

# LAND USE SUBMISSION

08.08.22




## CDP SALEM - PHASE 2 BUILDING I

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

FILE PATH: C:\Revit\_Local\22047\_CDP Salem Gateway Phase II\_Walk Up Building\_L\_22\_inclubertsonPX&RT.rvt

GENERAL PROJECT NOTES	PROJECT TEAM	PROJECT SUMMARY	SHEET INDEX	
<p>REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.</p> <p>1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.</p> <p>2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.</p> <p>3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.</p> <p>4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.</p> <p>5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.</p> <p>6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.</p> <p>7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.</p> <p>8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.</p> <p>9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.</p> <p>11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.</p> <p>12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.</p> <p>14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.</p> <p>15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.</p> <p>16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.</p> <p>17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.</p>	<p><b>OWNER</b></p> <p>CDP OREGON LLC 126 NE ALBERTA ST #202 PORTLAND, OR 97211 TEL: 971.533.7466 FAX: N/A CONTACT: THOMAS ELDRIDGE EMAIL: THOMAS@COMMUNITYDEVPARTNERS.COM</p> <p><b>CONTRACTOR</b></p> <p>GERDING BUILDERS 200 SW AIRPORT AVENUE CORVALLIS, OR 97333 TEL: 541.753.2012 FAX: 541.754.6654 CONTACT: RYAN MCALISTER EMAIL: RYANM@GERDINGBUILDERS.COM</p> <p><b>ARCHITECT</b></p> <p>SCOTT   EDWARDS ARCHITECTURE, LLP 2525 E. BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: DAVE MOJICA EMAIL: DMOJICA@SEALLP.COM</p> <p><b>CIVIL ENGINEER</b></p> <p>HHPR 530 CENTER ST NE SUITE 240 SALEM, OREGON 97301 TEL: 503.365.1131 FAX: N/A CONTACT: BEAU BRAMAN EMAIL: BEAUB@HHPR.COM</p> <p><b>LANDSCAPE ARCHITECT</b></p> <p>PLACE 735 NW 18TH AVENUE PORTLAND, OR 97209 TEL: 503.334.2080 FAX: N/A CONTACT: MAURICIO VILLARREAL EMAIL: MAURICIO.VILLARREAL@PLACE.LA</p> <p><b>STRUCTURAL ENGINEER</b></p> <p>STONEWOOD STRUCTURAL ENGINEERS, INC 2001 NW 19TH SUITE 103A PORTLAND, OR 97209 TEL: 360.216.1704 FAX: N/A CONTACT: D. SCOTT NYSETH EMAIL: SCOTT.NYSETH@STONEWOODSTRUCTURAL.COM</p> <p><b>MEP &amp; FIRE PROTECTION ENGINEER</b></p> <p>INTERFACE 100 SW MAIN STREET, SUITE 1600 PORTLAND, OR 97204 TEL: 503.382.2266 FAX: 503.382.2262 CONTACT: KIM WALL EMAIL: KIMW@INTERFACEENG.COM</p>	<p>PROJECT DESCRIPTION:</p> <p>3-STORY WOOD FRAMED MULTIFAMILY BUILDING FEATURING 16 RESIDENTIAL UNITS AND FIRE RISER ROOM.</p> <p>GROSS AREA: 16,414 SF</p> <p>PROJECT ADDRESS:</p> <p>5205 BATTLE CREEK ROAD SE SALEM, OR 97306</p> <p>LEGAL DESCRIPTION:</p> <p>083W14 LOT 300 AND LOT 118</p> <p>ZONING:</p> <p>RM-II</p>	<p><b>SHEET #</b></p> <p><b>SHEET NAME</b></p> <p>GENERAL</p> <p>G0.01</p> <p>G1.01</p> <p>GENERAL PROJECT INFORMATION CODE SUMMARY</p> <p>ARCHITECTURAL</p> <p>A0.01</p> <p>A0.10</p> <p>A0.20</p> <p>A2.11</p> <p>A2.12</p> <p>A3.01</p> <p>A3.10</p> <p>A5.01</p> <p>A7.01</p> <p>ARCHITECTURAL GENERAL NOTES AND DIAGRAMS GENERAL DIAGRAMS ASSEMBLIES FIRST FLOOR AND SECOND FLOOR PLANS THIRD FLOOR AND ROOF PLAN EXTERIOR ELEVATIONS RENDERINGS WALL SECTIONS EXTERIOR DETAILS</p>	
	<p><b>SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS</b></p> <p>CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.</p> <p>UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.</p> <p><b>SEPARATE PERMITS:</b></p> <p>1. FIRE SYSTEMS - ALARM 2. FIRE SYSTEMS - SPRINKLERS 3. SIGNAGE</p> <p><b>DEFERRED SUBMITTALS:</b></p> <p>1. MEP EQUIPMENT BRACING 2. ROOF TRUSSES 3. STOREFRONT, WINDOWS, LOUVERS, AND THEIR CONNECTIONS TO STRUCTURE 4. SOFFITS AND SUSPENDED CEILINGS 5. ROOFTOP ANCHORAGE 6. GUARDRAILS AND HANDRAILS</p> <p>SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.</p>			
<p><b>VICINITY MAP</b></p> 				

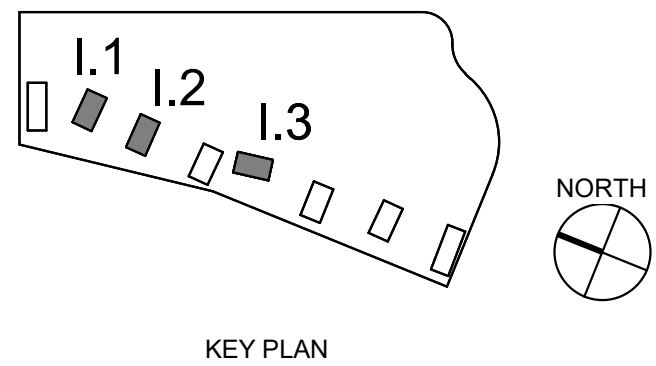


NOT FOR  
CONSTRUCTION

**CDP SALEM -  
PHASE 2  
BUILDING I**

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



FILE PATH: C:\Revit\_Local\22047\_CDP Salem Gateway Phase II\_Walk Up Building\_L\_22\_inclulbertsonPX8RT.rvt

BUILDING CODE SUMMARY		2019 OREGON STRUCTURAL SPECIALTY CODE													
OCCUPANCY	R-2														
CONSTRUCTION TYPE	TYPE V-B, SPRINKLERED PER NFPA 13R														
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE															
OSSC REFERENCE															
SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.													
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.													
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8													
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2													
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS															
TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	R-2: 60 FT / 3 STORY / 7000 SF													
MODIFICATIONS															
SECTION 506.2.506.2.3 SINGLE-OCCUPANCY, MULTISTORY BUILDING EQUATION 5-2	BUILDING AREA	Aa = [A] + (NS x [R]) x Sa = 7000 SF + (7000 SF x 0.75)] x 3 = 12250 SF x 3 = 36750 SF													
SECTION 506.3	FRONTAGE INCREASE	If = [F/P - 0.25] x W/30 If = [1/1 - 0.25] x 30/30 = 0.75													
	ACTUAL HEIGHT / STORIES	42' - 0" / 3 Story													
<table><tr><th colspan="2">BUILDING AREA</th></tr><tr><th>FLOOR LEVEL</th><th>AREA (SF)</th></tr><tr><td>FIRST FLOOR</td><td>5461 SF</td></tr><tr><td>SECOND FLOOR</td><td>5474 SF</td></tr><tr><td>THIRD FLOOR</td><td>5479 SF</td></tr><tr><td></td><td>16414 SF</td></tr></table>				BUILDING AREA		FLOOR LEVEL	AREA (SF)	FIRST FLOOR	5461 SF	SECOND FLOOR	5474 SF	THIRD FLOOR	5479 SF		16414 SF
BUILDING AREA															
FLOOR LEVEL	AREA (SF)														
FIRST FLOOR	5461 SF														
SECOND FLOOR	5474 SF														
THIRD FLOOR	5479 SF														
	16414 SF														
SECTION 508.2	ACCESSORY OCCUPANCY	N/A													
SECTION 508.3 / 508.4	MIXED OCCUPANCY	N/A													
TABLE 509	INCIDENTAL USES LAUNDRY ROOMS OVER 100 SF TRASH ROOMS OVER 100 SF	SPRINKLERED, NO SEPARATION REQUIRED SPRINKLERED, NO SEPARATION REQUIRED													
CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION															
TABLE 601	FIRE RESISTANCE RATING REQUIRMENTS FOR BUILDING ELEMENTS														
	BUILDING ELEMENT	FIRE RATING *													
	PRIMARY STRUCTURAL FRAME	0 HOUR													
	BEARING WALLS														
	EXTERIOR	0 HOUR													
	INTERIOR	0 HOUR													
	NON BEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602													
	NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR													
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR													
	ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR													
	* UNLESS OTHERWISE REQUIRED BY THIS CODE														
TABLE 602	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE														
	FIRE SEPARATION DISTANCE	FIRE RATING													
	X < 5'	1 HOUR													
	5' <= X < 10'	1 HOUR													
	10' <= X < 30'	0 HOUR													
	X >= 30'	0 HOUR													
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES															
TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES													
TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION														
	UNPROTECTED, NON-SPRINKLERED	PROTECTED													
	0 TO LESS THAN 3'	NOT PERMITTED													
	3 TO LESS THAN 5'	NOT PERMITTED													
	5 TO LESS THAN 10'	15%													
	10 TO LESS THAN 15'	25%													
	15 TO LESS THAN 20'	45%													
	20 TO LESS THAN 25'	75%													
	25 TO LESS THAN 30'	NO LIMIT													
	30' OR GREATER	NO LIMIT													
705.8.1	ALLOWABLE AREA OF OPENINGS	EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.													
705.11	PARAPETS	EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.													
TABLE 706.4	FIRE WALL FIRE RESISTANCE	N/A													
TABLE 707.3.10	FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS	N/A													
SECTION 708	FIRE PARTITIONS	1 HOUR EXCEPTION 1: 1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1													
SECTION 709	SMOKE BARRIERS	NOT REQUIRED													
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3														
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A													
711.2.4.2	SEPARATING FIRE AREAS	N/A													
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR													
711.2.4.4	SEPARATING SMOKE COMPARTMENTS	N/A													
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509													
711.2.4.6	OTHER SEPARATIONS	N/A													
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE													
CHAPTER 8: INTERIOR FINISHES															
TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATING)														
	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C													
	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C													
	ROOMS AND ENCLOSED SPACES	C													
CHAPTER 9: FIRE PROTECTION SYSTEMS															
SPRINKLERED PER NFPA 13R															

## CHAPTER 10: MEANS OF EGRESS

SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD TABLE	
SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR	0.3	
SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR	0.2	
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 OCCUPANTS 125 FT	
TABLE 1006.3.2	MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY	500 2 *SEE 1003.3 EXCEPTIONS	
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030 REQUIRED FOR STORIES WITH ONE EXIT	
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	250 FT	
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	0.5 HR	
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES * 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50	
SECTION 1020.4	DEAD ENDS	20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH	
SECTION 1023.2	INTERIOR EXIT STAIRWAY FIRE-RESISTANCE RATING	1 HR CONNECTING < 4 STORIES	

## CHAPTER 11: ACCESSIBILITY

SECTION 1106.2	R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE.		
	TOTAL SPACES PROVIDED:	43	
	ACCESSIBLE SPACES REQUIRED:	43 x 2% = 1	
	ACCESSIBLE SPACES PROVIDED:	5	
SECTION 1107.6.2.2.1	R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS		
	TYPE A UNITS REQUIRED (TOTAL FOR SITE):	129 x 2% = 3 UNITS	
	TYPE A UNITS PROVIDED (TOTAL FOR SITE):	7 UNITS	
	TYPE A UNITS PROVIDED (THIS BUILDING):		
SECTION 1107.6.2.2.2	WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM		
EXCEPTION:	THE NUMBER OF TYPE A AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1107.7		
	1107.7.1.1, STRUCTURES WITHOUT ELEVATOR SERVICE, ONE STORY WITH TYPE B UNITS REQUIRED		

## ADDITIONAL ACCESSIBILITY REQUIREMENTS

APPLICABLE STANDARDS	
ANSI ICC A117.1 - 2009	
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II	
SECTION 504	
FAIR HOUSING ACCESSIBILITY GUIDELINES	
FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018	
OHCS CORE DEVELOPMENT MANUAL	
ACCESSIBLE UNITS	
5% OF UNITS WITH MOBILITY FEATURES	129 x 5% = 7 UNITS
2% OF UNITS WITH COMMUNICATION FEATURES	129 x 2% = 3 UNITS

## CHAPTER 13: ENERGY EFFICIENCY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)

CLIMATE ZONE 4C					
OPAQUE ELEMENTS		REQUIRED		PROVIDED	
		ASSEMBLY MAX.		MIN. R-VALUE	
ROOFS					
INSULATION ENTIRELY ABOVE DECK		N/A		N/A	
METAL BUILDINGS		N/A		N/A	
ATTIC AND OTHER		U-0.021		R-49	
WALLS (ABOVE GRADE)					
MASS					
METAL BUILDINGS		U-0.104		R-11.4 CI	
STEEL-FRAMED		N/A		N/A	
WOOD-FRAMED / OTHER		U-0.064		R-20	
WALLS (BELOW GRADE)		C-0.119		R-10 CI	
FLOORS					
MASS		N/A		N/A	
STEEL JOIST		N/A		N/A	
WOOD FRAMED / OTHER		U-0.033		R-30	
SLAB-ON-GRADE FLOORS					
HEATED		N/A		N/A	
UNHEATED		F-0.520		R-15 FOR 24"	
OPAQUE DOORS					
SWINGING		U-0.37			-0.37
NON-SWINGING					
FENESTRATION					
		REQUIRED		PROVIDED	
		MAX U	MAX SHGC	MIN VT/ISHGC	
VERTICAL (0% - 40% OF WALL ALLOWED)				MAX U	MAX SHGC
FIXED		0.36	0.36	1.10	0.36
OPERABLE		0.45	0.33	1.10	0.45
ENTRANCE DOOR		0.63	0.33	1.10	0.63
SKYLIGHT (0% - 3% OF ROOF ALLOWED)					
CI = CONTINUOUS INSULATION FC = FILLED CAVITY NR = NO REQUIREMENT NA = NOT APPLICABLE					

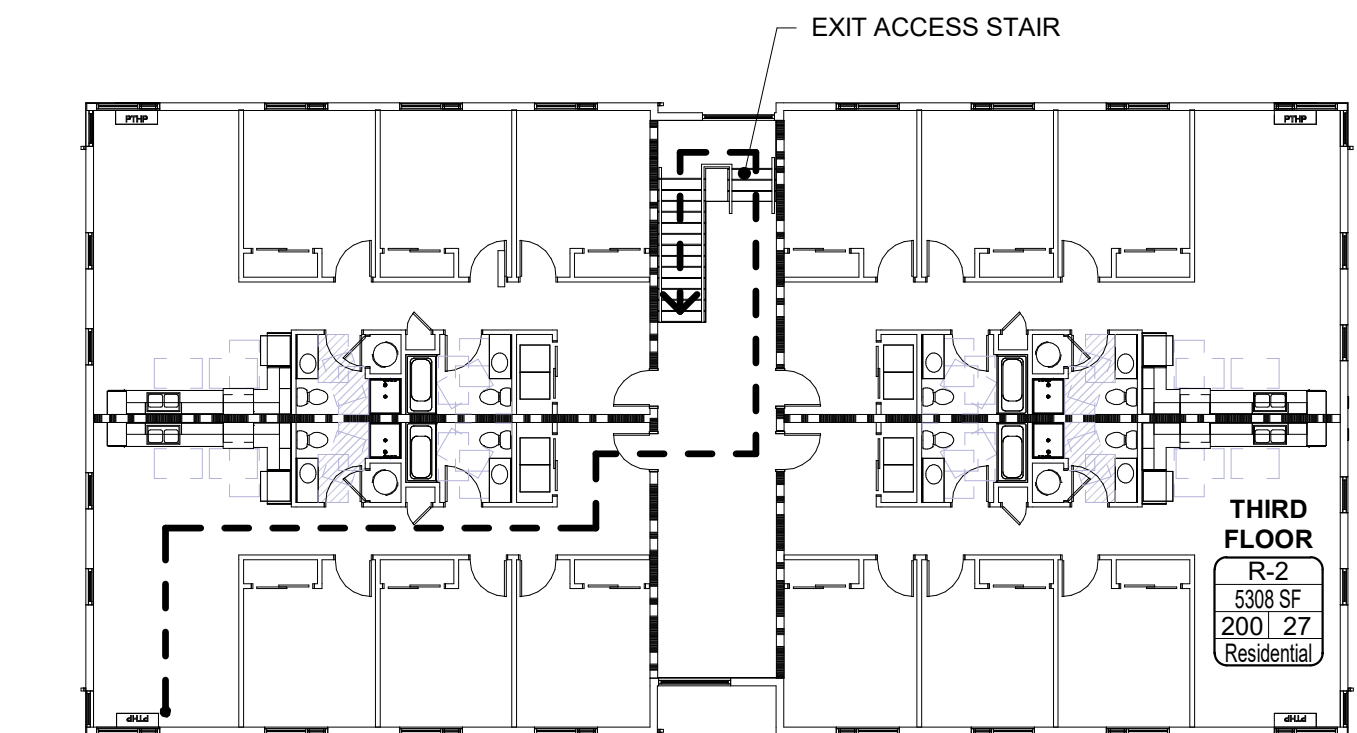
## CHAPTER 29: PLUMBING FIXTURES

TOTAL UNITS		
R-2	16	1 WC / LAV / Tub or Shower per unit required and provided

## EXIT ACCESS TRAVEL DISTANCE

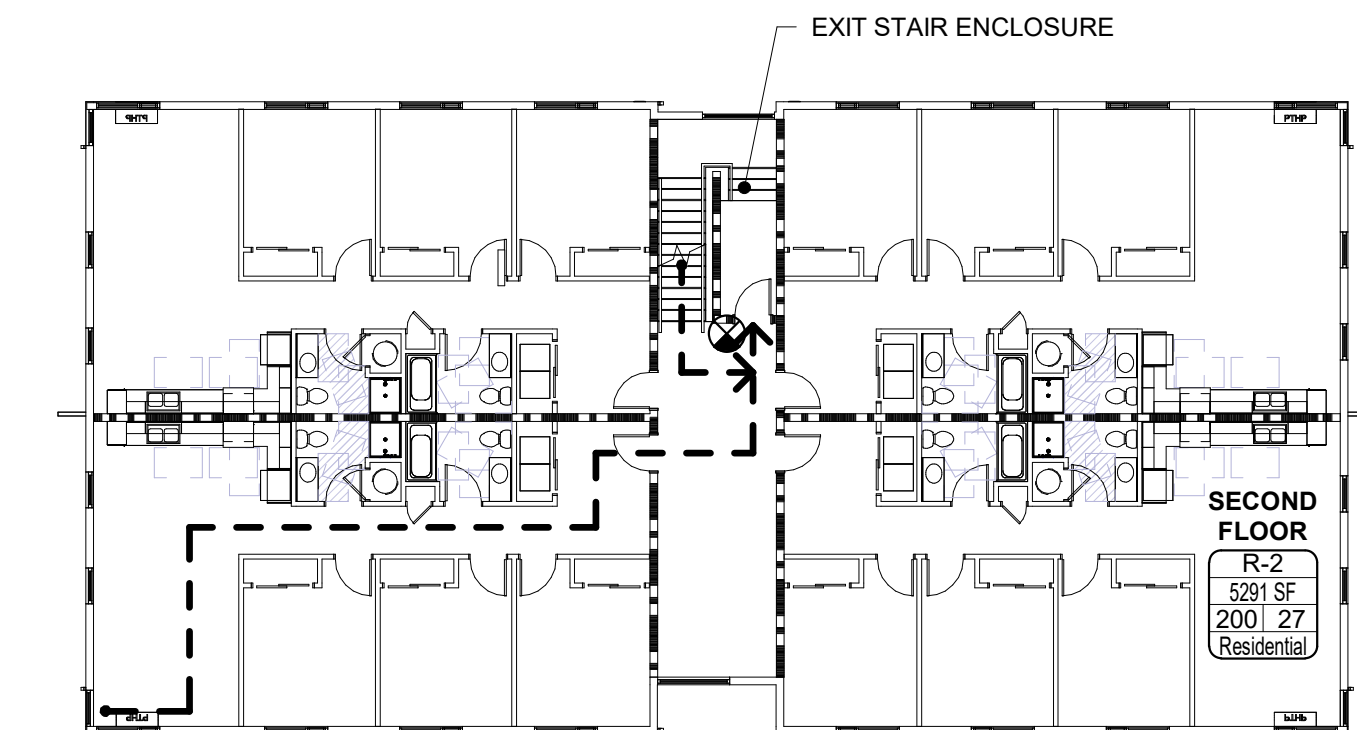
EGRESS PATH NAME	EGRESS PATH LENGTH
FIRST FLOOR	24' - 11"
SECOND FLOOR	86' - 1"
THIRD FLOOR	134' - 1"

