

# LAND USE SUBMISSION

08.08.22



## CDP SALEM - PHASE 2 BUILDING G2

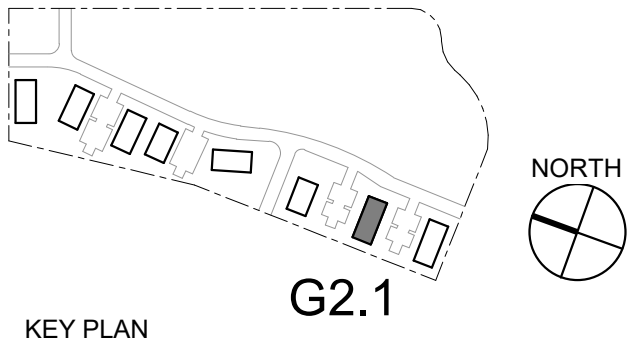
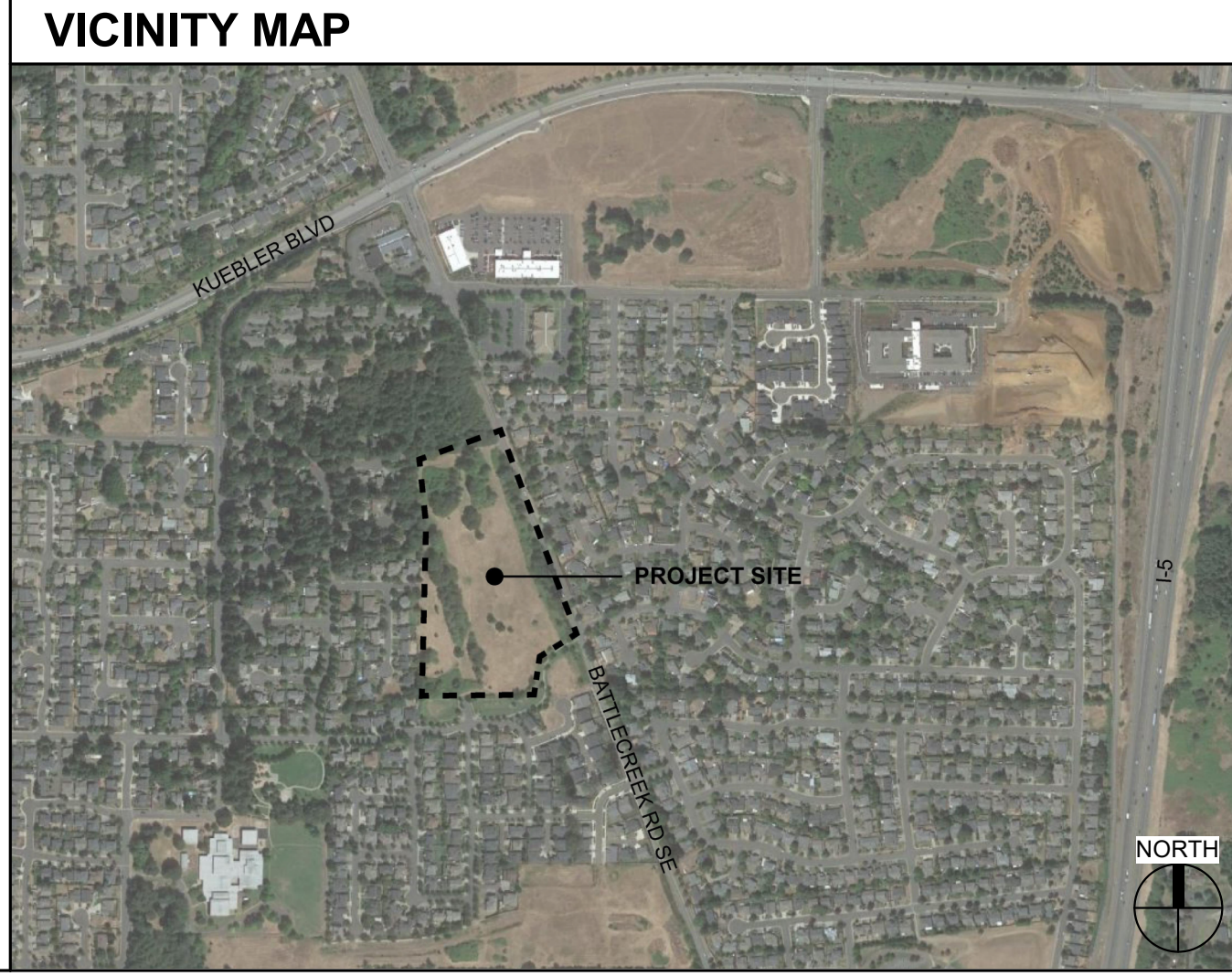
PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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GENERAL PROJECT NOTES		PROJECT TEAM		PROJECT SUMMARY		SHEET INDEX																													
<p>REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.</p> <p>1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.</p> <p>2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.</p> <p>3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.</p> <p>4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.</p> <p>5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.</p> <p>6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.</p> <p>7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.</p> <p>8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.</p> <p>9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.</p> <p>11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.</p> <p>12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.</p> <p>14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.</p> <p>15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.</p> <p>16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.</p> <p>17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.</p>		<p><b>OWNER</b></p> <p>CDP OREGON LLC 126 NE ALBERTA ST #202 PORTLAND, OR 97211 TEL: 971.533.7466 FAX: N/A CONTACT: THOMAS ELDRIDGE EMAIL: THOMAS@COMMUNITYDEVPARTNERS.COM</p> <p><b>CONTRACTOR</b></p> <p>GERDING BUILDERS 200 SW AIRPORT AVENUE CORVALLIS, OR 97333 TEL: 541.753.2012 FAX: 541.754.6624 CONTACT: RYAN MCALISTER EMAIL: RYANM@GERDINGBUILDERS.COM</p> <p><b>ARCHITECT</b></p> <p>SCOTT   EDWARDS ARCHITECTURE, LLP 2525 E. BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: DAVE MOJICA EMAIL: DMOJICA@SEALLP.COM</p> <p><b>CIVIL ENGINEER</b></p> <p>HHPR 530 CENTER ST NE SUITE 240 SALEM, OREGON 97301 TEL: 503.365.1131 FAX: N/A CONTACT: BEAU BRAMAN EMAIL: BEAUB@HHPR.COM</p> <p><b>LANDSCAPE ARCHITECT</b></p> <p>PLACE 735 NW 18TH AVENUE PORTLAND, OR 97209 TEL: 503.334.2080 FAX: N/A CONTACT: MAURICIO VILLARREAL EMAIL: MAURICIO.VILLARREAL@PLACE.LA</p> <p><b>STRUCTURAL ENGINEER</b></p> <p>STONEWOOD STRUCTURAL ENGINEERS, INC 2001 NW 19TH SUITE 103A PORTLAND, OR 97209 TEL: 360.216.1704 FAX: N/A CONTACT: D. SCOTT NYSETH EMAIL: SCOTT.NYSETH@STONEWOODSTRUCTURAL.COM</p> <p><b>MEP &amp; FIRE PROTECTION ENGINEER</b></p> <p>INTERFACE 100 SW MAIN STREET, SUITE 1600 PORTLAND, OR 97204 TEL: 503.382.2266 FAX: 503.382.2262 CONTACT: KIM WALL EMAIL: KIMW@INTERFACEENG.COM</p>		<p>PROJECT DESCRIPTION: 3-STORY WOOD FRAMED MULTIFAMILY BUILDING FEATURING 18 RESIDENTIAL UNITS AND FIRE RISER ROOM.</p> <p>GROSS AREA: 19,188 SF</p> <p>PROJECT ADDRESS: 5205 BATTLE CREEK RD SE SALEM, OR 97306</p> <p>LEGAL DESCRIPTION: 083W14/ 118 AND 300</p> <p>ZONING: RM-II</p>		<table><thead><tr><th>SHEET #</th><th>SHEET NAME</th></tr></thead><tbody><tr><td colspan="2">GENERAL</td></tr><tr><td>G0.01</td><td>GENERAL PROJECT INFORMATION</td></tr><tr><td>G1.01</td><td>CODE SUMMARY</td></tr><tr><td colspan="2">ARCHITECTURAL</td></tr><tr><td>A0.01</td><td>ARCHITECTURAL GENERAL NOTES AND DIAGRAMS</td></tr><tr><td>A0.10</td><td>GENERAL DIAGRAMS</td></tr><tr><td>A0.20</td><td>ASSEMBLIES</td></tr><tr><td>A2.12</td><td>FIRST FLOOR AND SECOND FLOOR PLANS</td></tr><tr><td>A2.13</td><td>THIRD FLOOR AND ROOF PLANS</td></tr><tr><td>A3.01</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A3.10</td><td>RENDERINGS</td></tr><tr><td>A5.01</td><td>WALL SECTIONS</td></tr><tr><td>A7.01</td><td>EXTERIOR DETAILS</td></tr></tbody></table>		SHEET #	SHEET NAME	GENERAL		G0.01	GENERAL PROJECT INFORMATION	G1.01	CODE SUMMARY	ARCHITECTURAL		A0.01	ARCHITECTURAL GENERAL NOTES AND DIAGRAMS	A0.10	GENERAL DIAGRAMS	A0.20	ASSEMBLIES	A2.12	FIRST FLOOR AND SECOND FLOOR PLANS	A2.13	THIRD FLOOR AND ROOF PLANS	A3.01	EXTERIOR ELEVATIONS	A3.10	RENDERINGS	A5.01	WALL SECTIONS	A7.01	EXTERIOR DETAILS
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		<p><b>SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS</b></p> <p>CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.</p> <p>UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.</p> <p><u>SEPARATE PERMITS:</u></p> <p>1. FIRE SYSTEMS - ALARM 2. FIRE SYSTEMS - SPRINKLERS 3. SIGNAGE</p> <p><u>DEFERRED SUBMITTALS:</u></p> <p>1. MEP EQUIPMENT BRACING 2. ROOF TRUSSES 3. STOREFRONT, WINDOWS, LOUVERS, AND THEIR CONNECTIONS TO STRUCTURE 4. SOFFITS AND SUSPENDED CEILINGS 5. ROOFTOP ANCHORAGE 6. GUARDRAILS AND HANDRAILS</p> <p>SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.</p>																																	





CITY OF SALEM UNIFIED DEVELOPMENT CODE - TITLE X

SECTION	REQUIREMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
<b>SITE SAFETY &amp; SECURITY</b>		
702.020 c.1	REQUIREMENT MET	A2.11-A3.01
702.020 c.2	REQUIREMENT MET	A3.01
<b>FACADE &amp; BUILDING DESIGN</b>		
702.020 e.1	REQUIREMENT MET	A2.11-A2.12
702.020 e.8	REQUIREMENT MET	A3.01
702.020 e.9	REQUIREMENT MET	A2.11-A3.01
702.020 e.10	REQUIREMENT MET	A3.01

BUILDING CODE SUMMARY

2019 OREGON STRUCTURAL SPECIALTY CODE

OCCUPANCY	R-2
CONSTRUCTION TYPE	TYPE V-B, SPRINKLERED PER NFPA 13R

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

OSSC REFERENCE

SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	Primary Building Occupancy: 60 FT / 3 STORY / 7000 SF
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MODIFICATIONS

SECTION 506.2.506.2.3 SINGLE-OCCUPANCY, MULTISTORY BUILDING EQUATION 5-2	BUILDING AREA	A <sub>a</sub> = [A <sub>t</sub> + (NS x If)] x S <sub>a</sub> = [7000 SF + (7000 SF x 0.75)] x 3 = 12250 SF x 3 = 36750 SF
SECTION 508.3	FRONTAGE INCREASE	If = [F/P - 0.25] x W/30 If = [1/1 - 0.25] x 30/30 = 0.75
	ACTUAL HEIGHT / STORIES	35' - 0" / 3 Story

BUILDING AREA	
FLOOR LEVEL	AREA (SF)
FIRST FLOOR	6363 SF
SECOND FLOOR	6393 SF
	12757 SF

SECTION 508.2	ACCESSORY OCCUPANCY	N/A
SECTION 508.3 / 508.4	MIXED OCCUPANCY	N/A
TABLE 509	INCIDENTAL USES LAUNDRY ROOMS OVER 100 SF TRASH ROOMS OVER 100 SF	SPRINKLERED, NO SEPARATION REQUIRED SPRINKLERED, NO SEPARATION REQUIRED

CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION

TABLE 601	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS
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BUILDING ELEMENT		FIRE RATING *
PRIMARY STRUCTURAL FRAME		0 HOUR
BEARING WALLS		
EXTERIOR		0 HOUR
INTERIOR		0 HOUR
NON BEARING WALLS AND PARTITIONS - EXTERIOR		PER TABLE 602
NON BEARING WALLS AND PARTITIONS - INTERIOR		0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS		0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS		0 HOUR
* UNLESS OTHERWISE REQUIRED BY THIS CODE		

TABLE 602	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE
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FIRE SEPARATION DISTANCE		FIRE RATING
X < 5'		1 HOUR
5' ≤ X < 10'		1 HOUR
10' ≤ X < 30'		0 HOUR
X ≥ 30'		0 HOUR

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES
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TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION	
	UNPROTECTED, NON-SPRINKLERED	PROTECTED
0 TO LESS THAN 3'	NOT PERMITTED	NOT PERMITTED
3 TO LESS THAN 5'	NOT PERMITTED	15%
5 TO LESS THAN 10'	10%	25%
10 TO LESS THAN 15'	15%	45%
15 TO LESS THAN 20'	25%	75%
20 TO LESS THAN 25'	45%	NO LIMIT
25 TO LESS THAN 30'	70%	NO LIMIT
30' OR GREATER	NO LIMIT	NO LIMIT

705.8.1	ALLOWABLE AREA OF OPENINGS	EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.
705.11	PARAPETS	EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.
TABLE 706.4	FIRE WALL FIRE RESISTANCE	N/A
TABLE 707.3.10	FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS	N/A
SECTION 708	FIRE PARTITIONS	1 HOUR EXCEPTION 1: 12 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1
SECTION 709	SMOKE BARRIERS	NOT REQUIRED
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3	
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A
711.2.4.2	SEPARATING FIRE AREAS	N/A
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR
711.2.4.4	SEPARATING SMOKE COMPARTMENTS	N/A
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509
711.2.4.6	OTHER SEPARATIONS	N/A
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE

CHAPTER 8: INTERIOR FINISHES

TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATINGS)
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INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C
CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C
ROOMS AND ENCLOSED SPACES	C

CHAPTER 9: FIRE PROTECTION SYSTEMS

	SPRINKLERED PER NFPA 13R
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CHAPTER 10: MEANS OF EGRESS		
SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD TABLE
SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR	0.3
SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR	0.2
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 OCCUPANTS 125 FT
TABLE 1006.3.2	MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY	500 2 *SEE 1003.3 EXCEPTIONS
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030 REQUIRED FOR STORIES WITH ONE EXIT
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	250 FT
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	0.5 HR
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES * 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50
SECTION 1020.4	DEAD ENDS	20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH
SECTION 1023.2	INTERIOR EXIT STAIRWAY FIRE- RESISTANCE RATING	1 HR CONNECTING < 4 STORIES

CHAPTER 11: ACCESSIBILITY		
SECTION 1106.2	R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE	
	TOTAL SPACES PROVIDED:	43
	ACCESSIBLE SPACES REQUIRED:	43 x 2% = 1
	ACCESSIBLE SPACES PROVIDED:	5
SECTION 1107.6.2.2.1	R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS	
	TYPE A UNITS REQUIRED (TOTAL FOR SITE):	129 x 2% = 3 UNITS
	TYPE A UNITS PROVIDED (TOTAL FOR SITE):	7 UNITS
	TYPE A UNITS PROVIDED (THIS BUILDING):	
SECTION 1107.6.2.2.2	WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM	
EXCEPTION:	THE NUMBER OF TYPE A AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1107.7	
	1107.7.1.1, STRUCTURES WITHOUT ELEVATOR SERVICE, ONE STORY WITH TYPE B UNITS REQUIRED	

