

LAND USE SUBMISSION

08.08.22



CDP SALEM - PHASE 2 BUILDING H

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

FILE PATH: C:\Revit_Local\22047_CDP Salem Gateway Phase II_Walk Up Building_H_mculbertson\PK&RT.rvt

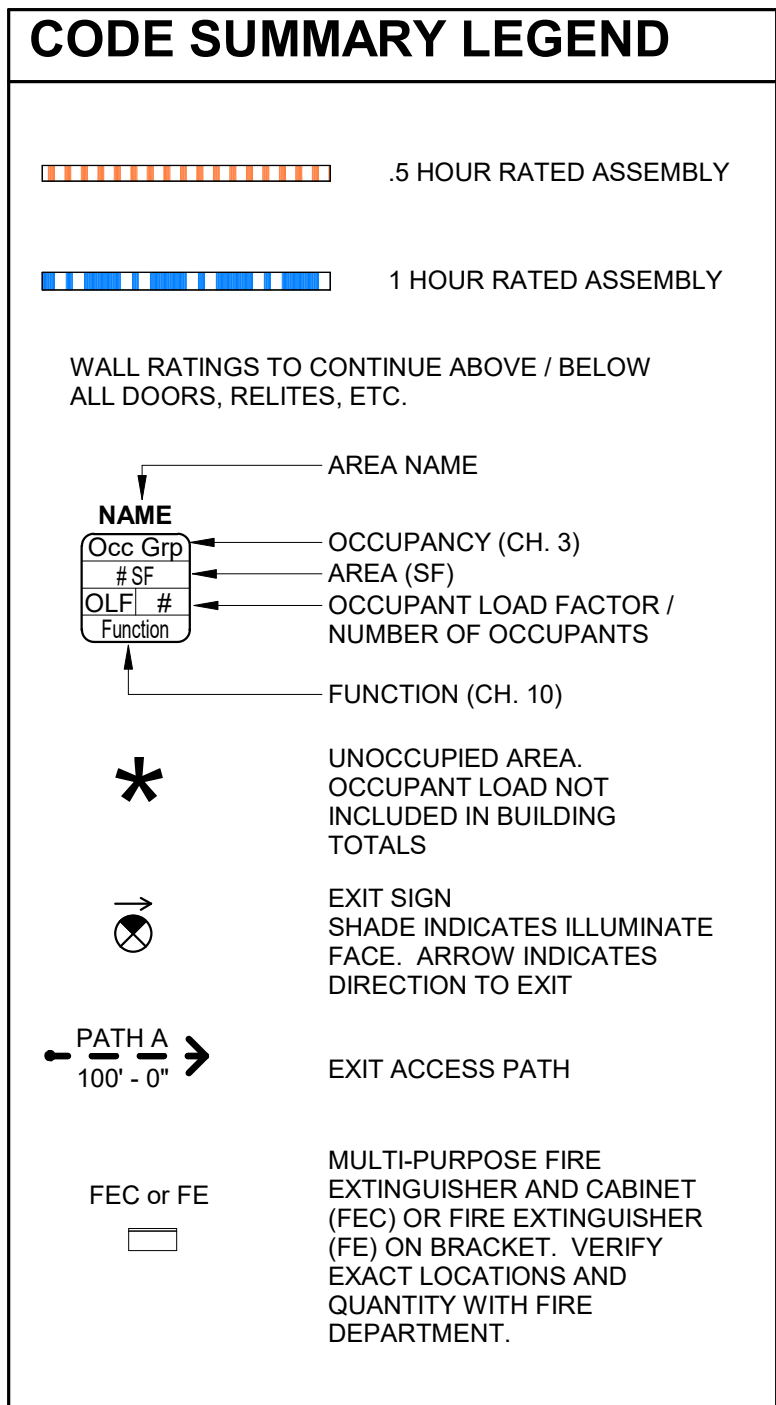
GENERAL PROJECT NOTES	PROJECT TEAM	PROJECT SUMMARY	SHEET INDEX																						
<p>REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.</p> <p>1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.</p> <p>2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.</p> <p>3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.</p> <p>4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.</p> <p>5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.</p> <p>6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.</p> <p>7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.</p> <p>8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.</p> <p>9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.</p> <p>11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.</p> <p>12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.</p> <p>14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.</p> <p>15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.</p> <p>16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.</p> <p>17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.</p>	<p>OWNER</p> <p>CDP OREGON LLC 126 NE ALBERTA ST #202 PORTLAND, OR 97211 TEL: 971.533.7466 FAX: N/A CONTACT: THOMAS ELDRIDGE EMAIL: THOMAS@COMMUNITYDEVPARTNERS.COM</p> <p>CONTRACTOR</p> <p>GERDING BUILDERS 200 SW AIRPORT AVENUE CORVALLIS, OR 97333 TEL: 541.753.2012 FAX: 541.754.6624 CONTACT: RYAN MCALISTER EMAIL: RYANM@GERDINGBUILDERS.COM</p> <p>ARCHITECT</p> <p>SCOTT EDWARDS ARCHITECTURE, LLP 2525 E. BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: DAVE MOJICA EMAIL: DMOJICA@SEALLP.COM</p> <p>CIVIL ENGINEER</p> <p>HHPR 530 CENTER ST NE SUITE 240 SALEM, OREGON 97301 TEL: 503.365.1131 FAX: N/A CONTACT: BEAU BRAMAN EMAIL: BEAUB@HHPR.COM</p> <p>LANDSCAPE ARCHITECT</p> <p>PLACE 735 NW 18TH AVENUE PORTLAND, OR 97209 TEL: 503.334.2080 FAX: N/A CONTACT: TORI HALLIGAN EMAIL: TORI.HALLIGAN@PLACE.LA</p> <p>STRUCTURAL ENGINEER</p> <p>STONEWOOD STRUCTURAL ENGINEERS, INC 2001 NW 19TH SUITE 103A PORTLAND, OR 97209 TEL: 657.232.4359 FAX: N/A CONTACT: RADHE ALLEN EMAIL: RADHE.ALLEN@STONEWOODSTRUCTURAL.COM</p> <p>MEP & FIRE PROTECTION ENGINEER</p> <p>INTERFACE 100 SW MAIN STREET, SUITE 1600 PORTLAND, OR 97204 TEL: 503.382.2266 FAX: 503.382.2262 CONTACT: KIM WALL EMAIL: KIMW@INTERFACEENG.COM</p>	<p>PROJECT DESCRIPTION:</p> <p>3-STORY WOOD FRAMED MULTIFAMILY BUILDING FEATURING 13 RESIDENTIAL UNITS, LAUNDRY ROOM, AND FIRE RISER ROOM.</p> <p>GROSS AREA: 14,154 SF</p> <p>PROJECT ADDRESS:</p> <p>5205 BATTLE CREEK ROAD SE SALEM, OR 97306</p> <p>LEGAL DESCRIPTION:</p> <p>083W14 LOT 300 AND LOT 118</p> <p>ZONING:</p> <p>RM-II</p>	<table><thead><tr><th>SHEET #</th><th>SHEET NAME</th></tr></thead><tbody><tr><td colspan="2">GENERAL</td></tr><tr><td>G0.01</td><td rowspan="2">GENERAL PROJECT INFORMATION CODE SUMMARY</td></tr><tr><td>G1.01</td></tr><tr><td colspan="2">ARCHITECTURAL</td></tr><tr><td>A0.01</td><td rowspan="17">ARCHITECTURAL GENERAL NOTES AND DIAGRAMS</td></tr><tr><td>A0.10</td></tr><tr><td>A0.20</td></tr><tr><td>A2.11</td></tr><tr><td>A2.12</td></tr><tr><td>A2.13</td></tr><tr><td>A2.21</td></tr><tr><td>A3.01</td></tr><tr><td>A3.02</td></tr><tr><td>A3.10</td></tr><tr><td>A5.01</td></tr><tr><td>A7.01</td></tr></tbody></table>	SHEET #	SHEET NAME	GENERAL		G0.01	GENERAL PROJECT INFORMATION CODE SUMMARY	G1.01	ARCHITECTURAL		A0.01	ARCHITECTURAL GENERAL NOTES AND DIAGRAMS	A0.10	A0.20	A2.11	A2.12	A2.13	A2.21	A3.01	A3.02	A3.10	A5.01	A7.01
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		<p>SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS</p> <p>CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.</p> <p>UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.</p> <p><u>SEPARATE PERMITS:</u></p> <ol style="list-style-type: none">FIRE SYSTEMS - ALARMFIRE SYSTEMS - SPRINKLERSSIGNAGE <p><u>DEFERRED SUBMITTALS:</u></p> <ol style="list-style-type: none">MEP EQUIPMENT BRACINGROOF TRUSSESSTOREFRONT, WINDOWS, LOUVERS, AND THEIR CONNECTIONS TO STRUCTURESOFFITS AND SUSPENDED CEILINGSROOFTOP ANCHORAGEGUARDRAILS AND HANDRAILS <p>SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.</p>																							
<p>VICINITY MAP</p>																									

702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

CITY OF SALEM UNIFIED DEVELOPMENT CODE - TITLE X

SECTION	REQUIREMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
SITE SAFETY & SECURITY		
702.020 c.1	REQUIREMENT MET	A2.11-A2.12
702.020 c.2	REQUIREMENT MET	A3.01
FACADE & BUILDING DESIGN		
702.020 a.1	REQUIREMENT MET	A2.11-A2.12
702.020 a.8	REQUIREMENT MET	A3.01
702.020 a.9	ADJUSTMENT REQUESTED	A3.01
702.020 a.10	REQUIREMENT MET	A3.01

LIFE SAFETY OCCUPANT LOAD SCHEDULE				
TABLE 1004.1.2				
AREA NAME	AREA (SF)	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
FIRST FLOOR	4461 SF	Residential	200	23
SECOND FLOOR	4572 SF	Residential	200	23
THIRD FLOOR	4573 SF	Residential	200	23
				69



LAND USE	08.08.22
SUBMISSION	
ISSUE	DATE

Drawing:

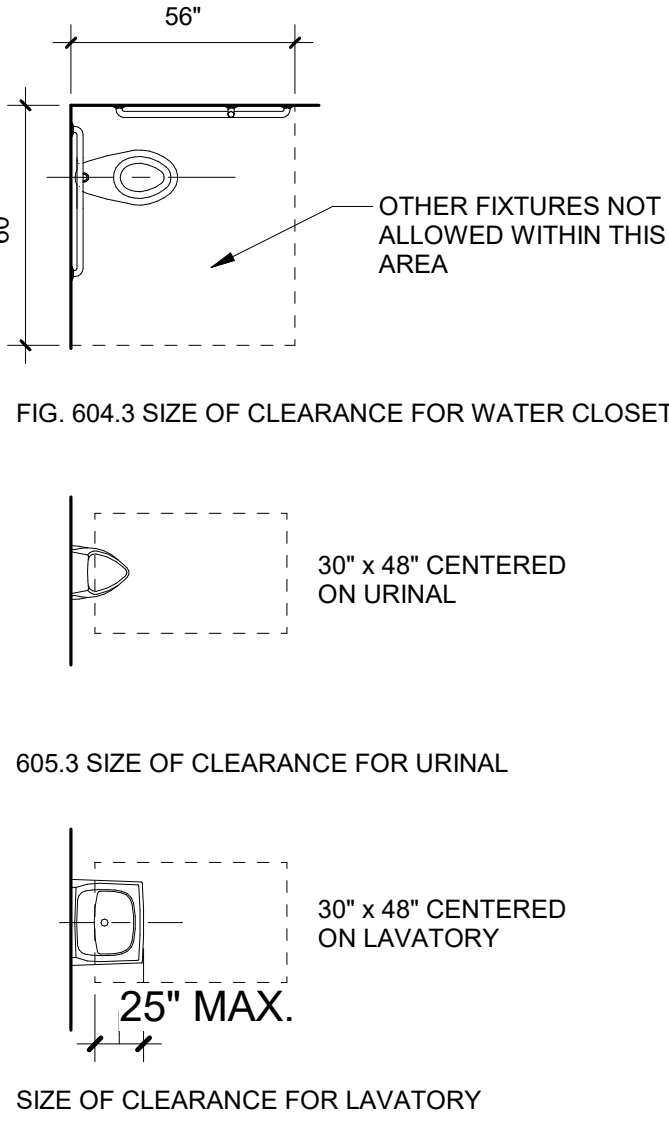
CODE SUMMARY

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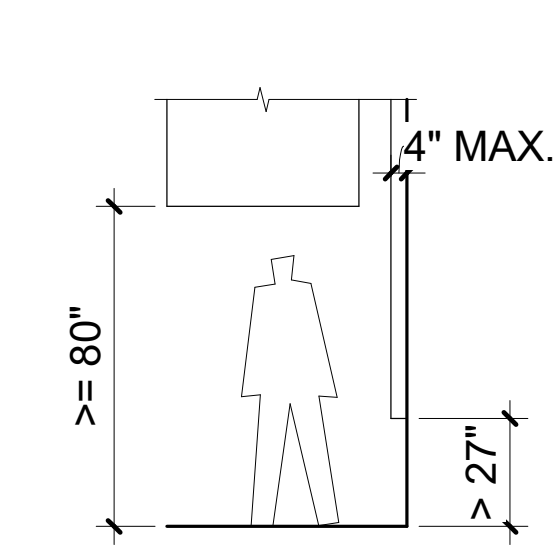
REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009



