LAND USE SUBMISSION

08.08.22

CDP SALEM - PHASE 2 - BUILDING G1

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

Scott
Edwards
Architecture

2525 E Burnside St.
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503.226.3617
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OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED
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GENERAL PROJECT NOTES

REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS: DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.
4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.
5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.
6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.
7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.
11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.
15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.
16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.
17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.

PROJECT TEAM

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VICINITY MAP

PROJECT SUMMARY

PROJECT DESCRIPTION:	3-STORY WOOD FRAMED MULTIFAMILY BUILDING FEATURING 18 RESIDENTIAL UNITS, LAUNDRY ROOM AND FIRE RISER ROOM. GROSS AREA: 19,226 SF
PROJECT ADDRESS:	5205 BATTLE CREEK RD SE SALEM, OR 97306
LEGAL DESCRIPTION:	083W14/ 118 AND 300
ZONING:	RM-II

SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS

CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.

UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

SEPARATE PERMITS:

1. FIRE SYSTEMS - ALARM
2. FIRE SYSTEMS - SPRINKLERS
3. SIGNAGE

DEFERRED SUBMITTALS:

1. MEP EQUIPMENT BRACING
2. ROOF TRUSSES
3. STOREFRONT, WINDOWS, LOUVERS, AND THEIR CONNECTIONS TO STRUCTURE
4. SOFFITS AND SUSPENDED CEILINGS
5. ROOFTOP ANCHORAGE
6. GUARDRAILS AND HANDRAILS

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDTIONAL BIDDER DESIGN ITEMS.

SHEET INDEX

SHEET #	SHEET NAME
GENERAL	
G0.01	GENERAL PROJECT INFORMATION
G1.01	CODE SUMMARY
ARCHITECTURAL	
A0.01	ARCHITECTURAL GENERAL NOTES AND DIAGRAMS
A0.10	ACCESSIBILITY DIAGRAMS - RESIDENTIAL
A0.20	ASSEMBLIES
A2.11	FIRST FLOOR AND SECOND FLOOR PLAN
A2.12	THIRD FLOOR AND ROOF PLAN
A3.01	EXTERIOR ELEVATIONS
A3.10	RENDERINGS
A5.01	WALL SECTIONS
A7.01	EXTERIOR DETAILS

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NOT FOR CONSTRUCTION

CDP SALEM - PHASE 2 - BUILDING G1

Job Number: 22047

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Community Development Partners

ISSUE	DATE
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Drawing:

GENERAL PROJECT INFORMATION

Sheet No:

G0.01

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BUILDING CODE SUMMARY

2019 OREGON STRUCTURAL SPECIALTY CODE

OCCUPANCY	R-2
CONSTRUCTION TYPE	TYPE V-B, SPRINKLERED PER NFPA 13R

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

OSSC REFERENCE

SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	Primary Building Occupancy: 60 FT / 3 STORY / 7000 SF

MODIFICATIONS

SECTION 506.2.506.2.3 SINGLE-OCCUPANCY, MULTISTORY BUILDING EQUATION 5-2	BUILDING AREA	Aa = [At + (NS x If)] x Sa = [7000 SF + (7000 SF x 0.75)] x 3 = 12250 SF x 3 = 36750 SF
SECTION 506.3	FRONTAGE INCREASE	If = [F/P - 0.25] x W/30 If = [1/1 - 0.25] x 30/30 = 0.75
	ACTUAL HEIGHT / STORIES	35' - 0" / 3 Story

BUILDING AREA

FLOOR LEVEL	AREA (SF)
FIRST FLOOR	6368 SF
SECOND FLOOR	6397 SF
THIRD FLOOR	6244 SF
	19010 SF

SECTION 508.2	ACCESSORY OCCUPANCY	N/A
SECTION 508.3 / 508.4	MIXED OCCUPANCY	N/A
TABLE 509	INCIDENTAL USES LAUNDRY ROOMS OVER 100 SF TRASH ROOMS OVER 100 SF	 SPRINKLERED, NO SEPARATION REQUIRED SPRINKLERED, NO SEPARATION REQUIRED

CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION

TABLE 601 FIRE RESISTANCE RATING REQUIRMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	FIRE RATING *
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON BEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602
NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR

* UNLESS OTHERWISE REQUIRED BY THIS CODE

TABLE 602 FIRE RESISTANCE RATING REQUIRMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE	FIRE RATING
X < 5'	1 HOUR
5' <= X < 10'	1 HOUR
10' <= X < 30'	0 HOUR
X >= 30'	0 HOUR

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES	
TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION		
		UNPROTECTED, NON-SPRINKLERED	PROTECTED
	0 TO LESS THAN 3'	NOT PERMITTED	NOT PERMITTED
	3 TO LESS THAN 5'	NOT PERMITTED	15%
	5 TO LESS THAN 10'	10%	25%
	10 TO LESS THAN 15'	15%	45%
	15 TO LESS THAN 20'	25%	75%
	20 TO LESS THAN 25'	45%	NO LIMIT
	25 TO LESS THAN 30'	70%	NO LIMIT
	30' OR GREATER	NO LIMIT	NO LIMIT
705.8.1	ALLOWABLE AREA OF OPENINGS	EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.	
705.11	PARAPETS	EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.	
TABLE 706.4	FIRE WALL FIRE RESISTANCE	N/A	
TABLE 707.3.10	FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS	N/A	
SECTION 708	FIRE PARTITIONS	1 HOUR EXCEPTION 1: 1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1	
SECTION 709	SMOKE BARRIERS	NOT REQUIRED	
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3		
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A	
711.2.4.2	SEPARATING FIRE AREAS	N/A	
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR	
711.2.4.4	SEPARATING SMOKE COMPARTMENTS	N/A	
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509	
711.2.4.6	OTHER SEPARATIONS	N/A	
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE	

CHAPTER 8: INTERIOR FINISHES

TABLE 803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATING)

INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C
CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C
ROOMS AND ENCLOSED SPACES	C

CHAPTER 9: FIRE PROTECTION SYSTEMS

SPRINKLERED PER NFPA 13R

CHAPTER 10: MEANS OF EGRESS

SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD TABLE
SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR	0.3
SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR	0.2
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 OCCUPANTS 125 FT
TABLE 1006.3.2	MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY	500 2 *SEE 1003.3 EXCEPTIONS
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030 REQUIRED FOR STORIES WITH ONE EXIT
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	250 FT
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	0.5 HR
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES * 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50
SECTION 1020.4	DEAD ENDS	20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH
SECTION 1023.2	INTERIOR EXIT STAIRWAY FIRE-RESISTANCE RATING	1 HR CONNECTING < 4 STORIES

CHAPTER 11: ACCESSIBILITY

SECTION 1106.2 R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE

TOTAL SPACES PROVIDED:	43
ACCESSIBLE SPACES REQUIRED:	43 x 2% = 1
ACCESSIBLE SPACES PROVIDED:	5

SECTION 1107.6.2.2.1 R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS

TYPE A UNITS REQUIRED (TOTAL FOR SITE):	129 x 2% = 3 UNITS
TYPE A UNITS PROVIDED (TOTAL FOR SITE):	7 UNITS
TYPE A UNITS PROVIDED (THIS BUILDING):	

SECTION 1107.6.2.2.2 WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM

EXCEPTION: THE NUMBER OF TYPE A AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1107.7

1107.7.1.1, STRUCTURES WITHOUT ELEVATOR SERVICE, ONE STORY WITH TYPE B UNITS REQUIRED

ADDITIONAL ACCESSIBILITY REQUIREMENTS

APPLICABLE STANDARDS

ANSI ICC A117.1 - 2009
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II
SECTION 504
FAIR HOUSING ACCESSIBILITY GUIDELINES
FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018
OHCS CORE DEVELOPMENT MANUAL

ACCESSIBLE UNITS

5% OF UNITS WITH MOBILITY FEATURES	129 x 5% = 7 UNITS
2% OF UNITS WITH COMMUNICATION FEATURES	129 x 2% = 3 UNITS

CHAPTER 13: ENERGY EFFICIENCY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)

CLIMATE ZONE 4C

OPAQUE ELEMENTS	REQUIRED		PROVIDED
	ASSEMBLY MAX.	MIN. R-VALUE	
ROOFS			
INSULATION ENTIRELY ABOVE DECK	N/A	N/A	
METAL BUILDINGS	N/A	N/A	
ATTIC AND OTHER	U-0.021	R-49	R-49
WALLS (ABOVE GRADE)			
MASS	U-0.104	R-11.4 CI	R-11.4 CI
METAL BUILDINGS	N/A	N/A	
STEEL-FRAMED	N/A	N/A	
WOOD-FRAMED / OTHER	U-0.064	R-20	R-23
WALLS (BELOW GRADE)	C-0.119	R-10 CI	
FLOORS			
MASS	N/A	N/A	
STEEL JOIST	N/A	N/A	
WOOD FRAMED / OTHER	U-0.033	R-30	R-30
SLAB-ON-GRADE FLOORS			
HEATED	N/A	N/A	
UNHEATED	F-0.520	R-15 FOR 24"	R-15
OPAQUE DOORS			
SWINGING	U-0.37		-0.37
NON-SWINGING			

FENESTRATION	REQUIRED			PROVIDED		
	MAX U	MAX SHGC	MIN VTI/SHGC	MAX U	MAX SHGC	MIN VTI/SHGC
VERTICAL (0% - 40% OF WALL ALLOWED)						
FIXED	0.36	0.36	1.10	0.36	0.36	1.10
OPERABLE	0.45	0.33	1.10	0.45	0.33	1.10
ENTRANCE DOOR	0.63	0.33	1.10	0.63	0.33	1.10
SKYLIGHT (0% - 3% OF ROOF ALLOWED)						

