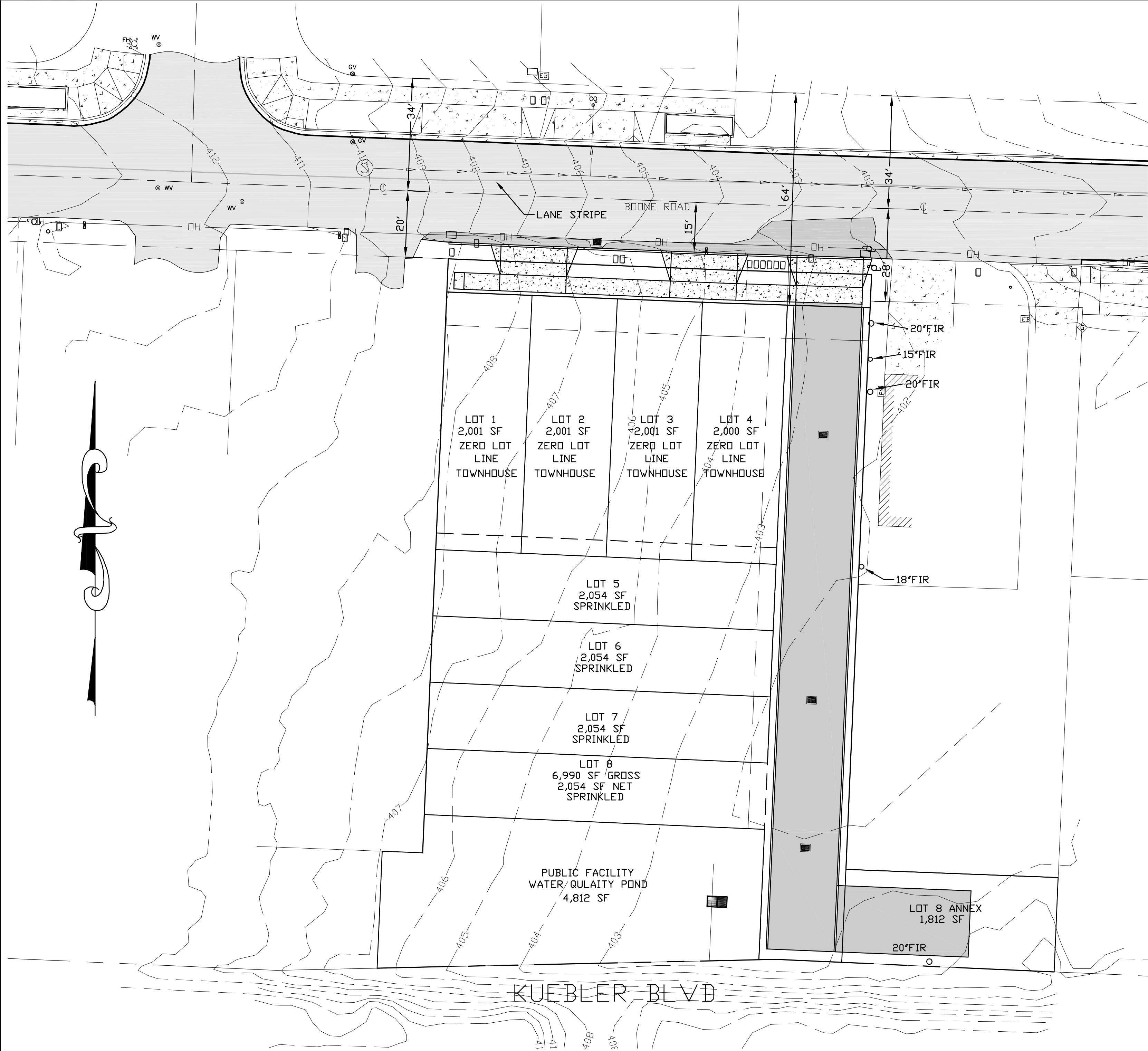
ENGINEER:
WILLAMETTE ENGINEERING INC.
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SEWER AND WATER
SERVICE PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION
1440 & 1450 BOONE RD
SALEM, OREGON

DESIGNED BY:	GPH
DRAWN BY:	RW
DATE:	07-18-22
JOB NO.	2021-105
CLIENT NO.	
DRAWING NO.	

C4 0



TREE PRESERVATION PLAN

SCALE 1"=40' FOR 22" x 34" PAPER
SCALE 1"=80' FOR 11" x 17" PAPER

TREE SCHEDULE

X - TREE TO BE REMOVED
O - TREE TO BE REMAIN

	TOTAL EXISTING	TOTAL REMOVED	TOTAL REMAINING	% REMAINING
FIR	1	0	1	100%
TOTALS	1	0	1	100%
SIGNIFICANT OAK TREES	0	0	0	0%

FOR APPLICATION
NOT FOR CONSTRUCTION



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ENGINEER:
WILLAMETTE ENGINEERING INC.
P.O. BOX 9032
SALEM, OREGON 97305
PH: 503-304-0905
FAX: 503-304-9512

TREE PRESERVATION
PLAN

MEREDITH HEIGHTS
SUBDIVISION APPLICATION
1440 & 1450 BOONE RD
SALEM, OREGON 97306

DESIGNED BY:	GPH
DRAWN BY:	RW
DATE:	07-20-22
JOB NO.	2021-105
CLIENT NO.	
DRAWING NO.	