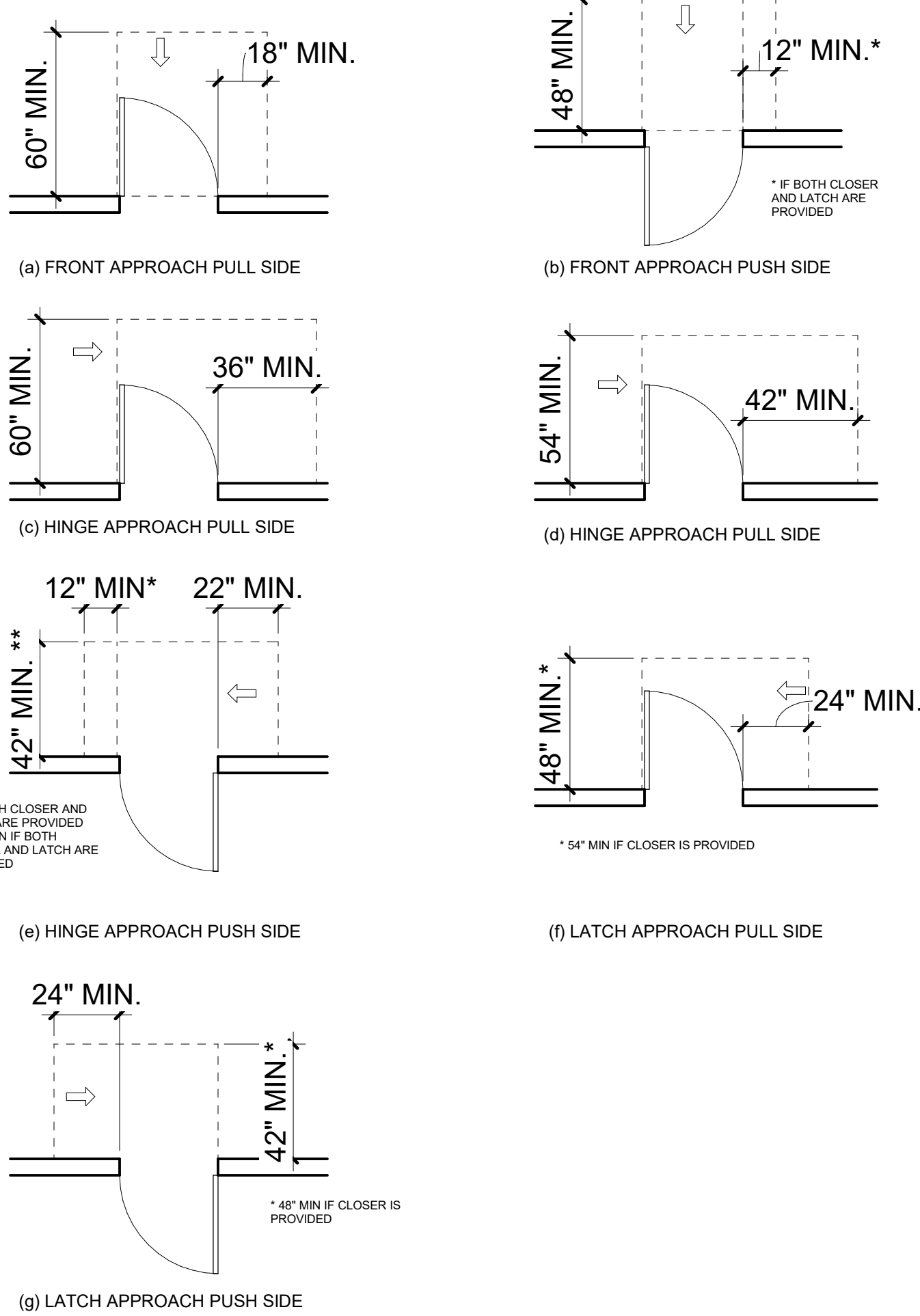
PROTRUDING OBJECTS

PER ICC A117.1-2009 FIG. 307.2



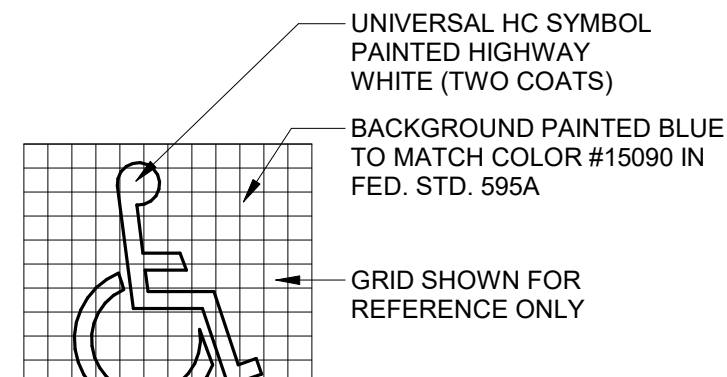
MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

PER ICC A117.1-2009, FIG. 404.2.3.2



ACCESSIBILITY NOTES

- A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.
- B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.

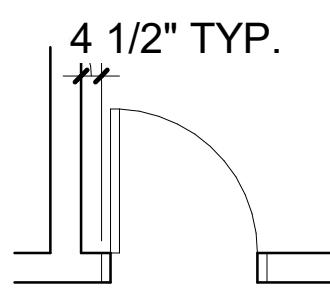


ABBREVIATIONS

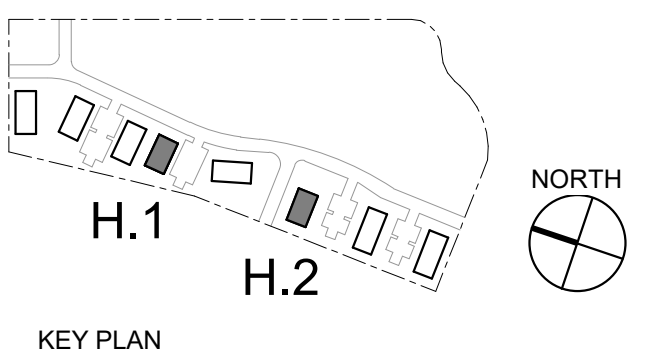
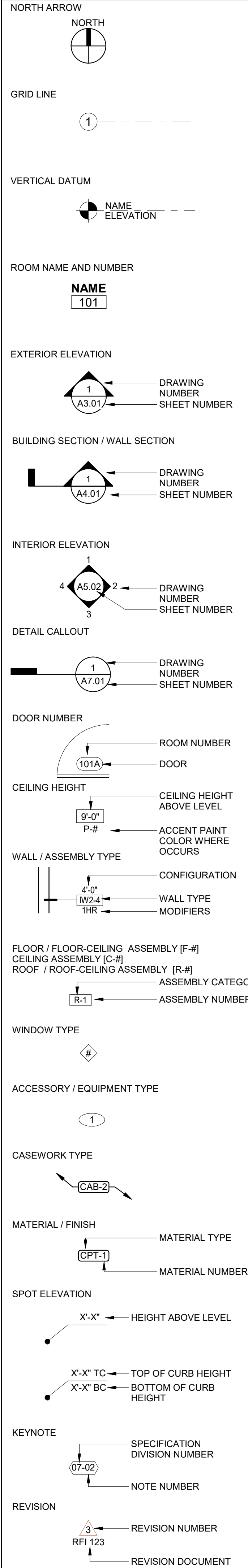
#	POUND OR NUMBER	GA	GAUGE	QT	QUARRY TILE
@	AT	GALV	GALVANIZED	R	RADIUS OR RISER
CL	CENTERLINE	GC	GENERAL CONTRACTOR	RA	RETURN AIR
L	ANGLE	GI	GALVANIZED IRON	RB	RESILIENT BASE
ø	DIAMETER OR ROUND	GL	GLULAM	RD	ROOF DRAIN
AB	ANCHOR BOLT	GND	GROUND	REC	RECOMMENDATION
AC	ASPHALTIC CONCRETE	GR	GRADE	REF	REFERENCE
ACT	ACOUSTIC CEILING TILE	GWB	GYPSUM BOARD	REFR	REFRIGERATOR
AD	AREA DRAIN	GYP	GYPSUM	REINF	REINFORCE(MENT)
ADJ	ADJUSTABLE	GYP BD	GYPSUM BOARD	REOD	REQUIRED
AF	ABOVE FINISH FLOOR			RESIL	RESILIENT
AFG	ABOVE FINISH GRADE	HB	HOSE BIB	REV	REVISIONS
ALT	ALTERNATE	HC	HOLLOW CORE	RF	RESILIENT FLOOR
ALUM/AL	ALUMINUM	HDR	HEADER	RH	RIGHT HAND
ANOD	ANODIZED	HDWD	HARDWOOD	RM	ROOM
APPROX	APPROXIMATE / APPROXIMATELY	HDWR	HARDWARE	RO	ROUGH OPENING
ARCH	ARCHITECTURAL / ARCHITECT	HM	HOLLOW METAL	ROW	RIGHT OF WAY
ASPH	ASPHALT	HNDCP	HANDICAP	RWL	RAIN WATER LEADER
		HORIZ	HORIZONTAL		
BC	BOTTOM OF CURB	HP	HORSE POWER	S	SOUTH
BD	BOARD	HPL	HIGH PRESSURE LAMINATE	SA	SUPPLY AIR
BITUM	BITUMINOUS	HR	HOUR	SAM	SELF ADHERED MEMBRANE
BUDG	BUILDING	HSS	HOLLOW STRUCTURAL STEEL	SC	SOLID CORE
BLK	BLOCK	HT	HEIGHT	SCHED	SCHEDULE
BLKG	BLOCKING	HVAC	HEATING VENTILATING AIR CONDITIONING	SEC	SECTION
BLW	BELOW	HW	HOT WATER	SF	SQUARE FOOT
BO	BOTTOM OF	ID	INSIDE DIAMETER	SHT	SHEET
BOT	BOTTOM	IE	INVERT ELEVATION	SHTHG	SHEATHING
BRG	BEARING	IN	INCHES	SHWR	SHOWER
BTWN	BETWEEN	INSUL	INSULATION	SIM	SIMILAR
BUR	BUILT UP ROOF	INT	INTERIOR	SM	SHEET METAL
				SP	SOLID PIPE
CAB	CABINET			SPEC	SPECIFICATIONS
CB	CATCH BASIN	JB	JUNCTION BOX	SPK	SPEAKER
CFM	CUBIC FEET PER MINUTE	JH	JOIST HANGER	SQ	SQUARE
CI	CAST IRON	JST	JOIST	SS	STAINLESS STEEL
CIP	CAST IN PLACE	JT	JOINT	SSK	SERVICE SINK
CJ	CONTROL JOINT			SSM	SOLID SURFACE MATERIAL
CL	CENTERLINE	KD	KILN DRIED	STA	STATION
CLG	CEILING	KD	KNOCK DOWN FRAME	STD	STANDARD
CLR	CLEAR	KIT	KITCHEN	STL	STEEL
CMU	CONCRETE MASONRY UNIT	KW	KILOWATT	STN	STAIN
CO	CLEAN OUT	LAM	LAMINATED	STR	STRUCTURAL
COL	COLUMN	LAV	LAVATORY	STRUCT	STRUCTURAL
CONC	CONCRETE	LB	LEADER BOX	SUSP	SUSPENDED
CONN	CONNECTION	LH	LEFT HAND	SYM	SYMMETRICAL
CONT	CONTINUOUS	LKR	LOCKER		
CPT	CARPET	LT	LIGHT	T	TREAD OR TILE
CSMT	CASEMENT	LTWT	LIGHTWEIGHT	T&G	TONGUE AND GROOVE
CT	CERAMIC TILE			TM	TO MATCH
CTSK	COUNTERSINK	MAT	MATERIAL	TC	TOP OF CURB
CW	COLD WATER	MAX	MAXIMUM	TEL	TELEPHONE
CWD	CLAD WOOD	MB	MACHINE BOLT	TEMP	TEMPERATURE
		MC	MEDICINE CABINET	TER	TERRAZZO
DBL	DOUBLE	MECH	MECHANICAL	THK	THICK / THICKNESS
DEG	DEGREE	MFR	MANUFACTURER	TJ	TOOL JOINT
DEPT	DEPARTMENT	MH	MANHOLE	TLT	TOILET
DET	DETAIL	MIN	MINIMUM	TO	TOP OF
DF	DOUGLAS FIR	MIR	MIRROR	TOC	TOP OF CONCRETE
DH	DOUBLE HUNG	MISC	MISCELLANEOUS	TOP	TOP OF PARAPET
DIA	DIAMETER	MO	MASONRY OPENING	TOS	TOP OF STEEL
DIAG	DIAGONAL	MRGWB	MOISTURE RESISTANT GWB	TOSF	TOP OF SUB-FLOOR
DIM	DIMENSION	MTD	MOUNTED	TOW	TOP OF WALL
DISP	GARBAGE DISPOSAL	MTL	METAL	TP	TOP
DN	DOWN	MULL	MULLION	TS	TUBE STEEL
DO	DOOR OPENING			TV	TELEVISION
DP	DAMP PROOF	(N)	NEW	UL	TYPICAL
DR	DOOR	N	NORTH	UL	UNDERWRITER'S
DS	DOWNSPOUT	NIC	NOT IN CONCRACT	LABORATORY	
DSP	DRY STANDPIPE	NO	NUMBER	UNF	UNFINISHED
DTL	DETAIL	NOM	NOMINAL	UNO	UNLESS NOTED OTHERWISE
DW	DISHWASHER	NTS	NOT TO SCALE	UR	URINAL
DWG	DRAWING				
DWR	DRAWER	OBS	OBSOURE	VB	VAPOR BARRIER
		OC	ON CENTER	VCT	VINYL COMPOSITION TILE
(E)	EXISTING	OD	OUTSIDE DIAMETER	VERT	VERTICAL
E	EAST	OFCI	OWNER FURNISHED	VEY	VERIFY
EA	EACH	OFOI	OWNER FURNISHED CONTRACTOR INSTALLED	VG	VERTICAL GRAIN
EJ	EXPANSION JOINT			VIF	VERIFY IN FIELD
ELEC	ELECTRICAL	OPNG	OPENING	VP	VENT PIPE
ELEV	ELEVATION	OPP	OPPOSITE	VR	VAPOR RETARDER
EMER	EMERGENCY	OTS	OPEN TO STRUCTURE		
ENCL	ENCLOSURE			W	WEST
EQU	EQUIPMENT	P	PANTRY	W	WATT
EQ	EQUAL	PC	PRECAST	W	WITH
EQUIP	EQUIPMENT	PIP	POURED IN PLACE	W/O	WITHOUT
EXIST	EXISTING	PL	PLATE OR PROPERTY LINE	WC	WATER CLOSET
EXP	EXPOSED	PL	PLASTIC LAMINATE	WD	WOOD
EXT	EXTERIOR	PLAM	PLASTIC	WDW	WINDOW
		PLAS	PLASTIC	WI	WIDE FLANGE
FA	FIRE ALARM	PLYWD	PLYWOOD	WIR	WROUGHT IRON
FC	FIBER CEMENT	PNT	PAINT	WO	WHERE OCCURS
FDN	FLOOR DRAIN	PSF	POUNDS PER SQUARE FOOT	WP	WATERPROOF
FE	FIRE EXTINGUISHER	PSI	POUNDS PER SQUARE INCH	WR	WATER RESISTANT
FEC	FIRE EXTINGUISHER CABINET	PT	PRESSURE TREATED	WRB	WEATHER RESISTANT BARRIER
FG	FIBERGLASS	PTD	PAINTED	WSCT	WAINSCOT
FIN	FINISH	PVC	POLYVINYL CHLORIDE	WT	WEIGHT
FLASH	FLASHING			WWF	WELDED WIRE FABRIC
FLR	FLOOR				
FLUOR	FLOURESCENT				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOS	FACE OF STUD				
FRP	FIBERGLASS REINFORCED PLASTIC				
FRT	FIRE RETARDANT TREATED				
FRZ	FREEZER				
FT	FOOT / FEET				
FTG	FOOTING				
FURR	FURRING				
FUT	FUTURE				

DIMENSIONS

- A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.
- B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.
- C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.
- D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.
- E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.
- F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF STUD OR HINGE SIDE TO ROUGH OPENING OF JAMB.