LIFE SAFETY OCCUPANT LOAD SCHEDULE				
TABLE 1004.1.2				
AREA NAME	AREA (SF)	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
FIRST FLOOR	5292 SF	Residential	200	27
SECOND FLOOR	5291 SF	Residential	200	27
THIRD FLOOR	5308 SF	Residential	200	27
				81



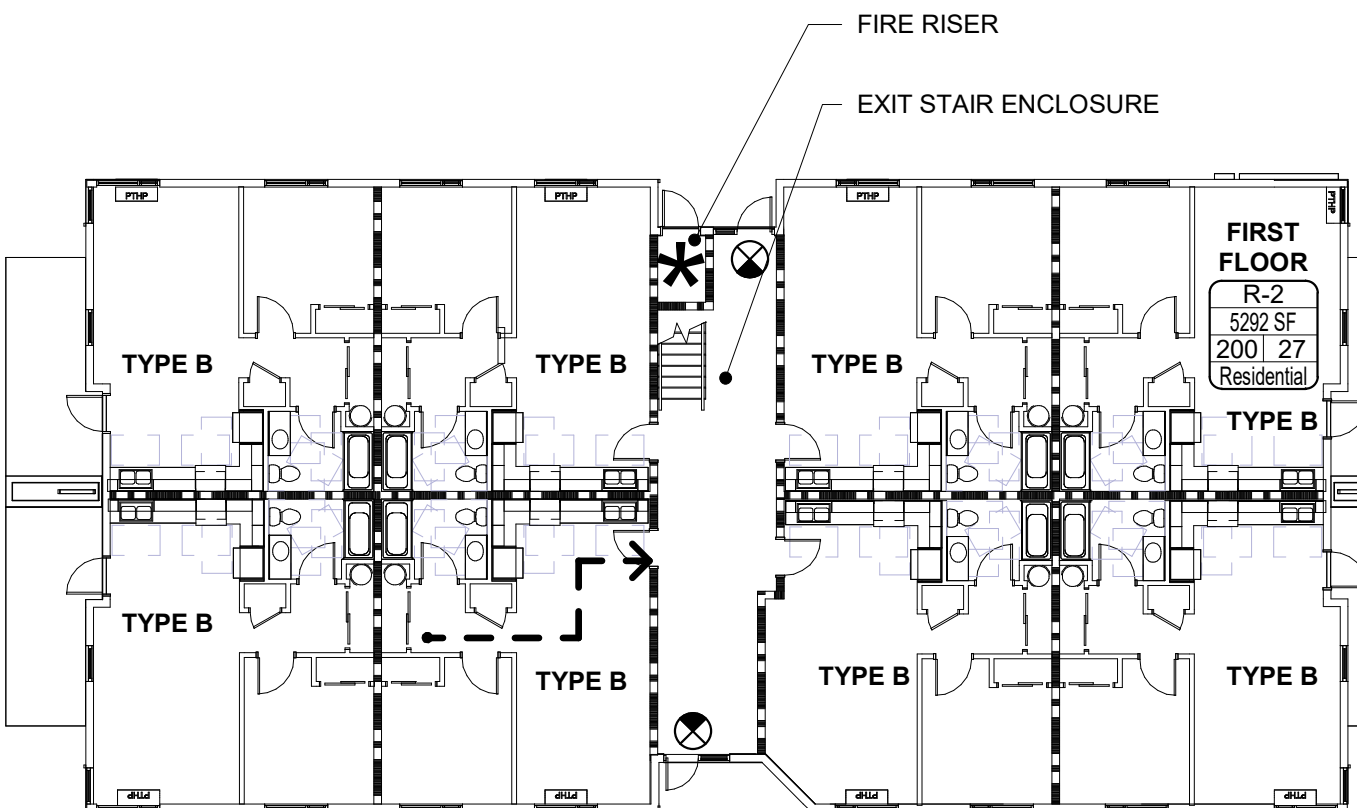
## 3 THIRD FLOOR LIFE SAFETY PLAN

1/16" = 1'-0"



## 2 SECOND FLOOR LIFE SAFETY PLAN

1/16" = 1'-0"



## 1 FIRST FLOOR LIFE SAFETY PLAN

1/16" = 1'-0"

## CODE SUMMARY LEGEND

1 HOUR RATED ASSEMBLY

WALL RATINGS TO CONTINUE ABOVE / BELOW ALL DOORS, RELITES, ETC.

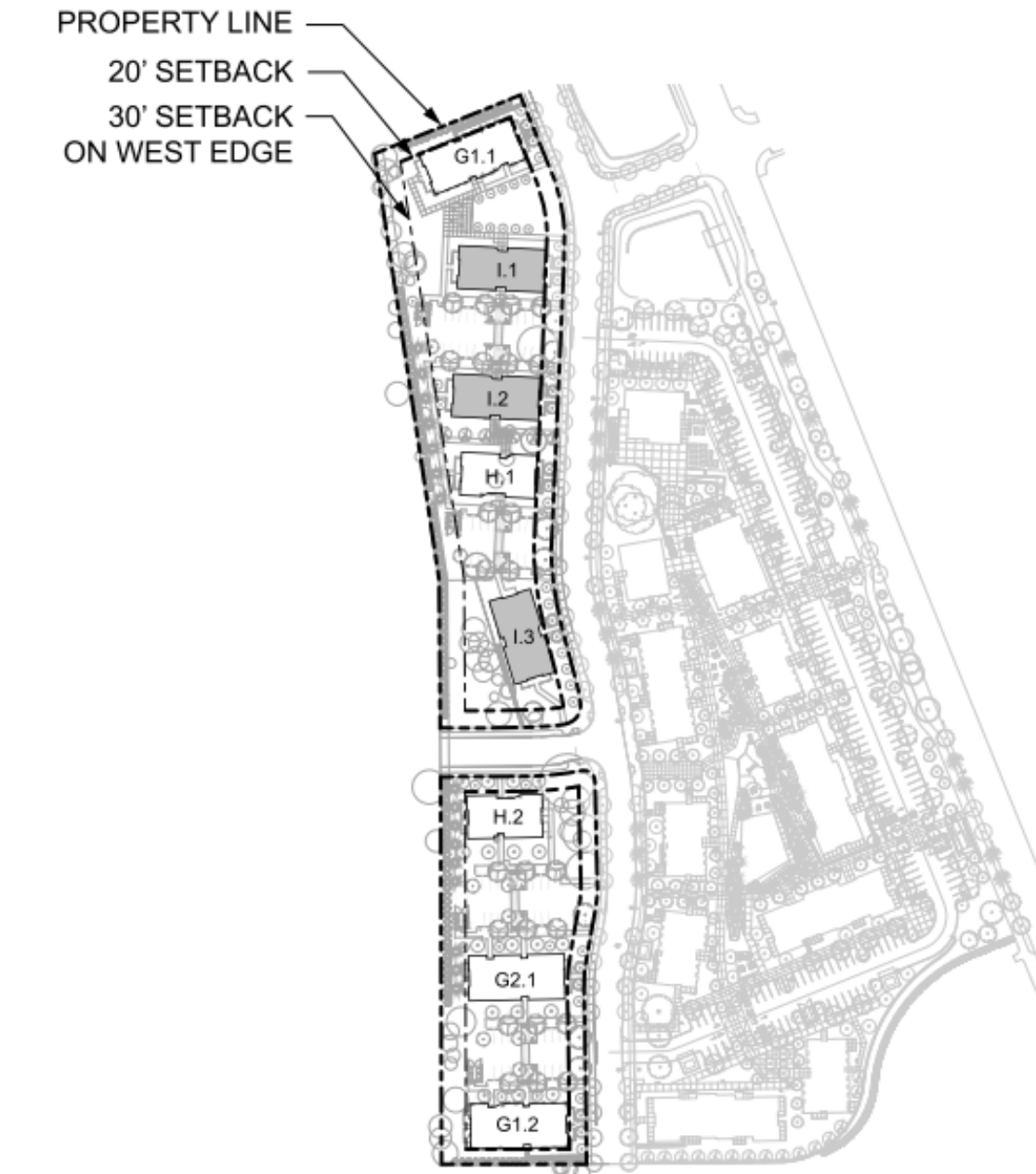
AREA NAME  
NAME  
Occ Grp  
FSC  
OLF #  
Function

\* UNOCCUPIED AREA, OCCUPANT LOAD NOT INCLUDED IN BUILDING TOTALS  
EXIT SIGN  
SHADE INDICATES ILLUMINATE FACE, ARROW INDICATES DIRECTION TO EXIT

PATH A  
100' - 0"

EXIT ACCESS PATH  
EXIT ACCESS DOOR  
DOOR RATING (IN MINUTES)

MULTI-PURPOSE FIRE EXTINGUISHER AND CABINET (FEC) OR FIRE EXTINGUISHER (FE) ON BRACKET - VERIFY EXACT LOCATIONS AND QUANTITY WITH FIRE DEPARTMENT.



## SITE PLAN - ZONING DIAGRAM

## 702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

CITY OF SALEM UNIFIED DEVELOPMENT CODE - TITLE X

SECTION	REQUIREMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
SITE SAFETY & SECURITY		
702.020.c.1	REQUIREMENT MET	A2.11-A2.12
702.020.c.2	REQUIREMENT MET	A3.01
FACADE & BUILDING DESIGN		
702.020.e.1	REQUIREMENT MET	A2.11-A2.12
702.020.e.8	REQUIREMENT MET	A3.01
702.020.e.9	ADJUSTMENT REQUESTED	A3.01
702.020.e.10	REQUIREMENT MET	A3.01

Scott Edwards Architecture

2525 E Burnside St.  
Portland, OR 97214

503.226.3617  
sealp.com

## CDP SALEM - PHASE 2 BUILDING I

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

Community Development Partners

LAND USE SUBMISSION ISSUE 08.08.22

Drawing: DATE

## CODE SUMMARY

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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## REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009

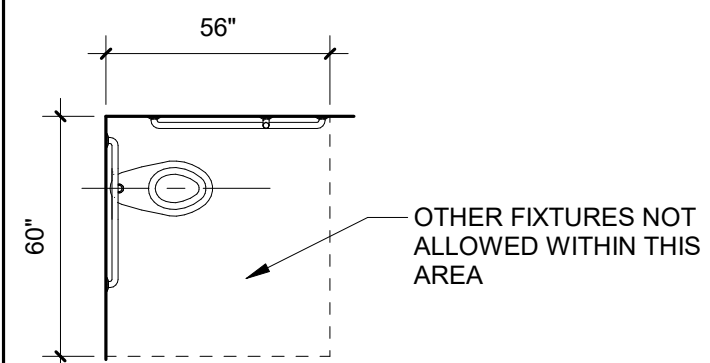
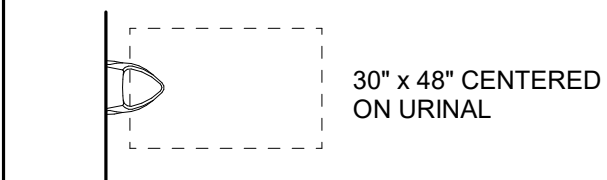
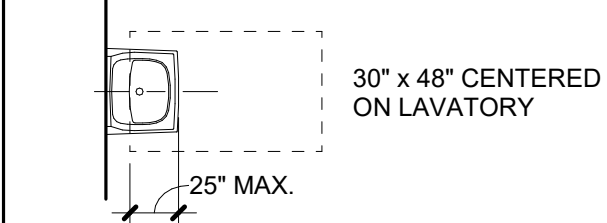


FIG. 604.3 SIZE OF CLEARANCE FOR WATER CLOSET



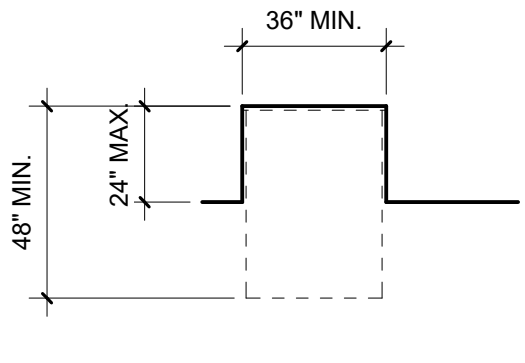
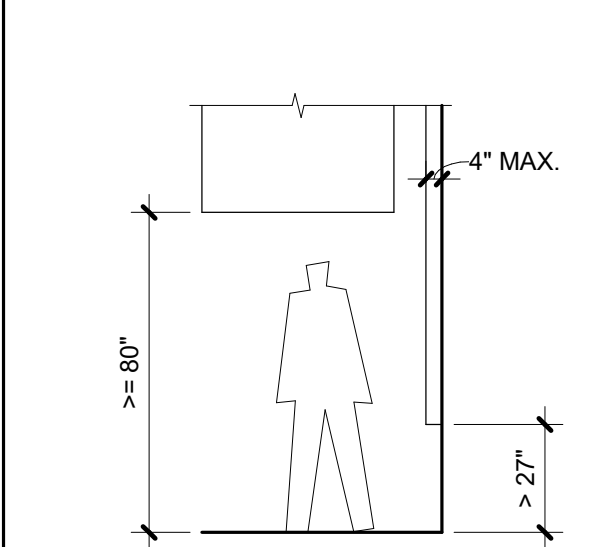
605.3 SIZE OF CLEARANCE FOR URINAL