CI = CONTINUOUS INSULATION
FC = FILLED CAVITY
NR = NO REQUIREMENT
NA = NOT APPLICABLE

CHAPTER 29: PLUMBING FIXTURES

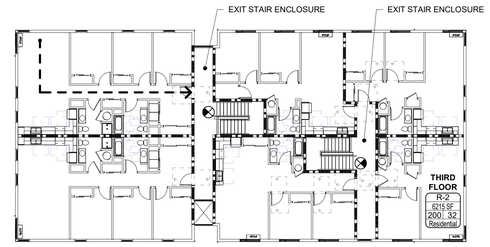
	TOTAL UNITS	
R-2	18	1 WC / LAV / Tub or Shower per unit required and provided

EXIT ACCESS TRAVEL DISTANCE

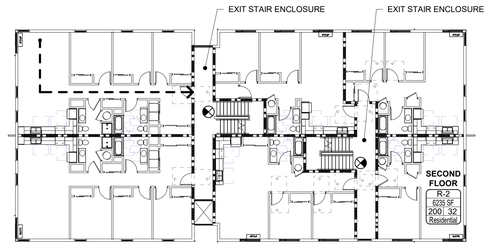
EGRESS PATH NAME	EGRESS PATH LENGTH
FIRST FLOOR	32' - 8"
SECOND FLOOR	53' - 5"
THIRD FLOOR	52' - 11"

LIFE SAFETY OCCUPANT LOAD SCHEDULE

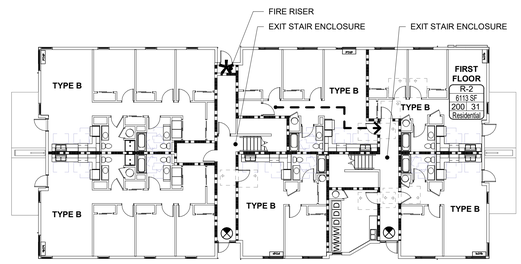
AREA NAME	AREA (SF)	TABLE 1004.1.2 FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
FIRST FLOOR	6113 SF	Residential	200	31
SECOND FLOOR	6235 SF	Residential	200	32
THIRD FLOOR	6215 SF	Residential	200	32
				95



3 THIRD FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



1 FIRST FLOOR - FIRE LIFE SAFETY PLAN
1/16" = 1'-0"

CODE SUMMARY LEGEND

1 HOUR RATED ASSEMBLY

WALL RATINGS TO CONTINUE ABOVE / BELOW ALL DOORS, RELITES, ETC.

NAME — AREA NAME
Occ Grp — OCCUPANCY (CH. 3)
SF — AREA (SF)
OLF # — OCCUPANT LOAD FACTOR / NUMBER OF OCCUPANTS
Function — FUNCTION (CH. 10)

* — UNOCCUPIED AREA. OCCUPANT LOAD NOT INCLUDED IN BUILDING TOTALS

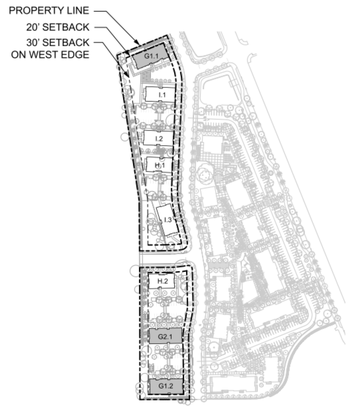
EXIT SIGN SHADE INDICATES ILLUMINATE FACE. ARROW INDICATES DIRECTION TO EXIT

PATH A 100' - 0" — EXIT ACCESS PATH

A — EXIT ACCESS DOOR

60 — DOOR RATING (IN MINUTES)

FEC or FE — MULTI-PURPOSE FIRE EXTINGUISHER AND CABINET (FEC) OR FIRE EXTINGUISHER (FE) ON BRACKET. VERIFY EXACT LOCATIONS AND QUANTITY WITH FIRE DEPARTMENT.



SITE PLAN - ZONING DIAGRAM

NORTH

702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

CITY OF SALEM UNIFIED DEVELOPMENT CODE - TITLE X

SECTION	REQUIREMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
SITE SAFETY & SECURITY		
702.020.c.1	REQUIREMENT MET	A2.11-A3.01
702.020.c.2	REQUIREMENT MET	A3.01
FACADE & BUILDING DESIGN		
702.020.e.1	REQUIREMENT MET	A2.11-A2.12
702.020.e.8	REQUIREMENT MET	A3.01
702.020.e.9	REQUIREMENT MET	A2.11-A3.01
702.020.e.10	REQUIREMENT MET	A3.01

KEY PLAN

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NOT FOR CONSTRUCTION

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Job Number: 22047

PARCEL 3 & PARCEL 4
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Community Development Partners

ISSUE	DATE
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Sheet No:

G1.01

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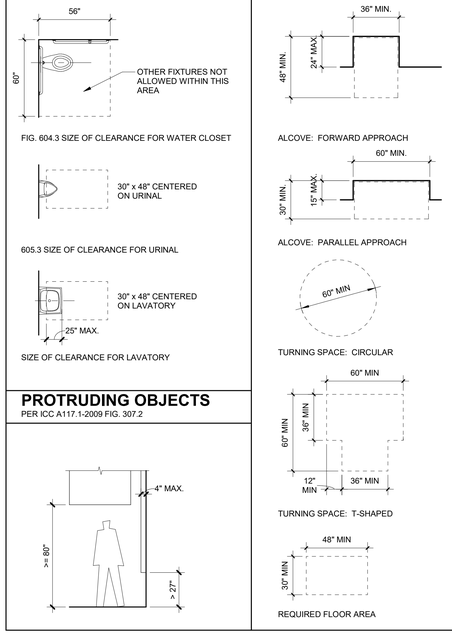
REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009

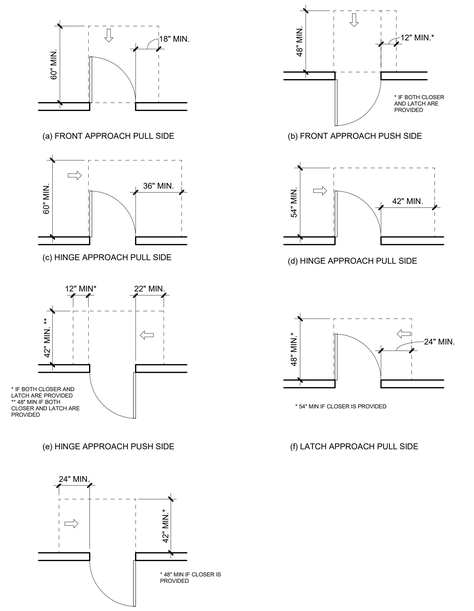


PROTRUDING OBJECTS

PER ICC A117.1-2009 FIG. 307.2

MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

PER ICC A117.1-2009, FIG. 404.2.3.2

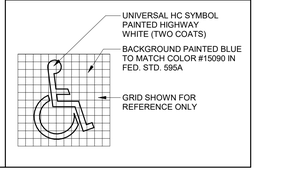


ACCESSIBILITY NOTES

A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICATION.

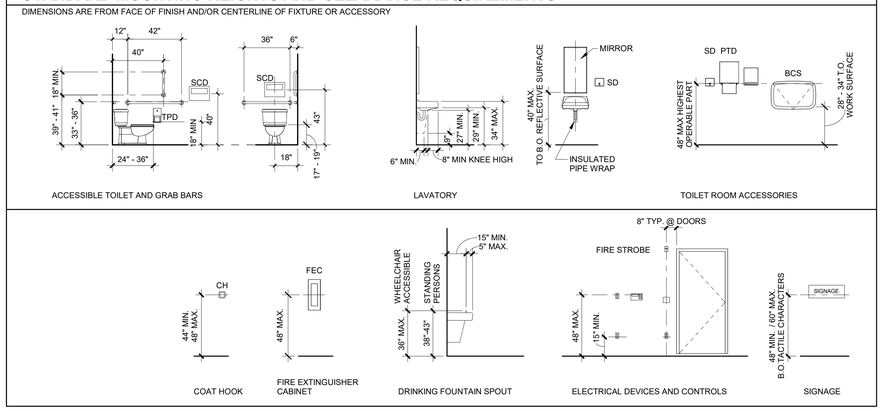
B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.