ADDITIONAL ACCESSIBILITY REQUIREMENTS		
APPLICABLE STANDARDS	ANSI ICC A117.1 - 2009 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II SECTION 504 FAIR HOUSING ACCESSIBILITY GUIDELINES FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018 OHCS CORE DEVELOPMENT MANUAL	
ACCESSIBLE UNITS	5% OF UNITS WITH MOBILITY FEATURES 2% OF UNITS WITH COMMUNICATION FEATURES	129 x 5% = 7 UNITS 129 x 2% = 3 UNITS

CHAPTER 13: ENERGY EFFICIENCY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)			
CLIMATE ZONE 4C			
OPAQUE ELEMENTS	REQUIRED		PROVIDED
	ASSEMBLY MAX.	MIN. R-VALUE	
ROOFS			
INSULATION ENTIRELY ABOVE DECK	N/A	N/A	
METAL BUILDINGS ATTIC AND OTHER	N/A U-0.021	N/A R-49	R-49
WALLS (ABOVE GRADE)			
MASS	U-0.104	R-11.4 CI	R-11.4 CI
METAL BUILDINGS STEEL-FRAMED	N/A	N/A	
WOOD-FRAMED / OTHER	U-0.064	R-20	R-23
WALLS (BELOW GRADE)	C-0.119	R-10 CI	
FLOORS			
MASS	N/A	N/A	
STEEL JOIST	N/A	N/A	
WOOD FRAMED / OTHER	U-0.033	R-30	R-30
SLAB-ON-GRADE FLOORS			
HEATED	N/A	N/A	
UNHEATED	F-0.520	R-15 FOR 24"	R-15
OPAQUE DOORS			
SWINGING	U-0.37		-0.37
NON-SWINGING			

PENETRATION	REQUIRED			PROVIDED		
	MAX U	MAX SHGC	MIN VT/ISHGC	MAX U	MAX SHGC	MIN VT/ISHGC
VERTICAL (0% - 40% OF WALL ALLOWED)						
FIXED	0.36	0.36	1.10	0.36	0.36	1.10
OPERABLE	0.45	0.33	1.10	0.45	0.33	1.10
ENTRANCE DOOR	0.63	0.33	1.10	0.63	0.33	1.10
SKYLIGHT (0% - 3% OF ROOF ALLOWED)						

CHAPTER 29: PLUMBING FIXTURES		
	TOTAL UNITS	
R-2	20	1 WC / LAV / Tub or Shower per unit required and provided

LIFE SAFETY OCCUPANT LOAD SCHEDULE				
AREA NAME	AREA (SF)	TABLE 1004.1.2		OCCUPANT LOAD
		FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	
FIRST FLOOR	6136 SF	Residential	200	31
SECOND FLOOR	6119 SF	Residential	200	31
THIRD FLOOR	6127 SF	Residential	200	31
				93

EXIT ACCESS TRAVEL DISTANCE	
EGRESS PATH NAME	EGRESS PATH LENGTH
FIRST FLOOR	42' - 5"
SECOND FLOOR	50' - 7"
THIRD FLOOR	50' - 7"

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G2\_22\_mculbertsonPX8T.rvt

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



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## REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009

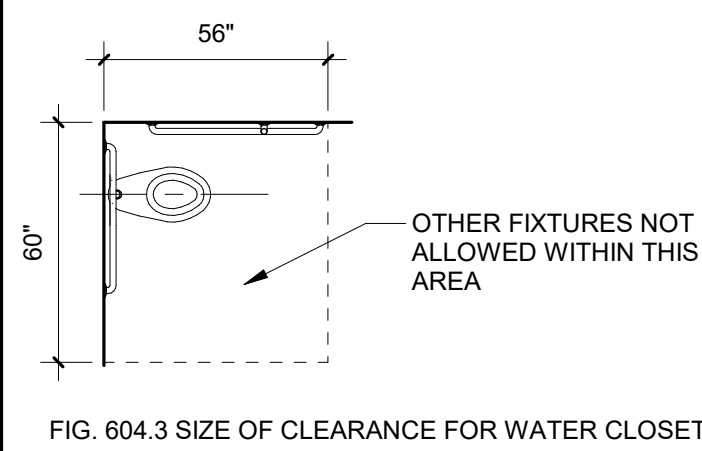
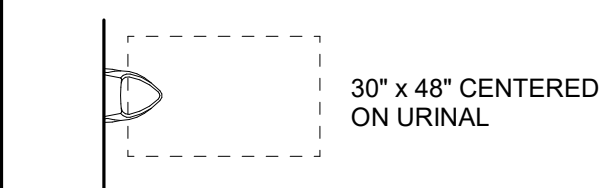
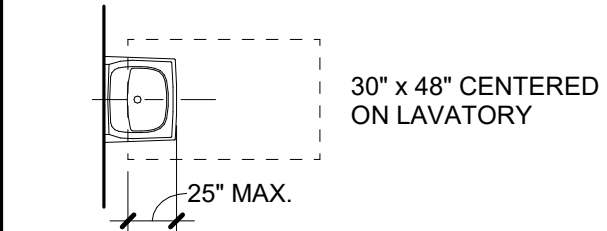


FIG. 604.3 SIZE OF CLEARANCE FOR WATER CLOSET



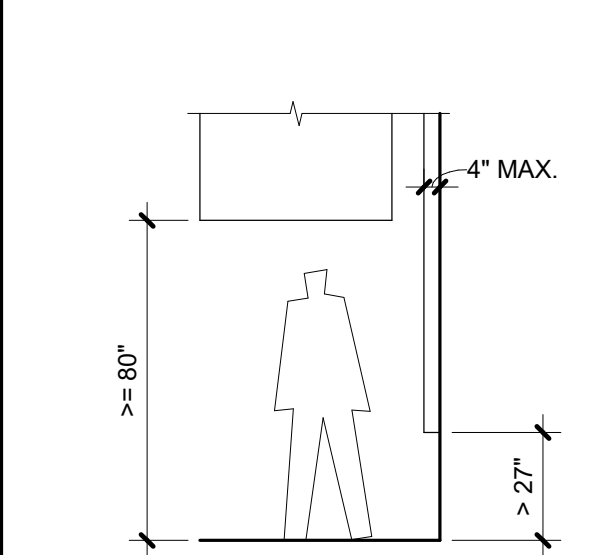
605.3 SIZE OF CLEARANCE FOR URINAL



SIZE OF CLEARANCE FOR LAVATORY

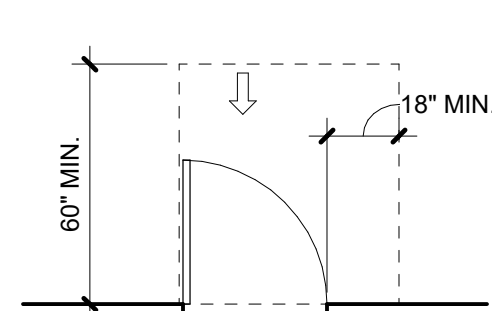
## PROTRUDING OBJECTS

PER ICC A117.1-2009 FIG. 307.2

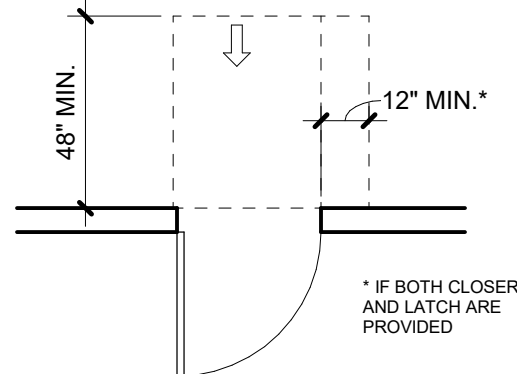


## MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

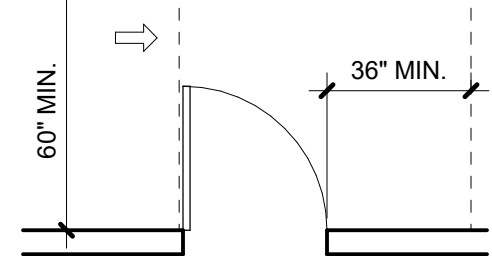
PER ICC A117.1-2009, FIG. 404.2.3.2



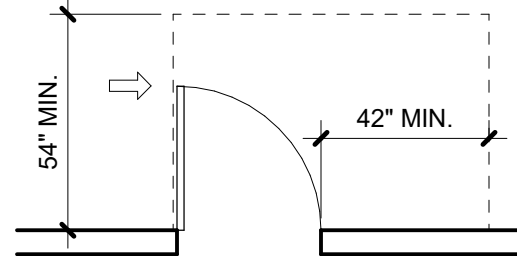
(a) FRONT APPROACH PULL SIDE



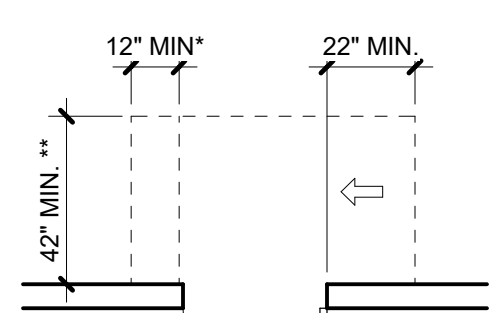
(b) FRONT APPROACH PUSH SIDE



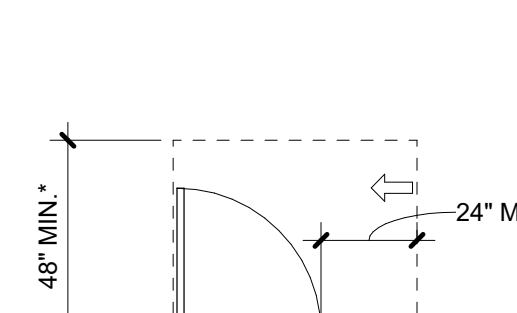
(c) HINGE APPROACH PULL SIDE



(d) HINGE APPROACH PUSH SIDE



(e) HINGE APPROACH PULL SIDE



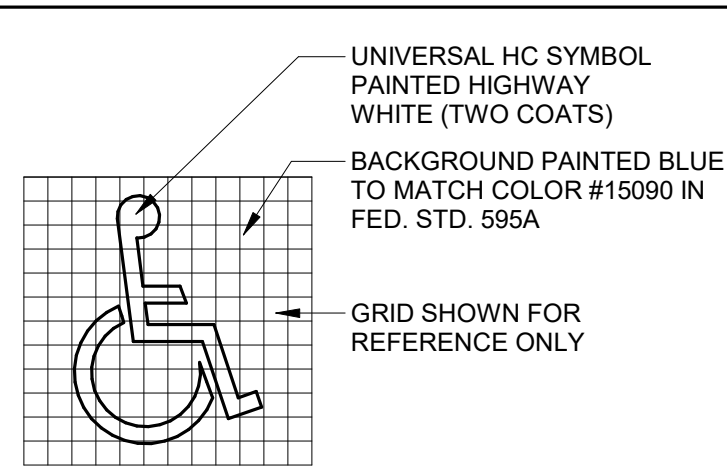
(f) LATCH APPROACH PULL SIDE



(g) LATCH APPROACH PUSH SIDE

## ACCESSIBILITY NOTES

- A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.
- B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.



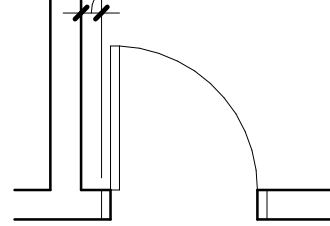
## ABBREVIATIONS

#	POUND OR NUMBER	GA	GAUGE	R	RADIUS OR RISER
@	AT	GALV	GALVANIZED	RA	RETURN AIR
CL	CENTERLINE	GC	GENERAL CONTRACTOR	RB	RESILIENT BASE
L	ANGLE	GI	GALVANIZED IRON	RD	ROOF DRAIN
ø	DIAMETER OR ROUND	GL	GLULAM	REC	RECOMMENDATION
AB	ANCHOR BOLT	GND	GROUND	REF	REFERENCE
AC	ASPHALTIC CONCRETE	GR	GRADE	REFR	REFRIGERATOR
ACT	ACUSTIC CEILING TILE	GWB	GYP SUM BOARD	REIN	REINFORCE(MENT)
AD	AREA DRAIN	GYP	GYP SUM	REQD	REQUIRED
ADJ	ADJUSTABLE	GYP BD	GYP SUM BOARD	RESIL	RESILIENT
AF	ABOVE FINISH FLOOR			REV	REVISIONS
AFG	ABOVE FINISH GRADE	HB	HOSE BIB	RF	RESILIENT FLOOR
ALT	ALTERNATE	HC	HOLLOW CORE	RH	RIGHT HAND
ALUM	ALUMINUM	HDR	HEADER	RM	ROOM
ANOD	ANODIZED	HDWD	HARDWOOD	RO	ROUGH OPENING
APPROX	APPROXIMATE / APPROXIMATELY	HDWR	HARDWARE	ROW	RIGHT OF WAY
ARCH	ARCHITECTURAL / ARCHITECT	HM	HOLLOW METAL	RWL	RAIN WATER LEADER
ASPH	ASPHALT	HNDICP	HANDICAP		
BC	BOTTOM OF CURB	HORIZ	HORIZONTAL	S	SOUTH
BD	BOARD	HP	HORSE POWER	SA	SUPPLY AIR
BTUM	BUTYMINOUS	HPL	HIGH PRESSURE LAMINATE	SAM	SELF ADHERED MEMBRANE
BLDG	BUILDING	HR	HOUR	SC	SOLID CORE
BLK	BLOCK	HSS	HOLLOW STRUCTURAL STEEL	SCHED	SCHEDULE
BLKG	BLOCKING	HT	HEIGHT	SEC	SECTION
BLW	BELOW	HVAC	HEATING VENTILATING AIR CONDITIONING	SF	SQUARE FOOT
BO	BOTTOM OF	HW	HOT WATER	SHT	SHEET
BO	BOTTOM			SHTG	SHEATHING
BOT	BOTTOM	ID	INSIDE DIAMETER	SHWR	SHOWER
BRG	BEARING	IE	INVERT ELEVATION	SIM	SIMILAR
BTWN	BETWEEN	IN	INCHES	SM	SHEET METAL
BUR	BUILT UP ROOF	INSUL	INSULATION	SP	SOLID PIPE
		INT	INTERIOR	SPEC	SPECIFICATIONS
CAB	CABINET			SPK	SPEAKER
CB	CATCH BASIN	JB	JUNCTION BOX	SQ	SQUARE
CFM	CUBIC FEET PER MINUTE	JH	JOIST HANGER	SS	STAINLESS STEEL
CI	CAST IRON	JST	JOIST	SSK	SERVICE SINK
CIP	CAST IN PLACE	JT	JOINT	SSM	SOLID SURFACE MATERIAL
CJ	CONTROL JOINT	KD	KILN DRIED	STA	STATION
CL	CENTERLINE	KIT	KITCHEN	STD	STANDARD
CLG	CEILING	KW	KILOWATT	STL	STEEL
CLR	CLEAR			STN	STAIN
CMU	CONCRETE MASONRY UNIT	LAM	LAMINATED	STR	STRUCTURAL
CO	CLEAN OUT	LAV	LAVATORY	STRUCT	STRUCTURAL
CO	CLEAN OUT	LB	LEADER BOX	SUSP	SUSPENDED
COL	COLUMN	LH	LEFT HAND	SYM	SYMMETRICAL
CONC	CONCRETE	LKR	LOCKER		
CONN	CONNECTION	LT	LIGHT	T	TREAD OR TILE
CONT	CONTINUOUS	LTWT	LIGHTWEIGHT	T&G	TONGUE AND GROOVE
CPT	CARPET			TM	TO MATCH
CSMT	CASEMENT	MAT	MATERIAL	TO	TOP OF CURB
CT	CERAMIC TILE	MAX	MAXIMUM	TEL	TELEPHONE
CTSK	COUNTERSUNK	ME	MACHINE BOLT	TEMP	TEMPERATURE
CW	COLD WATER	MC	MEDICINE CABINET	TER	TERRAZZO
CWD	CLAD WOOD	MECH	MECHANICAL	THK	THICK / THICKNESS
		MFR	MANUFACTURER	TJ	TOOL JOINT
		MH	MANHOLE	TLT	TOILET
		MIN	MINIMUM	TO	TOP OF
		MIR	MIRROR	TOC	TOP OF CONCRETE
		MISC	MISCELLANEOUS	TOP	TOP OF PARAPET
		MO	MASONRY OPENING	TOS	TOP OF STEEL
		MRGWB	MOISTURE RESISTANT GWB	TOSF	TOP OF SUB-FLOOR
		MTD	MOUNTED	TOW	TOP OF WALL
		MTL	METAL	TP	TOP
		MULL	MULLION	TS	TUBE STEEL
				TV	TELEVISION
				TYP	TYPICAL
				UL	UNDERWRITER'S LABORATORY
				UNF	UNFINISHED
				UNO	UNLESS NOTED OTHERWISE
				UR	URINAL
				VB	VAPOR BARRIER
				VCT	VINYL COMPOSITION TILE
				VERT	VERTICAL
				VFY	VERIFY
				VG	VERTICAL GRAIN
				VIF	VERIFY IN FIELD
				VP	VENT PIPE
				VR	VAPOR RETARDER
				W	WEST
				W	WATT
				W/	WITH
				W/O	WITHOUT
				WC	WATER CLOSET
				WD	WOOD
				WDW	WINDOW
				WF	WIDE FLANGE
				WI	WROUGHT IRON
				WO	WHERE OCCURS
				WP	WATERPROOF
				WR	WEATHER RESISTANT
				WRB	WEATHER RESISTANT BARRIER
				WSCOT	WAINSCOT
				WT	WEIGHT
				WWF	WELDED WIRE FABRIC

## DIMENSIONS

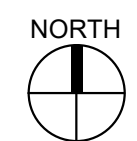
- A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.
- B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.
- C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.
- D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.
- E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.
- F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.