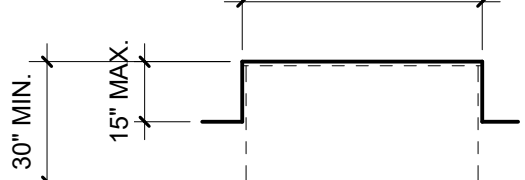
SIZE OF CLEARANCE FOR LAVATORY

## PROTRUDING OBJECTS

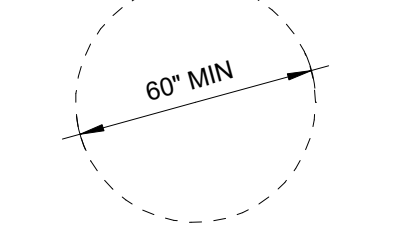
PER ICC A117.1-2009 FIG. 307.2



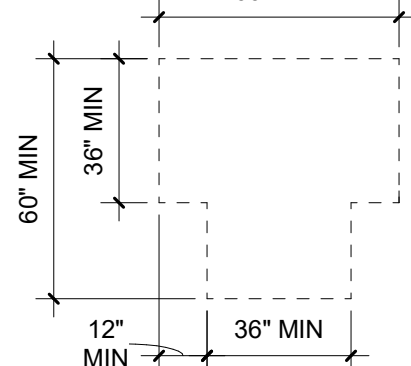
ALCOVE: FORWARD APPROACH



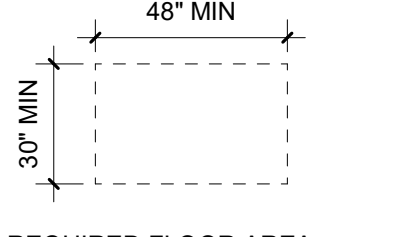
ALCOVE: PARALLEL APPROACH



TURNING SPACE: CIRCULAR



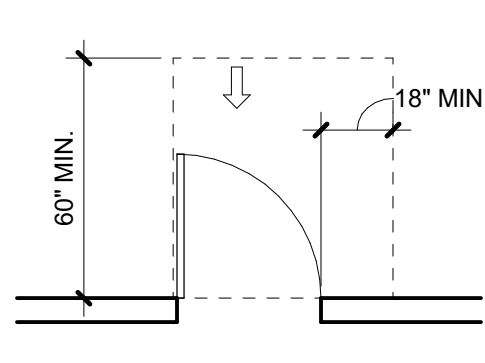
TURNING SPACE: T-SHAPED



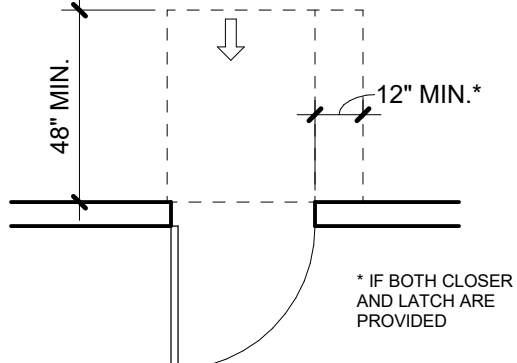
REQUIRED FLOOR AREA

## MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

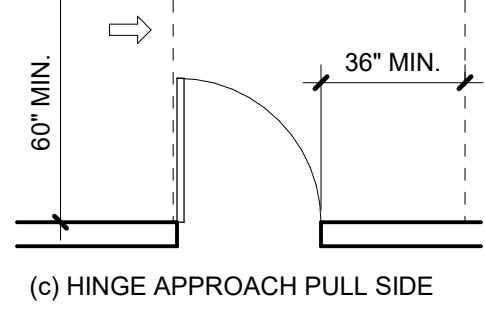
PER ICC A117.1-2009, FIG. 404.2.3.2



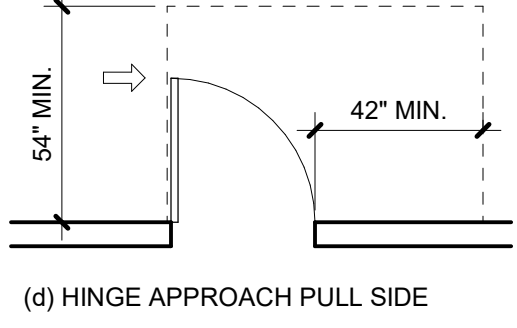
(a) FRONT APPROACH PULL SIDE



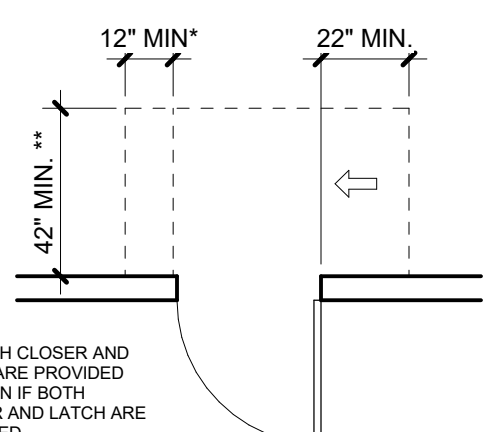
(b) FRONT APPROACH PUSH SIDE



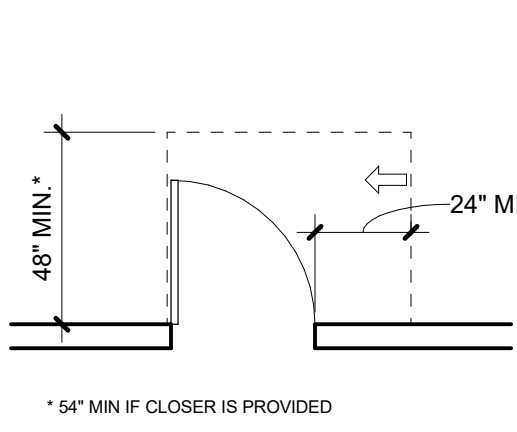
(c) HINGE APPROACH PULL SIDE



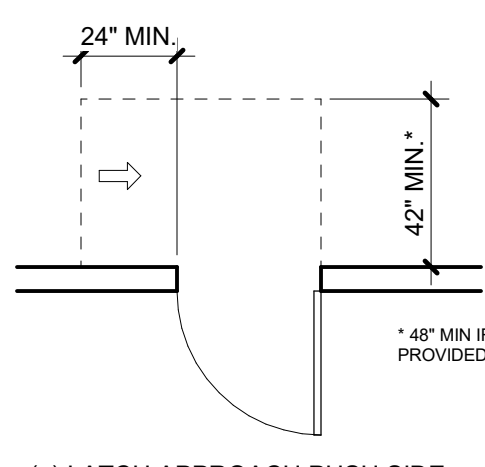
(d) HINGE APPROACH PULL SIDE



(e) HINGE APPROACH PUSH SIDE

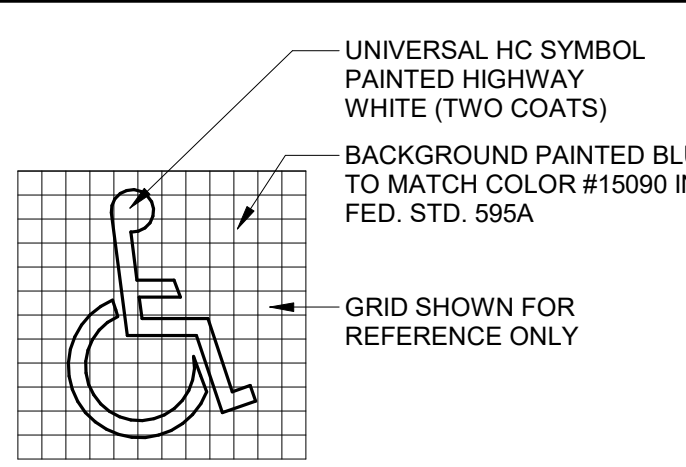


(f) LATCH APPROACH PULL SIDE



(g) LATCH APPROACH PUSH SIDE

- A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.
- B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.



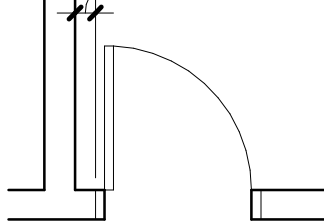
## ABBREVIATIONS

#	POUND OR NUMBER	GA	GAUGE	R	RADIUS OR RISER
@	AT	GLV	GALVANIZED	RA	RETURN AIR
CL	CENTERLINE	GC	GENERAL CONTRACTOR	RB	RESILIENT BASE
L	ANGLE	GI	GALVANIZED IRON	RD	ROOF DRAIN
ø	DIAMETER OR ROUND	GL	GLULAM	REC	RECOMMENDATION
AB	ANCHOR BOLT	GND	GROUND	REF	REFERENCE
AC	ASPHALTIC CONCRETE	GR	GRADE	REFR	REFRIGERATOR
ACT	ACUSTIC CEILING TILE	GWB	GYPSUM BOARD	REIN	REINFORCE(MENT)
AD	AREA DRAIN	GYP	GYPSUM	REQ'D	REQUIRED
ADJ	ADJUSTABLE	GYP BD	GYPSUM BOARD	RESIL	RESILIENT
AF	ABOVE FINISH FLOOR			REV	REVISIONS
AFG	ABOVE FINISH GRADE	HB	HOSE BIB	RF	RESILIENT FLOOR
ALT	ALTERNATE	HC	HOLLOW CORE	RH	RIGHT HAND
ALUM	ALUMINUM	HDR	HEADER	RM	ROOM
ANOD	ANODIZED	HDWD	HARDWOOD	RO	ROUGH OPENING
APPROX	APPROXIMATE / APPROXIMATELY	HDWR	HARDWARE	ROW	RIGHT OF WAY
ARCH	ARCHITECTURAL / ARCHITECT	HM	HOLLOW METAL	RWL	RAIN WATER LEADER
ASPH	ASPHALT	HNDCP	HANDICAP		
		HORIZ	HORIZONTAL	S	SOUTH
		HP	HORSE POWER	SA	SUPPLY AIR
		HPL	HIGH PRESSURE LAMINATE	SAM	SELF ADHERED MEMBRANE
		HR	HOUR	SC	SOLID CORE
BC	BOTTOM OF CURB	HSS	HOLLOW STRUCTURAL STEEL	SCHED	SCHEDULE
BD	BOARD	HT	HEIGHT	SEC	SECTION
BTUM	BUTYUMOUS	HVAC	HEATING VENTILATING AIR	SF	SQUARE FOOT
BLDG	BUILDING		CONDITIONING	SHT	SHEET
BLK	BLOCK	HW	HOT WATER	SHTHG	SHEATHING
BLKG	BLOCKING			SHWR	SHOWER
BLW	BELOW	ID	INSIDE DIAMETER	SIM	SIMILAR
BO	BOTTOM OF	IE	INVERT ELEVATION	SMT	SHEET METAL
BOT	BOTTOM	IN	INCHES	SP	SOLID PIPE
BRG	BEARING	INSUL	INSULATION	SPEC	SPECIFICATIONS
BTWN	BETWEEN	INT	INTERIOR	SPK	SPEAKER
BUR	BUILT UP ROOF			SQ	SQUARE
		JB	JUNCTION BOX	SS	STAINLESS STEEL
CAB	CABINET	JH	JOIST HANGER	SSK	SERVICE SINK
CB	CATCH BASIN	JST	JOIST	SSM	SOLID SURFACE MATERIAL
CFM	CUBIC FEET PER MINUTE	JT	JOINT	STA	STATION
CI	CAST IRON			STD	STANDARD
CIP	CAST IN PLACE	KD	KILN DRIED	STL	STEEL
CJ	CONTROL JOINT	KIT	KITCHEN	STN	STAIN
CL	CENTERLINE	KW	KILOWATT	STR	STRUCTURAL
CLG	CEILING	LAM	LAMINATED	STRUCT	STRUCTURAL
CLR	CLEAR	LAV	LAVATORY	SUSP	SUSPENDED
CMU	CONCRETE MASONRY UNIT	LB	LEADER BOX	SYM	SYMMETRICAL
CO	CLEAN OUT	LH	LEFT HAND		
CO	CLEAN OUT	LKR	LOCKER	T	TREAD OR TILE
COL	COLUMN	LT	LIGHT	T&G	TONGUE AND GROOVE
CONC	CONCRETE	LTWT	LIGHTWEIGHT	TM	TO MATCH
CONN	CONNECTION	MAT	MATERIAL	TC	TOP OF CURB
CONT	CONTINUOUS	MAX	MAXIMUM	TEL	TELEPHONE
CPT	CARPET	MB	MACHINE BOLT	TEMP	TEMPERATURE
CSMT	CASEMENT	MC	MEDICINE CABINET	TER	TERRAZZO
CT	CERAMIC TILE	MECH	MECHANICAL	THK	THICK / THICKNESS
CTSK	COUNTERSINK	MFR	MANUFACTURER	TJ	TOOL JOINT
CW	COLD WATER	MH	MANHOLE	TLT	TOILET
CWD	CLAD WOOD	MIN	MINIMUM	TO	TOP OF
		MIR	MIRROR	TOC	TOP OF CONCRETE
		MISC	MISCELLANEOUS	TOP	TOP OF PARAPET
		MO	MASONRY OPENING	TOS	TOP OF STEEL
		MRGWB	MOISTURE RESISTANT GWB	TOSF	TOP OF SUB-FLOOR
		MTD	MOUNTED	TOW	TOP OF WALL
		MTL	METAL	TP	TOP
		MULL	MULLION	TS	TUBE STEEL
				TV	TELEVISION
				TYP	TYPICAL
DBL	DOUBLE	(N)	NEW	UL	UNDERWRITER'S LABORATORY
DEG	DEGREE	N	NORTH	UNF	UNFINISHED
DEPT	DEPARTMENT	NIC	NOT IN CONCRACT	UNO	UNLESS NOTED OTHERWISE
DET	DETAIL	NO	NUMBER	UR	URINAL
DF	DOUGLAS FIR	NOM	NOMINAL		
DH	DOUBLE HUNG	NTS	NOT TO SCALE		
DIA	DIAMETER			VB	VAPOR BARRIER
DIAG	DIAGONAL	OBS	OBSOLETE	VCT	VINYL COMPOSITION TILE
DIM	DIMENSION	OC	ON CENTER	VERT	VERTICAL
DISP	GARBAGE DISPOSAL	OD	OUTSIDE DIAMETER	VFY	VERIFY
DN	DOWN	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	VG	VERTICAL GRAIN
DO	DOOR OPENING	OFOI	OWNER FURNISHED OWNER INSTALLED	VIF	VERIFY IN FIELD
DP	DAMP PROOF	OPNG	OPENING	VP	VENT PIPE
DR	DOOR	OPP	OPPOSITE	VR	VAPOR RETARDER
DS	DOWNSPOUT	OTS	OPEN TO STRUCTURE		
DSP	DRY STANDPIPE	P	PANTRY	W	WEST
DTL	DETAIL	PC	PRECAST	W	WATT
DW	DISHWASHER	PIP	POURED IN PLACE	W/	WITH
DWG	DRAWING	PL	PLATE OR PROPERTY LINE	W/O	WITHOUT
DWR	DRAWER	PLAM	PLASTIC LAMINATE	WC	WATER CLOSET
		PLAS	PLASTIC	WD	WOOD
		PLYWD	PLYWOOD	WDW	WINDOW
		PNT	PAINT	WF	WIDE FLANGE
FA	FIRE ALARM	PSF	POUNDS PER SQUARE FOOT	WI	WROUGHT IRON
FC	FIBER CEMENT	PSI	POUNDS PER SQUARE INCH	WO	WHERE OCCURS
FD	FLOOR DRAIN	PT	PRESSURE TREATED	WP	WATERPROOF
FDN	FOUNDATION	PTD	PAINTED	WR	WATER RESISTANT
FE	FIRE EXTINGUISHER	PVC	POLYVINYL CHLORIDE	WRB	WEATHER RESISTANT BARRIER
FEC	FIRE EXTINGUISHER CABINET	QT	QUARRY TILE	WSCOT	WAINSCOT
FG	FIBERGLASS			WT	WEIGHT
FIN	FINISH			WWF	WELODED WIRE FABRIC
FLASH	FLASHING				
FLR	FLOOR				
FLUOR	FLOURESCENT				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOS	FACE OF STUD				
FRP	FIBERGLASS REINFORCED PLASTIC				
FRT	FIRE RETARDANT TREATED				
FRZ	FREEZER				
FT	FOOT / FEET				
FTG	FOOTING				
FURR	FURRING				
FUT	FUTURE				

## DIMENSIONS

- A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.
- B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EO" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.
- C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.
- D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.
- E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.
- F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.

4 1/2" TYP.

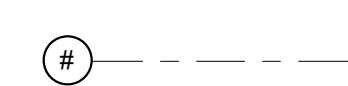


## GRAPHIC SYMBOLS

NORTH ARROW



GRID LINE



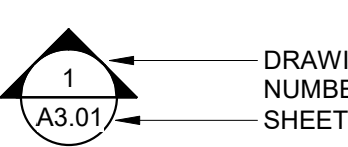
VERTICAL DATUM



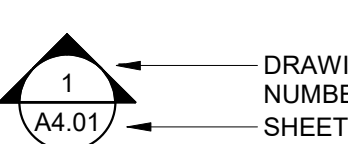
ROOM NAME AND NUMBER



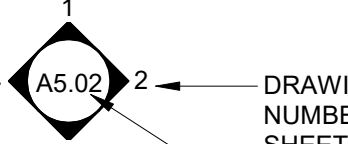
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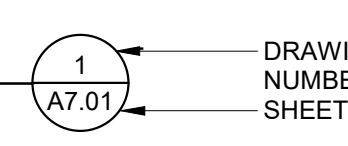
BUILDING SECTION / WALL SECTION



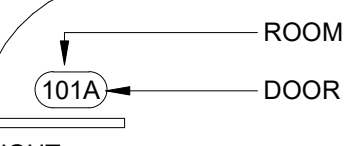
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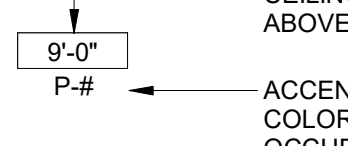
DETAIL CALLOUT



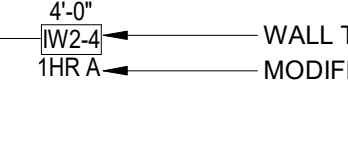
DOOR NUMBER



CEILING HEIGHT



WALL / ASSEMBLY TYPE



FLOOR / FLOOR-CEILING ASSEMBLY (F-#)

CEILING ASSEMBLY (C-#)

ROOF / ROOF-CEILING ASSEMBLY (R-#)

ASSEMBLY CATEGORY

ASSEMBLY NUMBER

WINDOW TYPE



ACCESSORY / EQUIPMENT TYPE



CASEWORK TYPE



MATERIAL / FINISH



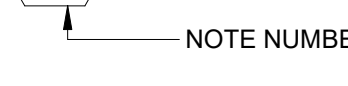
SPOT ELEVATION



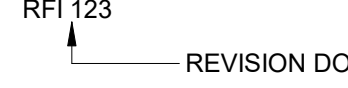
KEYNOTE



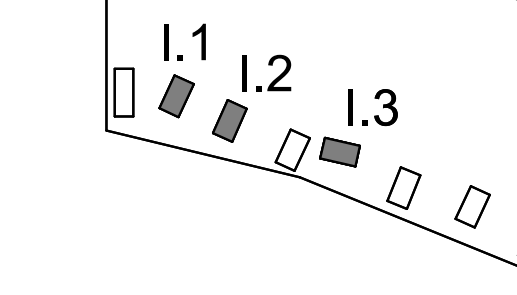
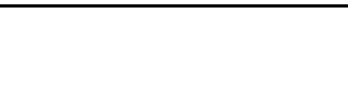
REVISION