STANDARD MOUNTING HEIGHTS AND CLEARANCE REQUIREMENTS

DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY



ABBREVIATIONS

#	POUND OR NUMBER
@	AT
CL	CENTERLINE
∠	ANGLE
ø	DIAMETER OR ROUND
AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATE / APPROXIMATELY
ARCH	ARCHITECTURAL / ARCHITECT
ASPH	ASPHALT
BC	BOTTOM OF CURB
BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLW	BELOW
BO	BOTTOM OF
BOT	BOTTOM
BRG	BEARING
BTWN	BETWEEN
BUR	BUILT UP ROOF
CAB	CABINET
CB	CATCH BASIN
CFM	CUBIC FEET PER MINUTE
CI	CAST IRON
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CPT	CARPET
CSMT	CASEMENT
CT	CERAMIC TILE
CTSK	COUNTERSUNK
CW	COLD WATER
CWD	CLAD WOOD
DBL	DOUBLE
DEG	DEGREE
DEPT	DEPARTMENT
DET	DETAIL
DF	DOUGLAS FIR
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	GARBAGE DISPOSAL
DN	DOWN
DO	DOOR OPENING
DP	DAMP PROOF
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
(E)	EXISTING
E	EAST
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FC	FIBER CEMENT
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISER
FEC	FIRE EXTINGUISHER CABINET
FG	FIBERGLASS
FIN	FINISH
FLASH	FLASHING
FLR	FLOOR
FLUOR	FLOURESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FRP	FIBERGLASS REINFORCED PLASTIC
FRT	FIRE RETARDANT TREATED
FRZ	FREEZER
FT	FOOT / FEET
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GI	GALVANIZED IRON
GL	GLULAM
GND	GROUND
GR	GRADE
GWB	GYPSUM BOARD
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HB	HOSE BIB
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HNDCP	HANDICAP
HORIZ	HORIZONTAL
HP	HORSE POWER
HPL	HIGH PRESSURE LAMINATE
HR	HOUR
HSS	HOLLOW STRUCTURAL STEEL
HT	HEIGHT
HVAC	HEATING VENTILATING AIR CONDITIONING
HW	HOT WATER
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES
INSUL	INSULATION
INT	INTERIOR
JB	JUNCTION BOX
JH	JOIST HANGER
JST	JOIST
JT	JOINT
KD	KILN DRIED
KIT	KITCHEN
KW	KILOWATT
LAM	LAMINATED
LAV	LAVATORY
LB	LEADER BOX
LH	LEFT HAND
LKR	LOCKER
LT	LIGHT
LTWT	LIGHTWEIGHT
MAT	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MRGWB	MOISTURE RESISTANT GWB
MTD	MOUNTED
MTL	METAL
MULL	MULLION
(N)	NEW
N	NORTH
NIC	NOT IN CONCRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OPNG	OPENING
OPP	OPPOSITE
OTS	OPEN TO STRUCTURE
P	PANTRY
PC	PRECAST
PIP	POURED IN PLACE
PL	PLATE OR PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTIC
PLYWD	PLYWOOD
PNT	PAINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PTD	PAINTED
PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE
R	RADIUS OR RISER
RA	RETURN AIR
RB	RESILIENT BASE
RD	ROOF DRAIN
REC	RECOMMENDATION
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCE(MENT)
REQ'D	REQUIRED
RESIL	RESILIENT
REV	REVISIONS
RF	RESILIENT FLOOR
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RWL	RAIN WATER LEADER
S	SOUTH
SA	SUPPLY AIR
SAM	SELF ADHERED MEMBRANE
SC	SOLID CORE
SCHED	SCHEDULE
SEC	SECTION
SF	SQUARE FOOT
SHT	SHEET
SHTHG	SHEATHING
SHWR	SHOWER
SIM	SIMILAR
SM	SHEET METAL
SP	SOLID PIPE
SPEC	SPECIFICATIONS
SPK	SPEAKER
SQ	SQUARE
SS	STAINLESS STEEL
SSK	SERVICE SINK
SSM	SOLID SURFACE MATERIAL
STA	STATION
STD	STANDARD
STL	STEEL
STN	STAIN
STR	STRUCTURAL
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	TREAD OR TILE
T&G	TONGUE AND GROOVE
T/M	TO MATCH
TC	TOP OF CURB
TEL	TELEPHONE
TEMP	TEMPERATURE
TER	TERRAZZO
THK	THICK / THICKNESS
TJ	TOOL JOINT
TLT	TOILET
TO	TOP OF
TOC	TOP OF CONCRETE
TOP	TOP OF PARAPET
TOS	TOP OF STEEL
TOSF	TOP OF SUB-FLOOR
TOW	TOP OF WALL
TP	TOP
TS	TUBE STEEL
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VFY	VERIFY
VG	VERTICAL GRAIN
VIF	VERIFY IN FIELD
VP	VENT PIPE
VR	VAPOR RETARDER
W	WEST
W	WATT
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WF	WIDE FLANGE
WI	WROUGHT IRON
WO	WHERE OCCURS
WP	WATERPROOF
WR	WATER RESISTANT
WRB	WEATHER RESISTANT BARRIER
WSCT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

DIMENSIONS

A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.

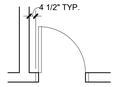
B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.

C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.

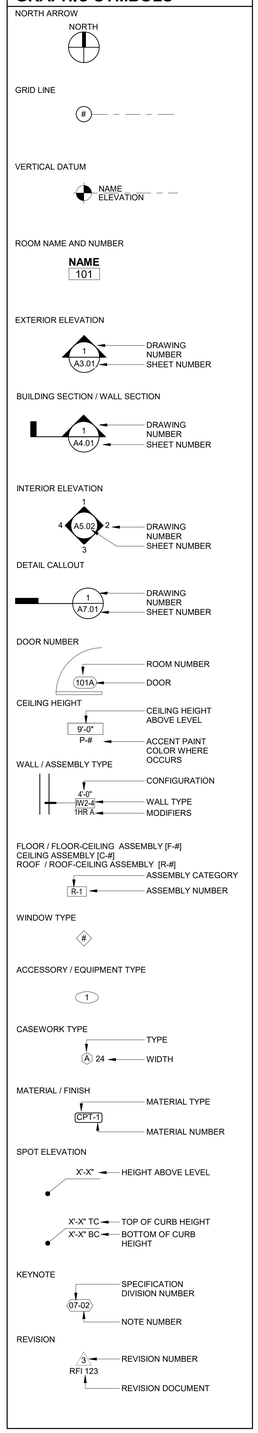
D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.

E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.

F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.



GRAPHIC SYMBOLS



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NOT FOR CONSTRUCTION

CDP SALEM - PHASE 2 - BUILDING G1

Job Number: 22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

Community Development Partners

ISSUE	DATE
LAND USE SUBMISSION	08.08.22

Drawing:

ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

Sheet No:

A0.01

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

TYPE A UNITS - REQUIRED CLEAR FLOOR AREAS, CLEARANCES, AND STANDARD MOUNTING LOCATIONS

PER ICC A117.1-2009 AND FAIR HOUSING ACT DESIGN MANUAL

DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY

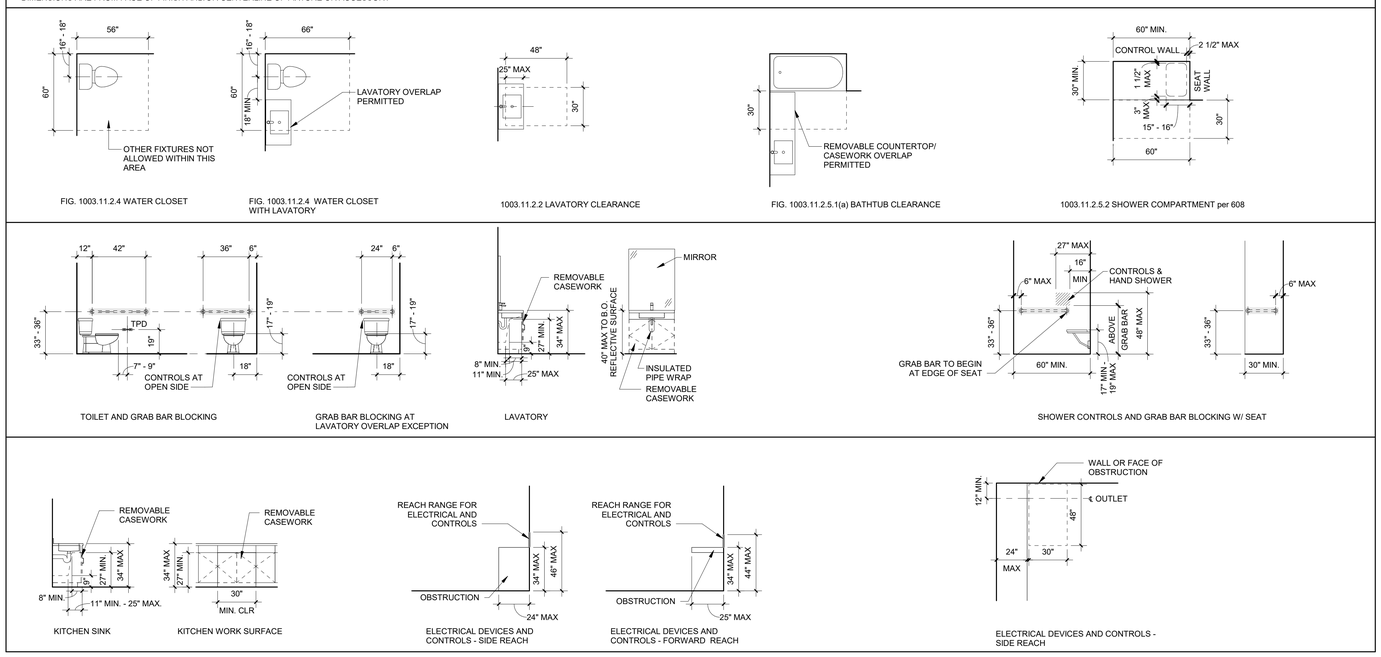

FIG. 1003.11.2.4 WATER CLOSET | FIG. 1003.11.2.4 WATER CLOSET WITH LAVATORY | 1003.11.2.2 LAVATORY CLEARANCE | FIG. 1003.11.2.5.1(a) BATHTUB CLEARANCE | 1003.11.2.5.2 SHOWER COMPARTMENT per 608

TOILET AND GRAB BAR BLOCKING | GRAB BAR BLOCKING AT LAVATORY OVERLAP EXCEPTION | LAVATORY | SHOWER CONTROLS AND GRAB BAR BLOCKING W/ SEAT

KITCHEN SINK | KITCHEN WORK SURFACE | ELECTRICAL DEVICES AND CONTROLS - SIDE REACH | ELECTRICAL DEVICES AND CONTROLS - FORWARD REACH | ELECTRICAL DEVICES AND CONTROLS - SIDE REACH