GRAPHIC SYMBOLS



FILE PATH: C:\Revit_Local\22047_CDP Salem Gateway Phase II_Walk Up Building_H_mculbertsonPX&RT.rvt

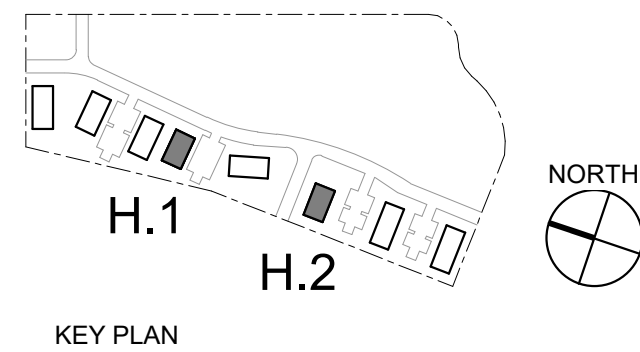
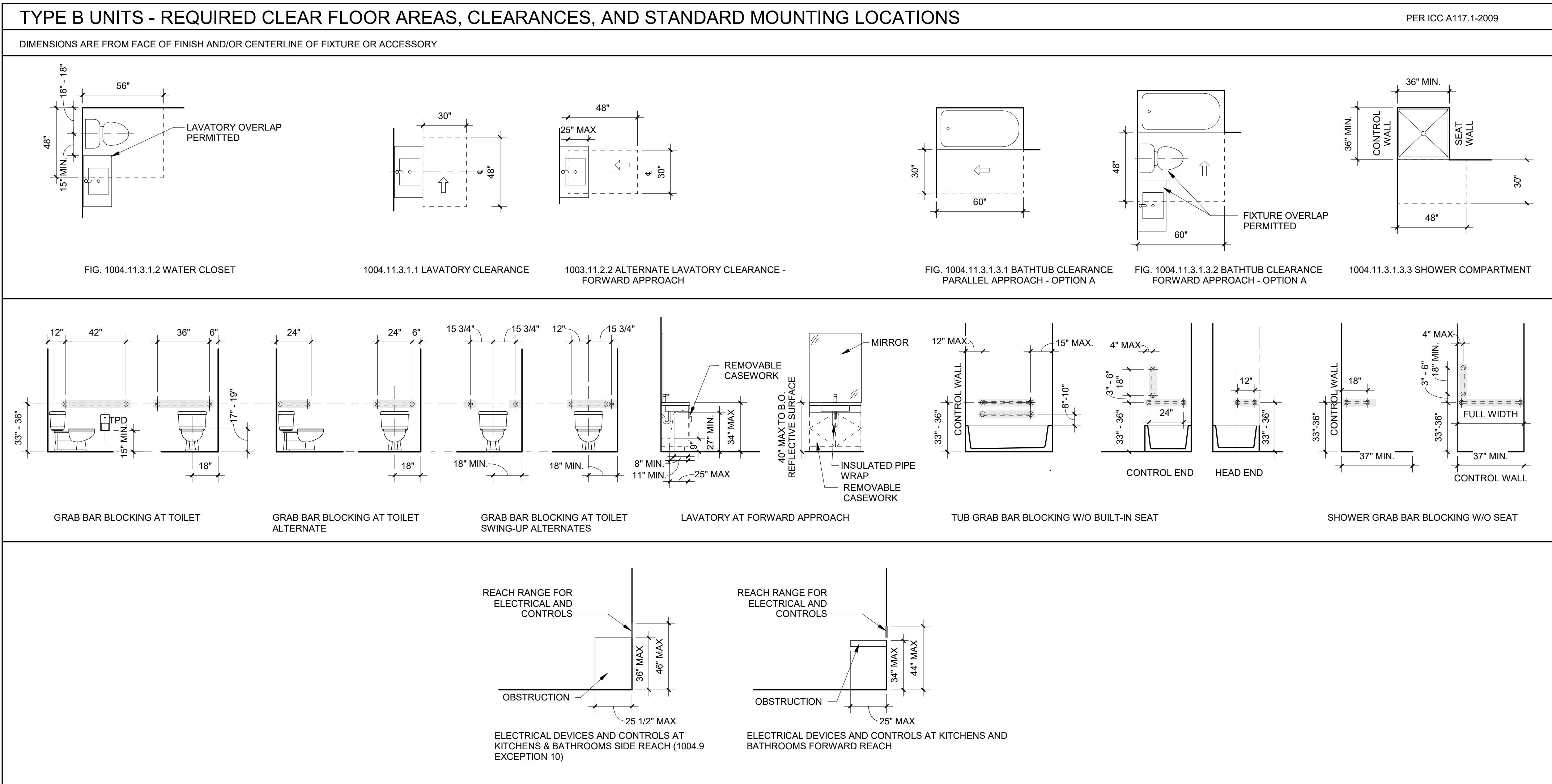
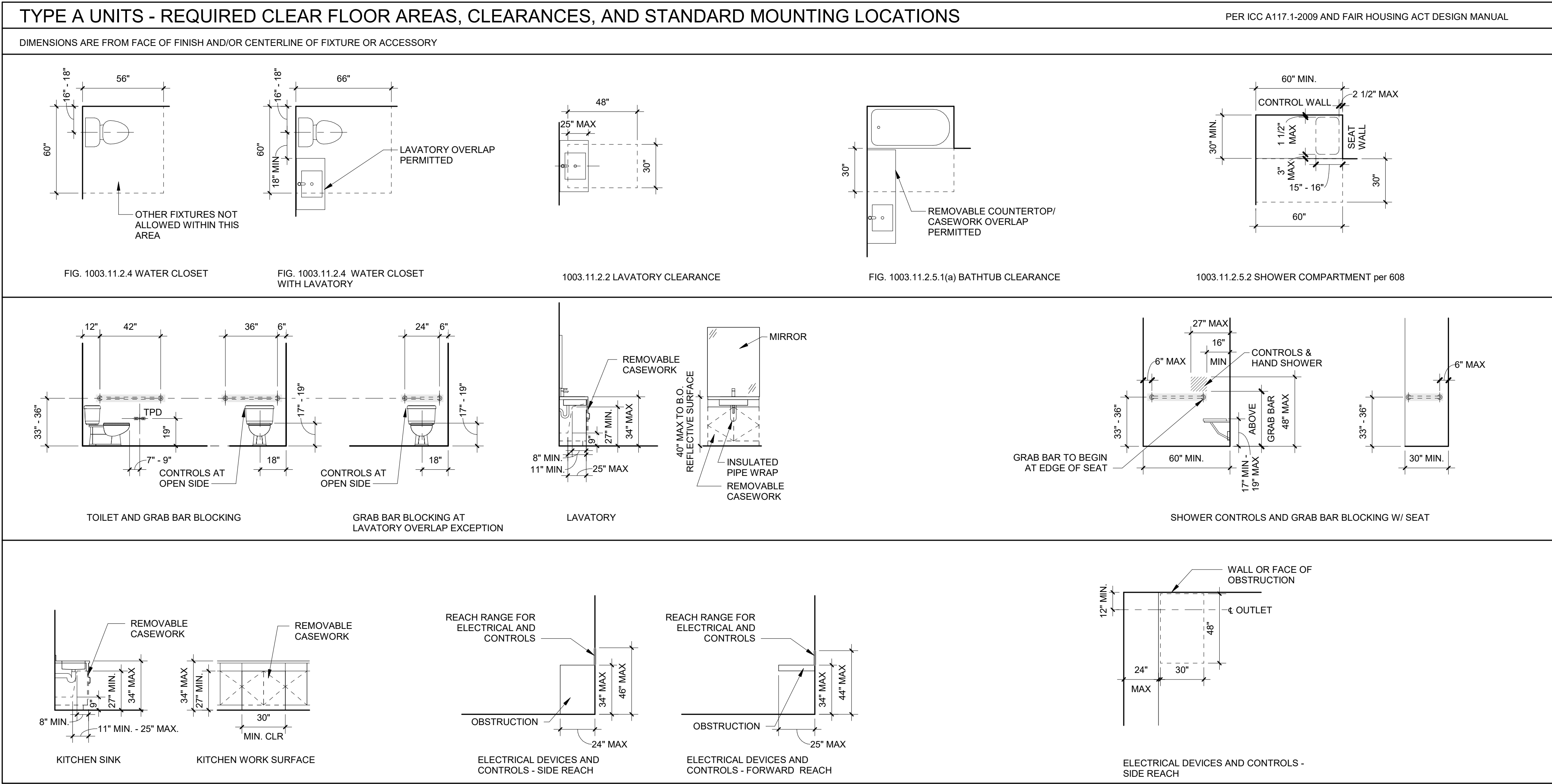
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NOT FOR
CONSTRUCTION

CDP SALEM -
PHASE 2
BUILDING H

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR



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						EXTERIOR WALL TYPES
		EW4-# EXTERIOR VERTICAL WOOD SIDING 1 HR RATED	EW3-# EXTERIOR METAL WALL PANEL	EW2-# EXTERIOR VERTICAL WOOD SIDING	EW1-# EXTERIOR FIBER CEMENT SHIPLAP PLANK	
						INTERIOR WALL TYPES
		IW5-# INTERIOR FURRING WALL	IW4-# 1 HR RATED INTERIOR PARTITION WALL	IW3-# 1 HR RATED INTERIOR DEMISING WALL @ UNIT-TO-UNIT 5 HR RATED INTERIOR DEMISING WALL @ CORRIDOR-TO-UNIT	IW1-# INTERIOR PARTITION WALL	
						FLOOR/CEILING TYPES
				F-2 1-HR RATED FLOOR/CEILING ASSEMBLY	F-1 SLAB ON GRADE FLOOR	
						ROOF TYPES
					R-1 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY	
						CEILING TYPES
			C-3 EXT METAL PANEL SOFFIT	C-2 SUSPENDED GYPSUM BOARD CEILING	C-1 NOT IN USE	

GENERAL SHEET NOTES
A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE. B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES. C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS. D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS. E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS. F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURAL FRAMING ABOVE UNLESS NOTED OTHERWISE. G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED. H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESURE TREATED. I. WHERE ACOUSTIC WALL IS INDICATED, SEE ASSEMBLY SHEET FOR ASSEMBLY DETAILS.
WALL TYPE SYMBOL
 WALL TYPE PARTIAL HEIGHT FRAMING OR CONC SIZE
WOOD FRAMING SIZES
0 = MTL FURRING, 7/8" OR AS INDICATED 4 = 2" x 4" 6 = 2" x 6" 8 = 2" x 8"
ABBREVIATIONS
GA GYPSUM ASSOCIATION

KEY PLAN

NORTH

Scott
Edwards
Architecture

2525 E Burnside St.
Portland, OR 97214

503.226.3617
sealp.com

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CONSTRUCTION

**CDP SALEM -
PHASE 2
BUILDING H**

Job Number: #22047

**PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR**

C
D
P

Community
Development
Partners

LAND USE
SUBMISSION
ISSUE

08.08.22

DATE

Drawing:
ASSEMBLIES

Sheet No:
Building H -

A0.20

FILE PATH: C:\Revit_Local\22047_CDP Salem Gateway Phase II_Walk Up Building
H:\mclbertson\PX&RT.rvt

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CDP SALEM -
PHASE 2
BUILDING H

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

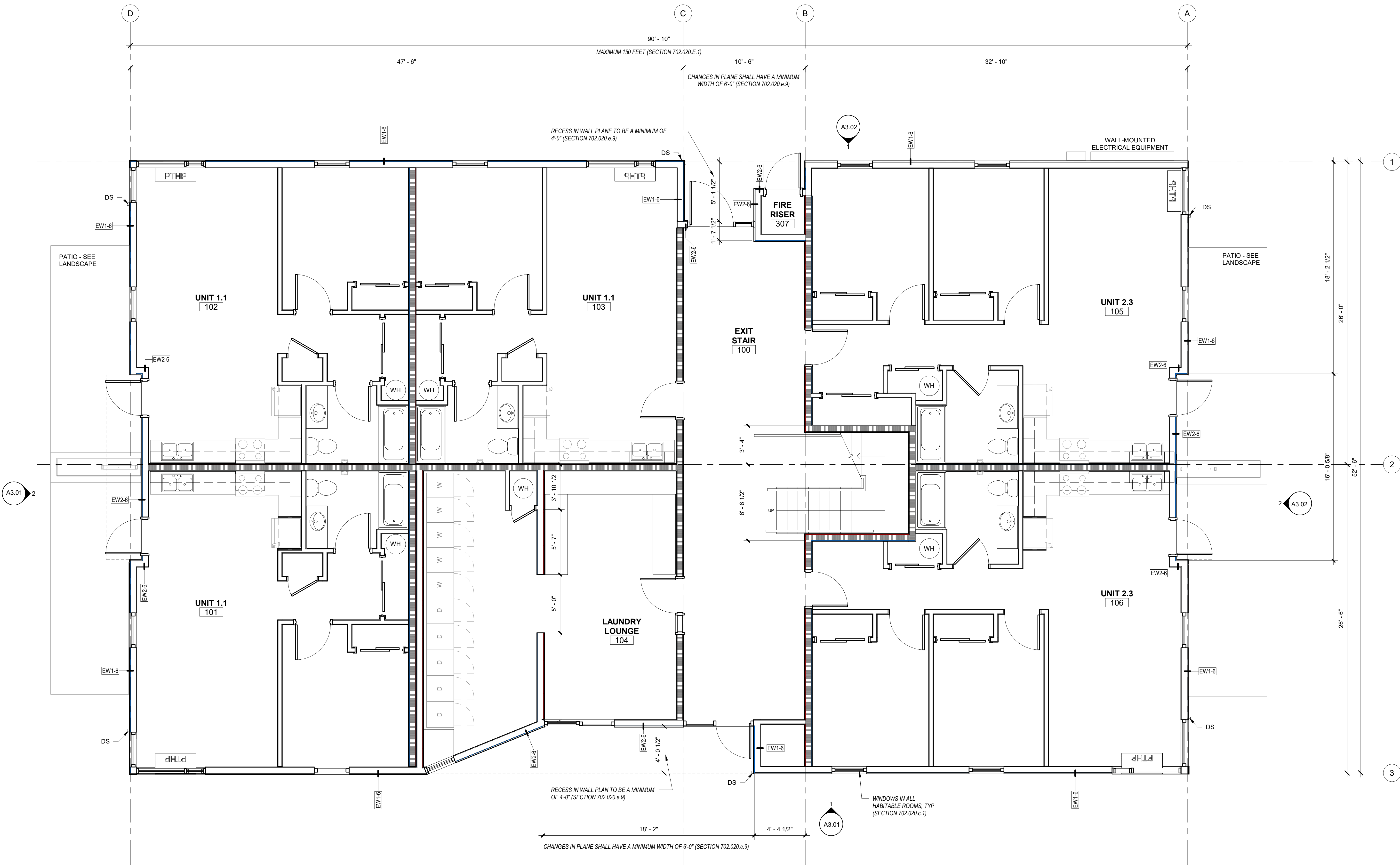


GENERAL SHEET NOTES

- A. INTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN UNO. EXTERIOR WALL DIMENSIONS ARE FROM FACE OF SHEATHING OR CL OF COLUMN UNO.
- B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING UNO ALL INTERIOR GRID LINES ARE TO FACE OF STUD UNO.
- C. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OF OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES.
- D. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT FOR COMPATIBILITY WITH FLOOR FINISHES.
- E. SEE SPEC FOR ALL SHELVING AND ROD TYPES AND LOCATIONS.
- F. MEP INFORMATION PROVIDED FOR REFERENCE ONLY. SEE MEP DRAWINGS.
- G. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL GROUND FLOOR UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS.
- H. FIRE EXTINGUISHER TO BE PLACED UNDER SINK IN ALL UNITS. SEE CODE DIAGRAMS FOR COMMON SPACES. CONTRACTOR PROVIDED.
- I. DOWNSPOUTS PAINTED IN FIELD. RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.
- J. UNIT DEMISING WALLS TYPE IW3-6 UNO.
- K. UNIT INTERIOR WALLS TYPE IW1-4 UNO.
- L. SEE DOOR SCHEDULE FOR FIRE RATINGS, DOOR TYPES AND INSTALLATION DETAILS.
- M. SEE WINDOW SCHEDULE FOR WINDOW TYPES.