4 1/2" TYP.

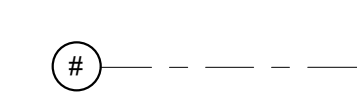


## GRAPHIC SYMBOLS

NORTH ARROW



GRID LINE



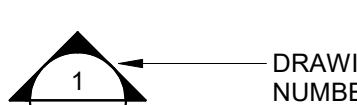
VERTICAL DATUM



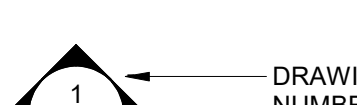
ROOM NAME AND NUMBER



EXTERIOR ELEVATION



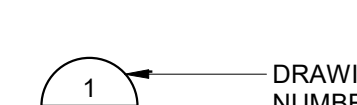
BUILDING SECTION / WALL SECTION



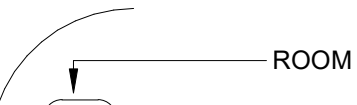
INTERIOR ELEVATION



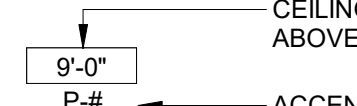
DETAIL CALLOUT



DOOR NUMBER



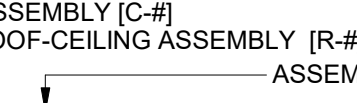
CEILING HEIGHT



WALL / ASSEMBLY TYPE



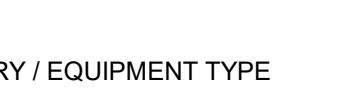
FLOOR / FLOOR/CEILING ASSEMBLY [F-#]



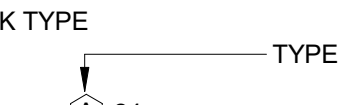
CEILING ASSEMBLY [C-#]



ROOF / ROOF-CEILING ASSEMBLY [R-#]



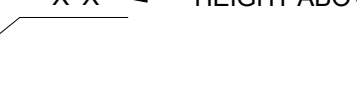
WINDOW TYPE



ACCESSORY / EQUIPMENT TYPE



CASEWORK TYPE



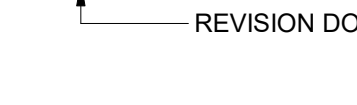
MATERIAL / FINISH



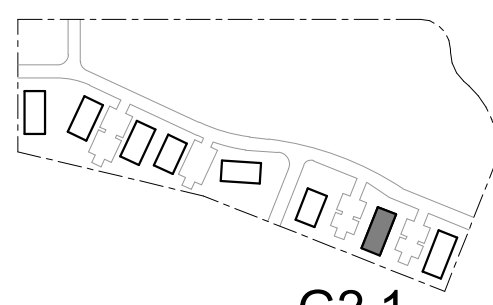
SPOT ELEVATION



KEYNOTE



REVISION



KEY PLAN

G2.1

## CDP SALEM - PHASE 2 BUILDING G2

Job Number: 22047

PARCEL 3 & PARCEL 4 BATTLE CREEK SE SALEM, OR

LAND USE SUBMISSION 08.08.22

ISSUE DATE

Drawing:

## ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

Sheet No:

A0.01

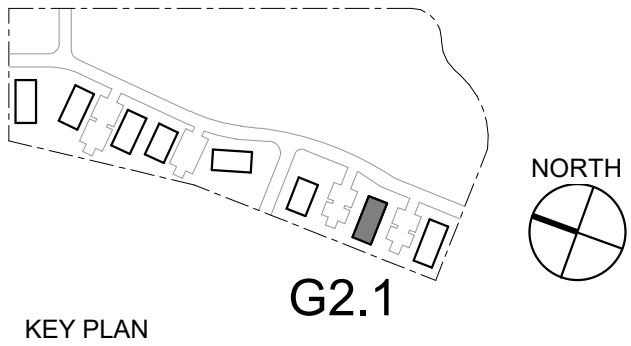
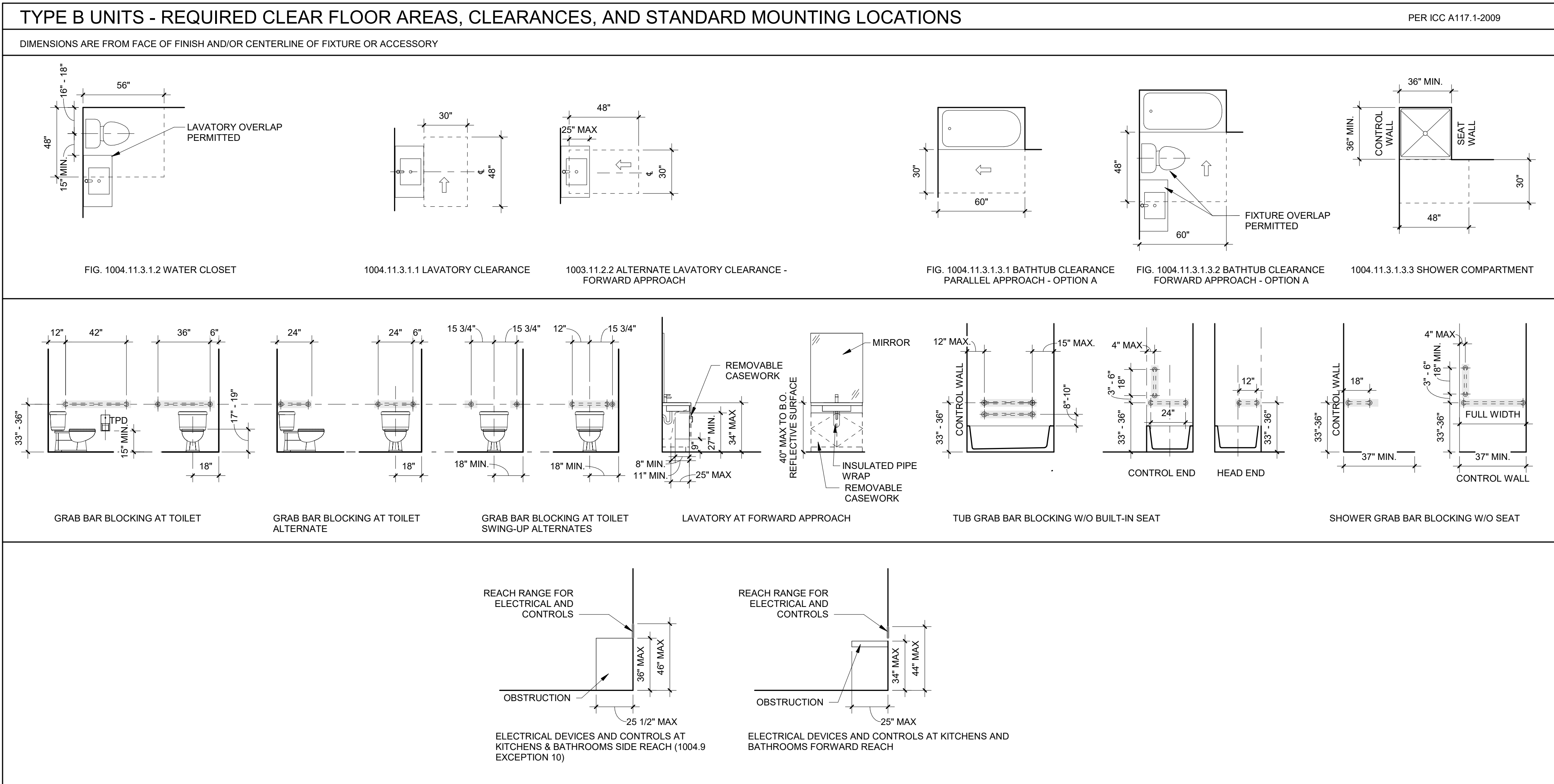
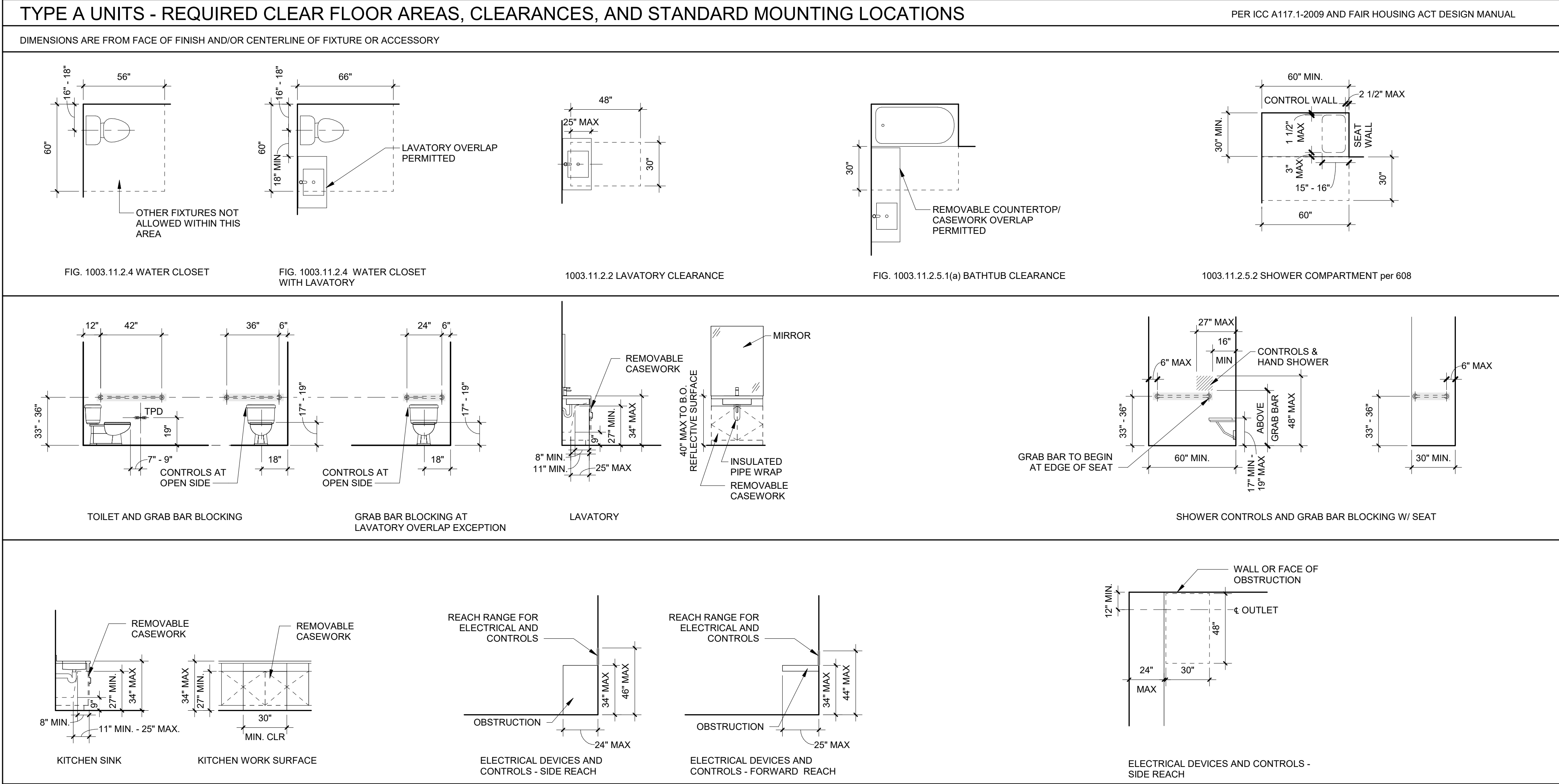


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CDP SALEM -  
PHASE 2  
BUILDING G2  
Job Number: 22047  
PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR









NOT FOR  
CONSTRUCTION

CDP SALEM -  
PHASE 2  
BUILDING G2

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

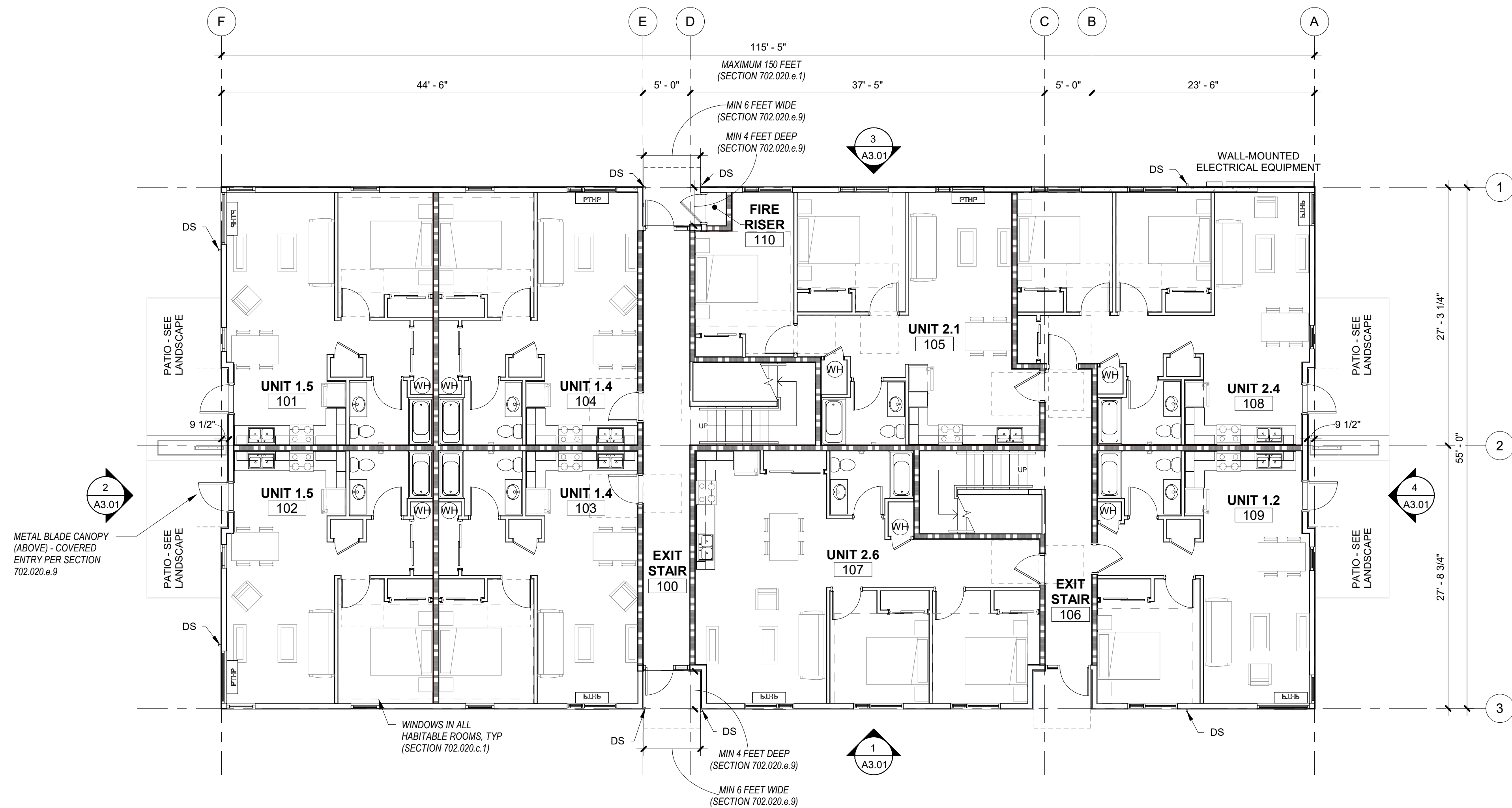


#### GENERAL SHEET NOTES

- WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN UNO
- ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING UNO ALL INTERIOR GRID LINES ARE TO FACE OF STUD UNO
- ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OF OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES
- REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB COORDINATE FINAL LOCATIONS WITH ARCHITECT FOR COMPATIBILITY WITH FLOOR FINISHES
- WIRE SHELVING IN ALL BEDROOM CLOSETS
- MEP INFORMATION PROVIDED FOR REFERENCE ONLY. SEE MEP DRAWINGS
- PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL GROUND FLOOR UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS
- FIRE EXTINGUISHER TO BE PLACED UNDER SINK IN ALL UNITS. SEE CODE DIAGRAMS FOR COMMON SPACES
- DOWNSPOUTS PAINTED IN FIELD. RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL
- UNIT DIMENSING WALLS TYPE IW3-6 UNO
- UNIT INTERIOR WALLS TYPE IW1-4 UNO