TYPE B UNITS - REQUIRED CLEAR FLOOR AREAS, CLEARANCES, AND STANDARD MOUNTING LOCATIONS

PER ICC A117.1-2009

DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY

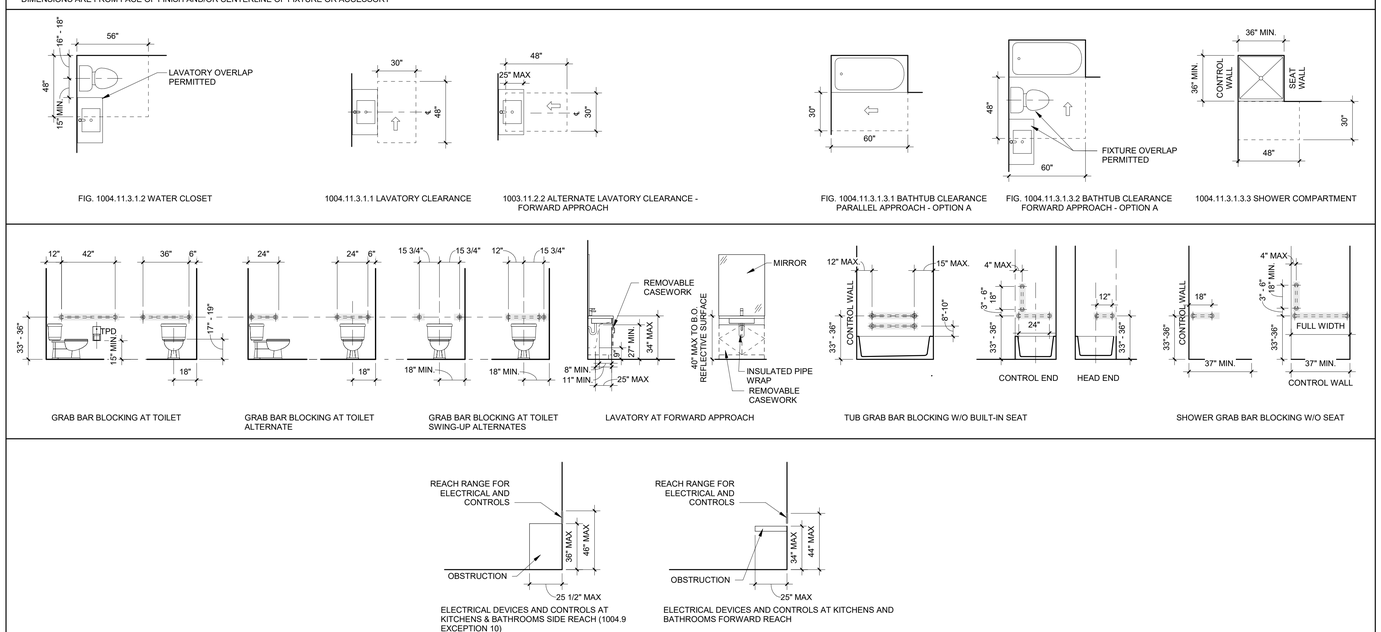

FIG. 1004.11.3.1.2 WATER CLOSET | 1004.11.3.1.1 LAVATORY CLEARANCE | 1003.11.2.2 ALTERNATE LAVATORY CLEARANCE - FORWARD APPROACH | FIG. 1004.11.3.1.3.1 BATHTUB CLEARANCE PARALLEL APPROACH - OPTION A | FIG. 1004.11.3.1.3.2 BATHTUB CLEARANCE FORWARD APPROACH - OPTION A | 1004.11.3.1.3.3 SHOWER COMPARTMENT

GRAB BAR BLOCKING AT TOILET | GRAB BAR BLOCKING AT TOILET ALTERNATE | GRAB BAR BLOCKING AT TOILET SWING-UP ALTERNATES | LAVATORY AT FORWARD APPROACH | TUB GRAB BAR BLOCKING W/O BUILT-IN SEAT | SHOWER GRAB BAR BLOCKING W/O SEAT

ELECTRICAL DEVICES AND CONTROLS AT KITCHENS & BATHROOMS SIDE REACH (1004.9 EXCEPTION 10) | ELECTRICAL DEVICES AND CONTROLS AT KITCHENS AND BATHROOMS FORWARD REACH

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Job Number: 22047

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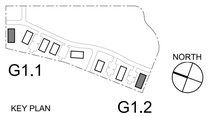
BATTLE CREEK SE
SALEM, OR

Community Development Partners

ISSUE	DATE
LAND USE SUBMISSION	08.08.22

Drawing:

ACCESSIBILITY DIAGRAMS - RESIDENTIAL



Sheet No:

A0.10

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FILE PATH: C:\Revit_Local\22047_CDP Salem Gateway Phase II_Walk Up Building G1_22_mculbertsonPX8RT.rvt

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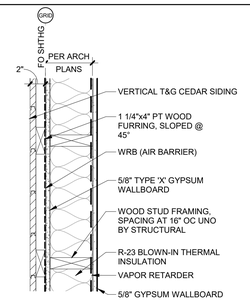
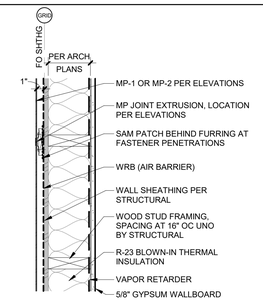
EXTERIOR WALL TYPES

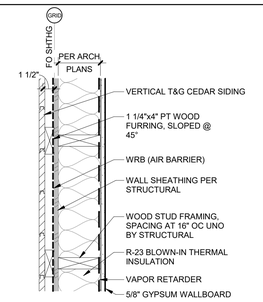


EW4-# EXTERIOR VERTICAL WOOD SIDING 1 HR RATED

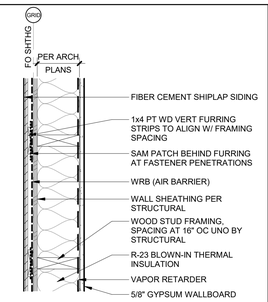
GA	WP 3520



EW3-# EXTERIOR METAL WALL PANEL

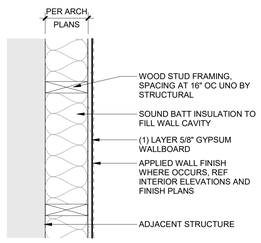


EW2-# EXTERIOR VERTICAL WOOD SIDING

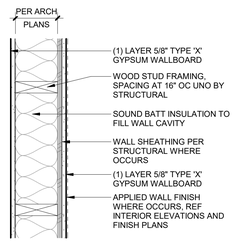


EW1-# EXTERIOR FIBER CEMENT SHIPLAP SIDING

INTERIOR WALL TYPES

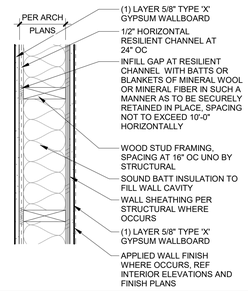


IW5-# INTERIOR FURRING WALL



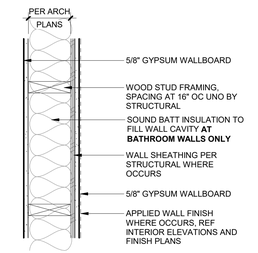
IW4-# 1 HR RATED INTERIOR PARTITION WALL

GA	WP 3520
STC	35-39



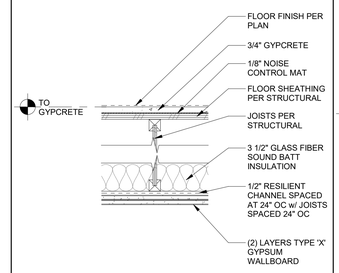
IW3-# 1 HR RATED INTERIOR DEMISING WALL @ UNIT-TO-UNIT
.5 HR RATED INTERIOR DEMISING WALL @ CORRIDOR-TO-UNIT

GA	WP 3243
STC	50-54



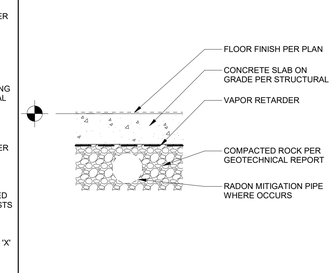
IW1-# INTERIOR PARTITION WALL

FLOOR/CEILING TYPES



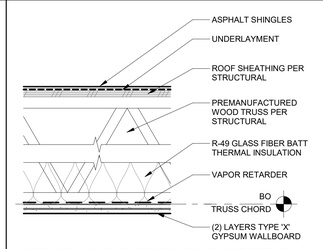
F-2 1-HR RATED FLOOR/CEILING ASSEMBLY

UL #	BXUV.L570
STC	55, 100528151CRT-002I
ICC	53, 100528151CRT-001T



F-1 SLAB ON GRADE FLOOR

ROOF TYPES

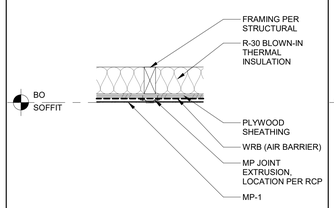


BASE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" OC WITH 1-1/4" TYPE W DRYWALL SCREWS 24" OC FACE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1-7/8" TYPE W DRYWALL SCREWS 12" OC AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS, 12" OC

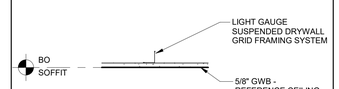
R-1 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY

OSSC: T721.1(3) NO. 21-1.1

CEILING TYPES



C-3 EXT METAL PANEL SOFFIT



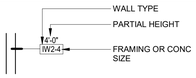
C-2 SUSPENDED GYPSUM BOARD CEILING

C-1 NOT IN USE

GENERAL SHEET NOTES

A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.
B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.
F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURAL FRAMING ABOVE UNLESS NOTED OTHERWISE.
G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.
H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
I. WHERE ACOUSTIC WALL IS INDICATED, SEE ASSEMBLY SHEET FOR ASSEMBLY DETAILS.