REVISION



REVISION



KEY PLAN

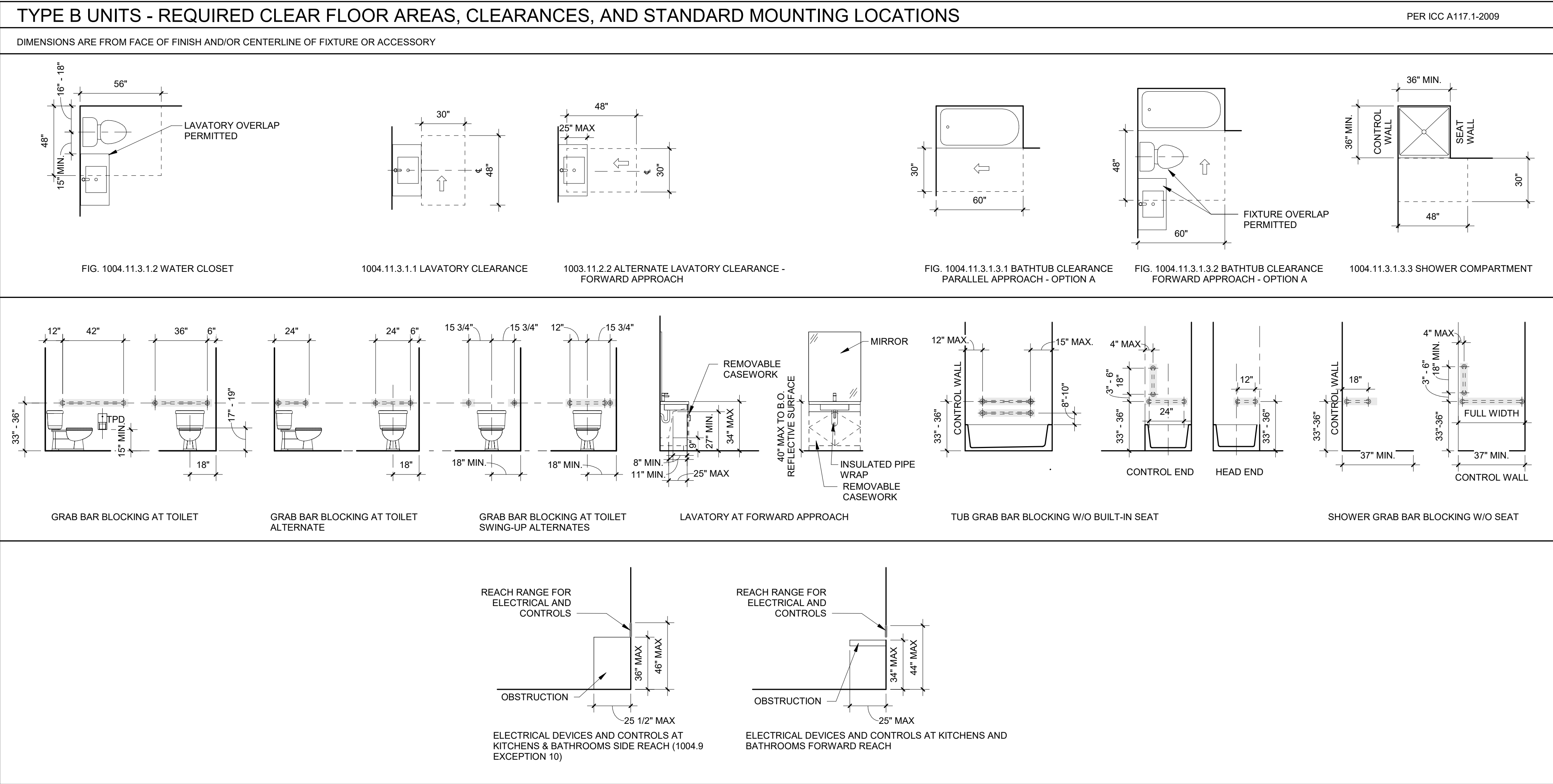
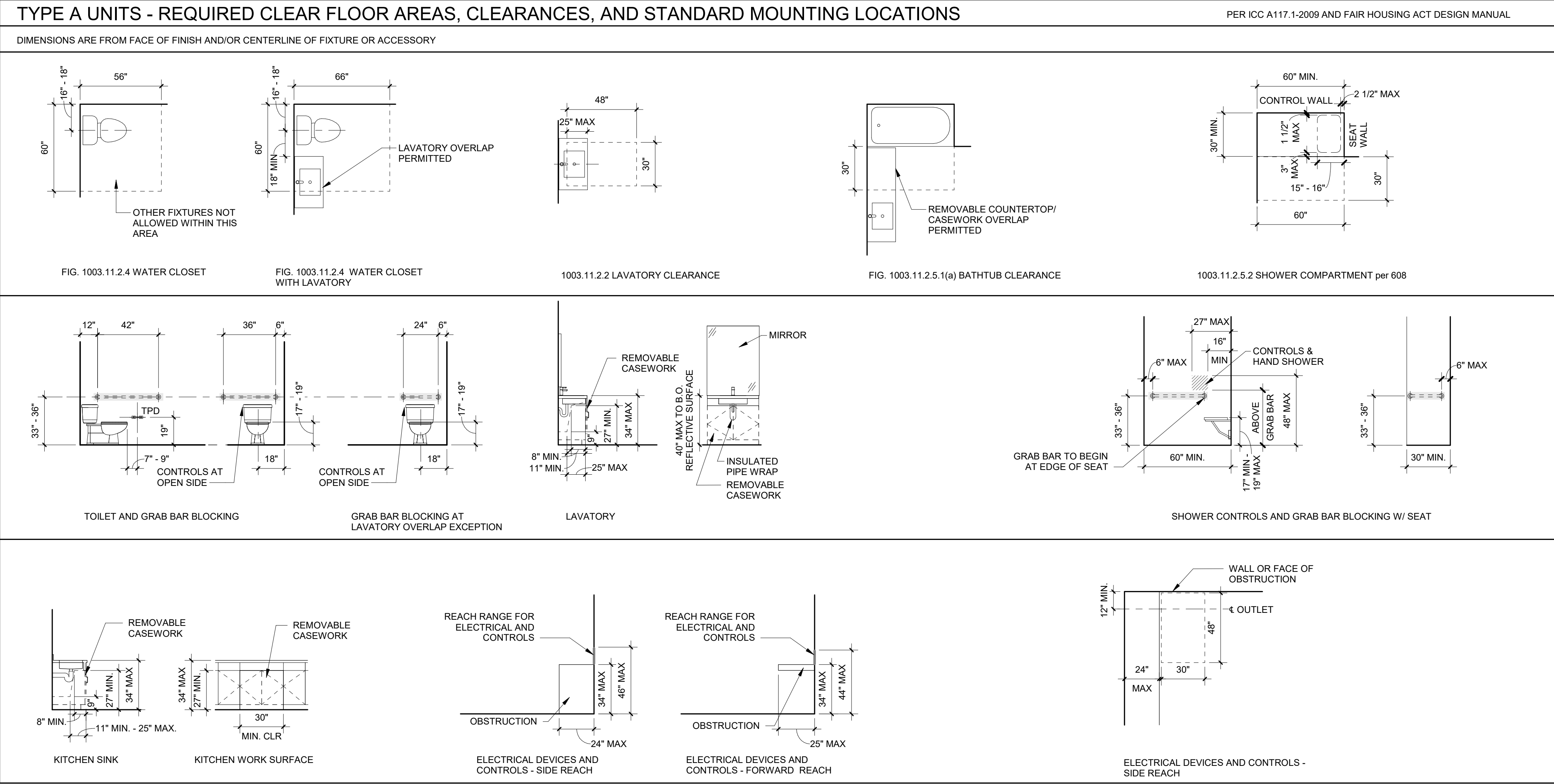
## CDP SALEM - PHASE 2 BUILDING I

Job Number: 22047

PARCEL 3 & PARCEL 4 BATTLE CREEK SE SALEM, OR

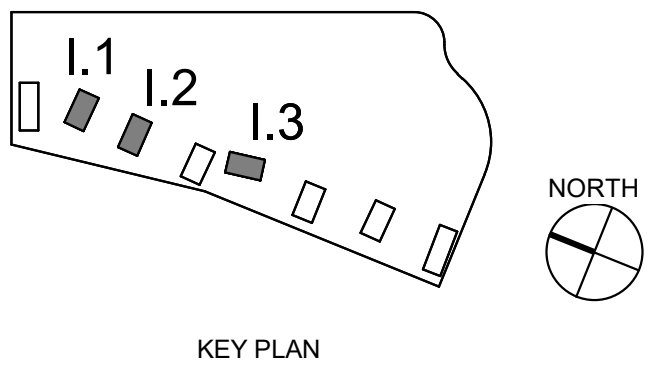
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THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



NOT FOR CONSTRUCTION

CDP SALEM - PHASE 2 BUILDING I  
Job Number: 22047  
PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

FILE PATH: C:\Revit\_Local\22047\_CDP Salem Gateway Phase II\_Walk Up Building\_L\_22\_inclibertsonPX8RT.rvt

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GA	WP 3520									
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STC	50-54									
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GA	WP 3520									
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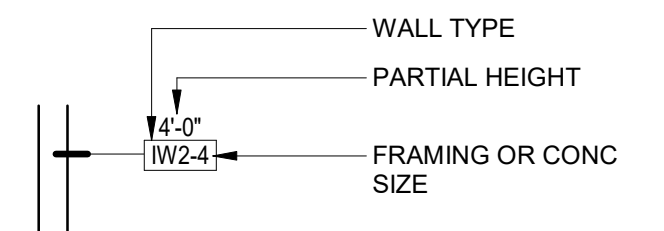
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CONSTRUCTION

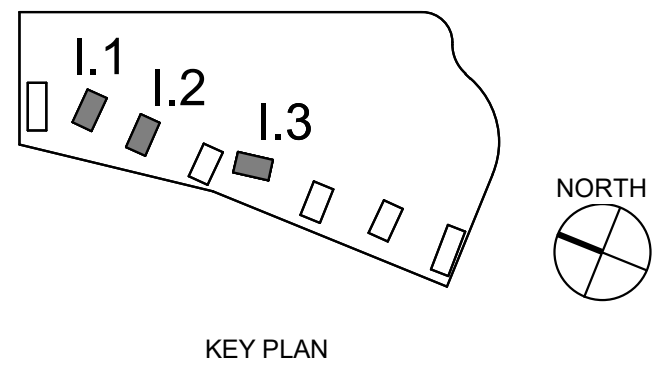
CDP SALEM -  
PHASE 2  
BUILDING I

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



GENERAL SHEET NOTES	
<p>A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.</p> <p>B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.</p> <p>C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.</p> <p>D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.</p> <p>E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.</p> <p>F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURAL FRAMING ABOVE UNLESS NOTED OTHERWISE.</p> <p>G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.</p> <p>H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.</p> <p>I. WHERE ACOUSTIC WALL IS INDICATED, SEE ASSEMBLY SHEET FOR ASSEMBLY DETAILS.</p>	
WALL TYPE SYMBOL	
	
WOOD FRAMING SIZES	
<p>0 = MTL FURRING, 7/8" OR AS INDICATED</p> <p>4 = 2" x 4"</p> <p>6 = 2" x 6"</p> <p>8 = 2" x 8"</p>	
ABBREVIATIONS	
<p>GA GYPSUM ASSOCIATION</p>	



NOT FOR  
CONSTRUCTION

**CDP SALEM -  
PHASE 2  
BUILDING I**

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

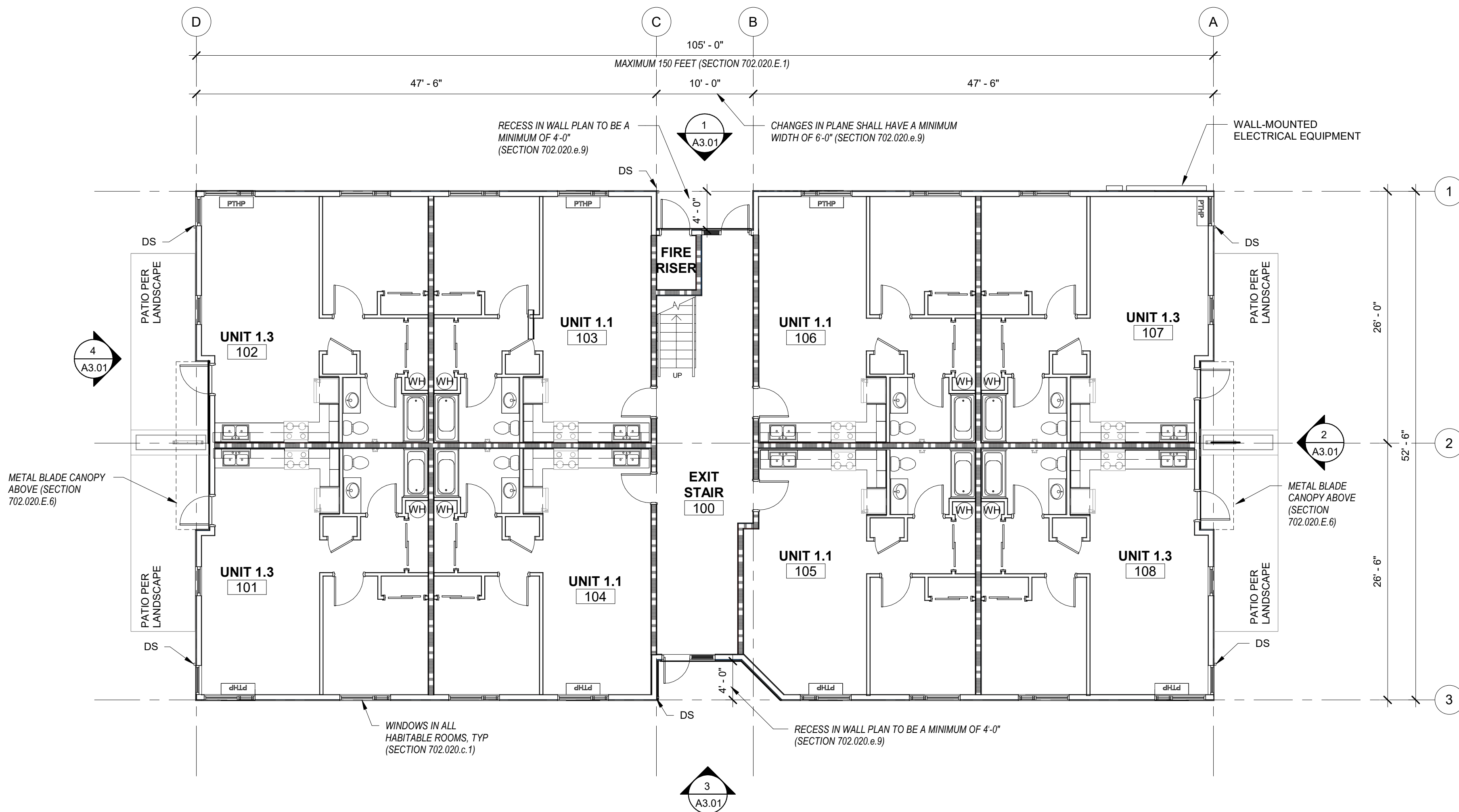


#### GENERAL SHEET NOTES

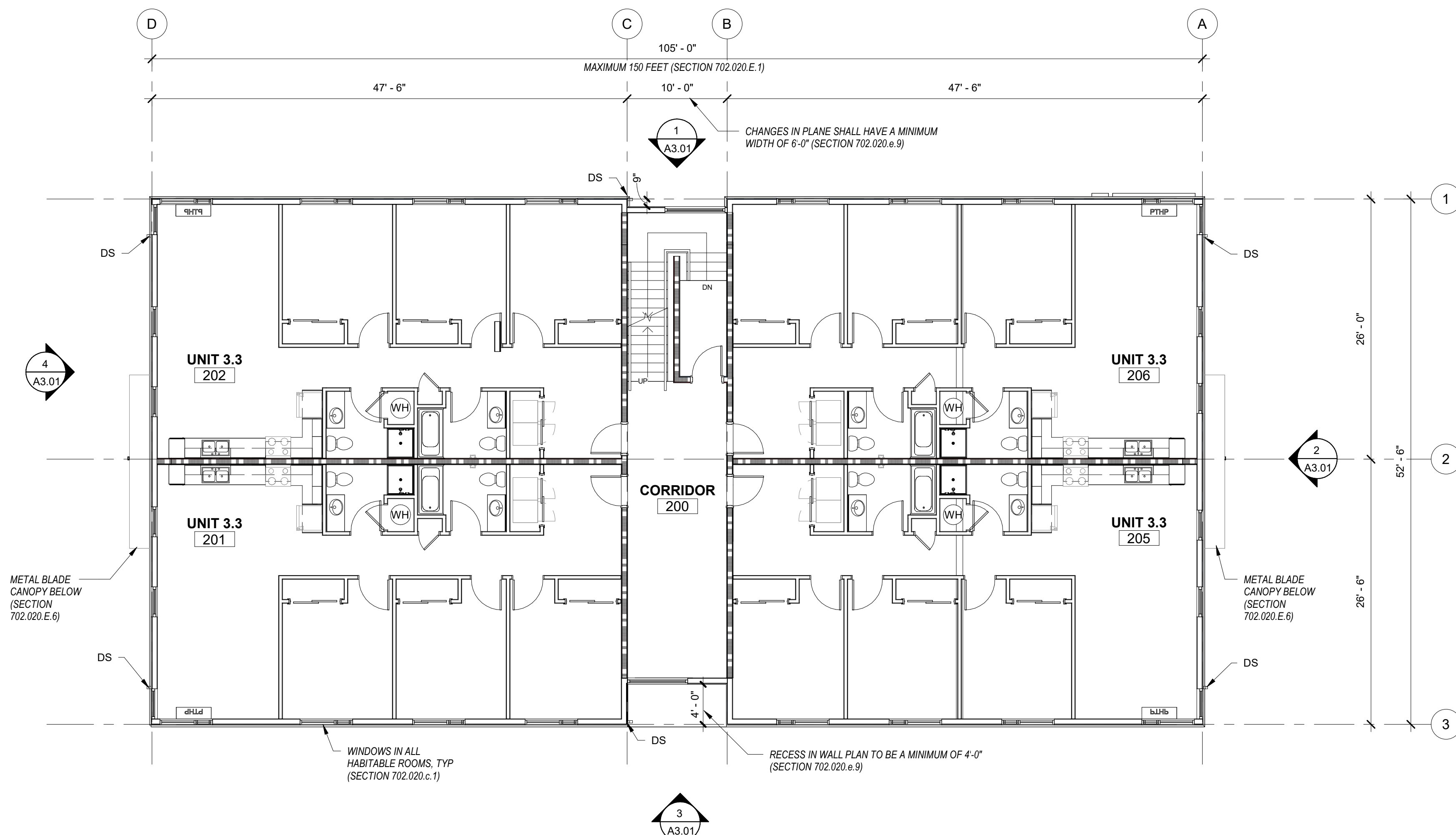
- WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN UNO
- ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING UNO ALL INTERIOR GRID LINES ARE TO FACE OF STUD UNO
- ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OF OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES
- REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT FOR COMPATIBILITY WITH FLOOR FINISHES
- WIRE SHELVING IN ALL BEDROOM CLOSETS
- MEP INFORMATION PROVIDED FOR REFERENCE ONLY. SEE MEP DRAWINGS
- PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL GROUND FLOOR UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS
- FIRE EXTINGUISHER TO BE PLACED UNDER SINK IN ALL UNITS. SEE CODE DIAGRAMS FOR COMMON SPACES
- DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL
- UNIT DEMISING WALLS TYPE IW3-6, UNO
- UNIT INTERIOR WALLS TYPE IW1-4 UNO

#### LEGEND

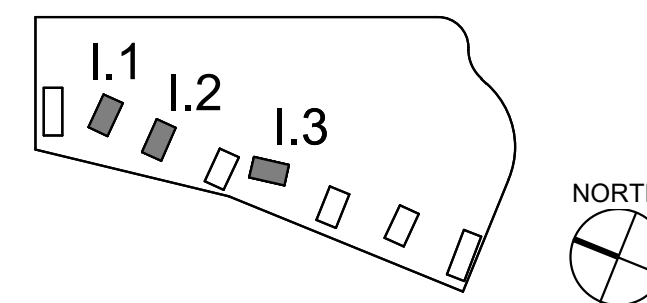
- REF A0.01 FOR GENERAL LEGENDS
- 1 HOUR RATED ASSEMBLY
  - .5 HOUR RATED ASSEMBLY
  - ELEMENT ABOVE
  - DS 2x3 FLAT STYPE DOWNSPOUT
  - FD FLOOR DRAIN
  - WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
  - WASHER DRYER UNIT NIC. PROVIDE CONNECTIONS
  - R-1 ASPHALT SHINGLE ROOF
  - RIDGE VENT, SEE ROOF VENTILATION DIAGRAM
  - ROOF INTAKE VENT, SEE ROOF VENTILATION DIAGRAM
  - PROVIDE (2) LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF PER MFR