LEGEND

- 1 HOUR RATED ASSEMBLY
- 5 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- DS
2x3 FLAT STYPE DOWNSPOUT
- FD
FLOOR DRAIN
- WH
WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
- W
WASHER DRYER UNIT NIC. PROVIDE CONNECTIONS
- R-1
ASPHALT SHINGLE ROOF
- RIDGE VENT, SEE ROOF VENTILATION DIAGRAM
- ROOF INTAKE VENT, SEE ROOF VENTILATION DIAGRAM
- PROVIDE (2) LAYERS OF UNDERLAYMENT AT ROOF SLOPE LESS THAN 4"11'-0" PER MFR



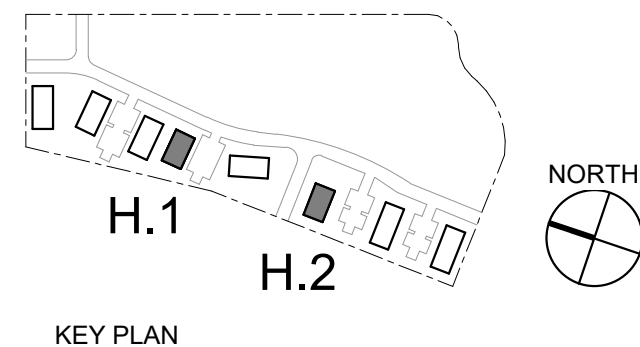
1 FIRST FLOOR PLAN
A2.11 1/4" = 1'-0"

LAND USE SUBMISSION
ISSUE

08.08.22
DATE

Drawing:

FIRST FLOOR PLAN

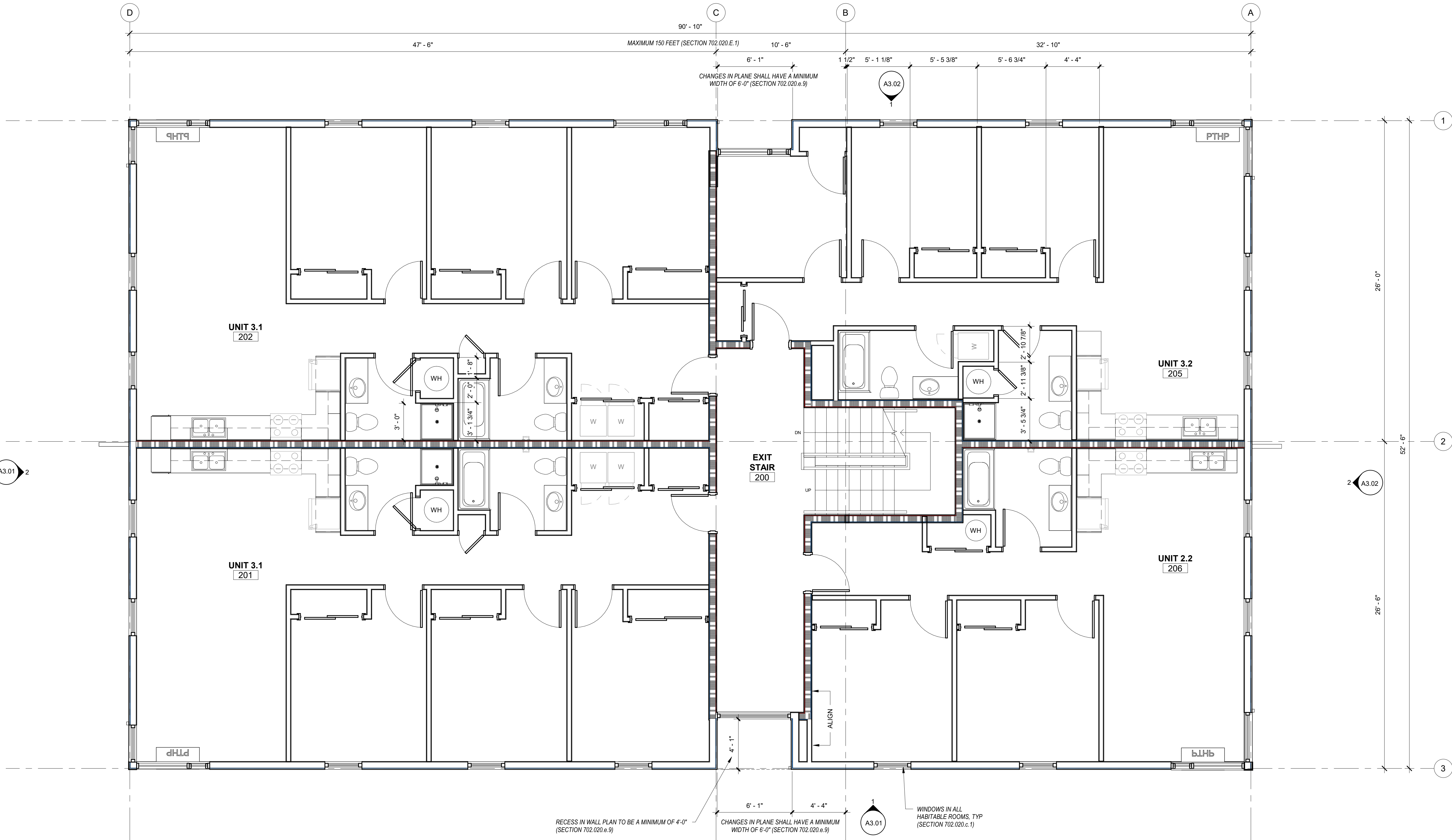


A2.11

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1
A2.12
SECOND FLOOR PLAN
1/4" = 1'-0"

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- DOWNSPOUTS PAINTED IN FIELD. RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.
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- SEE DOOR SCHEDULE FOR FIRE RATINGS, DOOR TYPES AND INSTALLATION DETAILS.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.

LEGEND

REF A0.01 FOR GENERAL LEGENDS

- | | |
|--|---|
| | 1 HOUR RATED ASSEMBLY |
| | .5 HOUR RATED ASSEMBLY |
| | ELEMENT ABOVE |
| | 2x3 FLAT STYPE DOWNSPOUT |
| | FLOOR DRAIN |
| | WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS |
| | WASHER DRYER UNIT NIC. PROVIDE CONNECTIONS |
| | ASPHALT SHINGLE ROOF |
| | RIDGE VENT. SEE ROOF VENTILATION DIAGRAM |
| | ROOF INTAKE VENT. SEE ROOF VENTILATION DIAGRAM |
| | PROVIDE (2) LAYERS OF UNDERLAYMENT AT ROOF SLOPE LESS THAN 4"11'-0" PER MFR |

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CONSTRUCTION

CDP SALEM - PHASE 2 BUILDING H

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR



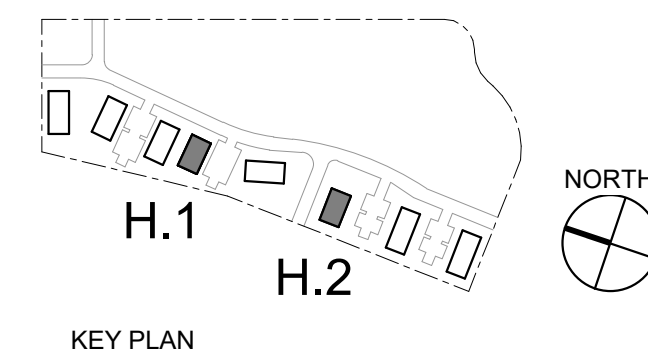
LAND USE
SUBMISSION
ISSUE

08.08.22
DATE

Drawing:
**SECOND FLOOR
PLAN**

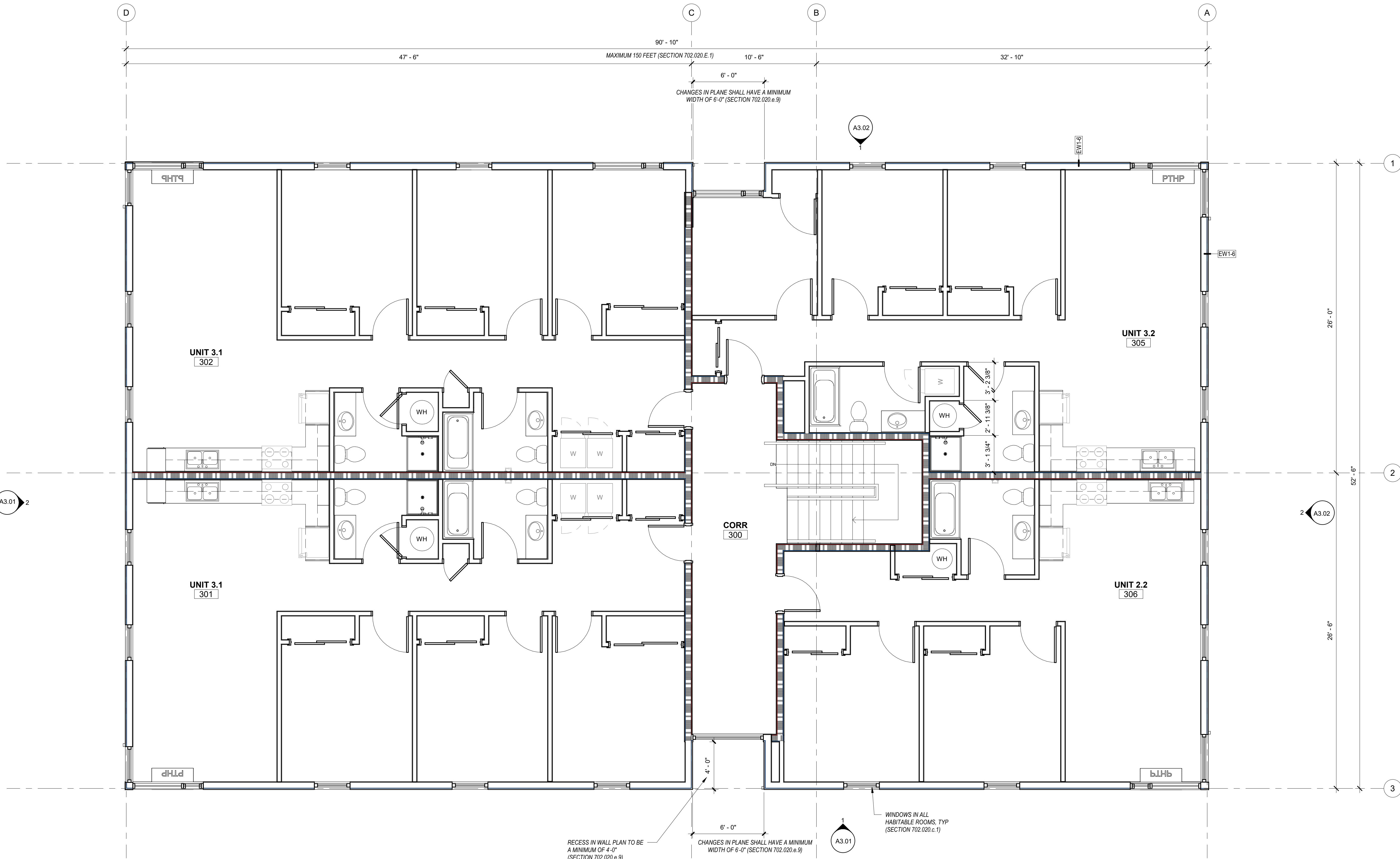
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Building H -

A2.12



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1
A2.13
THIRD FLOOR PLAN
1/4" = 1'-0"

GENERAL SHEET NOTES

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- I. DOWNSPOUTS PAINTED IN FIELD. RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.
- J. UNIT DEMISING WALLS TYPE IW3-6 UNO.
- K. UNIT INTERIOR WALLS TYPE IW1-4 UNO.
- L. SEE DOOR SCHEDULE FOR FIRE RATINGS, DOOR TYPES AND INSTALLATION DETAILS.
- M. SEE WINDOW SCHEDULE FOR WINDOW TYPES.

LEGEND

REF A0.01 FOR GENERAL LEGENDS

- 1 HOUR RATED ASSEMBLY
- .5 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- DS
2x3 FLAT STYPE DOWNSPOUT
- FD
FLOOR DRAIN
- WH
WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
- W
WASHER DRYER UNIT NIC. PROVIDE CONNECTIONS
- R-1
ASPHALT SHINGLE ROOF
- RIDGE VENT. SEE ROOF VENTILATION DIAGRAM
- ROOF INTAKE VENT. SEE ROOF VENTILATION DIAGRAM
- PROVIDE (2) LAYERS OF UNDERLAYMENT AT ROOF SLOPE LESS THAN 4"11'-0" PER MFR

NOT FOR
CONSTRUCTION

CDP SALEM -
PHASE 2
BUILDING H

Job Number: #22047

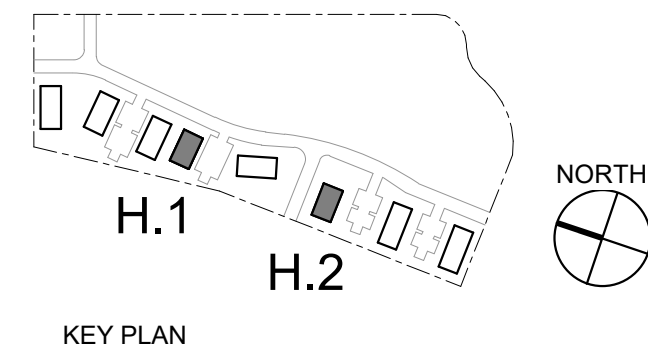
PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR



LAND USE
SUBMISSION
ISSUE

08.08.22
DATE

Drawing:
THIRD FLOOR PLAN



Sheet No:
Building H -
A2.13

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CDP SALEM -
PHASE 2
BUILDING H

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR



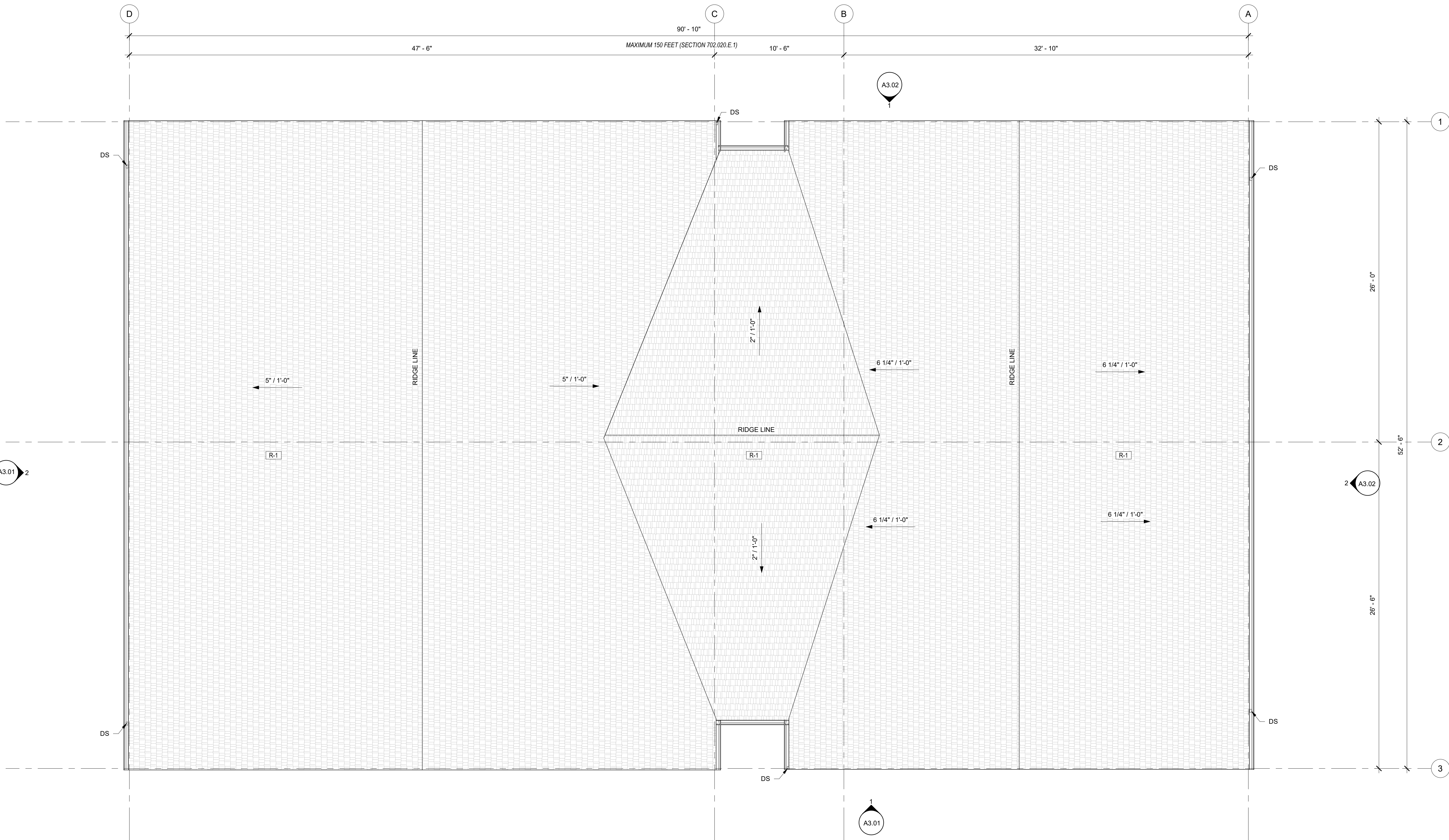
GENERAL ROOF PLAN
SHEET NOTES

- A. REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS NOT SHOWN HERE.
- B. REFERENCE SHEET #H FOR TYPICAL ROOF DETAILS NOT FLAGGED HERE.
- C. MINIMUM SLOPE OF CRICKETS TO BE 1/4" PER FT UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE ALL CRICKETS REQ'D TO PROVIDE POSITIVE DRAINAGE TO DRAINS.