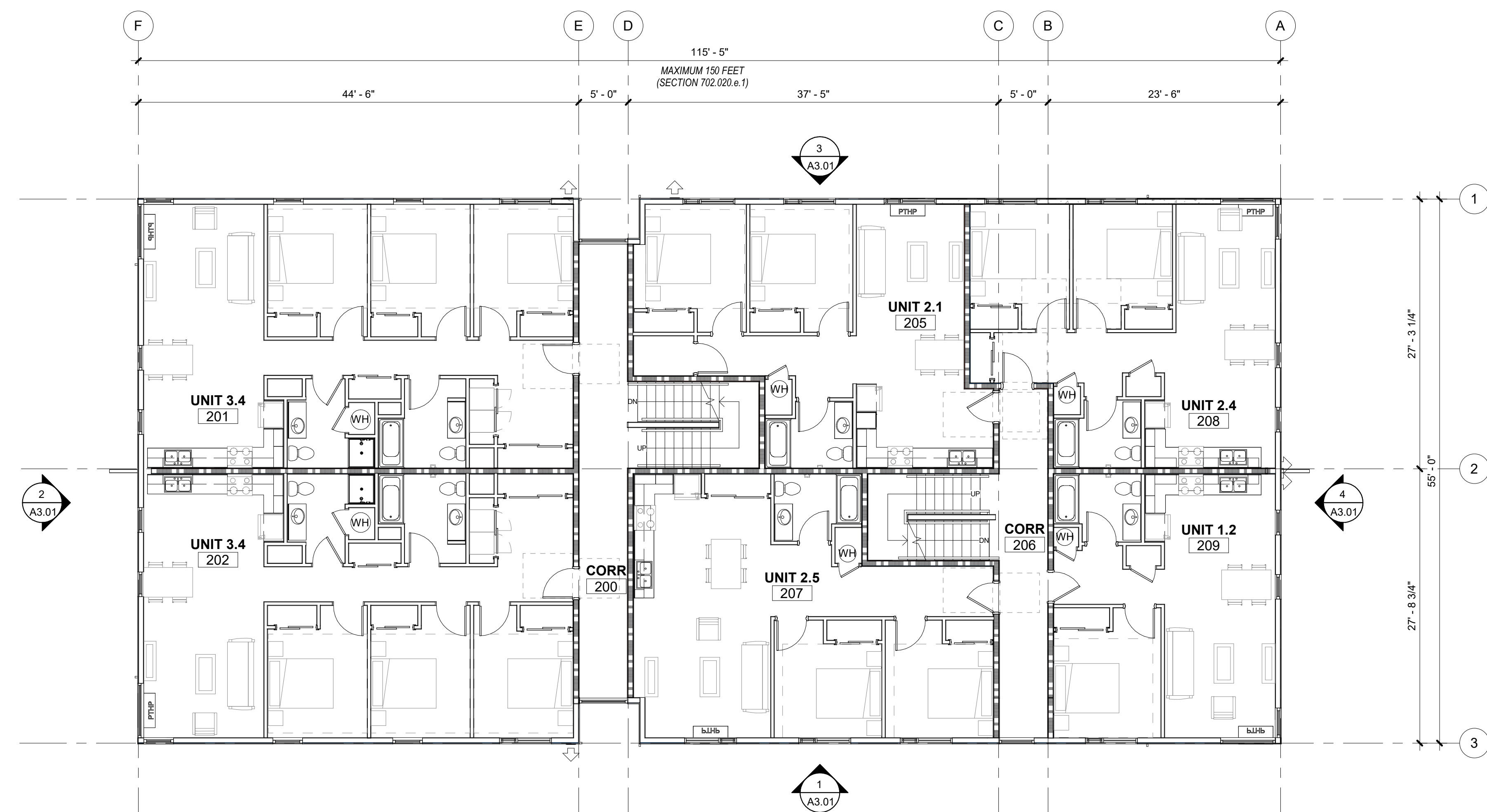
#### LEGEND

- REF A0.01 FOR GENERAL LEGENDS
- 1 HOUR RATED ASSEMBLY
  - 5 HOUR RATED ASSEMBLY
  - ELEMENT ABOVE
  - DS 2x3 FLAT STYPE DOWNSPOUT
  - FD FLOOR DRAIN
  - WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
  - WASHER DRYER UNIT NIC, PROVIDE CONNECTIONS
  - R.1 ASPHALT SHINGLE ROOF
  - RIDGE VENT, SEE ROOF VENTILATION DIAGRAM
  - ROOF INTAKE VENT, SEE ROOF VENTILATION DIAGRAM
  - PROVIDE (2) LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF PER MFR



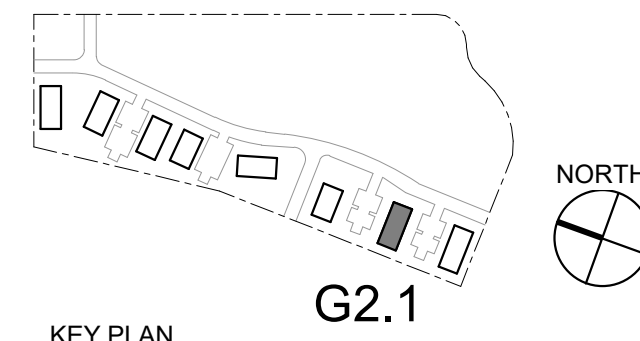
#### 1 FIRST FLOOR PLAN

1/8" = 1'-0"



#### 2 SECOND FLOOR PLAN

1/8" = 1'-0"



LAND USE SUBMISSION 08.08.22

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Drawing:

FIRST FLOOR AND  
SECOND FLOOR  
PLANS

Sheet No:

A2.12



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LAND USE SUBMISSION	08.08.22
ISSUE	DATE

Drawing:

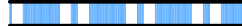





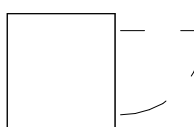




**THIRD FLOOR AND  
ROOF PLANS**

Sheet No:

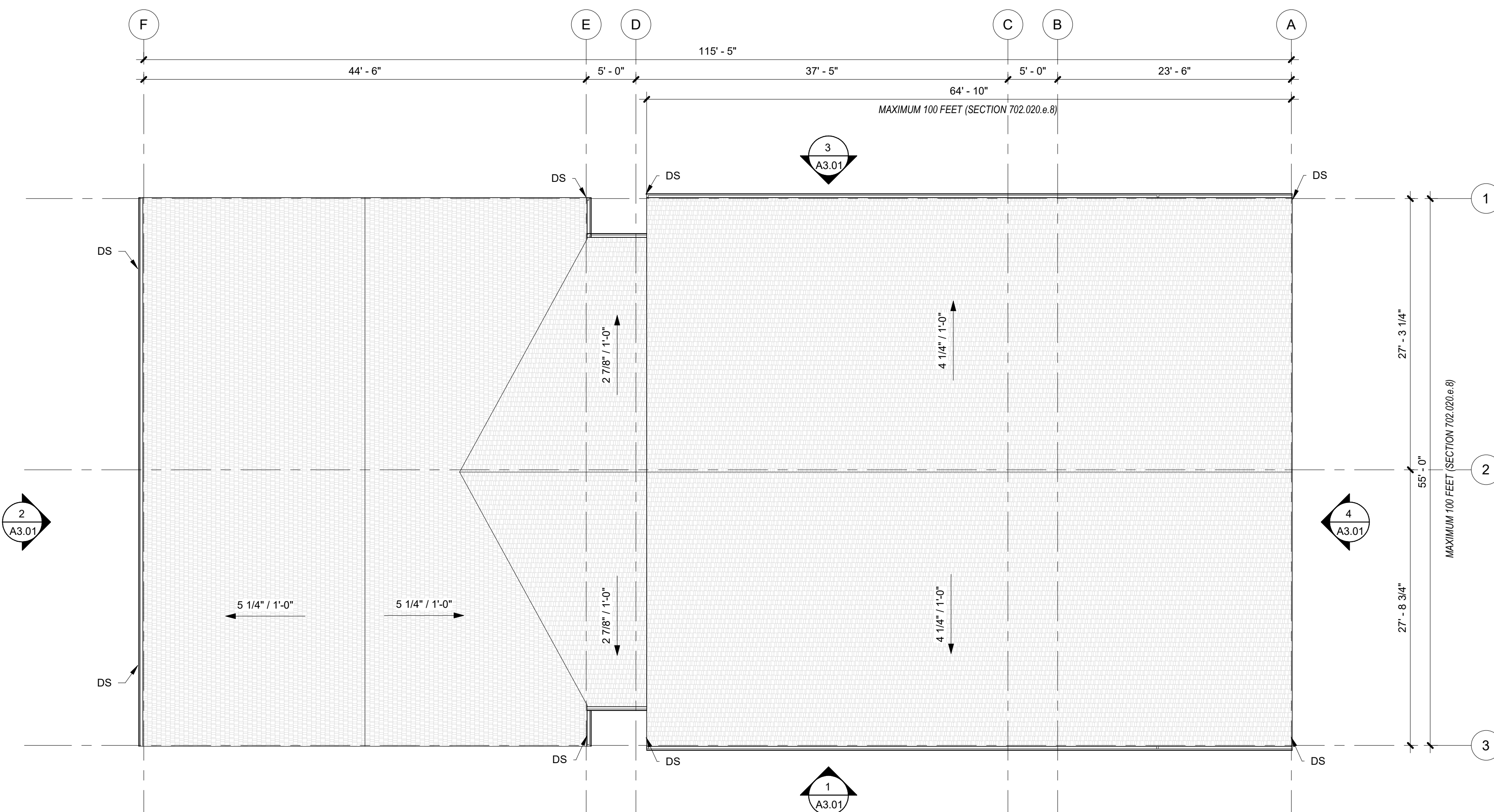
**A2.13**

[illegible]

- A. REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS NOT SHOWN HERE.
- B. REFERENCE SHEET A#F FOR TYPICAL ROOF DETAILS NOT FLAGGED HERE.
- C. MINIMUM SLOPE OF CRICKETS TO BE 1/4" PER FOOT UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE ALL CRICKETS REQ'D TO PROVIDE POSITIVE DRAINAGE TO DRAINS.

	1 HOUR RATED ASSEMBLY
	5 HOUR RATED ASSEMBLY
	ELEMENT ABOVE
 	2x3 FLAT TYPE DOWNSPOUT
	FLOOR DRAIN  WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
	WASHER DRYER UNIT N/C, PROVIDE CONNECTIONS
	ASPHALT SHINGLE ROOF
	RIDGE VENT. SEE ROOF VENTILATION DIAGRAM
	ROOF INTAKE VENT. SEE ROOF VENTILATION DIAGRAM
	PROVIDE (2) LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF PER NEC

1/8" = 1'-0"