1  
A2.11  
FIRST FLOOR PLAN  
1/8" = 1'-0"



2  
A2.11  
SECOND FLOOR PLAN  
1/8" = 1'-0"



KEY PLAN

LAND USE  
SUBMISSION  
ISSUE

08.08.22  
DATE

Drawing:

**FIRST FLOOR AND  
SECOND FLOOR  
PLANS**

Sheet No:

**A2.11**

NOT FOR  
CONSTRUCTION

CDP SALEM -  
PHASE 2  
BUILDING I

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

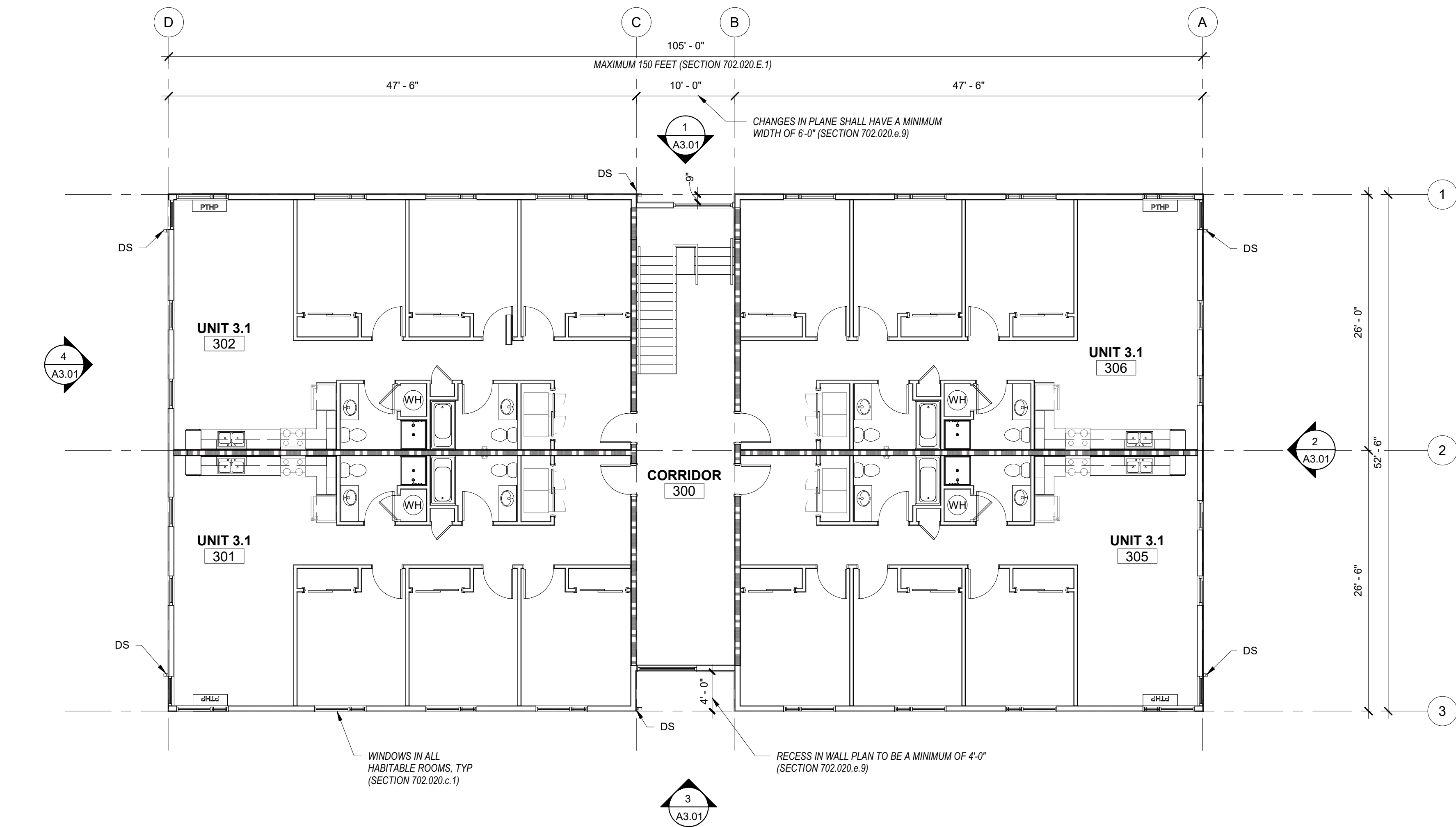


#### GENERAL SHEET NOTES

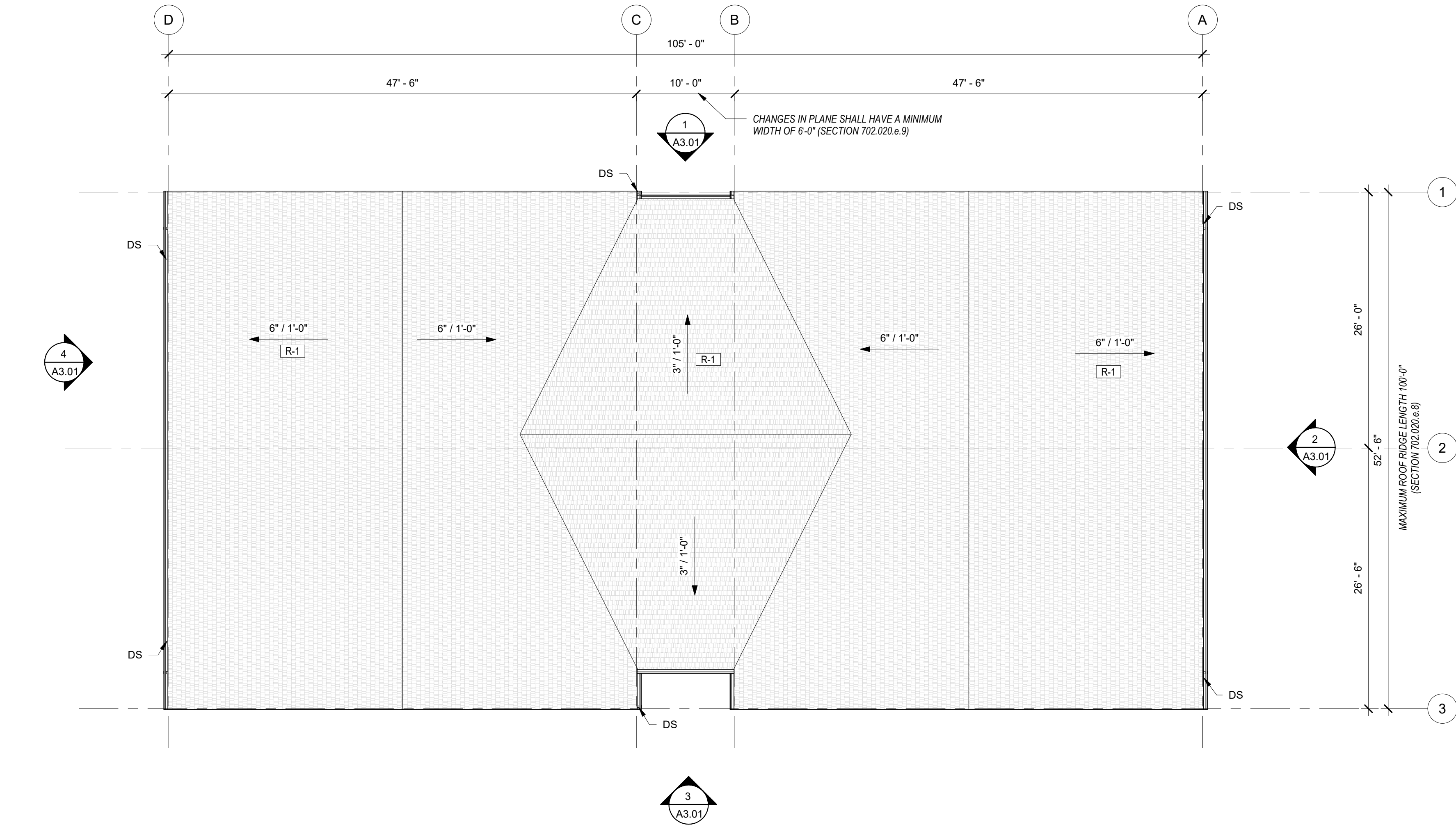
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#### LEGEND

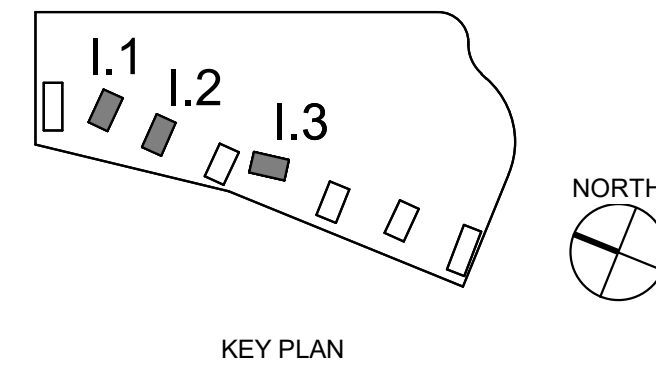
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  - .5 HOUR RATED ASSEMBLY
  - ELEMENT ABOVE
  - DS 2x3 FLAT STYPE DOWNSPOUT
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  - ROOF INTAKE VENT, SEE ROOF VENTILATION DIAGRAM
  - PROVIDE (2) LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF PER MFR



1 THIRD FLOOR PLAN  
A2.12 1/8" = 1'-0"



2 ROOF PLAN  
A2.12 1/8" = 1'-0"



LAND USE SUBMISSION ISSUE 08.08.22 DATE

Drawing:  
THIRD FLOOR AND  
ROOF PLAN

Sheet No:  
A2.12

NOT FOR  
CONSTRUCTION

CDP SALEM -  
PHASE 2  
BUILDING I

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

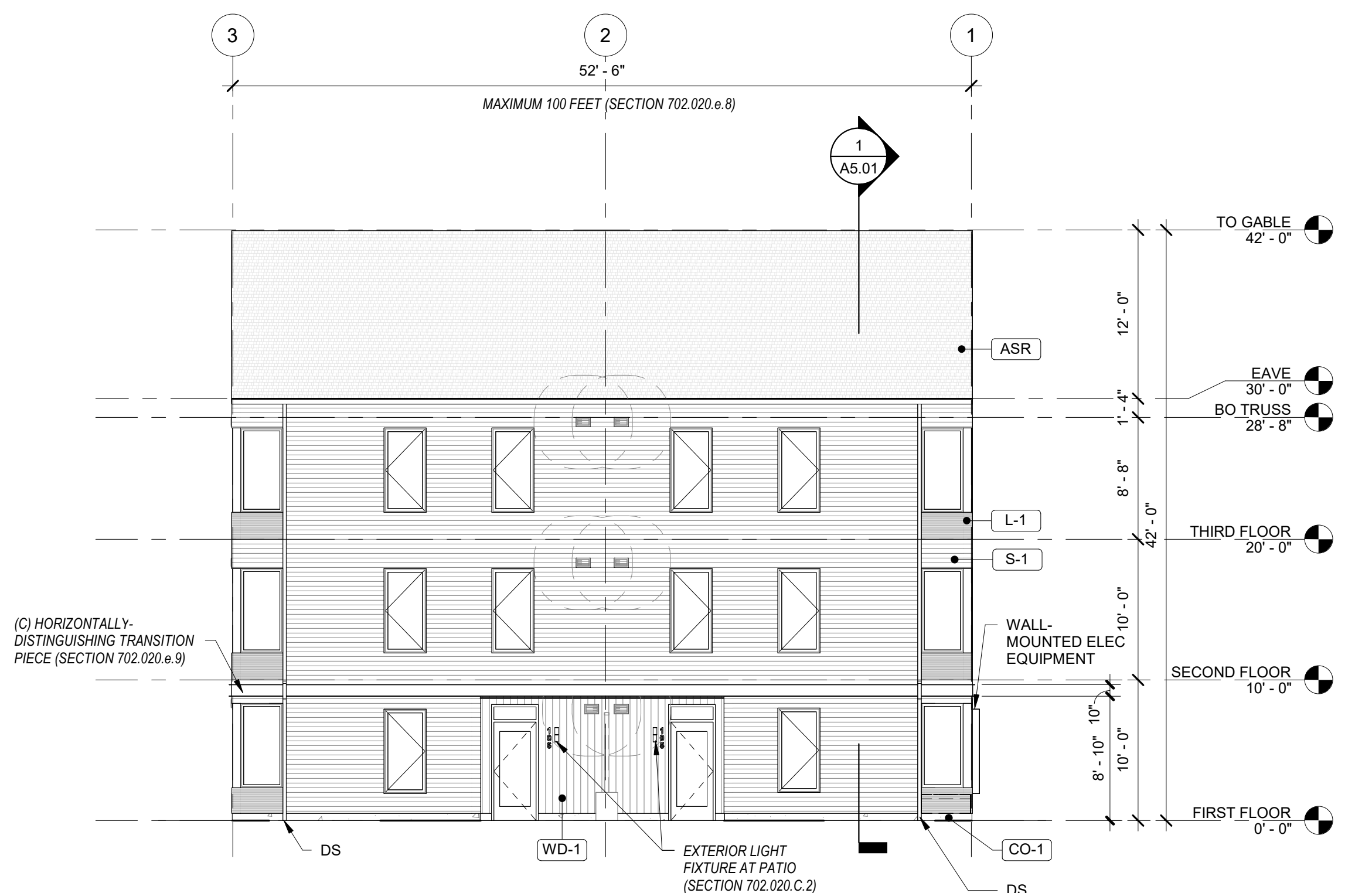


#### GENERAL SHEET NOTES

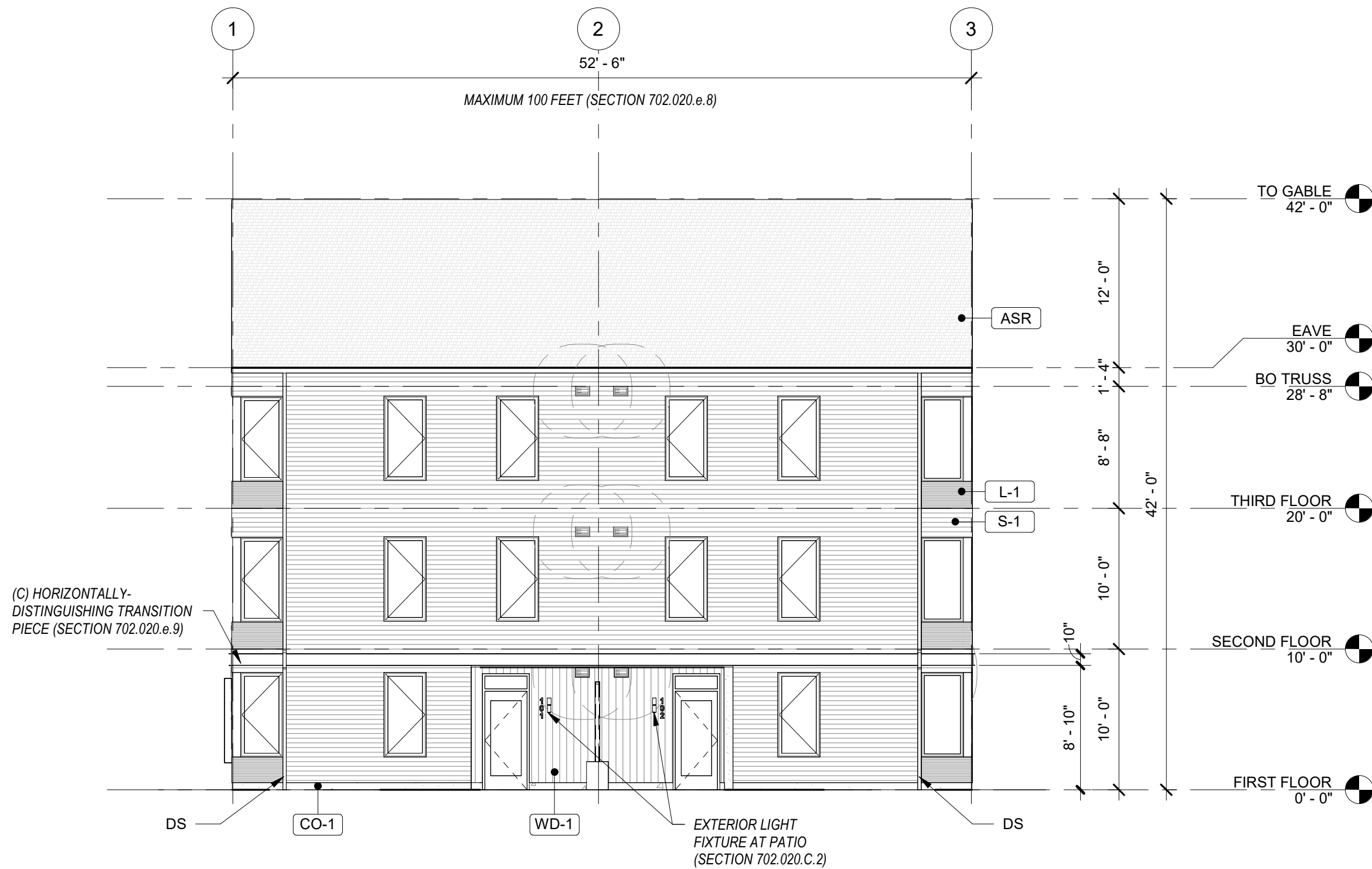
- REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
- REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
- CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
- ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
- PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
- PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
- TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