WALL TYPE SYMBOL



WOOD FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED
4 = 2" x 4"
6 = 2" x 6"
8 = 2" x 8"

ABBREVIATIONS

GA GYPSUM ASSOCIATION

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2525 E Burnside St. Portland, OR 97214
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CDP SALEM - PHASE 2 - BUILDING G1

Job Number: 22047

PARCEL 3 & PARCEL 4
BATTLE CREEK SE
SALEM, OR

Community Development Partners

ISSUE	DATE
LAND USE SUBMISSION	08.08.22

Drawing:

ASSEMBLIES

KEY PLAN

Sheet No:

A0.20

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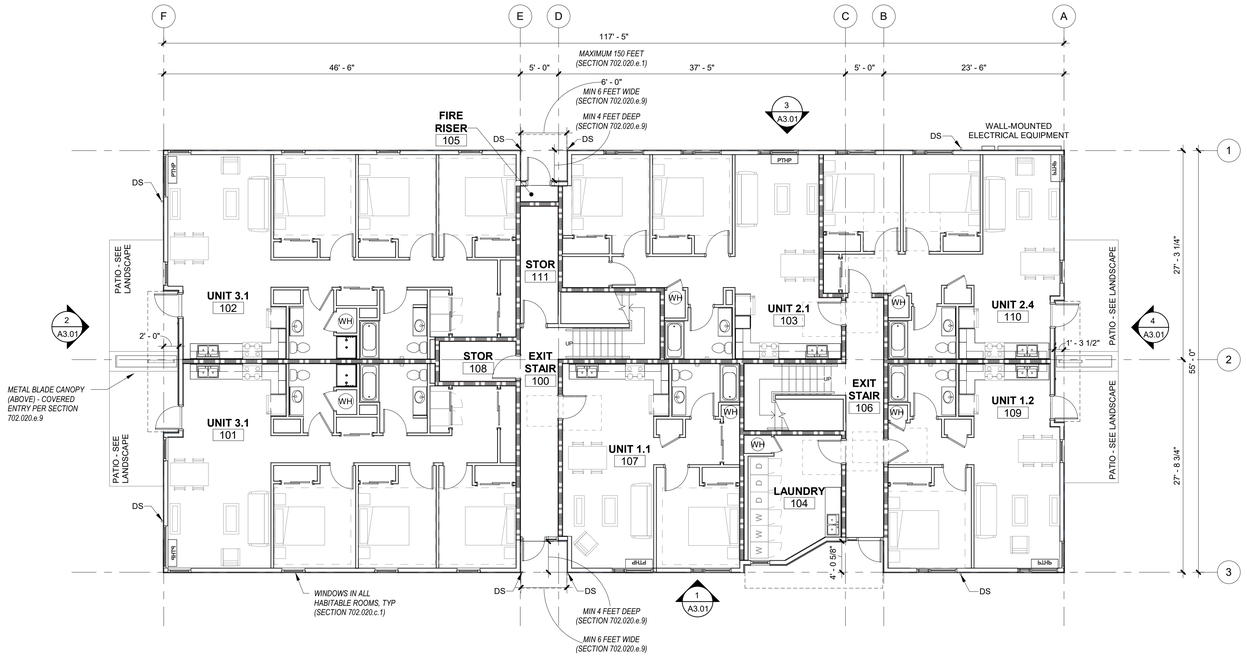
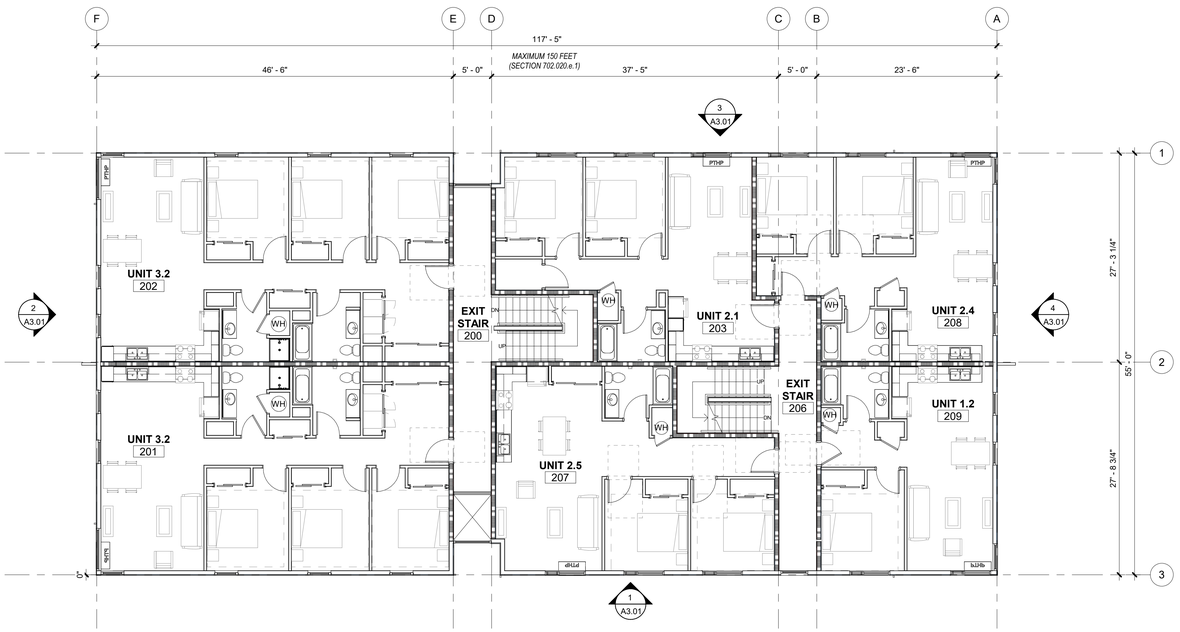


1 **FIRST FLOOR PLAN**
1/8" = 1'-0"



2 **SECOND FLOOR PLAN**
1/8" = 1'-0"

GENERAL SHEET NOTES

A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN UNO
B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING UNO ALL INTERIOR GRID LINES ARE TO FACE OF STUD UNO
C. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OF OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES
D. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT FOR COMPATIBILITY WITH FLOOR FINISHES
E. WIRE SHELVING IN ALL BEDROOM CLOSETS
F. MEP INFORMATION PROVIDED FOR REFERENCE ONLY, SEE MEP DRAWINGS
G. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL GROUND FLOOR UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN, REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS
H. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS
I. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL
J. UNIT DEMISING WALLS TYPE IW3-6, UNO
K. UNIT INTERIOR WALLS TYPE IW1-4 UNO

LEGEND

REF A0.01 FOR GENERAL LEGENDS

- 1 HOUR RATED ASSEMBLY
- .5 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF
- DS 2x3 FLAT STYPE DOWNSPOUT
- FD FLOOR DRAIN
- WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
- WASHER DRYER UNIT NIC., PROVIDE CONNECTIONS
- RIDGE VENT, SEE ROOF VENTILATION DIAGRAM
- ROOF INTAKE VENT, SEE ROOF VENTILATION DIAGRAM
- PROVIDE (2) LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF PER MFR

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Drawing:

FIRST FLOOR AND SECOND FLOOR PLAN

Sheet No:

A2.11

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PARCEL 3 & PARCEL 4
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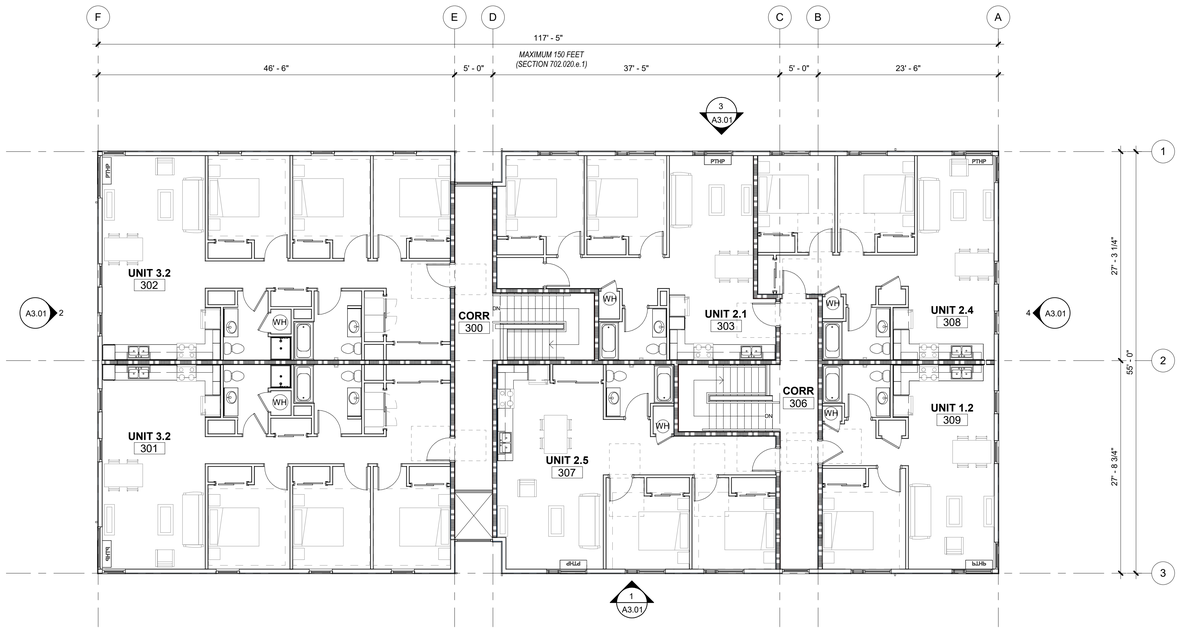
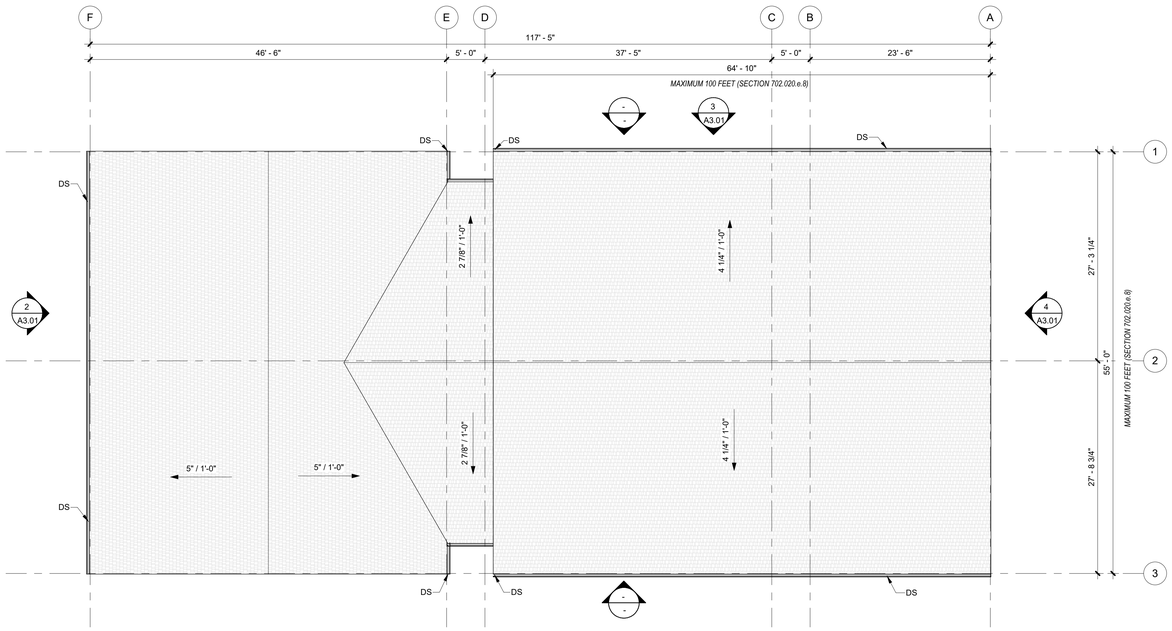


1 THIRD FLOOR PLAN

1/8" = 1'-0"



2 ROOF PLAN

1/8" = 1'-0"

GENERAL SHEET NOTES

A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN UNO
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F. MEP INFORMATION PROVIDED FOR REFERENCE ONLY. SEE MEP DRAWINGS
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H. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS
I. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL
J. UNIT DEMISING WALLS TYPE IW3-6, UNO
K. UNIT INTERIOR WALLS TYPE IW1-4 UNO

GENERAL SHEET NOTES

A. REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS NOT SHOWN HERE.
B. REFERENCE SHEET A# FOR TYPICAL ROOF DETAILS NOT FLAGGED HERE.
C. MINIMUM SLOPE OF CRICKETS TO BE 1/4" PER FT UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE ALL CRICKETS REQ'D TO PROVIDE POSITIVE DRAINAGE TO DRAINS.

LEGEND

REF A0.01 FOR GENERAL LEGENDS

- 1 HOUR RATED ASSEMBLY
- .5 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF
- DS 2x3 FLAT STYPE DOWNSPOUT
- FD FLOOR DRAIN
- WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
- WASHER DRYER UNIT NIC, PROVIDE CONNECTIONS
- RIDGE VENT, SEE ROOF VENTILATION DIAGRAM
- ROOF INTAKE VENT, SEE ROOF VENTILATION DIAGRAM
- PROVIDE (2) LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF PER MFR

SEE MECHANICAL DRAWINGS FOR LOCATION OF MECHANICAL UNITS AND ROOF PENETRATIONS

ISSUE	DATE
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Drawing:

THIRD FLOOR AND ROOF PLAN

Sheet No:

A2.12

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Job Number: 22047

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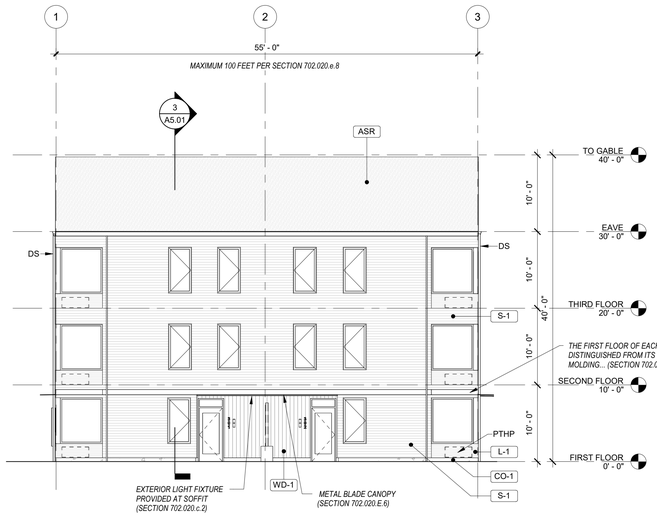
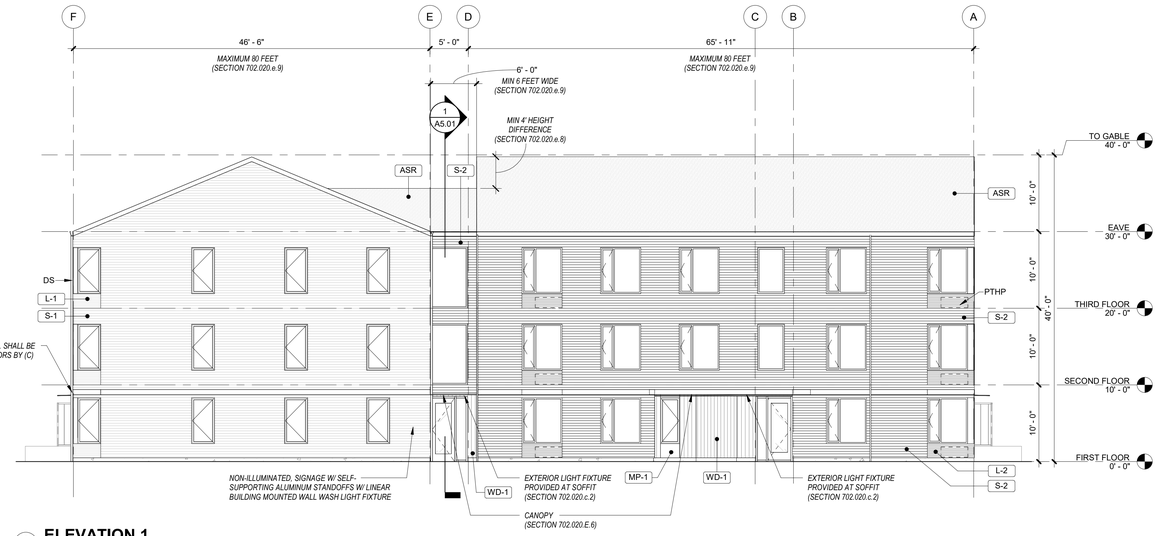
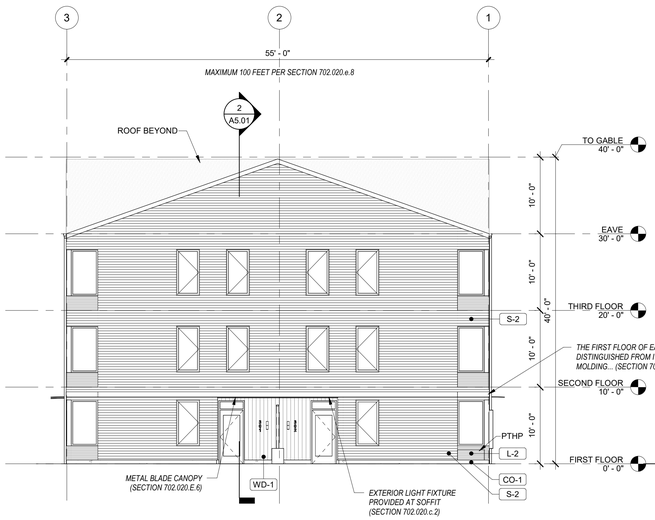


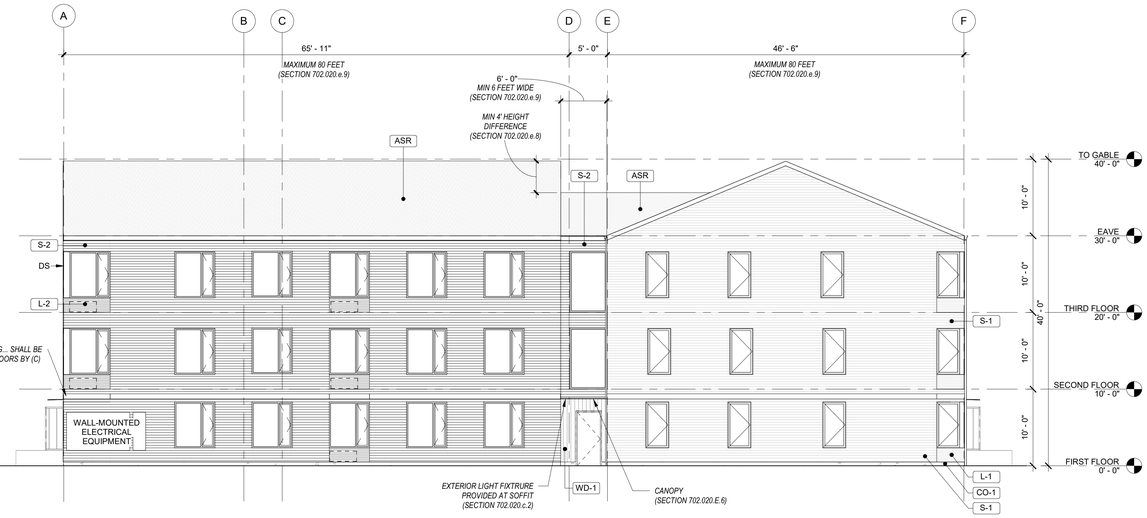
2 **ELEVATION 2**
1/8" = 1'-0"