2  $1/8" = 1'-0"$

KEY PLAN

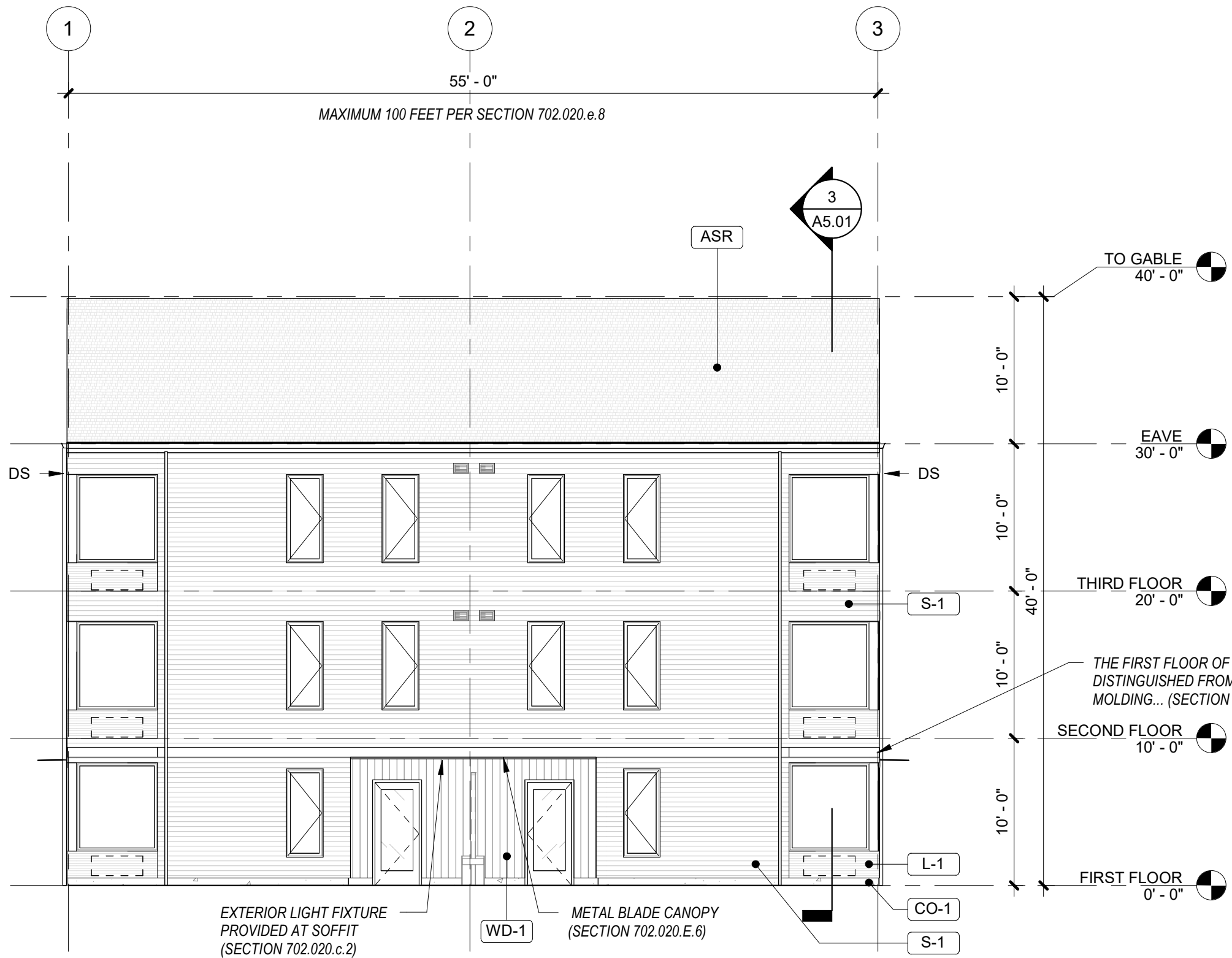
G2.1

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G2 22 mculbertsonPX8RT.rvt

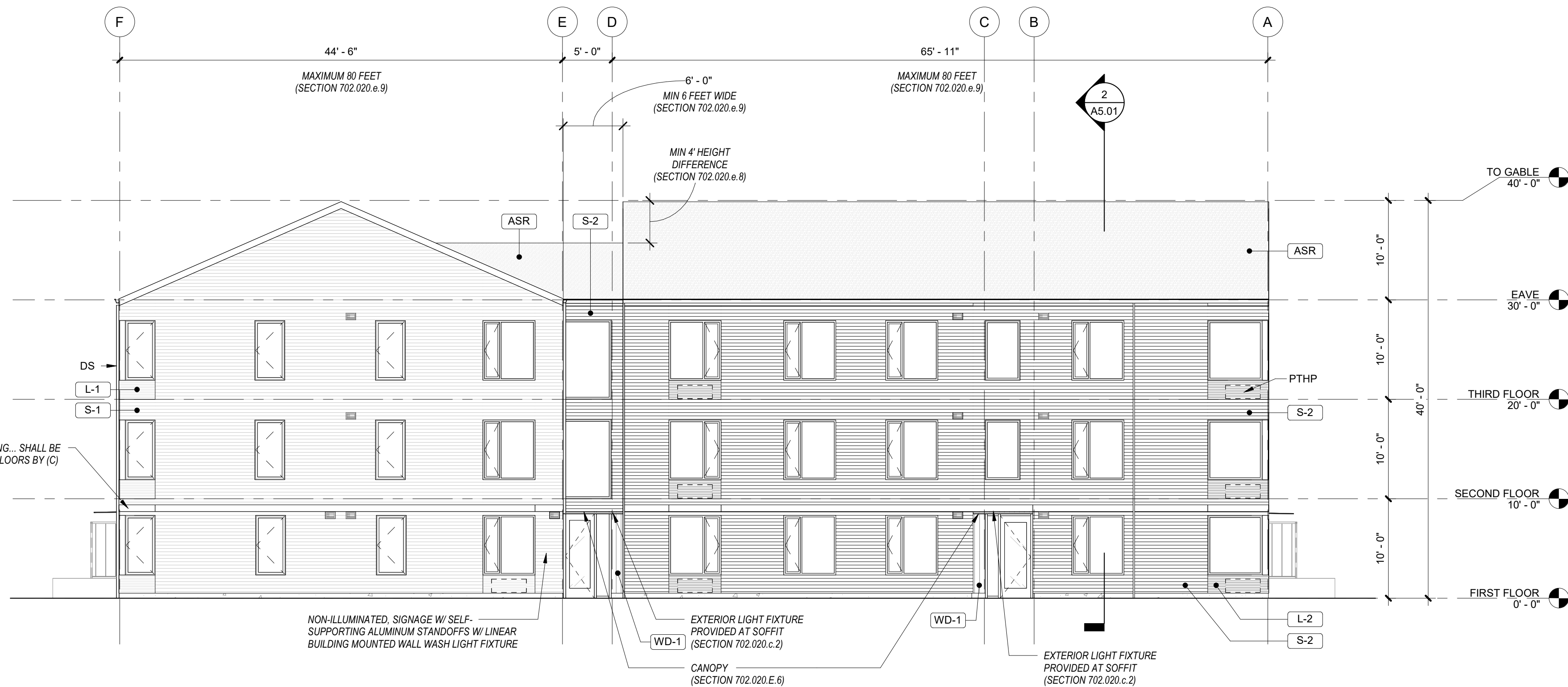
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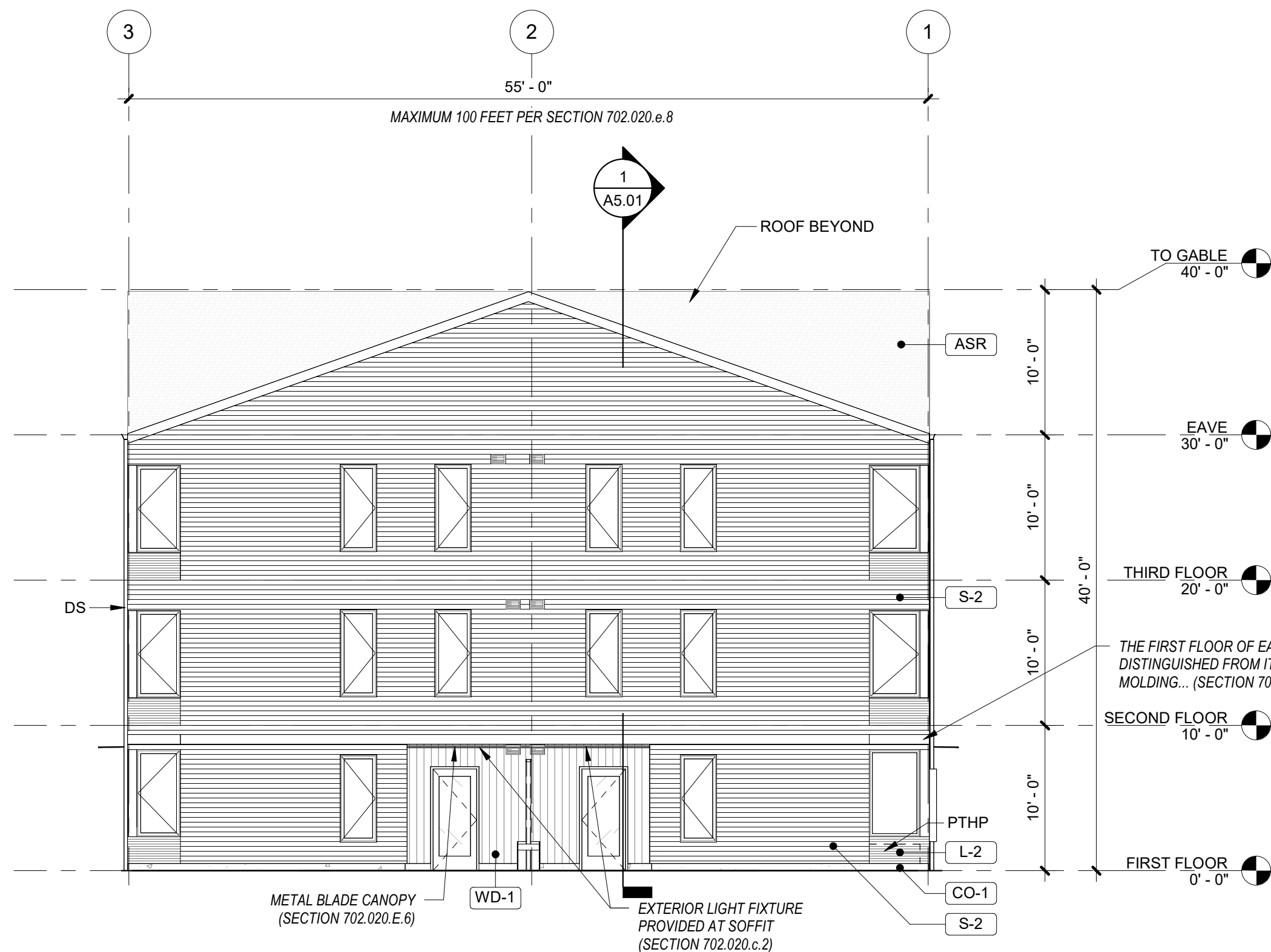
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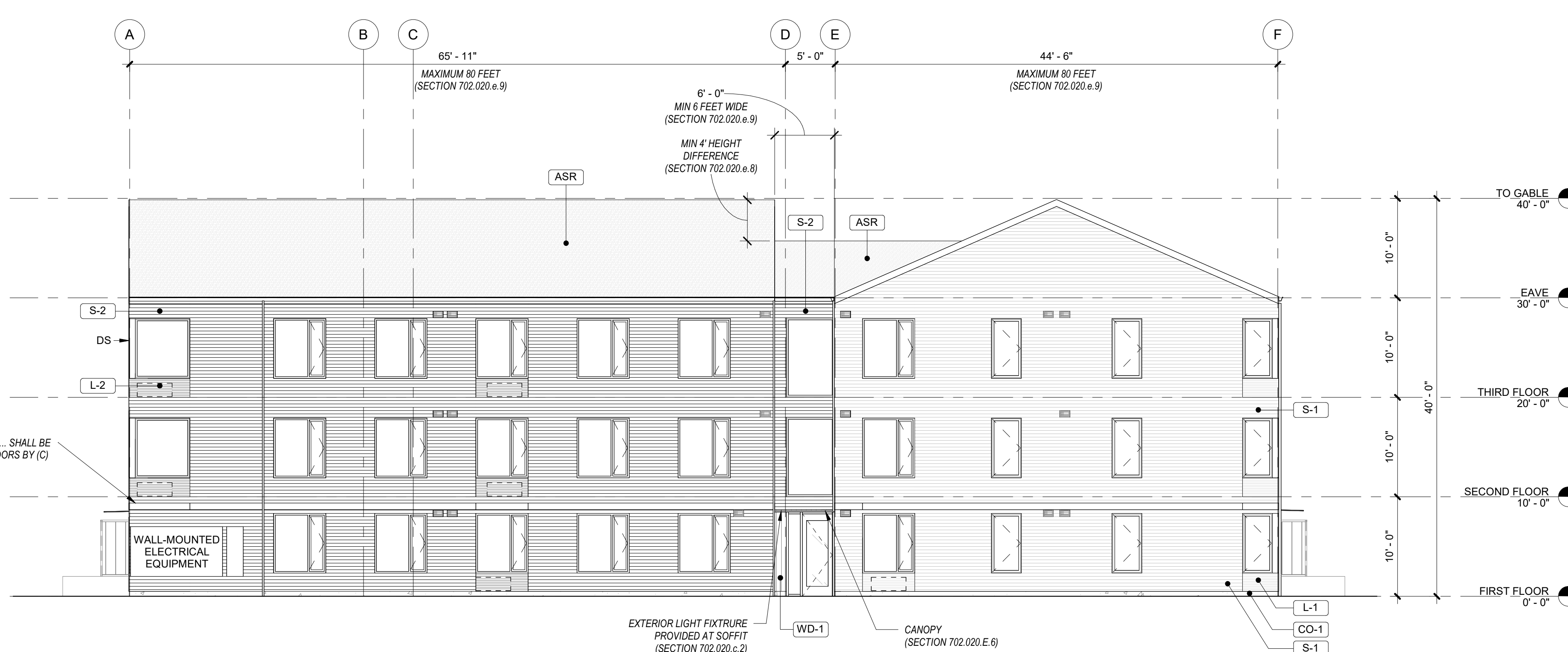
2 BUILDING ELEVATION  
1/8" = 1'-0"



1 BUILDING ELEVATION  
1/8" = 1'-0"



4 BUILDING ELEVATION  
1/8" = 1'-0"



3 BUILDING ELEVATION  
1/8" = 1'-0"

## GENERAL SHEET NOTES

- REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
- REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
- CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
- ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
- PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
- PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
- TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

## LEGEND

	LAP SIDING LIGHT PRODUCT: FIBER CEMENT SHIPLAP SIDING COLOR: TBD
	LAP SIDING DARK PRODUCT: FIBER CEMENT SHIPLAP SIDING COLOR: TBD
	PANEL SIDING PRODUCT: FIBER CEMENT PANEL COLOR: TBD
	ASPHALT SHINGLE ROOF PRODUCT: TBD COLOR: TBD
	VERTICAL WOOD SIDING PRODUCT: TBD FINISH: TBD
	ARCH PTHP LOUVER LIGHT PRODUCT: TBD COLOR: MATCH S-1
	ARCH PTHP LOUVER DARK PRODUCT: TBD COLOR: MATCH S-2
	CONCRETE STEM WALL
	3'-0" MIN MECHANICAL EXHAUST VENT. SEE MECHANICAL DRAWINGS. PROVIDE 3'-0" MIN CLEARANCE
	MECHANICAL INTAKE VENT. SEE MECHANICAL DRAWINGS
	PTHP (BEYOND)

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## CDP SALEM - PHASE 2 BUILDING G2

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR

LAND USE SUBMISSION 08.08.22

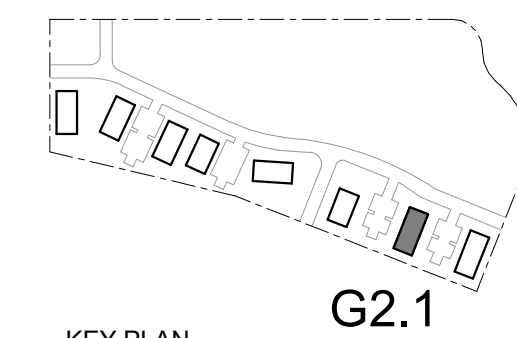
ISSUE DATE

Drawing:

EXTERIOR  
ELEVATIONS

Sheet No:

A3.01



KEY PLAN

G2.1

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CDP SALEM -  
PHASE 2  
BUILDING G2  
Job Number: 22047  
PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



BUILDING FROM SALAL LOOKING SOUTH



BUILDING FROM SALAL LOOKING NORTH

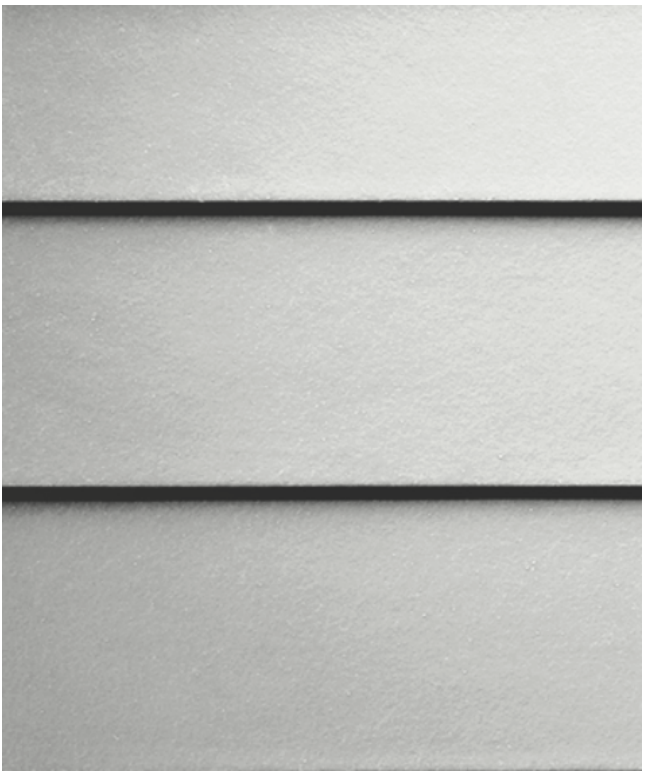


BUILDING PATIOS

MATERIALS



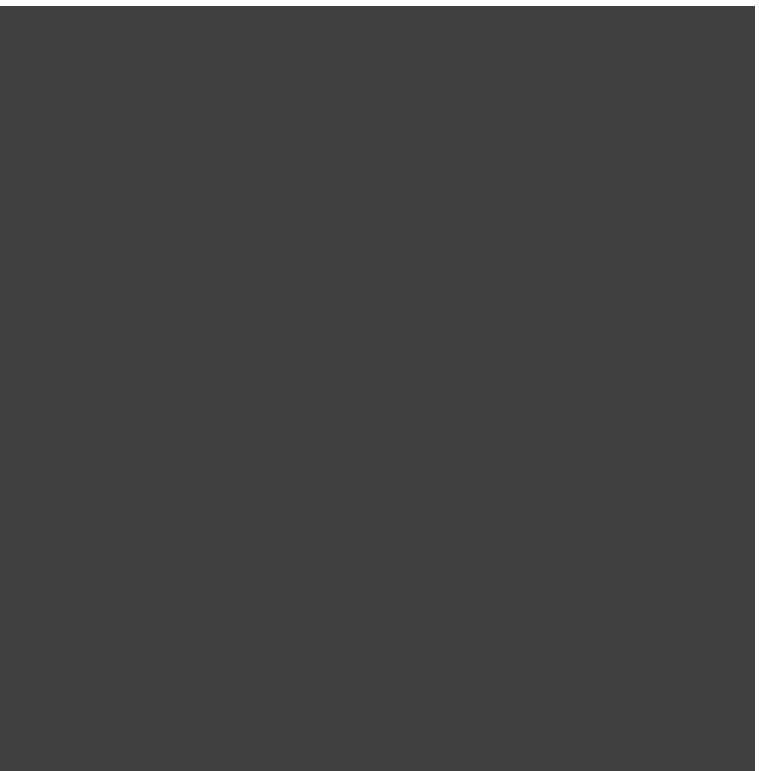
**VERTICAL WOOD SIDING**  
PRODUCT: T&G SIDING, 1x6  
WESTERN RED CEDAR  
FINISH: TRANSPARENT