#### LEGEND

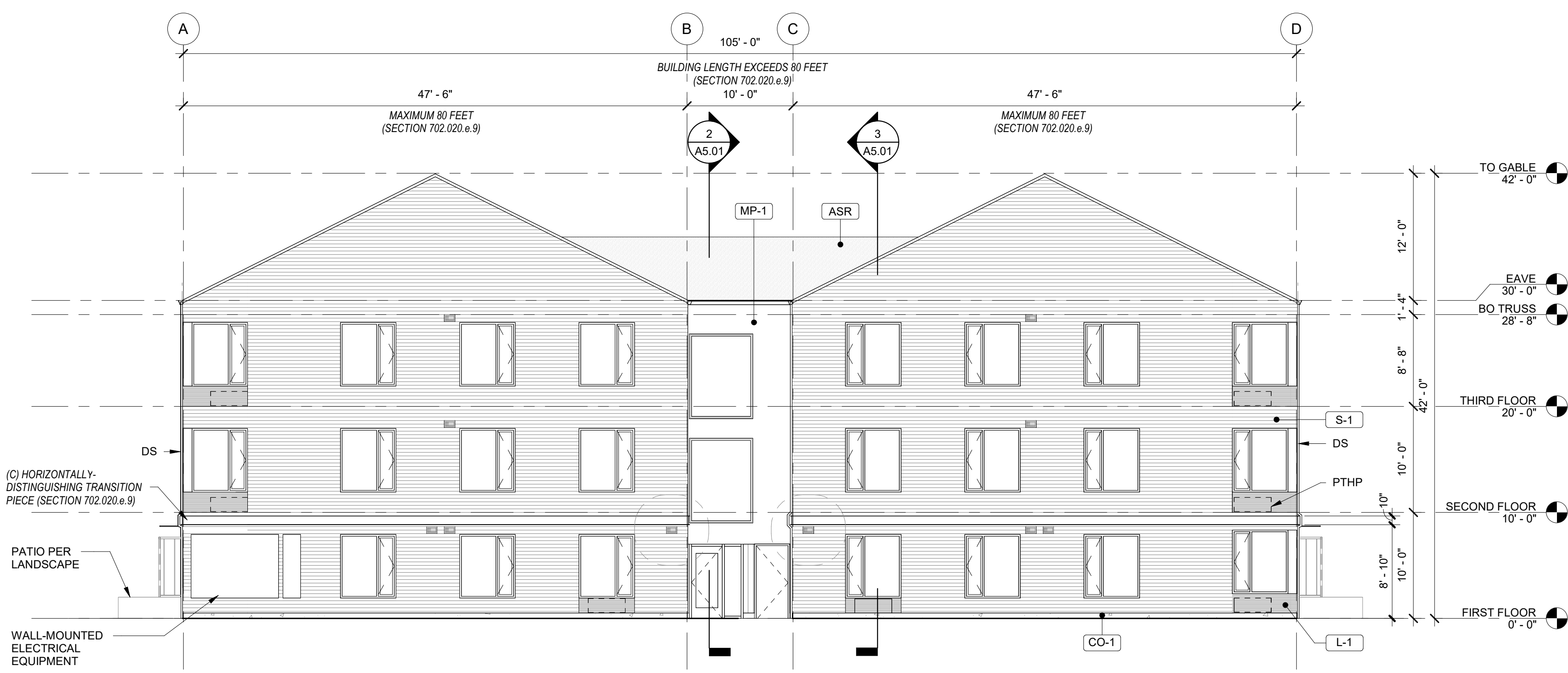
- |  |   |
|--|---|
|  | <b>LAP SIDING</b><br>PRODUCT: FIBER CEMENT PLANK<br>LAP SIDING<br>COLOR: TBD                        |
|  | <b>ASPHALT SHINGLE ROOF</b><br>PRODUCT: TBD<br>COLOR: TBD   |
|  | <b>VERTICAL WOOD SIDING</b><br>PRODUCT: TBD<br>FINISH: TBD  |
|  | <b>ARCHITECTURAL PTHP LOUVER</b><br>PRODUCT: TBD<br>COLOR: LAP SIDING MATCH                         |
|  | <b>CONCRETE STEM WALL</b>   |
|  | 3'-0" MIN<br>MECHANICAL EXHAUST<br>VENT, SEE MECHANICAL<br>DRAWINGS, PROVIDE 3'-0"<br>MIN CLEARANCE |
|  | MECHANICAL INTAKE VENT,<br>SEE MECHANICAL DRAWINGS  |
|  | PTHP (BEYOND)   |



2 BUILDING ELEVATION  
A3.01 1/8" = 1'-0"



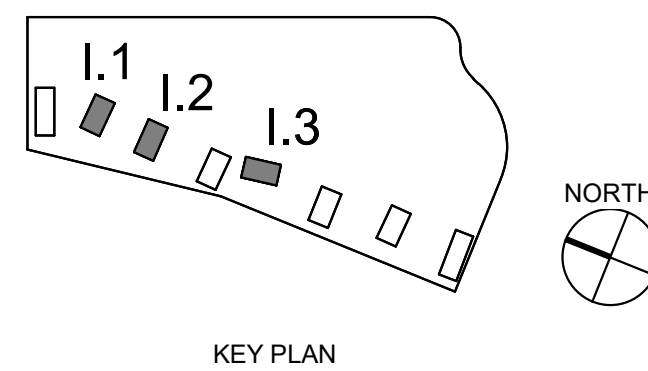
4 BUILDING ELEVATION  
A3.01 1/8" = 1'-0"



1 BUILDING ELEVATION  
A3.01 1/8" = 1'-0"



3 BUILDING ELEVATION  
A3.01 1/8" = 1'-0"



LAND USE  
SUBMISSION  
ISSUE

08.08.22  
DATE

Drawing:  
**EXTERIOR  
ELEVATIONS**

Sheet No:

**A3.01**

FILE PATH: C:\Revit\_Local\22047\_CDP Salem Gateway Phase II\_Walk Up Building  
L\_22\_inclutersonPX8RT.rvt



BUILDING FROM SALAL LOOKING NORTH



BUILDING FROM PARKING LOT

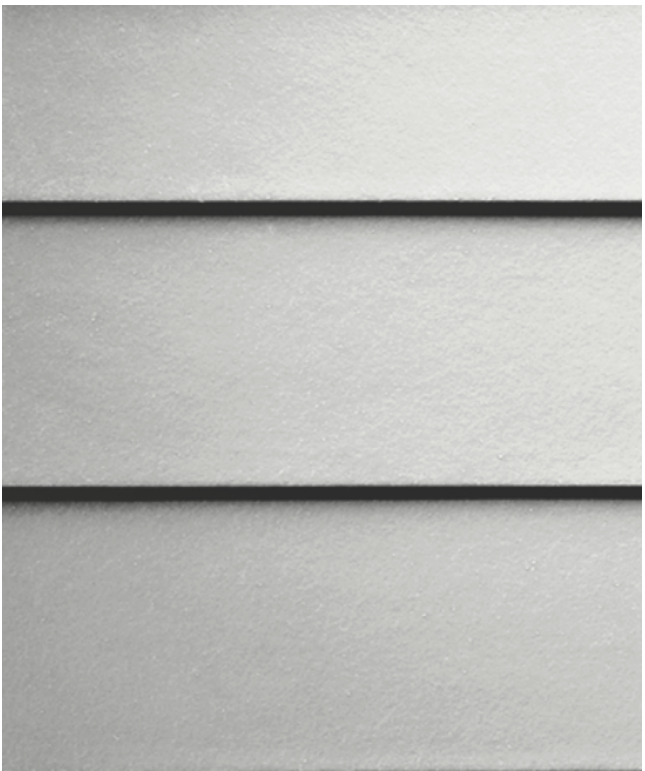


BUILDING PATIOS

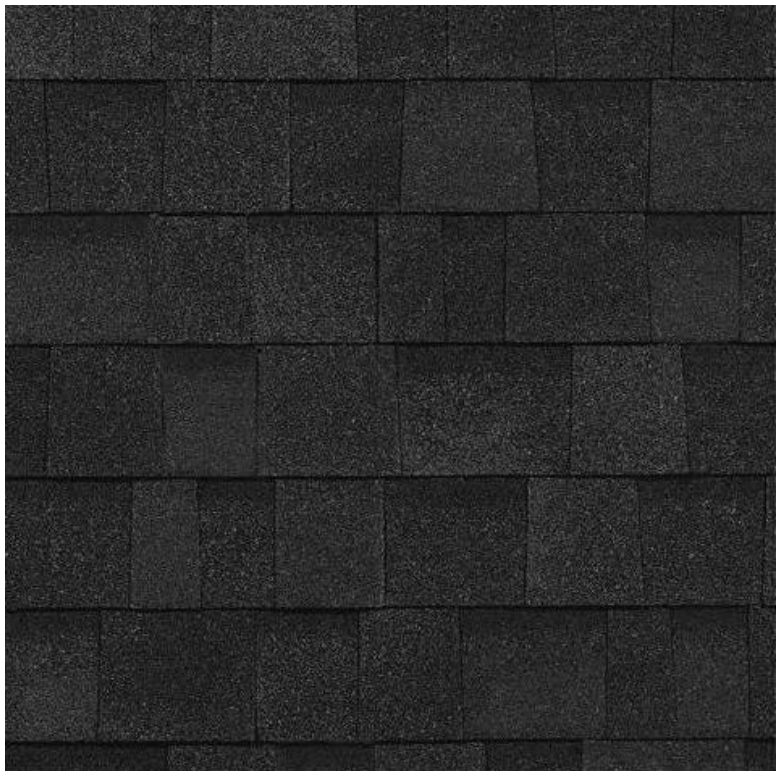
MATERIALS



**VERTICAL WOOD SIDING**  
PRODUCT: T&G SIDING, 1x6  
WESTERN RED CEDAR  
FINISH: TRANSPARENT



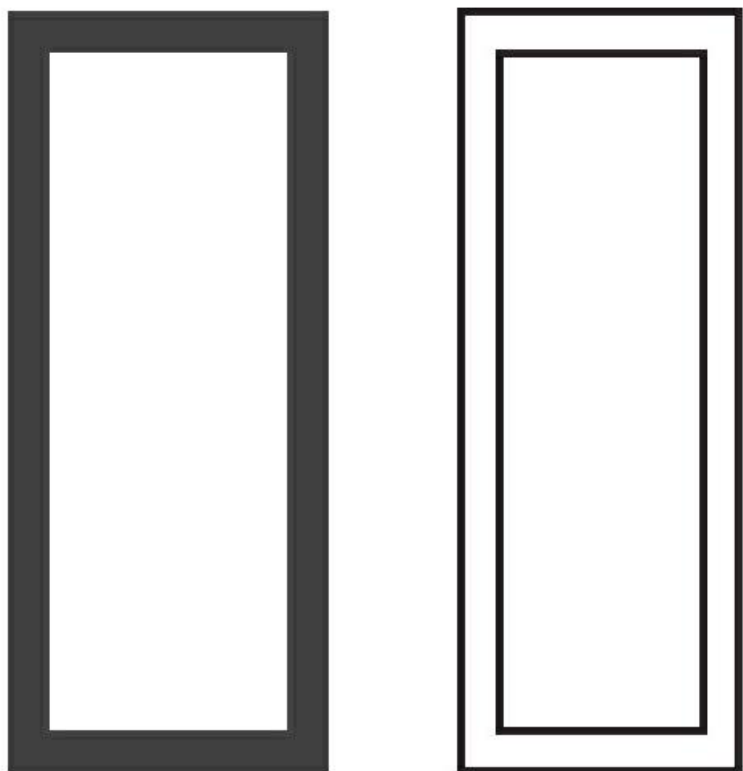
**LAP SIDING**  
PRODUCT: FIBER CEMENT  
PLANK LAP SIDING,  
STRAIGHT EDGE PANEL  
FINISH: PAINT, DARK



**ASPHALT SHINGLE ROOF**  
PRODUCT: THREE-TAB-STRIP  
ASPHALT SHINGLES  
FINISH: DARK



**FLAT METAL PANEL**  
PRODUCT: TBD  
FINISH: DARK

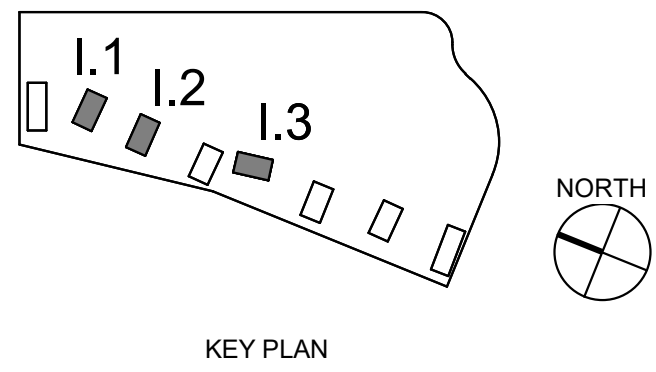


**VINYL WINDOWS**  
PRODUCT: TBD  
FINISH: BLACK & WHITE

\* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.

NOT FOR  
CONSTRUCTION

**CDP SALEM -  
PHASE 2  
BUILDING I**  
Job Number: 22047  
PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



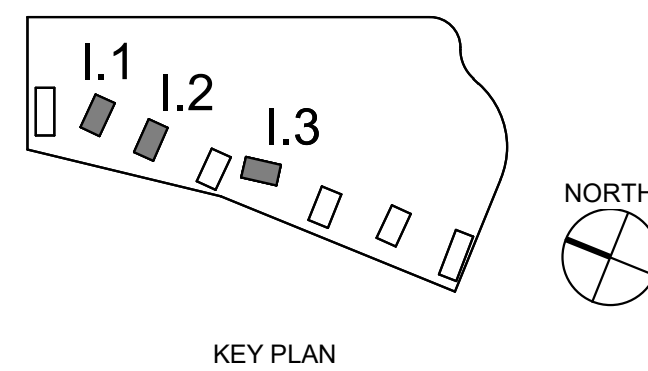
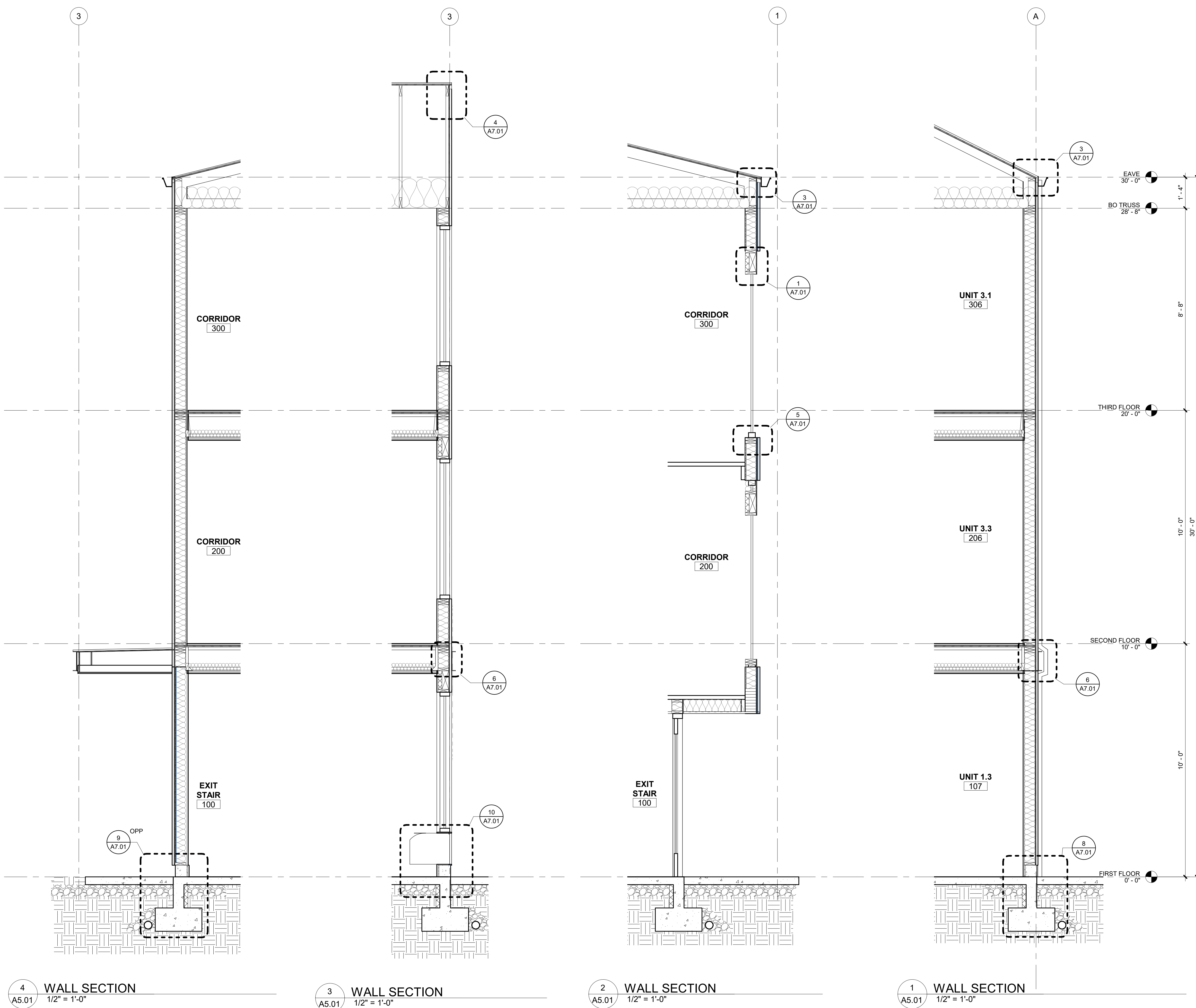
THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK  
OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

NOT FOR  
CONSTRUCTION

**CDP SALEM -  
PHASE 2  
BUILDING I**

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



LAND USE SUBMISSION ISSUE 08.08.22 DATE

Drawing: WALL SECTIONS

Sheet No: A5.01

FILE PATH: C:\Revit\_Local\22047\_CDP Salem Gateway Phase II\_Walk Up Building\_L\_22\_inclbertsonPX&RT.rvt