1 **ELEVATION 1**
1/8" = 1'-0"



4 **ELEVATION 4**
1/8" = 1'-0"



3 **ELEVATION 3**
1/8" = 1'-0"

GENERAL SHEET NOTES

A. REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
B. REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
C. CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
D. ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
E. PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
F. PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
G. TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

LEGEND

S-1 — **LAP SIDING LIGHT**
PRODUCT: FIBER CEMENT SHIPLAP SIDING
COLOR: TBD

S-2 — **LAP SIDING DARK**
PRODUCT: FIBER CEMENT SHIPLAP SIDING
COLOR: TBD

S-3 — **PANEL SIDING**
PRODUCT: FIBER CEMENT PANEL
COLOR: TBD

ASR — **ASPHALT SHINGLE ROOF**
PRODUCT: TBD
COLOR: TBD

WD-1 — **VERTICAL WOOD SIDING**
PRODUCT: TBD
FINISH: TBD

L-1 — **ARCH PTHP LOUVER LIGHT**
PRODUCT: TBD
COLOR: MATCH S-1

L-2 — **ARCH PTHP LOUVER DARK**
PRODUCT: TBD
COLOR: MATCH S-2

CO-1 — CONCRETE STEM WALL

3'-0" MIN — MECHANICAL EXHAUST VENT, SEE MECHANCIAL DRAWINGS, PROVIDE 3'-0" MIN CLEARANCE

MECHANICAL INTAKE VENT, SEE MECHANCIAL DRAWINGS

PTHP (BEYOND)

ISSUE	DATE
LAND USE SUBMISSION	08.08.22

Drawing:

EXTERIOR ELEVATIONS

Sheet No:

A3.01

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CDP SALEM - PHASE 2 - BUILDING G1

Job Number: 22047

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BUILDING FROM SALAL LOOKING SOUTH

BUILDING FROM SALAL LOOKING NORTH

BUILDING PATIOS

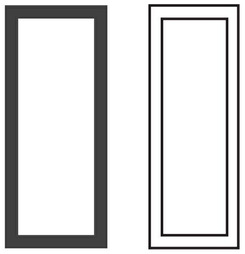
MATERIALS

VERTICAL WOOD SIDING
PRODUCT: T&G SIDING, 1x6
WESTERN RED CEDAR
FINISH: TRANSPARENT

LAP SIDING
PRODUCT: FIBER CEMENT PLANK LAP SIDING, STRAIGHT EDGE PANEL
FINISH: PAINT, LIGHT & DARK

ASPHALT SHINGLE ROOF
PRODUCT: THREE-TAB-STRIP ASPHALT SHINGLES
FINISH: DARK

FLAT METAL PANEL
PRODUCT: TBD
FINISH: DARK



VINYL WINDOWS
PRODUCT: TBD
FINISH: BLACK & WHITE

* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.

ISSUE	DATE
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Drawing:

RENDERINGS

Sheet No:

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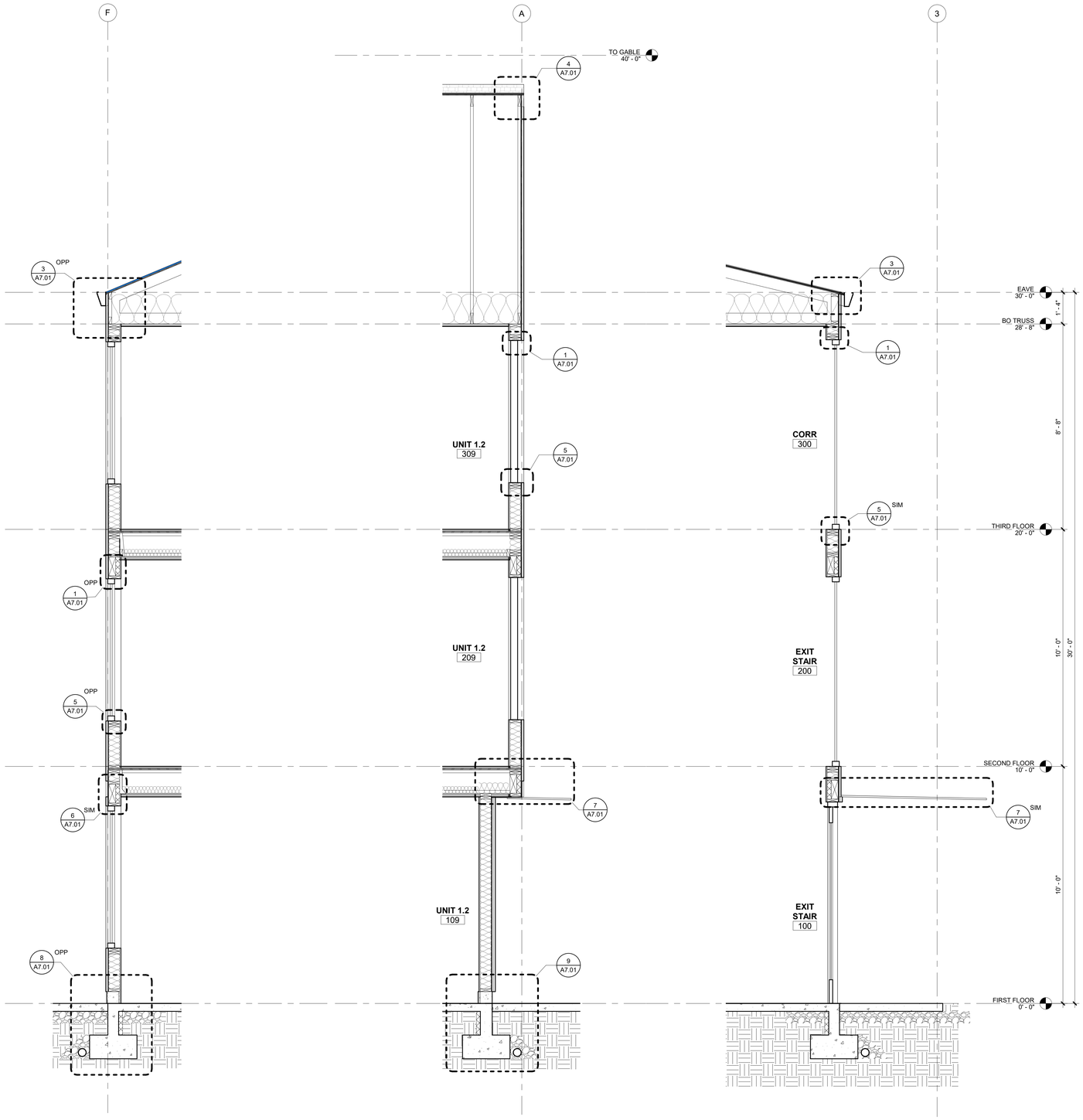

3 **WALL SECTION**
1/2" = 1'-0"

2 **WALL SECTION**
1/2" = 1'-0"

1 **WALL SECTION**
1/2" = 1'-0"

ISSUE	DATE
LAND USE SUBMISSION	08.08.22

Drawing:

WALL SECTIONS

Sheet No:

A5.01

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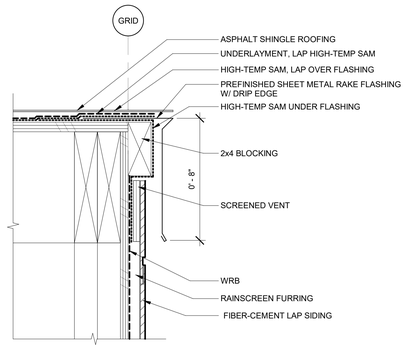
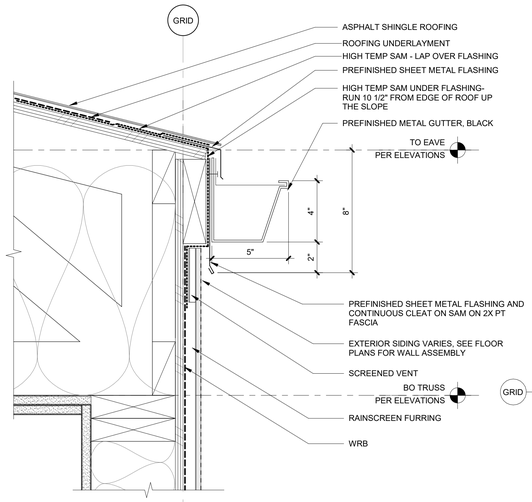
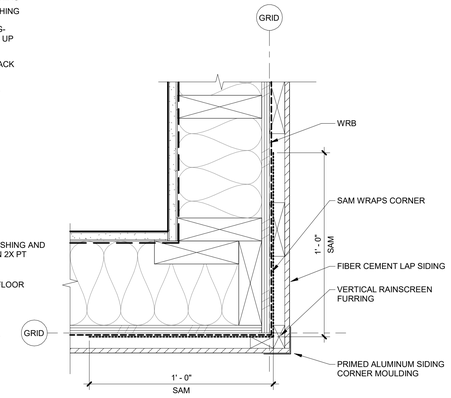