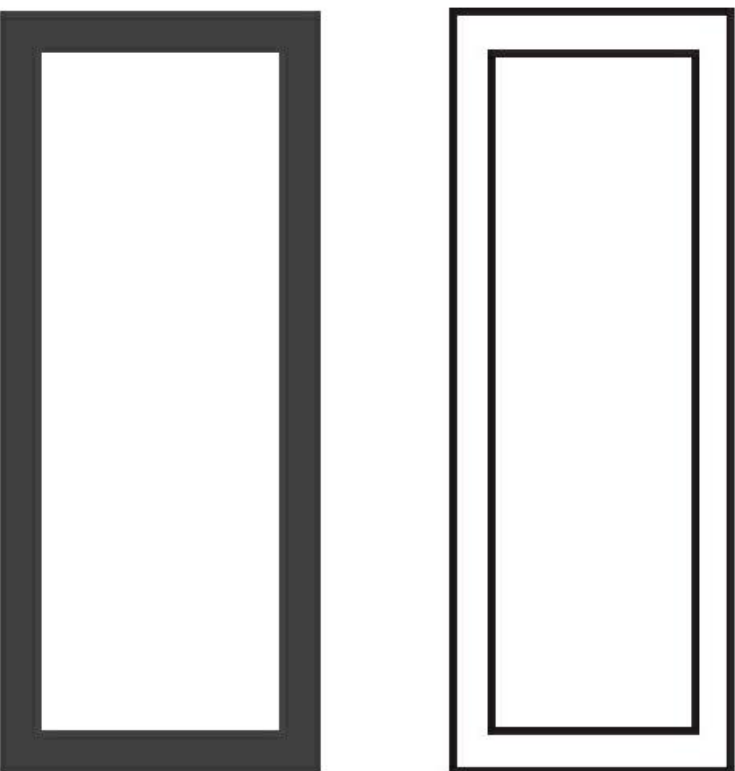
**LAP SIDING**  
PRODUCT: FIBER CEMENT  
PLANK LAP SIDING,  
STRAIGHT EDGE PANEL  
FINISH: PAINT, LIGHT &  
DARK



**ASPHALT SHINGLE ROOF**  
PRODUCT: THREE-TAB-STRIP  
ASPHALT SHINGLES  
FINISH: DARK

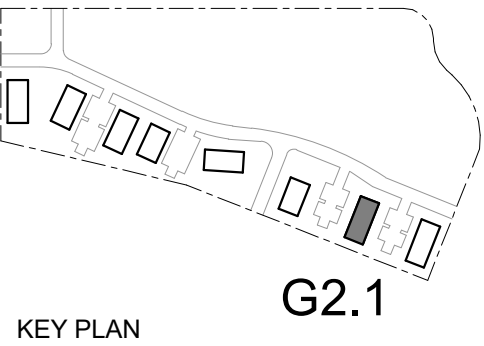


**FLAT METAL PANEL**  
PRODUCT: TBD  
FINISH: DARK



**VINYL WINDOWS**  
PRODUCT: TBD  
FINISH: BLACK & WHITE

\* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.



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ISSUE DATE

Drawing:  
**RENDERINGS**

Sheet No:  
**A3.10**

FILE PATH: C:\Revit\_Local\22047\_CDP Salem Gateway Phase II\_Walk Up Building G2\_22\_mculbertson\PA&RT.rvt

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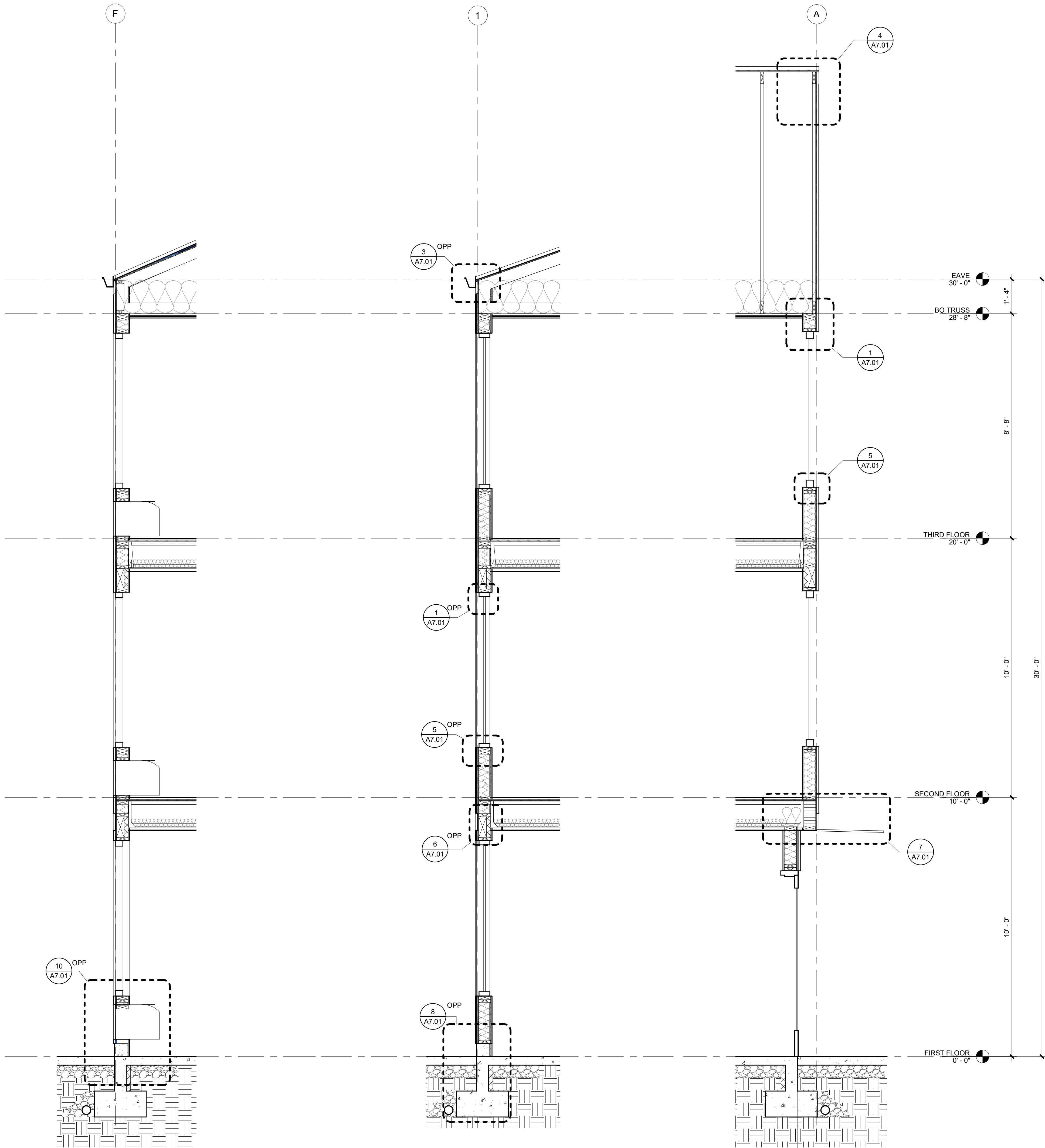


NOT FOR  
CONSTRUCTION

**CDP SALEM -  
PHASE 2  
BUILDING G2**

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



**3 WALL SECTION**  
1/2" = 1'-0"

**2 WALL SECTION**  
1/2" = 1'-0"

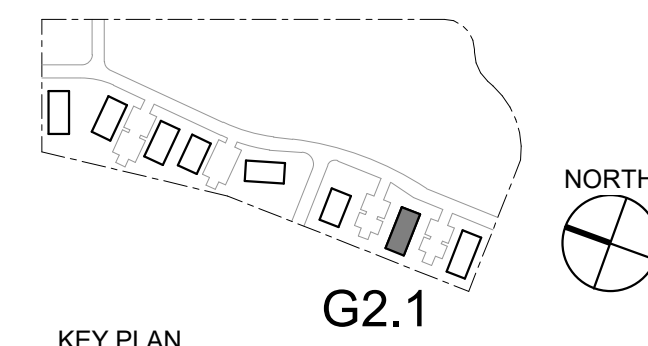
**1 WALL SECTION**  
1/2" = 1'-0"

LAND USE SUBMISSION 08.08.22

ISSUE DATE

Drawing:

**WALL SECTIONS**



Sheet No:

**A5.01**

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NOT FOR  
CONSTRUCTION

CDP SALEM -  
PHASE 2 -  
BUILDING G2

Job Number: 22047

PARCEL 3 & PARCEL 4  
BATTLE CREEK SE  
SALEM, OR



LAND USE  
SUBMISSION 08.08.22

ISSUE DATE

Drawing:

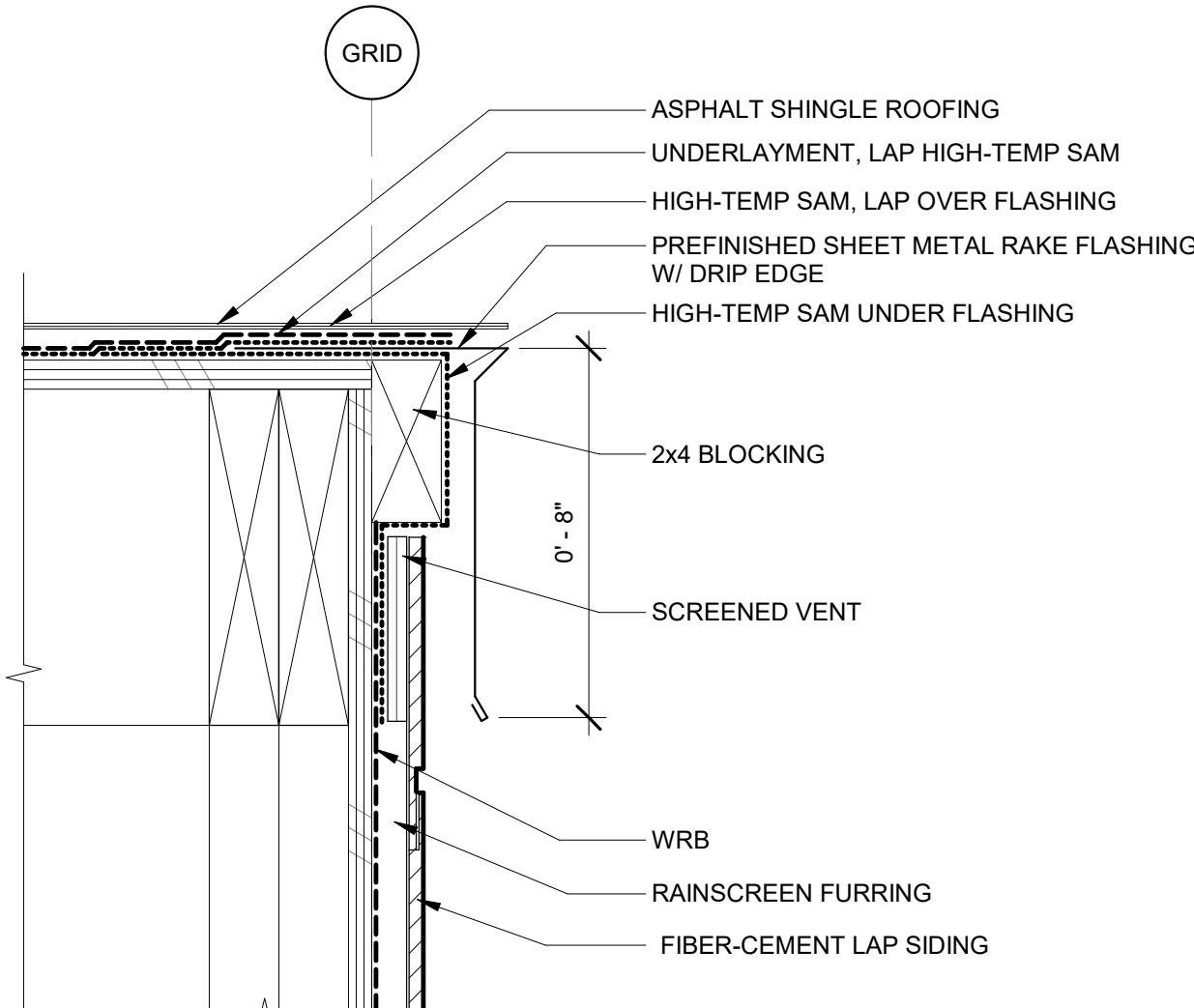
EXTERIOR DETAILS

Sheet No:

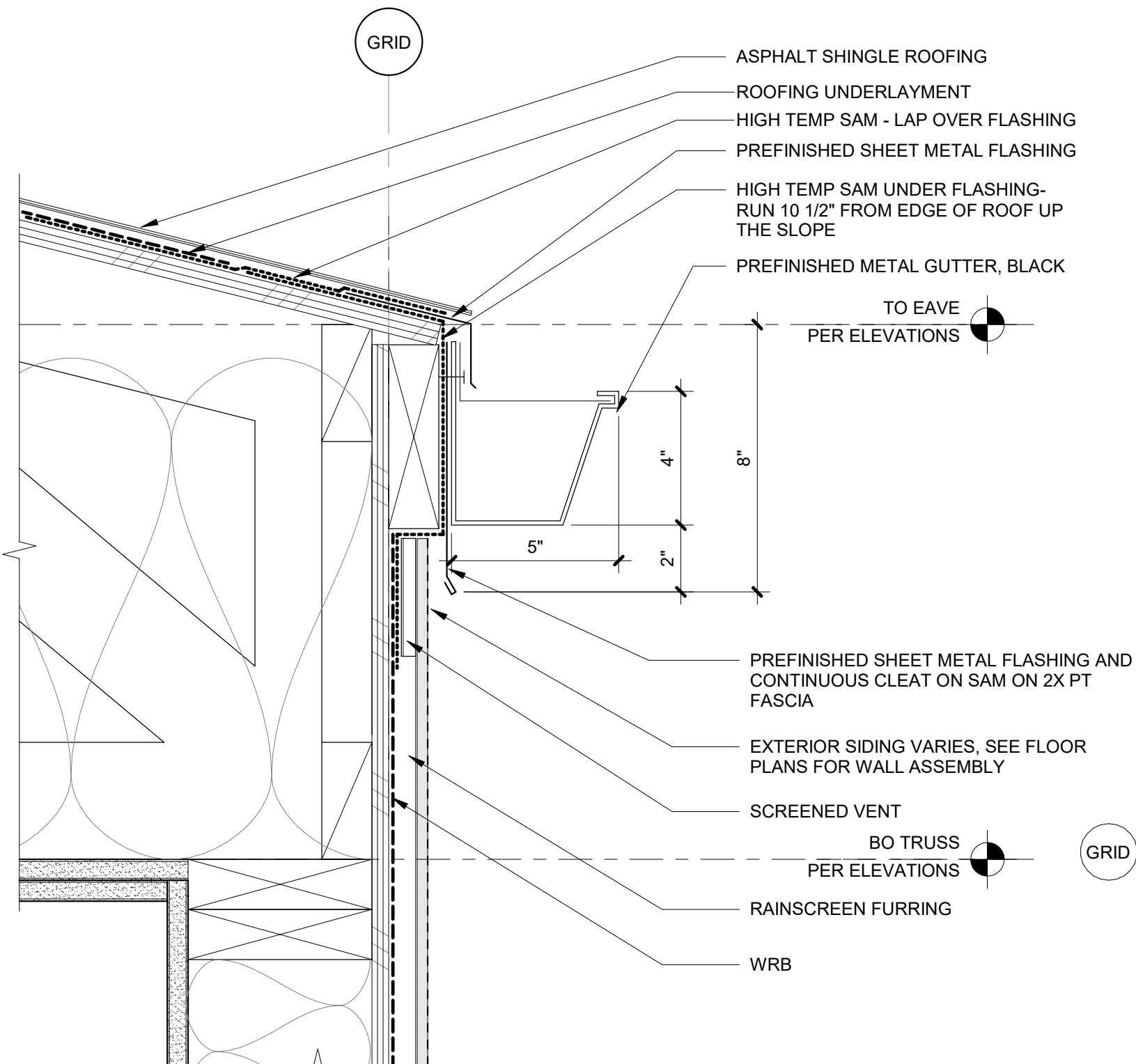
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G1\_22\_mclbertsonPX&RT.rvt