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NOT FOR  
CONSTRUCTION

CDP SALEM -  
PHASE 2 -  
BUILDING I

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

C  
D  
P

Community  
Development  
Partners

LAND USE  
SUBMISSION 08.08.22

ISSUE DATE

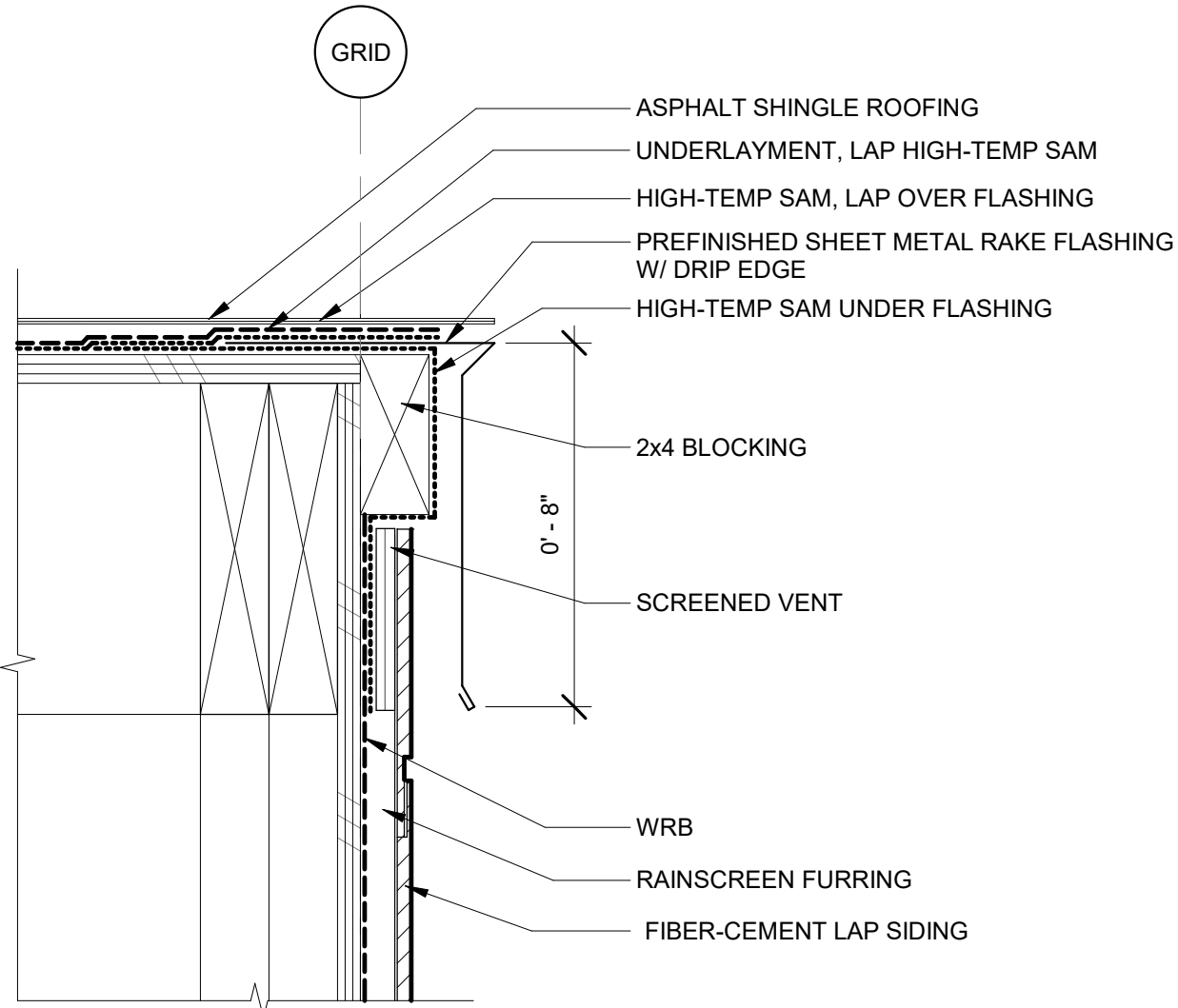
Drawing:  
EXTERIOR DETAILS

Sheet No:

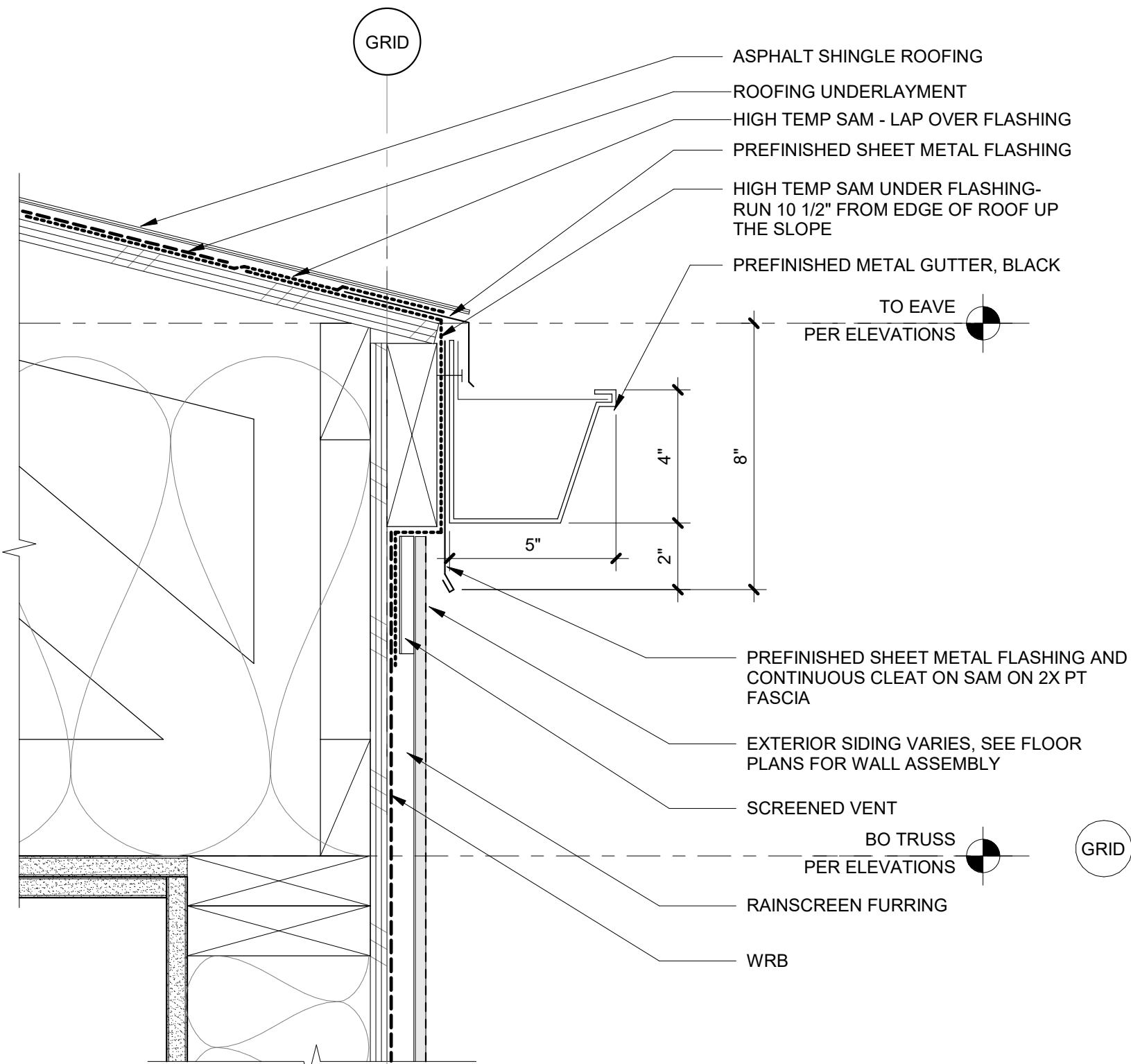
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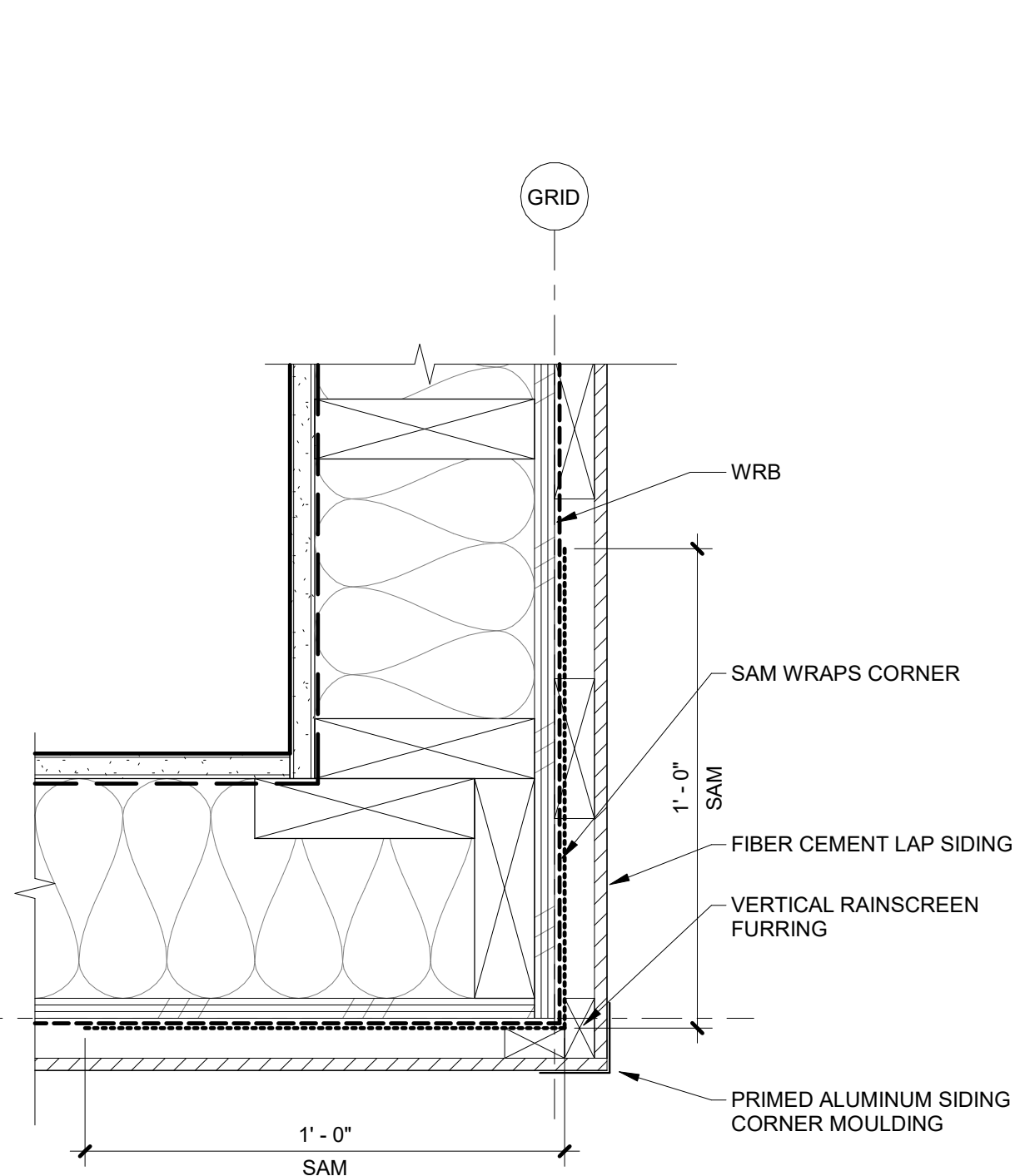
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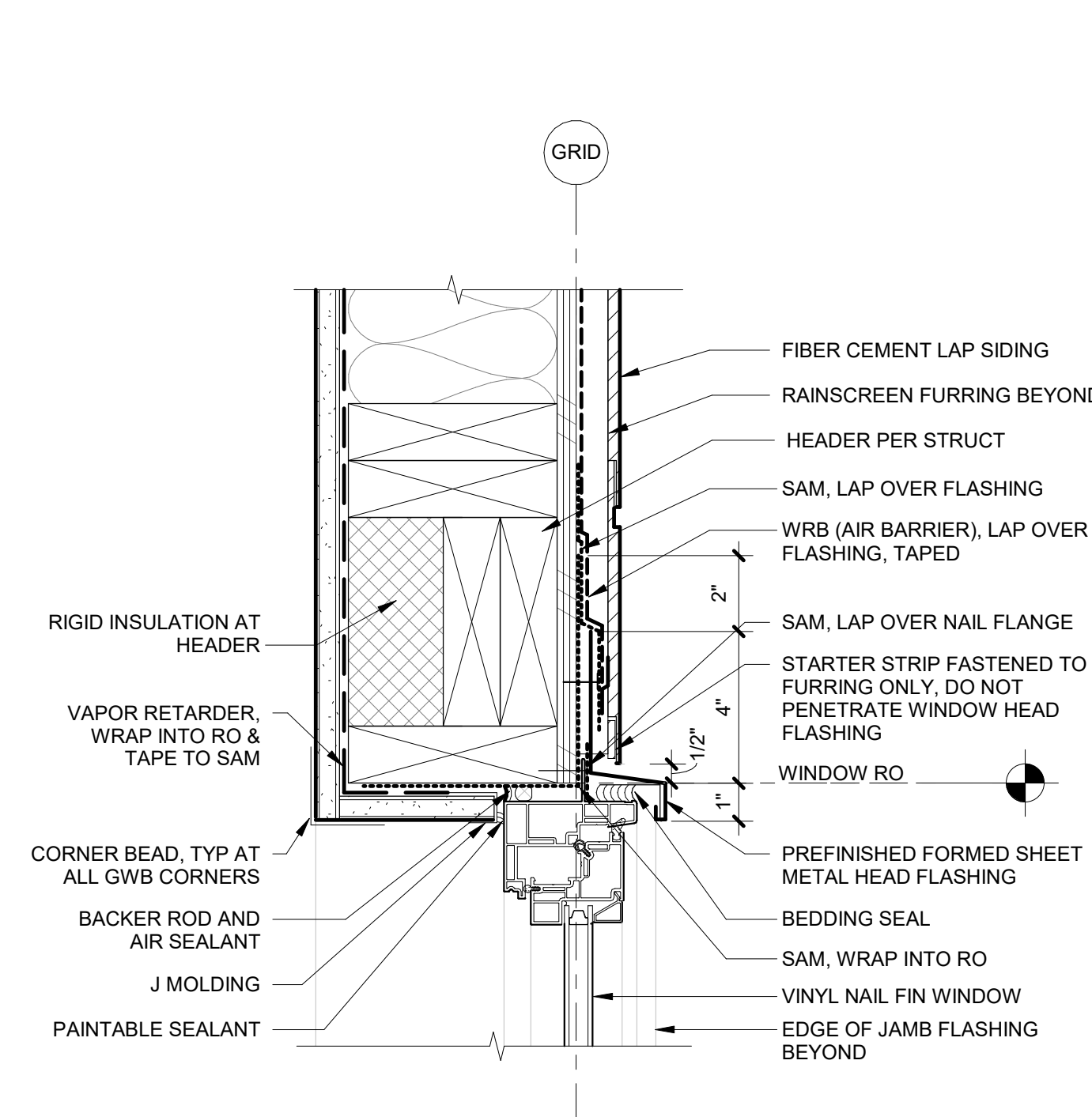
4 TYPICAL RAKE  
3" = 1'-0"



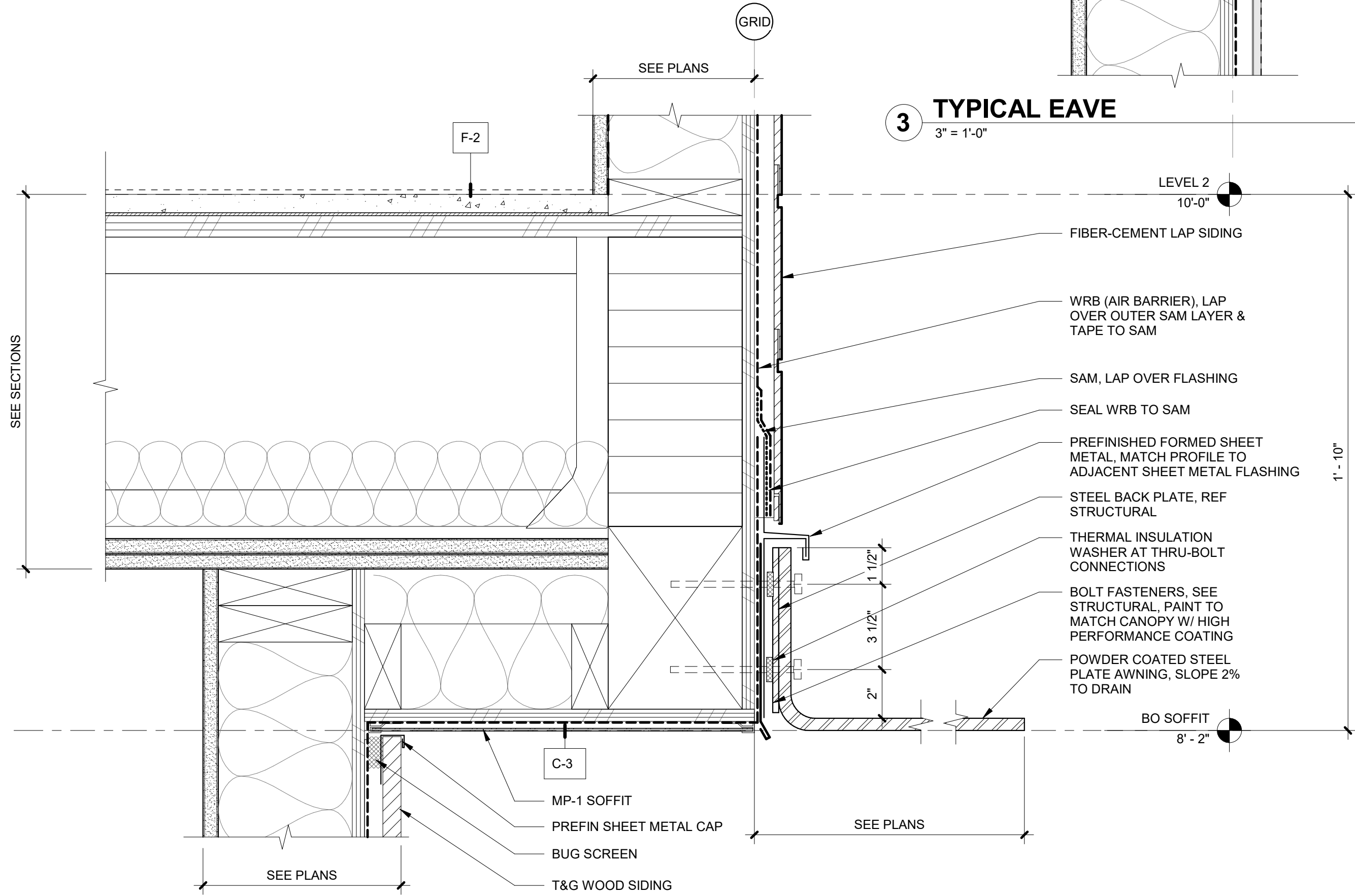
3 TYPICAL EAVE  
3" = 1'-0"