LEGEND

- 1 HOUR RATED ASSEMBLY
- .5 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- DS
2x3 FLAT STYPE DOWNSPOUT
- FD
FLOOR DRAIN
- WH
WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
- W
WASHER DRYER UNIT NIC. PROVIDE CONNECTIONS
- R-1
ASPHALT SHINGLE ROOF
- RIDGE VENT. SEE ROOF VENTILATION DIAGRAM
- ROOF INTAKE VENT. SEE ROOF VENTILATION DIAGRAM
- PROVIDE (2) LAYERS OF UNDERLAYMENT AT ROOF SLOPE LESS THAN 4"/1'-0" PER MFR

SEE MECHANICAL DRAWINGS FOR LOCATION OF MECHANICAL UNITS AND ROOF PENETRATIONS



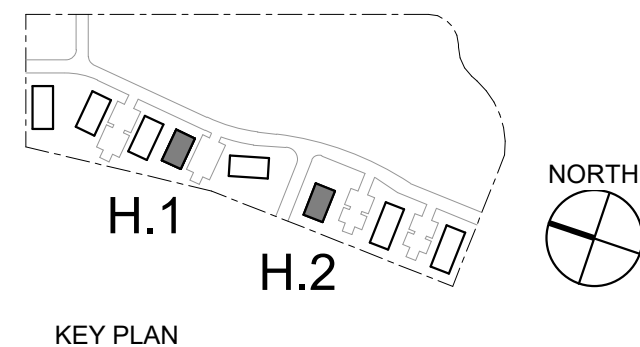
1
A2.21
ROOF PLAN
1/4" = 1'-0"

LAND USE
SUBMISSION
ISSUE

08.08.22
DATE

Drawing:
ROOF PLAN

Sheet No:
Building H -
A2.21



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H_Incubator\BIM\Roof\A2.21.dwg

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**CDP SALEM -
PHASE 2
BUILDING H**

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR



GENERAL SHEET NOTES

A.

REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.

B.

REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.

C.

CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.

D.

ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.

E.

PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.

F.

PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.

G.

TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

H.

LIGHTING FIXTURES SHOWN FOR REFERENCE, SEE ELECTRICAL DRAWINGS FOR FIXTURE TYPES

LEGEND

S-1

LAP SIDING
PRODUCT: FIBER CEMENT PLANK
LAP SIDING
COLOR: TBD

ASR

ASPHALT SHINGLE ROOF
PRODUCT: TBD
COLOR: TBD

WD-1

VERTICAL WOOD SIDING
PRODUCT: TBD
FINISH: TBD

L-1

ARCHITECTURAL PTHP LOUVER
PRODUCT: TBD
COLOR: LAP SIDING MATCH

CO-1

CONCRETE STEM WALL

3'-0" MIN

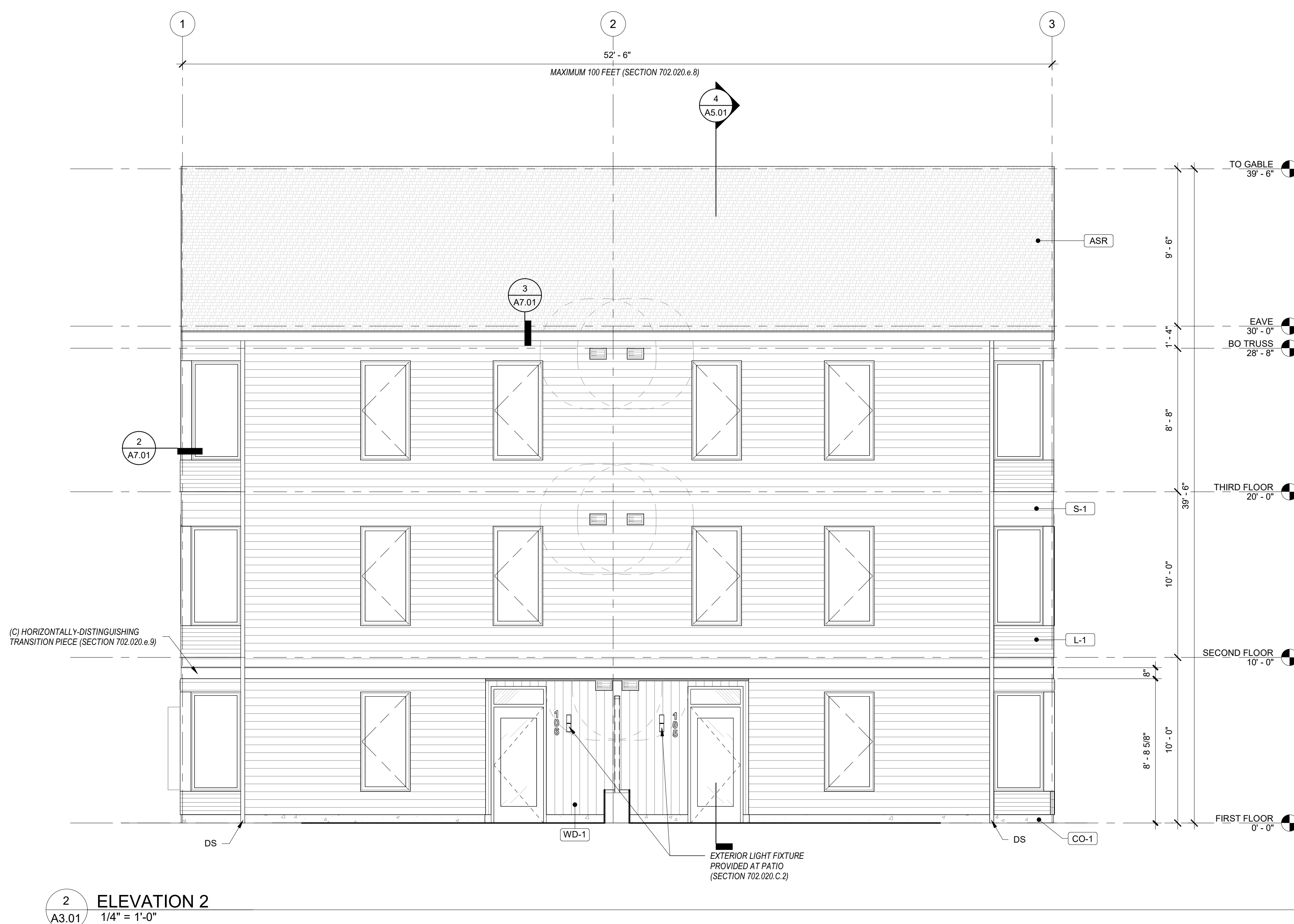
MECHANICAL EXHAUST
VENT. SEE MECHANICAL
DRAWINGS, PROVIDE 3'-0"
MIN CLEARANCE

MECHANICAL INTAKE VENT.
SEE MECHANICAL DRAWINGS

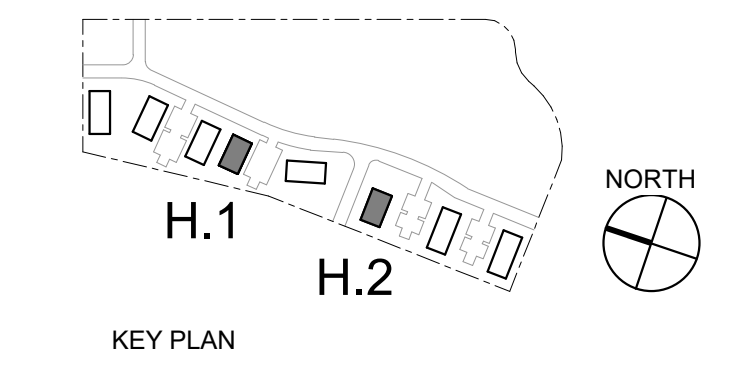
PTHP (BEYOND)



1
A3.01
ELEVATION 1
1/4" = 1'-0"



2
A3.01
ELEVATION 2
1/4" = 1'-0"



LAND USE
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ISSUE

08.08.22
DATE

Drawing:
**EXTERIOR
ELEVATIONS**

Sheet No:
Building H -
A3.01

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**CDP SALEM -
PHASE 2
BUILDING H**