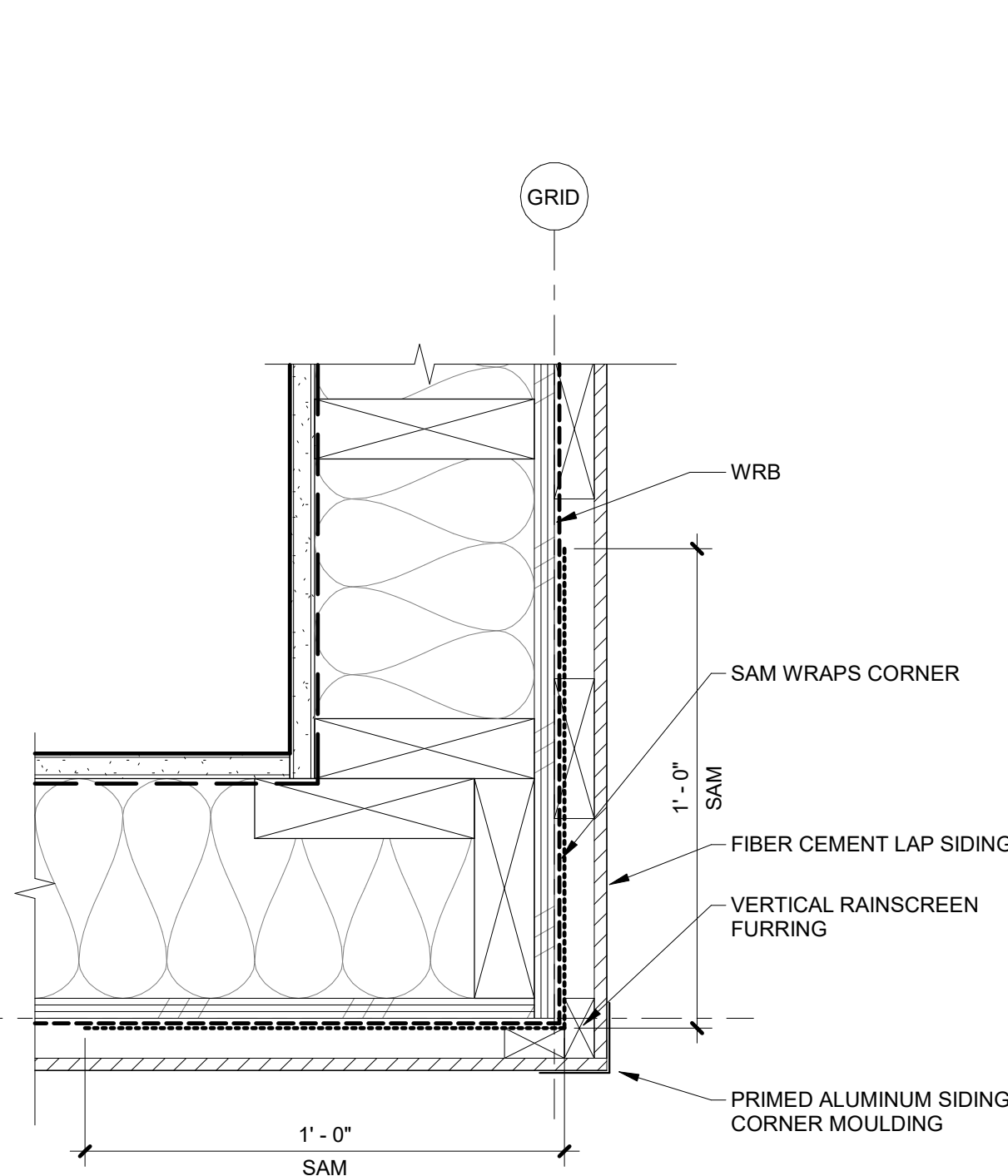
THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK  
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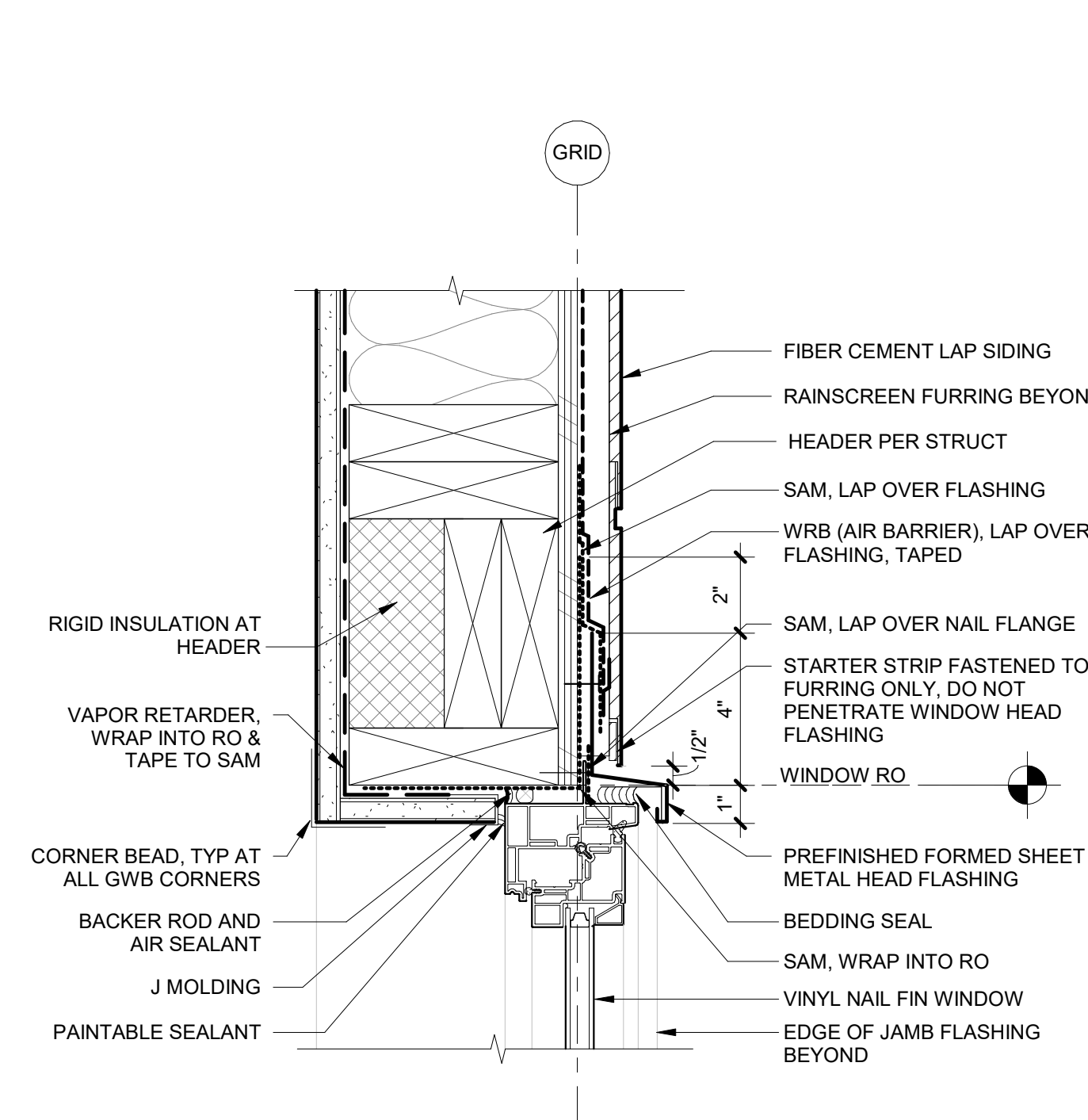
4 TYPICAL RAKE  
3" = 1'-0"



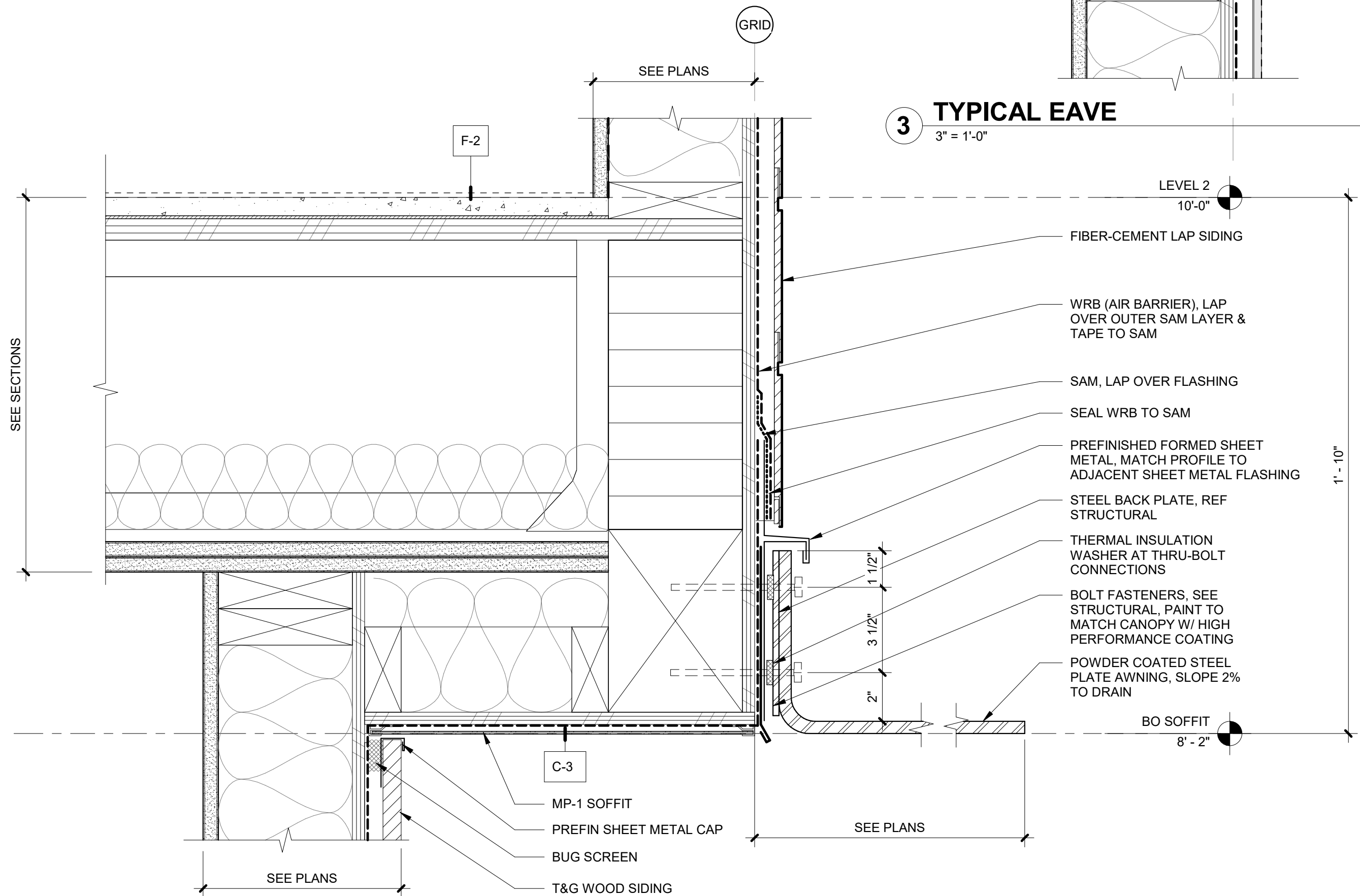
3 TYPICAL EAVE  
3" = 1'-0"



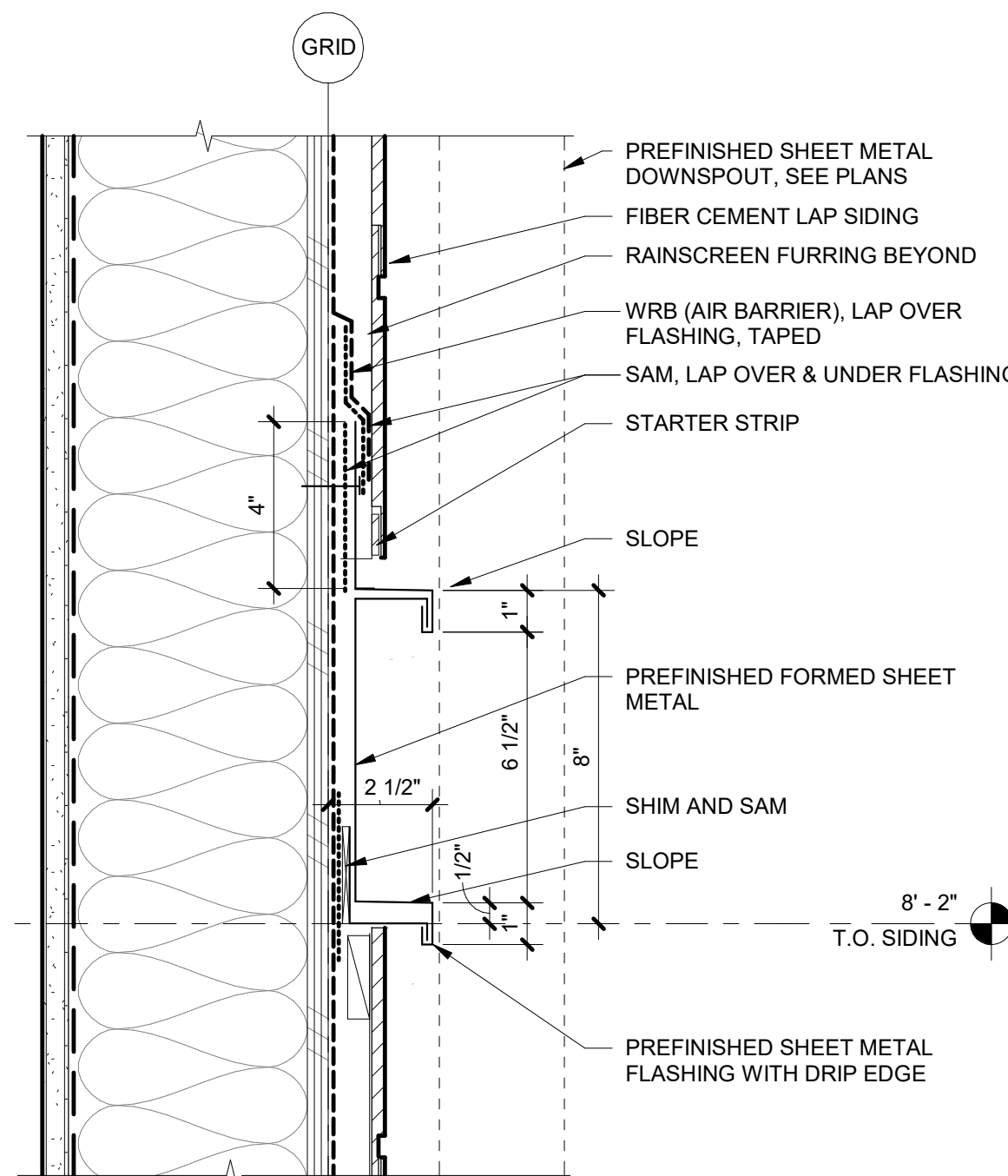
2 FIBER-CEMENT SIDING OUTSIDE CORNER  
3" = 1'-0"