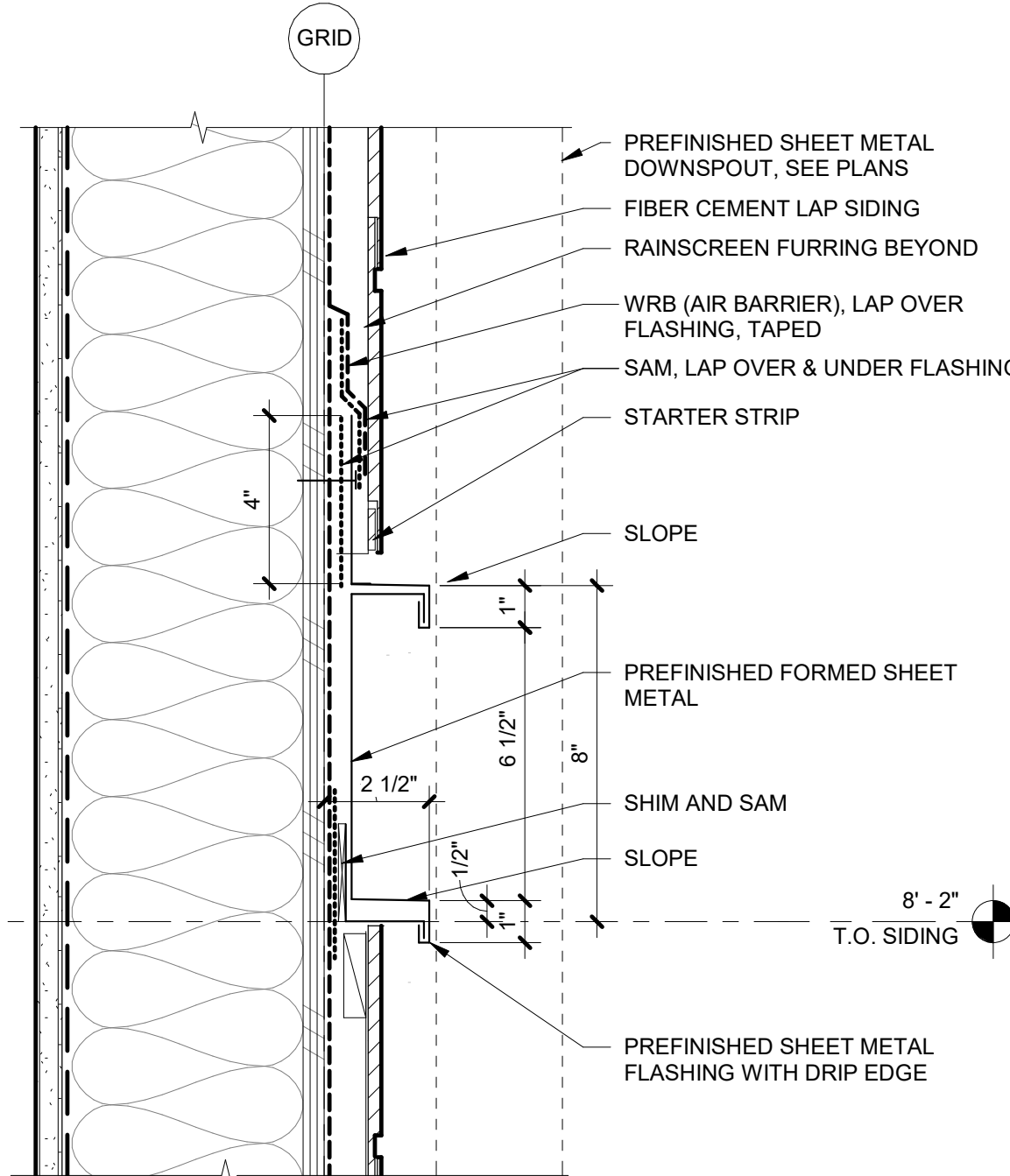
2 FIBER-CEMENT SIDING OUTSIDE CORNER  
3" = 1'-0"



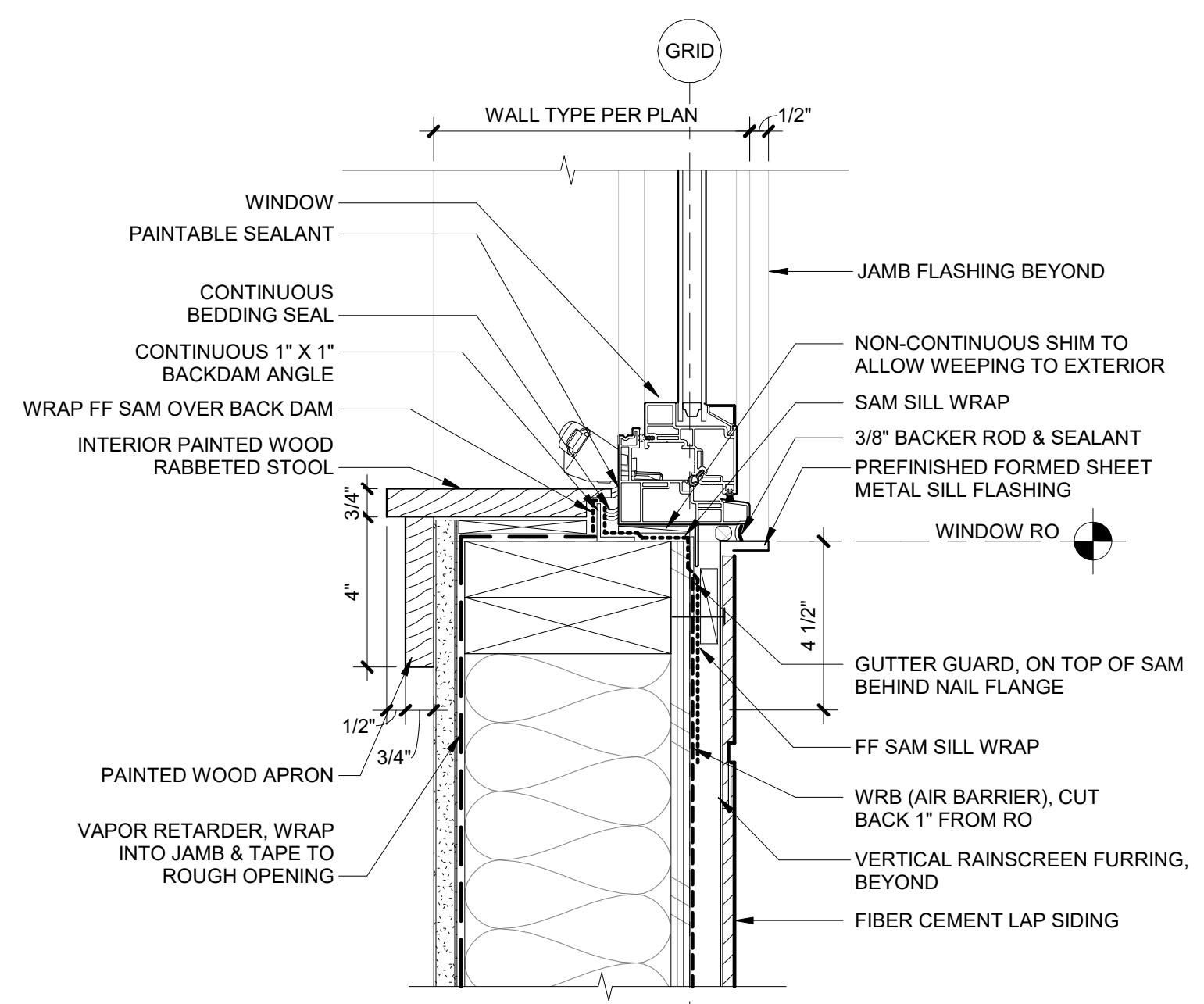
1 WINDOW HEAD @ FIBER-CEMENT SIDING  
3" = 1'-0"



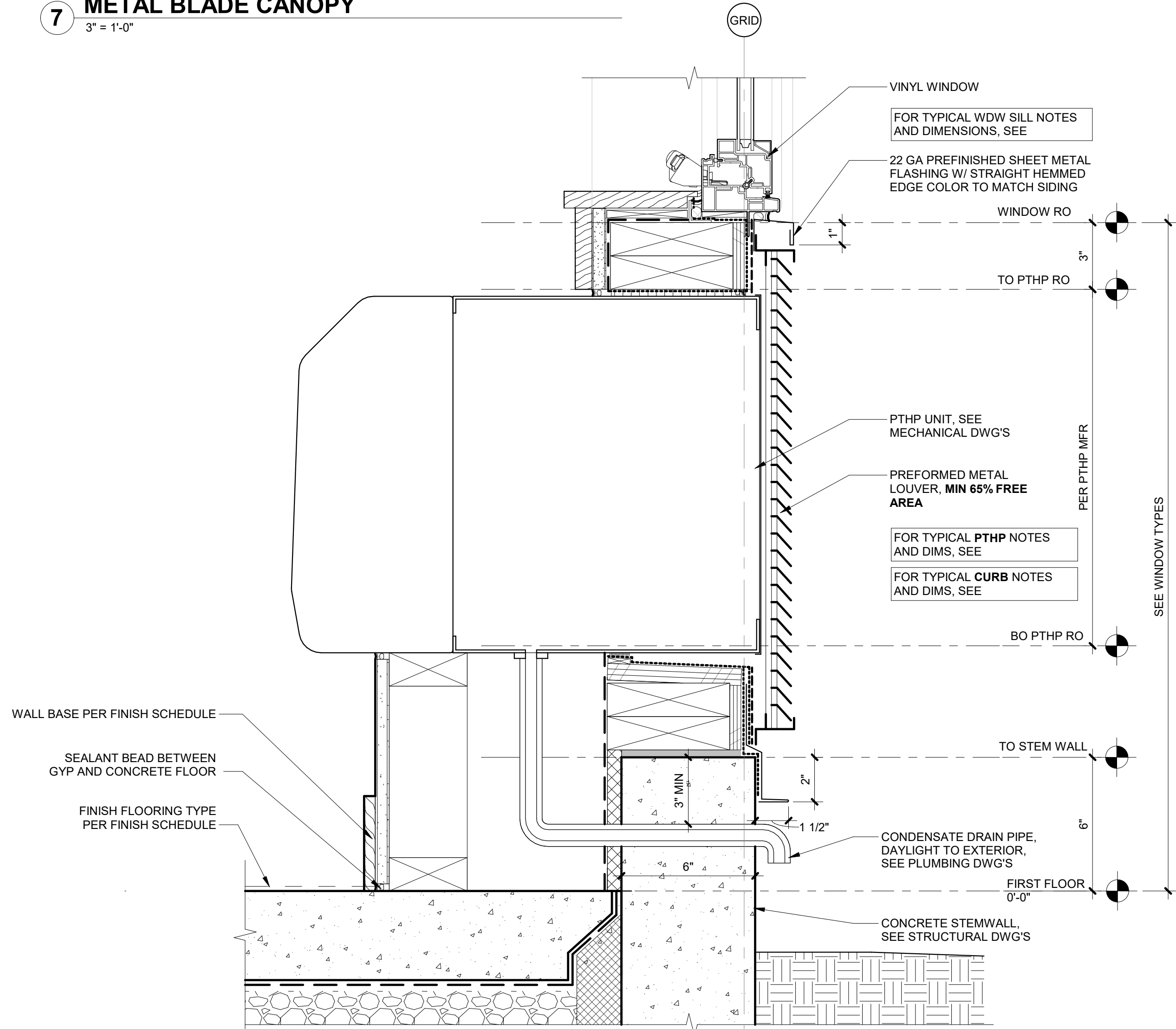
7 METAL BLADE CANOPY  
3" = 1'-0"



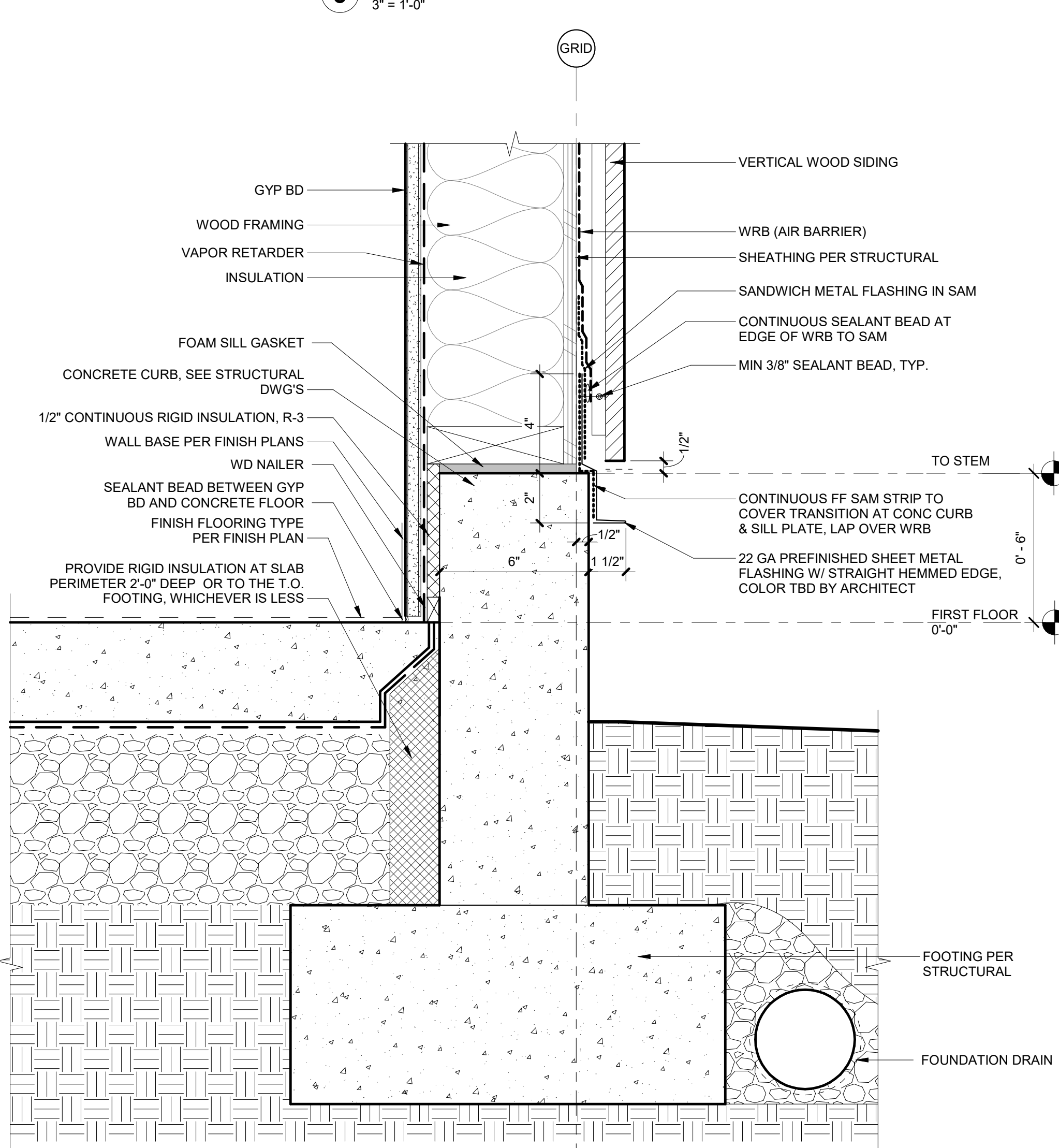
6 BELLY BAND AT FIBER-CEMENT SIDING  
3" = 1'-0"



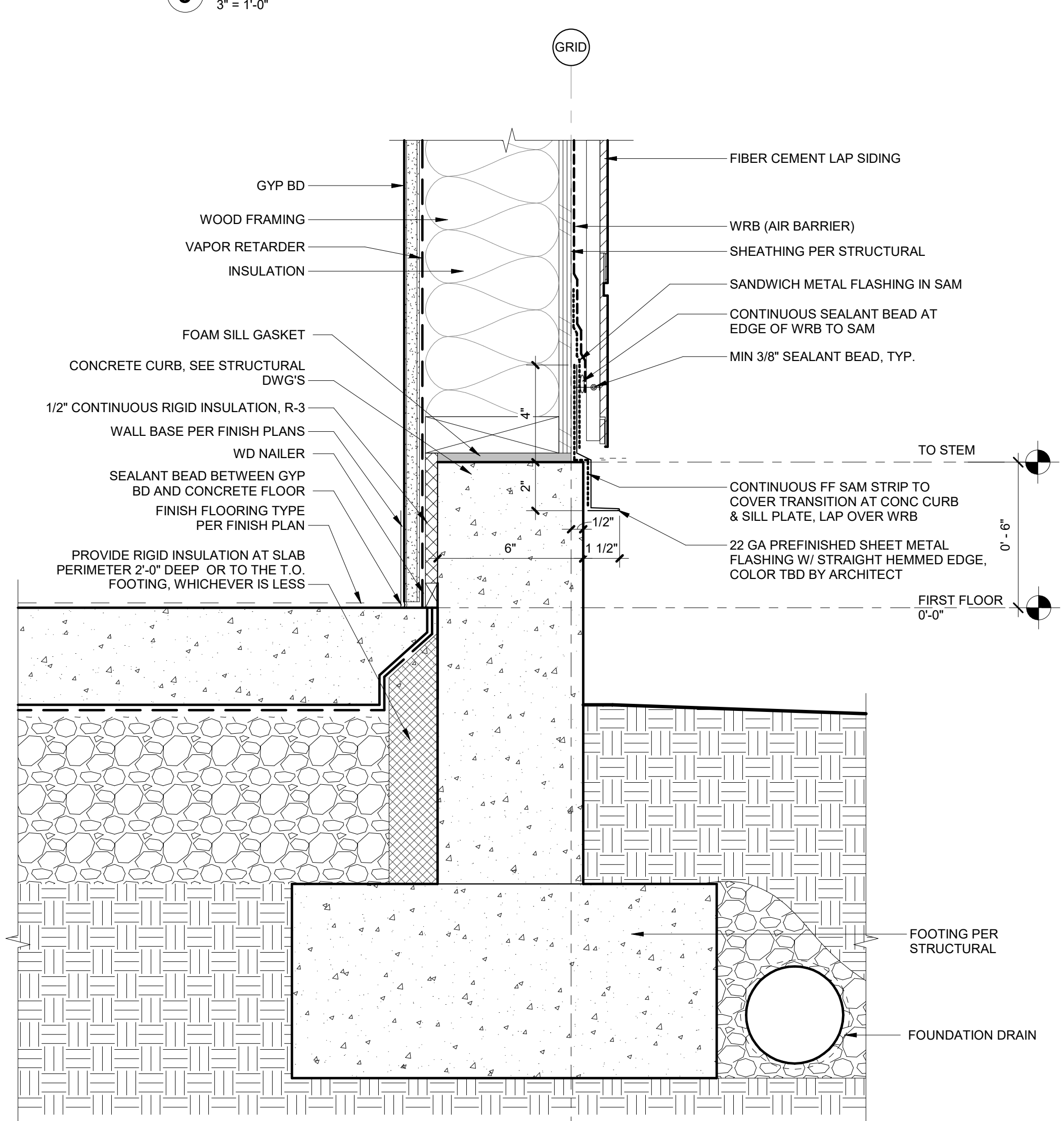
5 WINDOW SILL @ FIBER-CEMENT SIDING  
3" = 1'-0"



10 PTHP AT CONC CURB  
3" = 1'-0"



9 CURB AT WOOD SIDING  
3" = 1'-0"



8 CURB AT FIBER-CEMENT SIDING  
3" = 1'-0"