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR



GENERAL SHEET NOTES

A. REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.

B. REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.

C. CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.

D. ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.

E. PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.

F. PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.

G. TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

H. LIGHTING FIXTURES SHOWN FOR REFERENCE, SEE ELECTRICAL DRAWINGS FOR FIXTURE TYPES

LEGEND

S-1

LAP SIDING
PRODUCT: FIBER CEMENT PLANK
LAP SIDING
COLOR: TBD

ASR

ASPHALT SHINGLE ROOF
PRODUCT: TBD
COLOR: TBD

WD-1

VERTICAL WOOD SIDING
PRODUCT: TBD
FINISH: TBD

L-1

ARCHITECTURAL PTHP LOUVER
PRODUCT: TBD
COLOR: LAP SIDING MATCH

CO-1

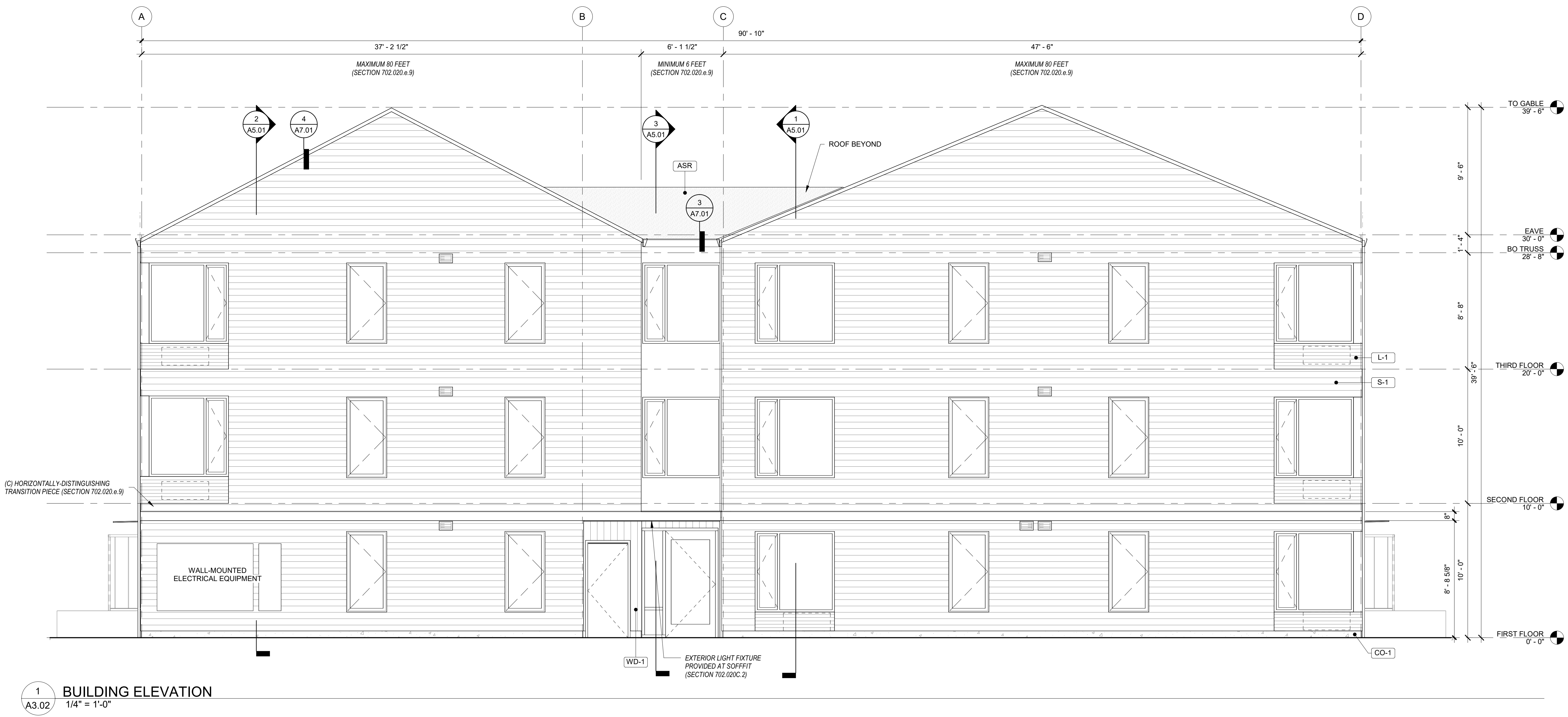
CONCRETE STEM WALL

3'-0" MIN

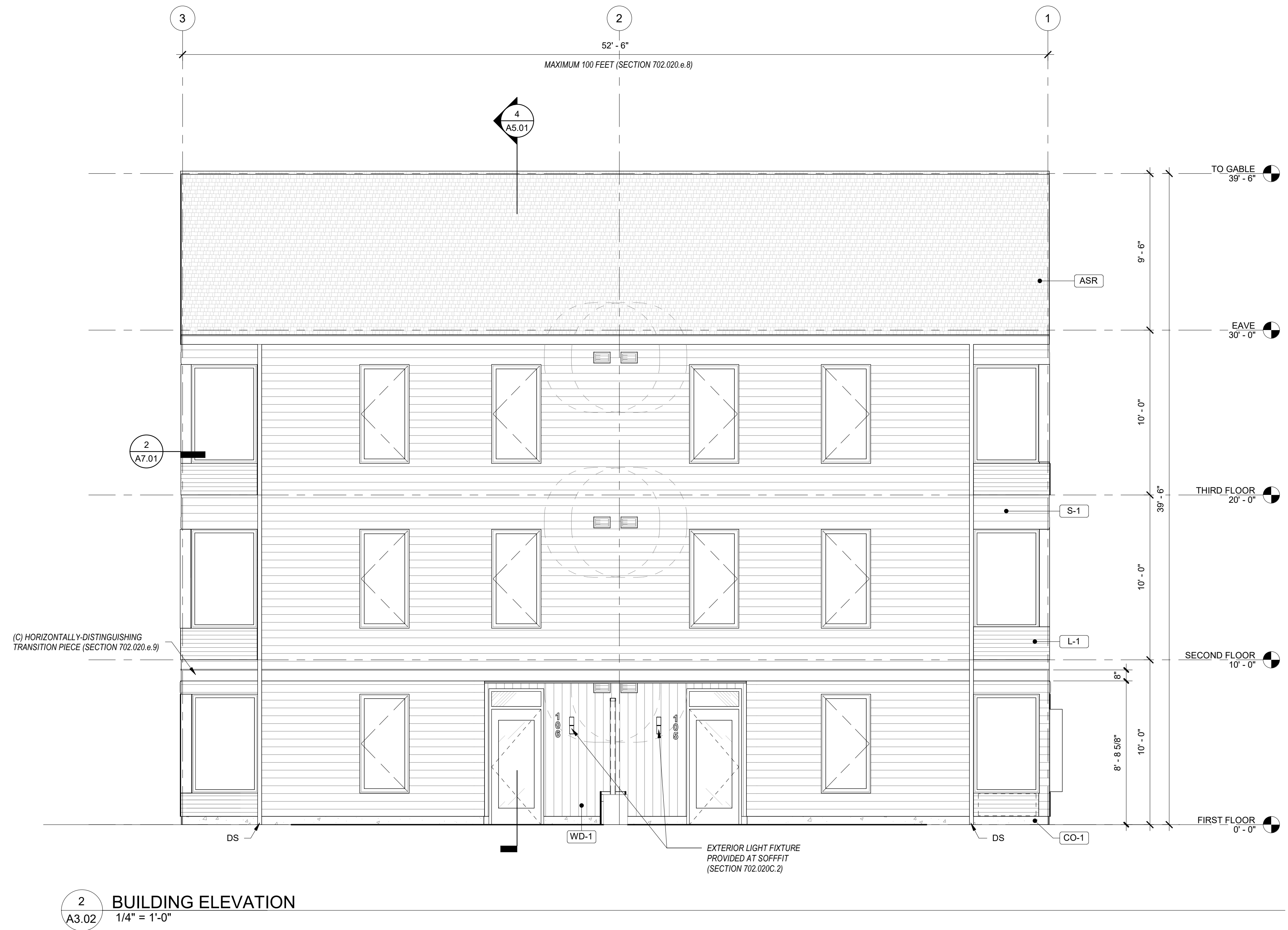
MECHANICAL EXHAUST VENT. SEE MECHANICAL DRAWINGS, PROVIDE 3'-0" MIN CLEARANCE

MECHANICAL INTAKE VENT. SEE MECHANICAL DRAWINGS

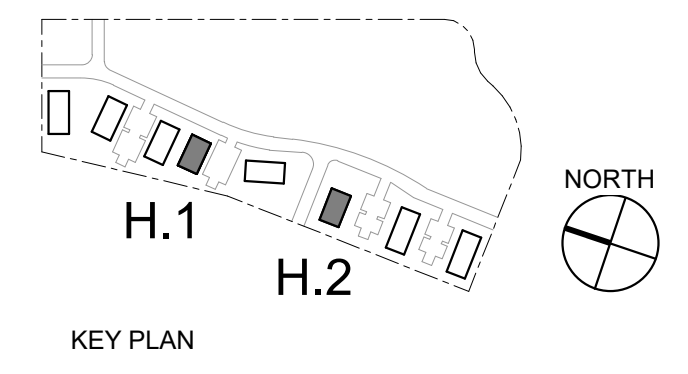
PTHP (BEYOND)



1 BUILDING ELEVATION
1/4" = 1'-0"



2 BUILDING ELEVATION
1/4" = 1'-0"



LAND USE
SUBMISSION
ISSUE

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DATE

Drawing:
**EXTERIOR
ELEVATIONS**

Sheet No:
Building H -
A3.02



BUILDING FROM TEAL LOOKING EAST



BUILDING FROM SALAL



BUILDING PATIOS

MATERIALS



VERTICAL WOOD SIDING
PRODUCT: T&G SIDING, 1x6
WESTERN RED CEDAR
FINISH: TRANSPARENT



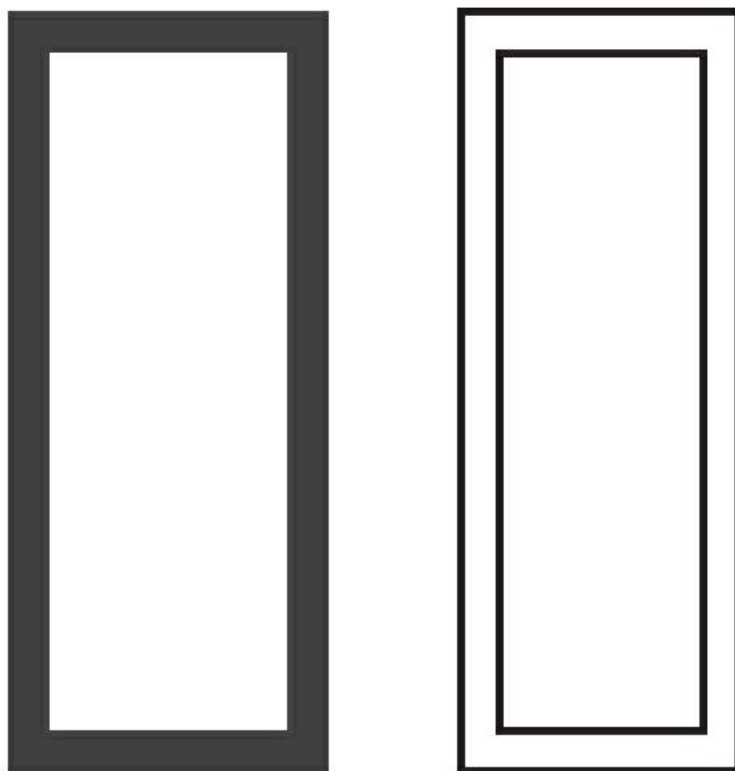
LAP SIDING
PRODUCT: FIBER CEMENT
PLANK LAP SIDING,
STRAIGHT EDGE PANEL
FINISH: PAINT, LIGHT



ASPHALT SHINGLE ROOF
PRODUCT: THREE-TAB-STRIP
ASPHALT SHINGLES
FINISH: DARK



FLAT METAL PANEL
PRODUCT: TBD
FINISH: DARK



VINYL WINDOWS
PRODUCT: TBD
FINISH: BLACK & WHITE

* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.

NOT FOR
CONSTRUCTION

CDP SALEM -
PHASE 2
BUILDING H

Job Number: #22047

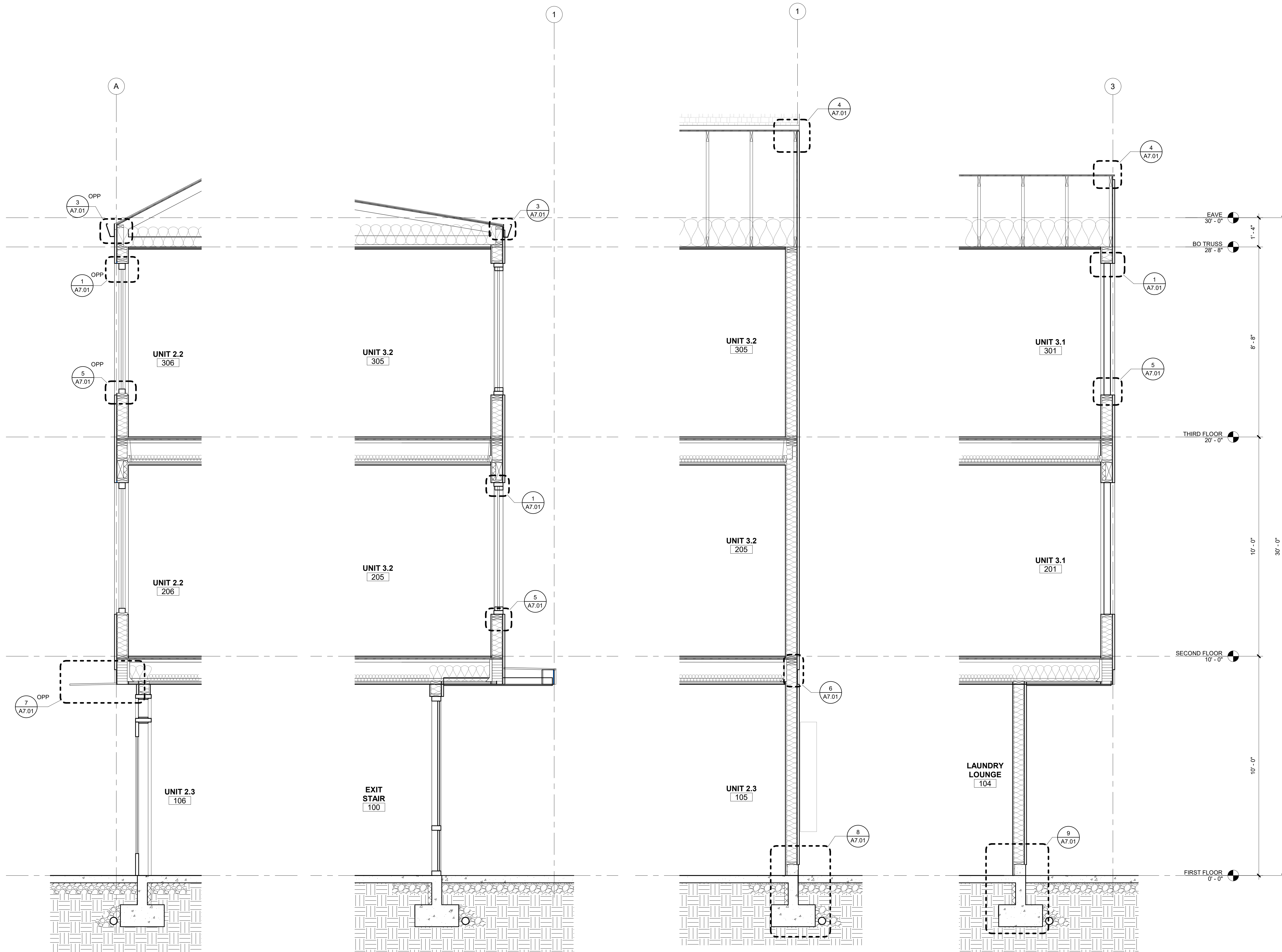
PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