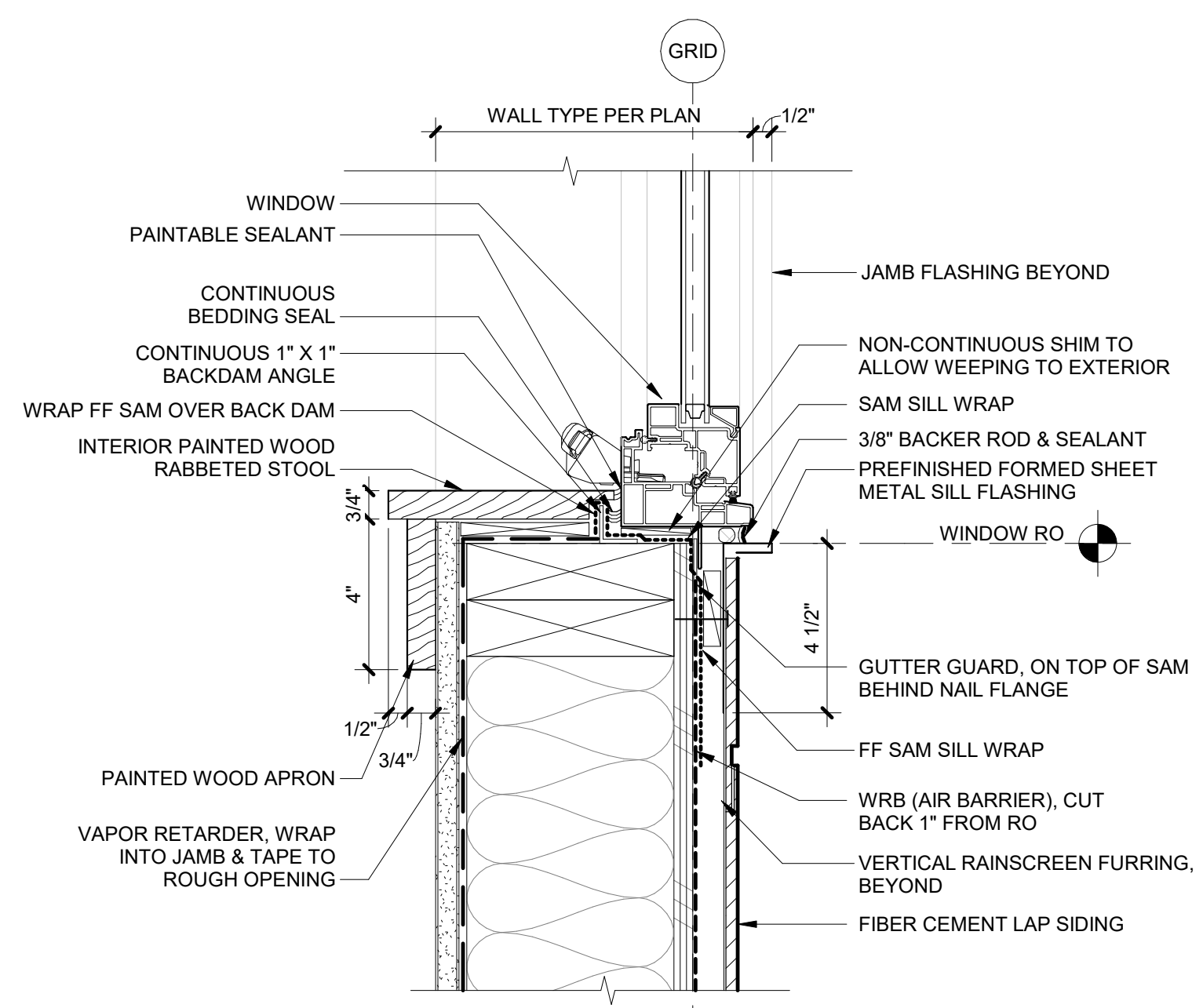
1 WINDOW HEAD @ FIBER-CEMENT SIDING  
3" = 1'-0"



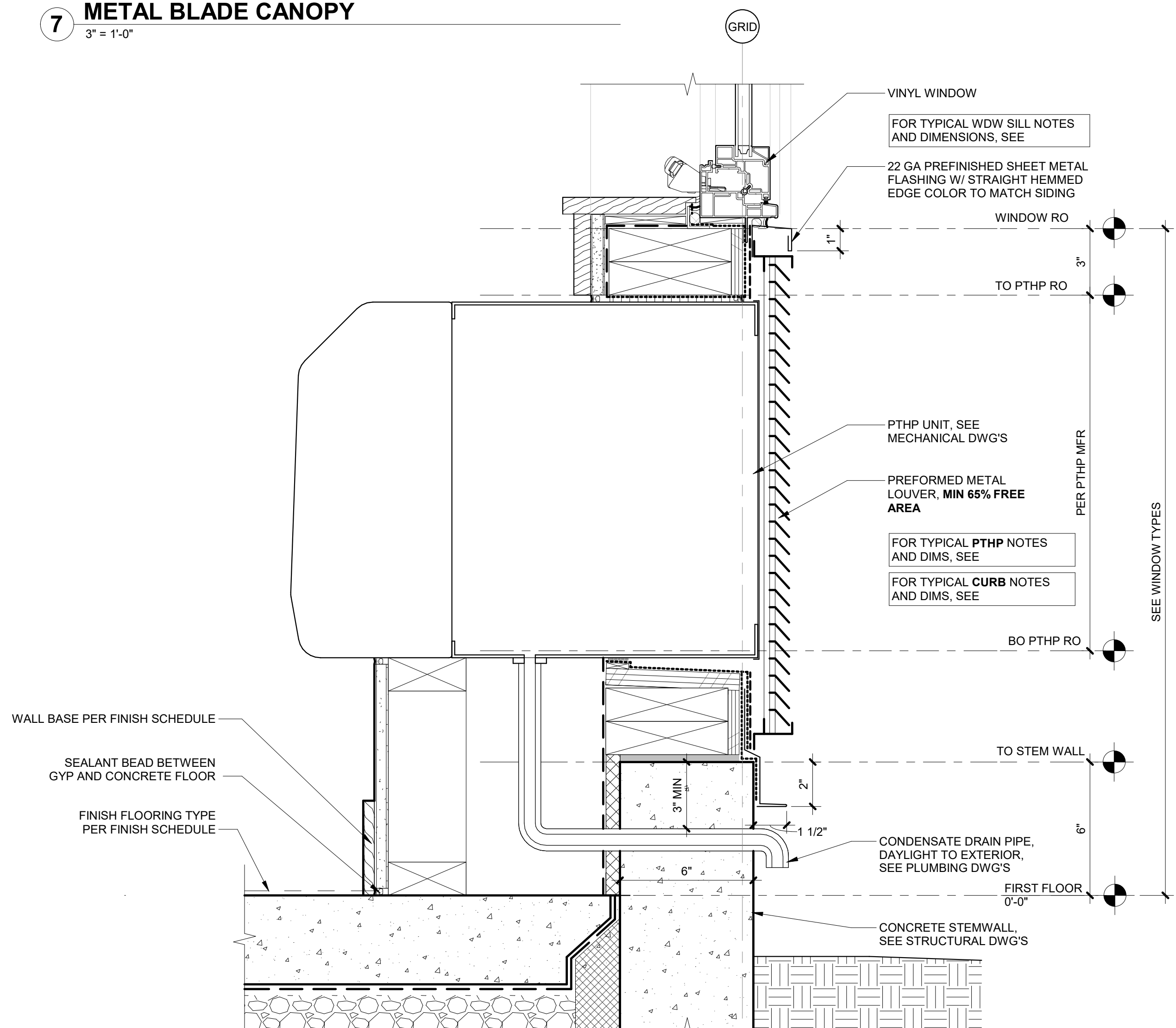
7 METAL BLADE CANOPY  
3" = 1'-0"



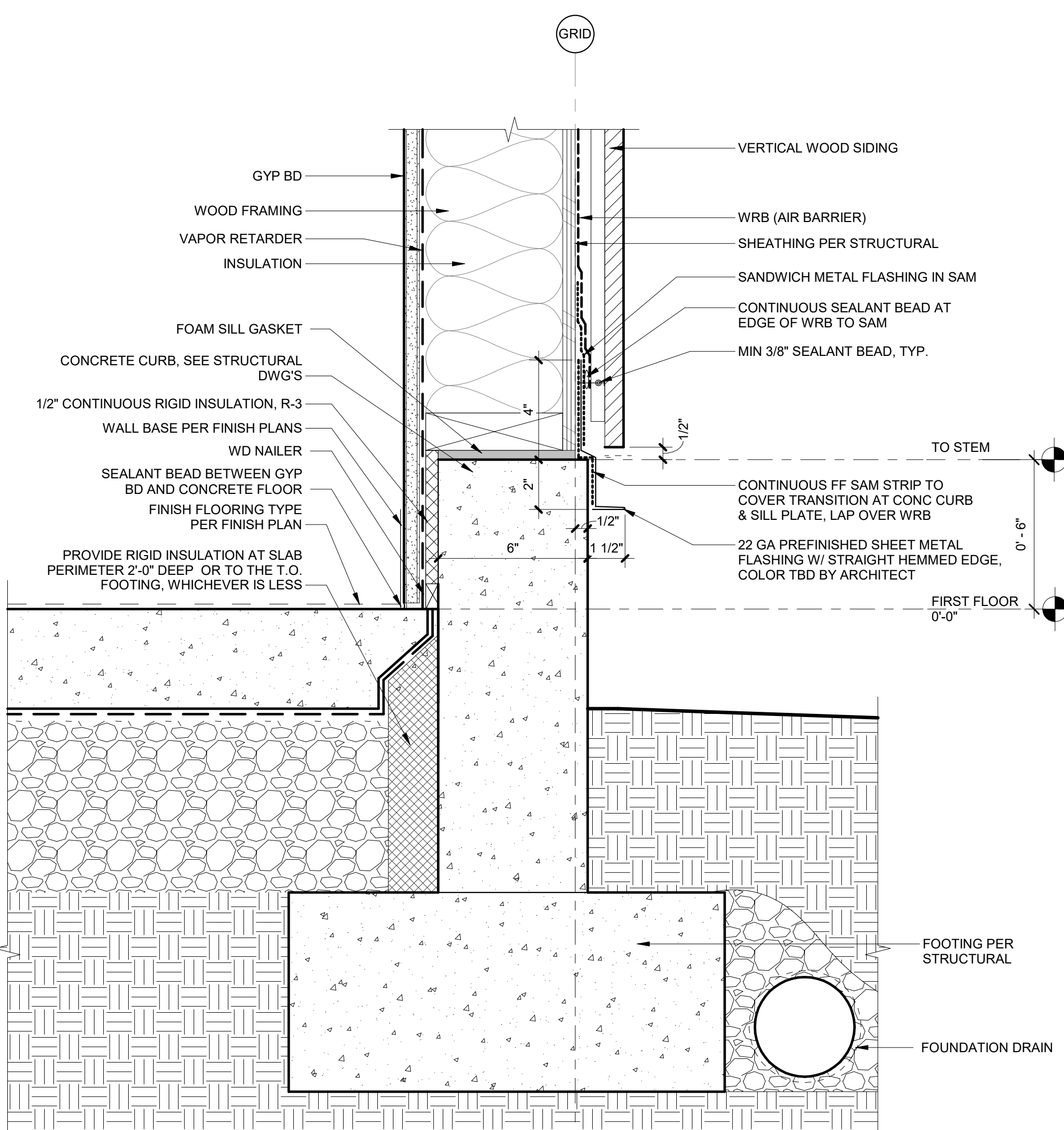
6 BELLY BAND AT FIBER-CEMENT SIDING  
3" = 1'-0"



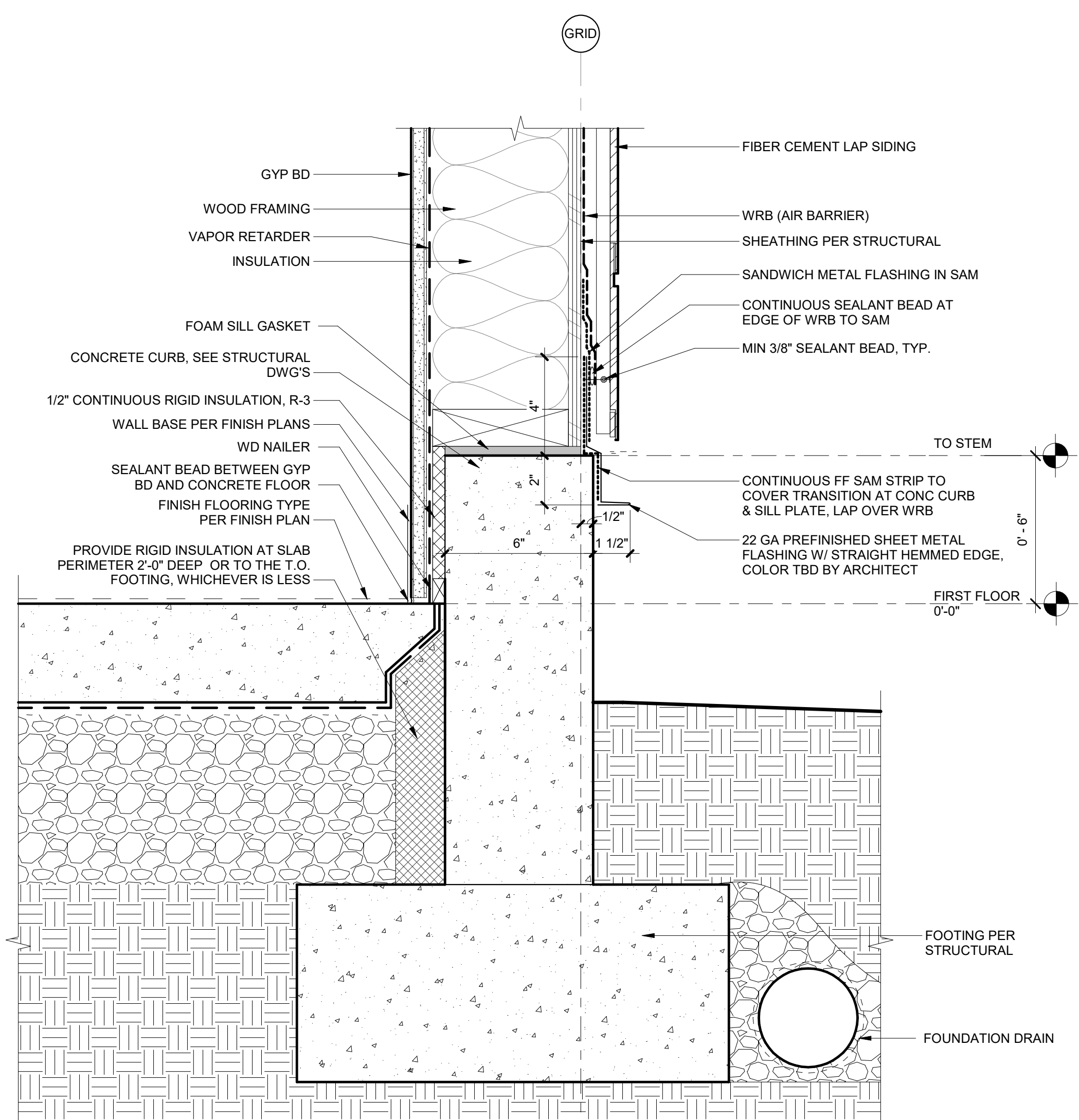
5 WINDOW SILL @ FIBER-CEMENT SIDING  
3" = 1'-0"



10 PTHP AT CONC CURB  
3" = 1'-0"



9 CURB AT WOOD SIDING  
3" = 1'-0"



8 CURB AT FIBER-CEMENT SIDING  
3" = 1'-0"