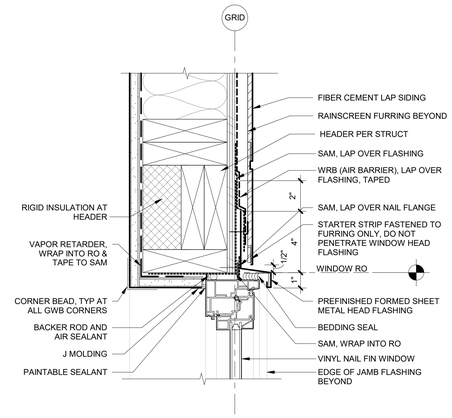
4 TYPICAL RAKE
3" = 1'-0"



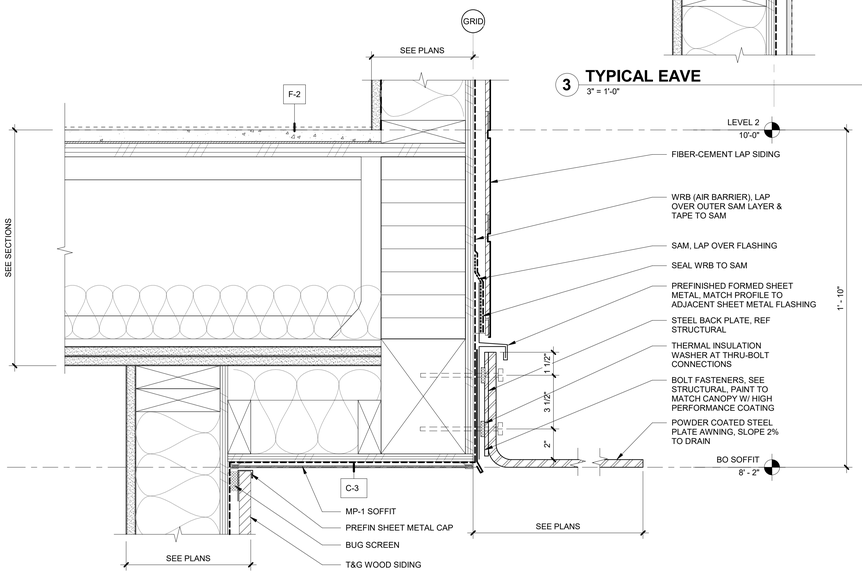
3 TYPICAL EAVE
3" = 1'-0"



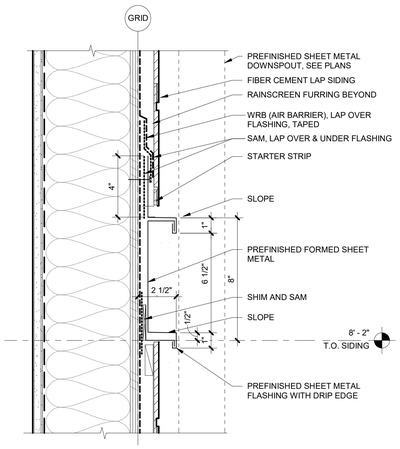
2 FIBER-CEMENT SIDING OUTSIDE CORNER
3" = 1'-0"



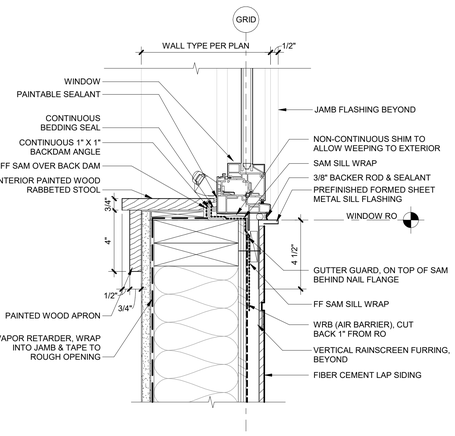
1 WINDOW HEAD @FIBER-CEMENT SIDING
3" = 1'-0"



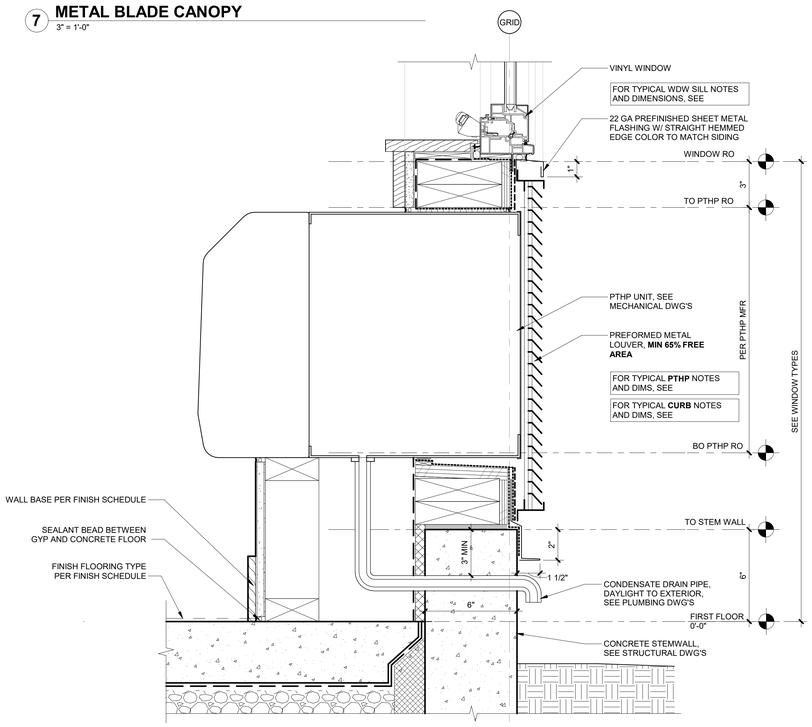
7 METAL BLADE CANOPY
3" = 1'-0"



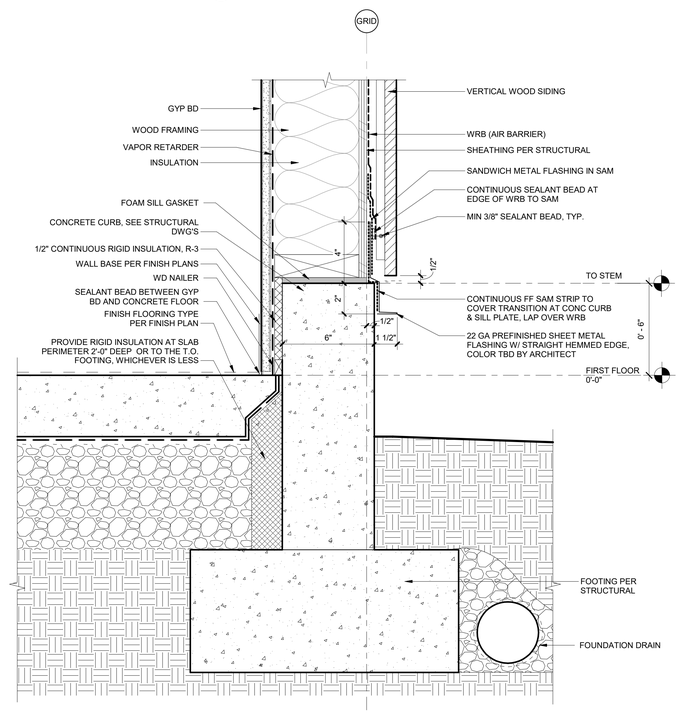
6 BELLY BAND AT FIBER-CEMENT SIDING
3" = 1'-0"



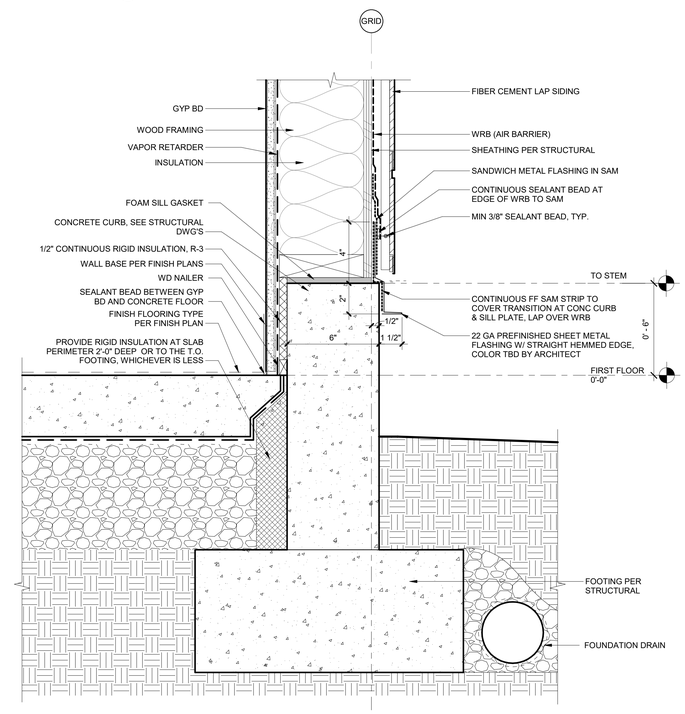
5 WINDOW SILL @ FIBER-CEMENT SIDING
3" = 1'-0"



10 PTHP AT CONC CURB
3" = 1'-0"



9 CURB AT WOOD SIDING
3" = 1'-0"



8 CURB AT FIBER-CEMENT SIDING
3" = 1'-0"

ISSUE	DATE
LAND USE SUBMISSION	08.08.22

Drawing:

EXTERIOR DETAILS

Sheet No:

A7.01

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