NOT FOR
CONSTRUCTION

CDP SALEM -
PHASE 2
BUILDING H

Job Number: #22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

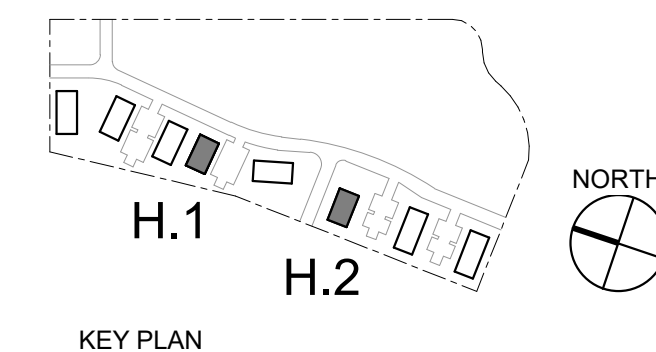


4 WALL SECTION
A5.01 1/2" = 1'-0"

3 WALL SECTION
A5.01 1/2" = 1'-0"

2 WALL SECTION
A5.01 1/2" = 1'-0"

1 WALL SECTION
A5.01 1/2" = 1'-0"



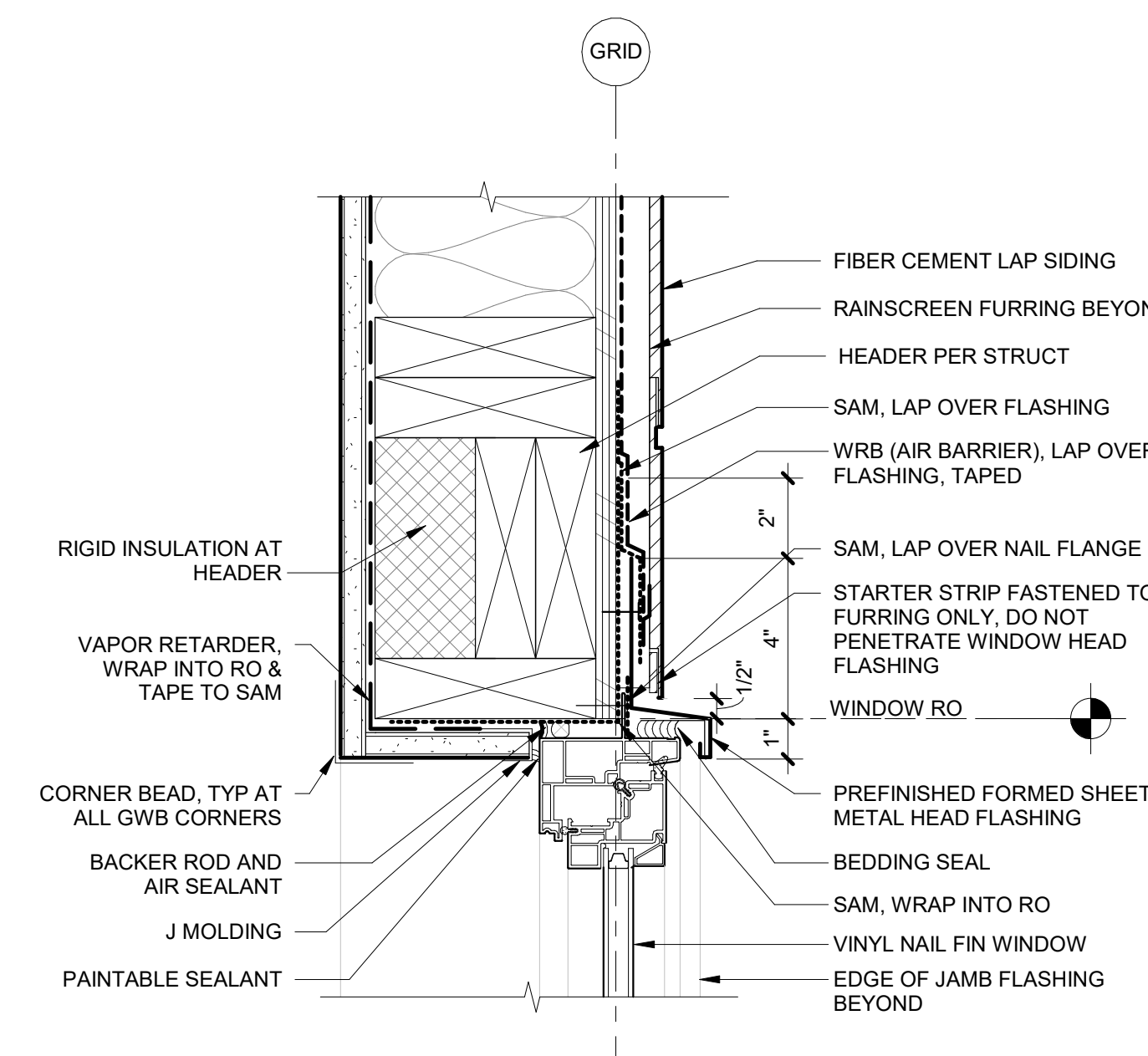
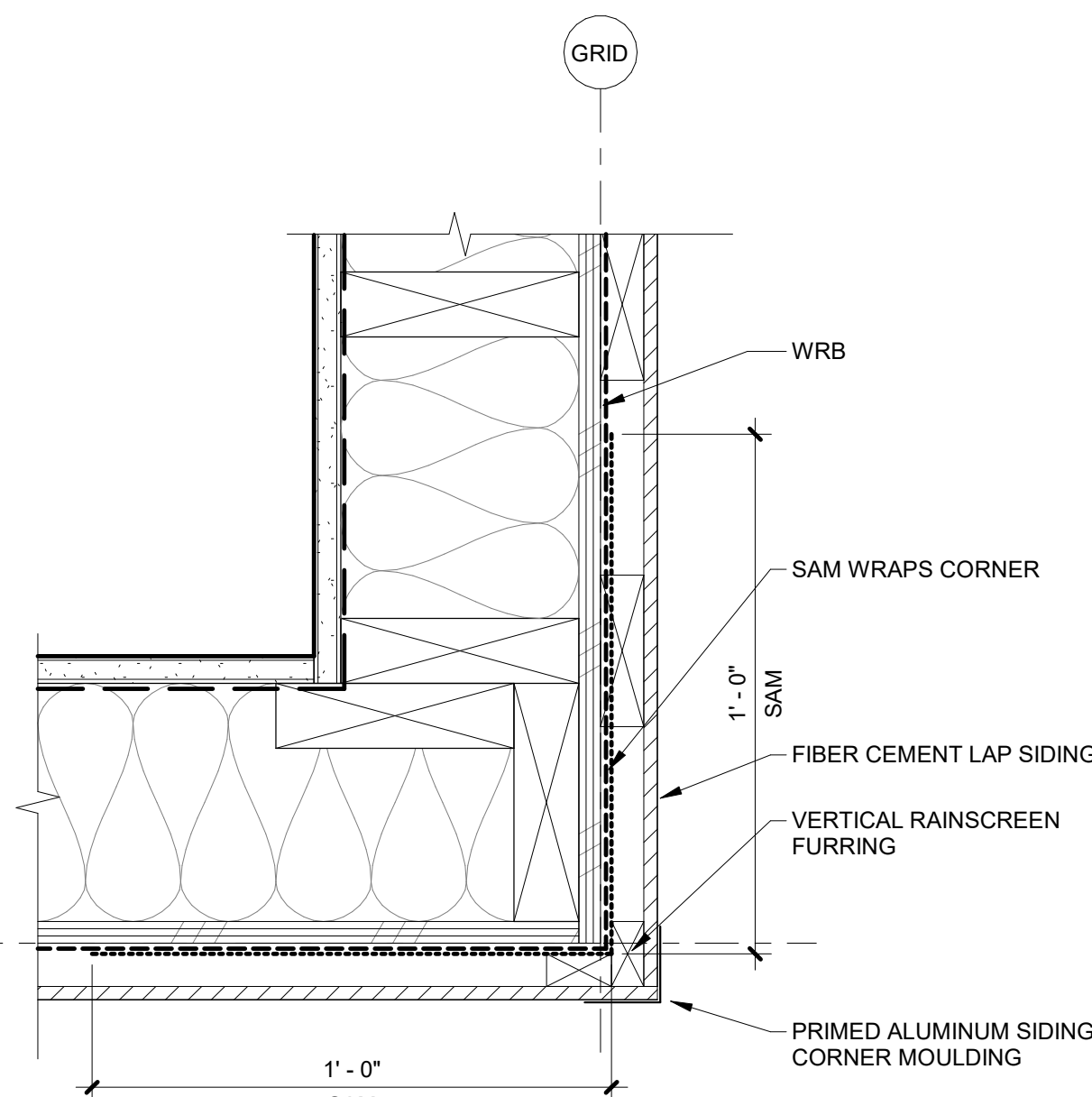
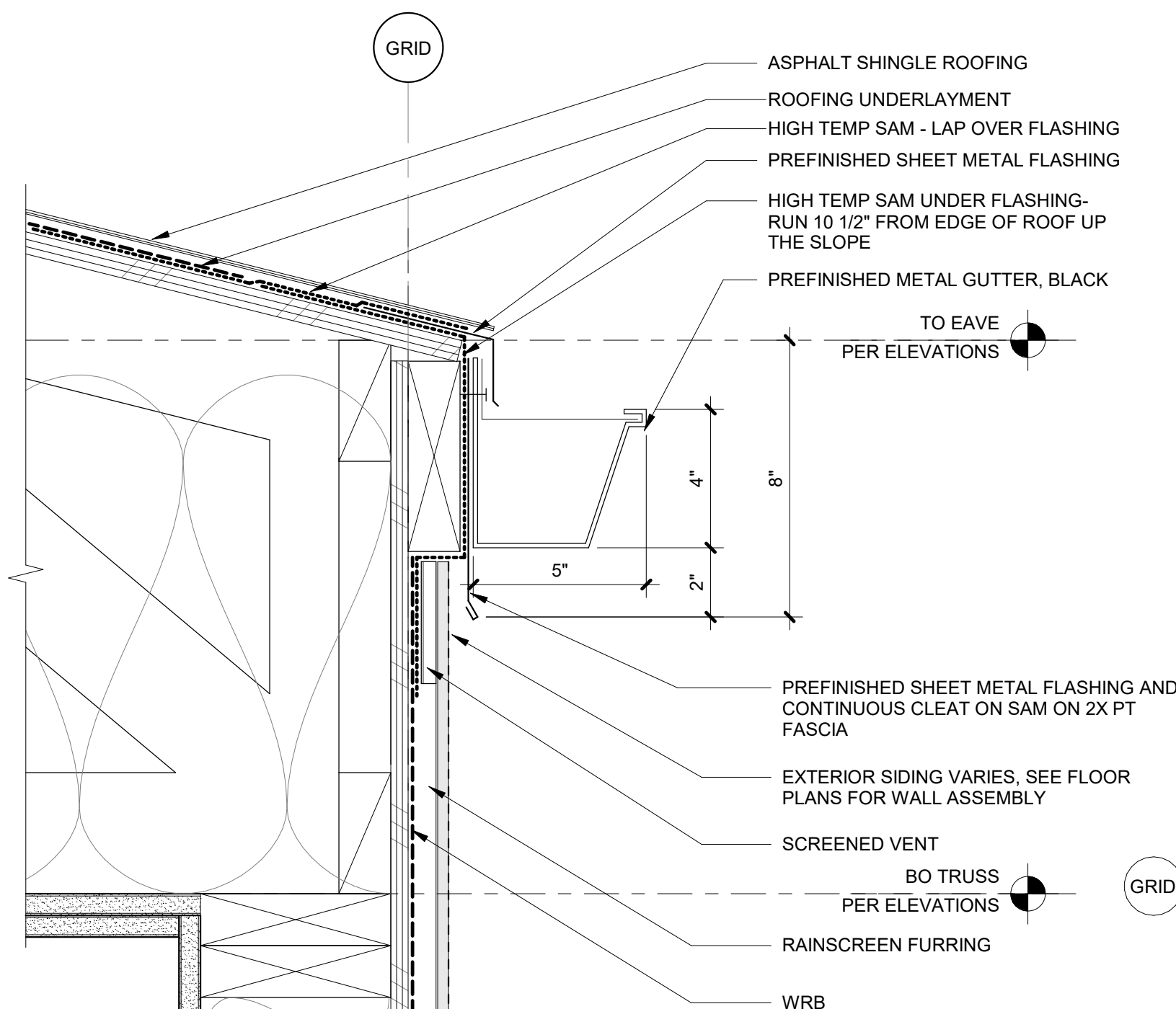
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08.08.22
DATE

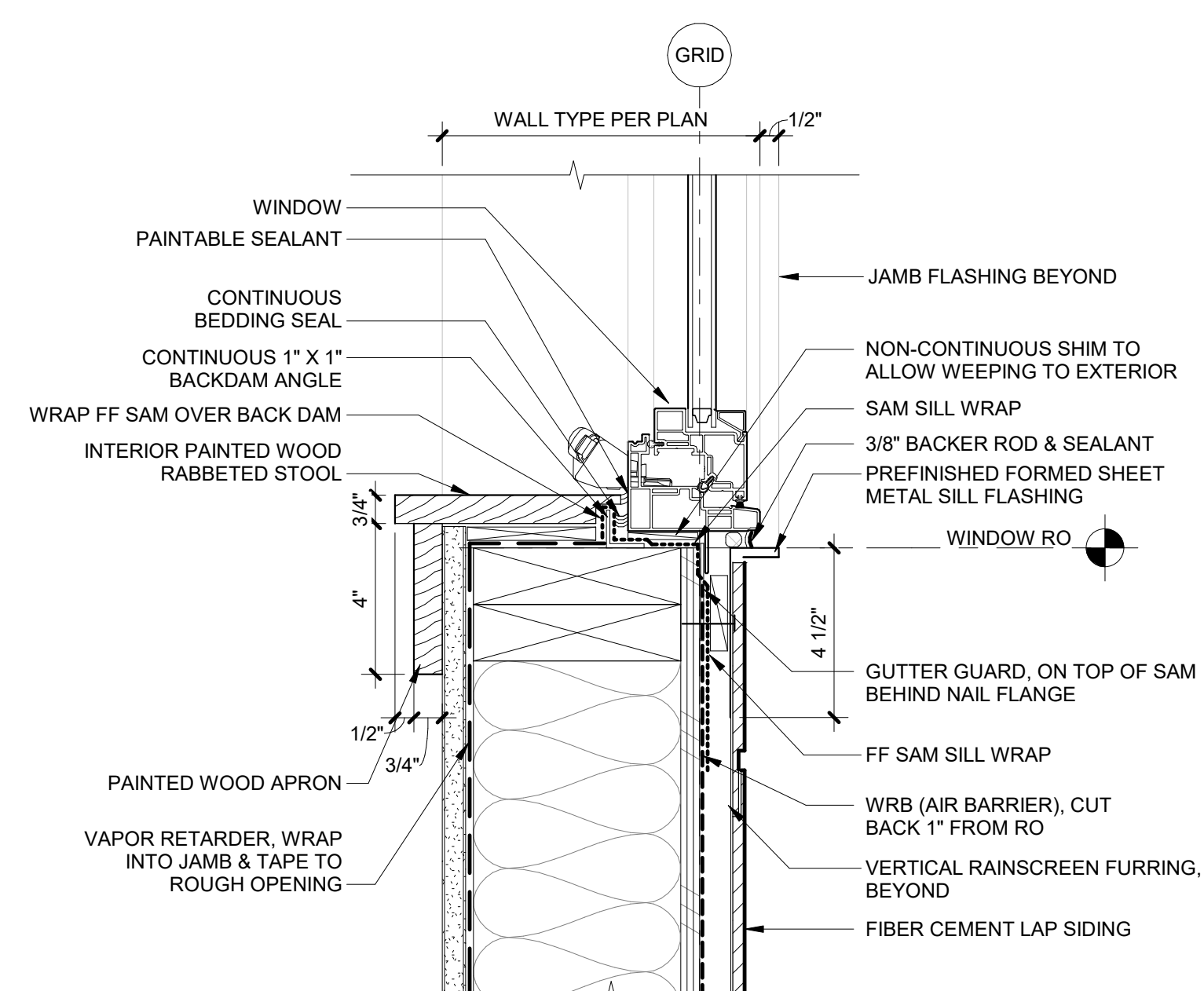
Drawing:
WALL SECTIONS

A5.01

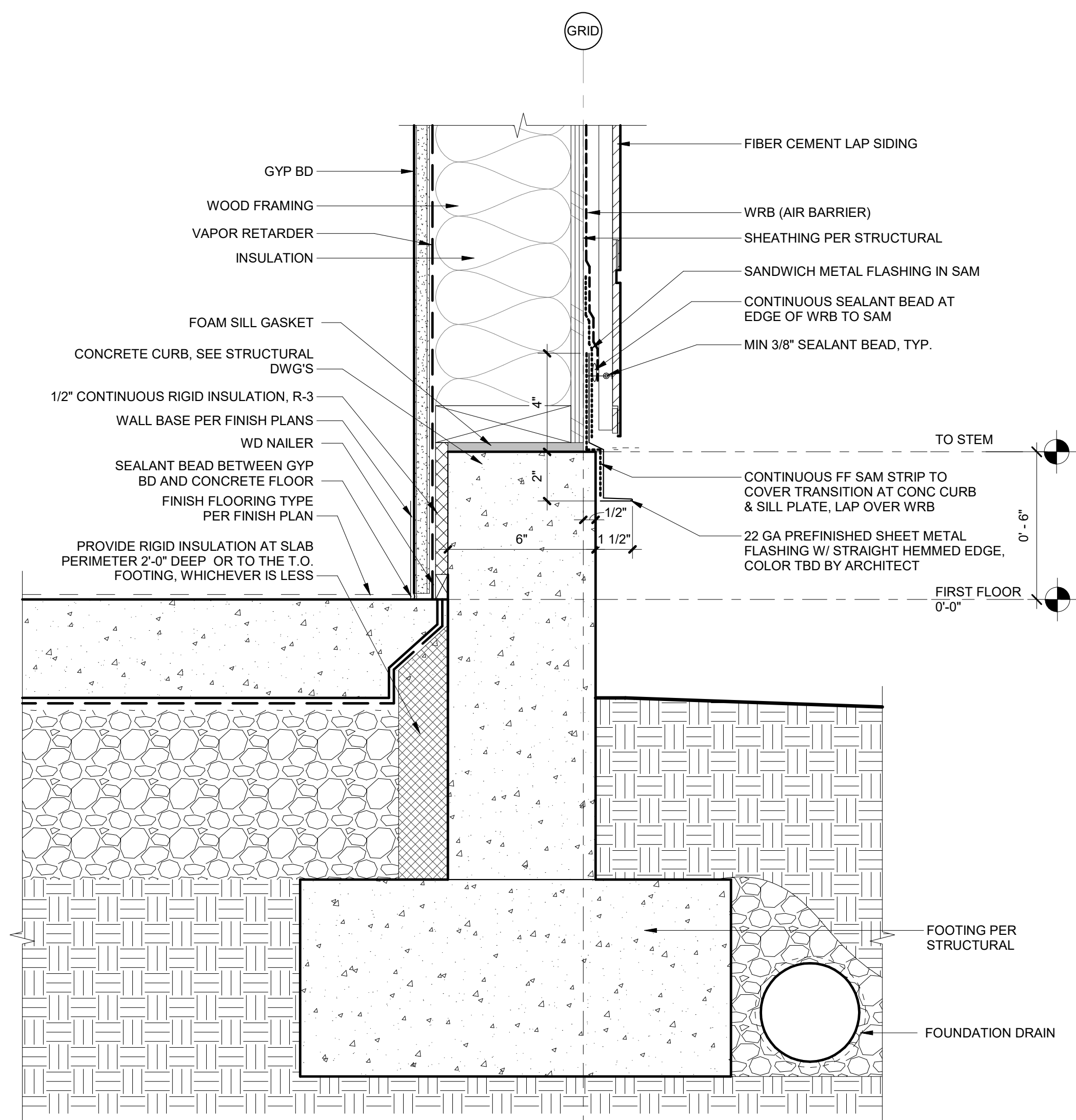
4 TYPICAL RAKE
3" = 1'-0"



1 WINDOW HEAD @FIBER-CEMENT SIDING
3" = 1'-0"

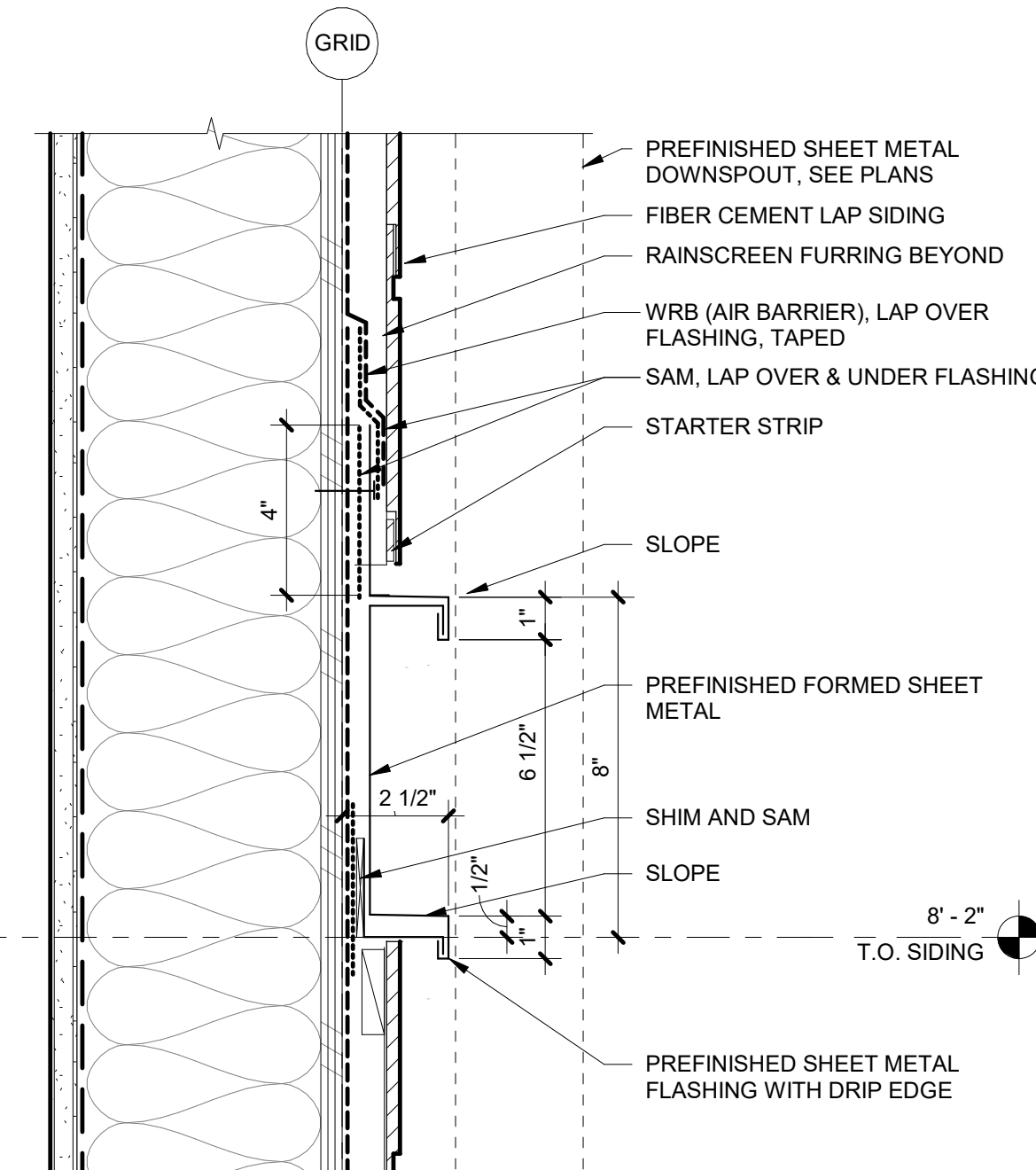


5 WINDOW SILL @ FIBER-CEMENT SIDING
3" = 1'-0"

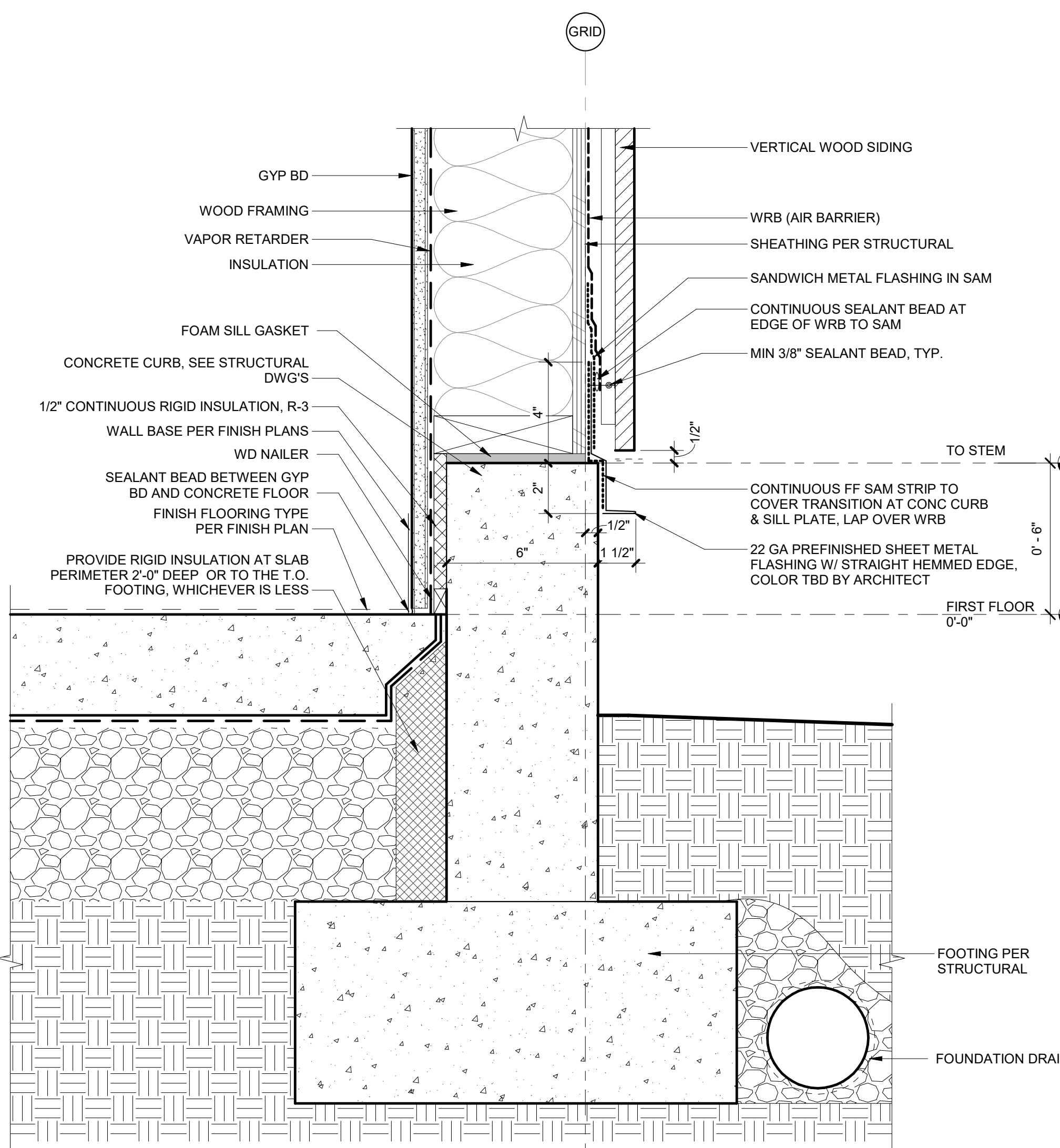


8 CURB AT FIBER-CEMENT SIDING

2 FIBER-CEMENT SIDING OUTSIDE CORNER

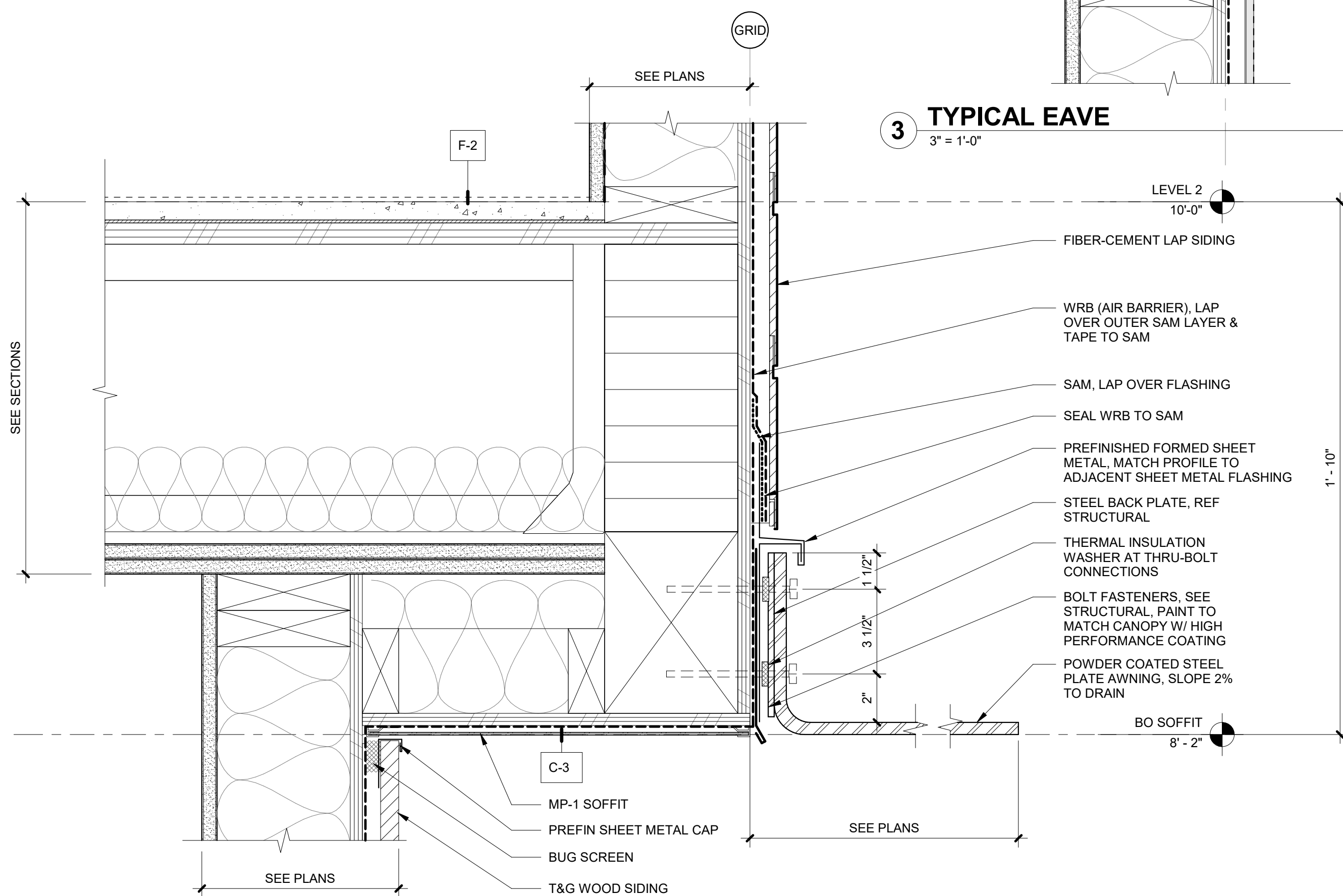


6 BELLY BAND AT FIBER-CEMENT SIDING
3" = 1'-0"

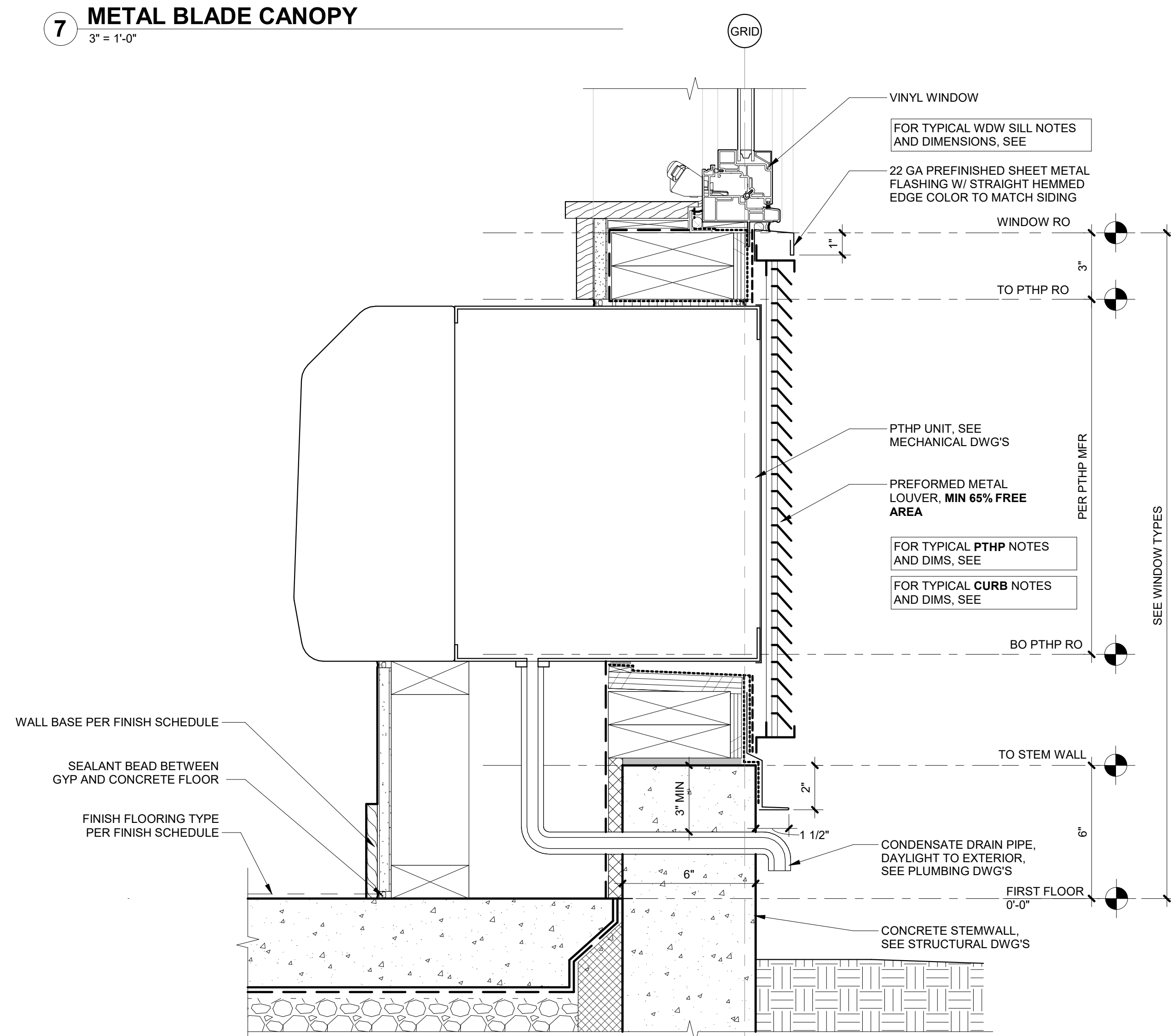


9 CURB AT WOOD SIDING
3" = 1'-0"

3 TYPICAL EAVE



7 METAL BLADE CANOPY
3" = 1'-0"



10 PTHP AT CONC CURB
3" = 1'-0"

EXTERIOR DETAILS

Sheet No: _____

A7.01

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