

# SALEM CLINIC BUSINESS OFFICE INTERIOR REMODEL

CARLSON  
VEIT  
JUNGE  
ARCHITECTS PC  
ARCHITECTURE • INTERIOR DESIGN  
3095 RIVER RD N. SALEM, OREGON 97303  
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## SYMBOLS / LEGEND

	NEW STEEL STUD WALL		NEW DOOR & DOOR MARK		DETAIL NUMBER
	NEW WOOD STUD WALL		EXISTING DOOR TO REMAIN		DETAIL CUT BUBBLE
	NEW CMU WALL		EXISTING DOOR TO BE REMOVED		VIEW OF ELEVATION
	NEW CONCRETE WALL		INTERIOR ELEVATION SHEET NO. WHERE DRAWN		VIEW OF SECTION
	ITEM TO BE REMOVED		ROOM FINISH SYMBOL		SECTION CUT SYMBOL
	KEY NOTE SYMBOL		ROOM NAME SYMBOL		REVISION TAG & REVISION CLOUD
	WINDOW MARK		FIRE EXTINGUISHER		

## INDEX OF DRAWINGS

<b>GENERAL</b>	
G-001	TITLE SHEET
<b>ARCHITECTURAL</b>	
A-101	FLOOR PLANS
A-102	DEMOLITION/REFLECTED CEILING PLAN
A-401	LARGE SCALE PLANS, DETAILS & ELEVATIONS

## PROJECT DIRECTORY

**OWNER:**  
SALEM CLINIC  
2020 CAPITOL STREET NE  
SALEM, OREGON 97301  
PHONE: (503) 375-7418  
FAX: (503) 315-4644

**ARCHITECT:**  
CARLSON VEIT JUNGE ARCHITECTS P.C.  
3095 RIVER ROAD N  
SALEM, OREGON 97303  
PHONE: (503) 390-0281  
FAX: (503) 390-2459

## CODE SUMMARY

THIS PROJECT COMPRISES THE CHANGE OF USE AND INTERIOR REMODEL FOR A NEW BUSINESS OFFICE FOR A MEDICAL PROVIDER IN AN EXISTING BANK BUILDING.

**ZONING CODE**  
PLANNING ZONE: CR

**PARKING**  
REQUIRED FOR OFFICE: 5,926 SF / 350 SF  
TOTAL PROVIDED: 17 REQ'D / 50 PROVIDED  
ADA SPACES: 2 PROVIDED  
BICYCLE SPACES: 4 PROVIDED

**BUILDING CODE**  
OCCUPANCY GROUP: B  
CONSTRUCTION TYPE: V-B  
SPRINKLERED ON 2ND FLOOR ONLY

**BUILDING AREA**  
= 6,811 SF

**TOTAL FLOOR AREA**  
1ST FLOOR = 5,926 SF  
2ND FLOOR = 4,482 SF  
TOTAL = 1,444 SF

**OCCUPANT LOAD**  
1ST FLOOR (B OCC) 4,482 SF / 150 SF OCC = 30 OCCUPANTS  
2ND FLOOR (B OCC) 1,444 SF / 150 SF OCC = 10 OCCUPANTS  
TOTAL OCCUPANT LOAD = 40 OCCUPANTS

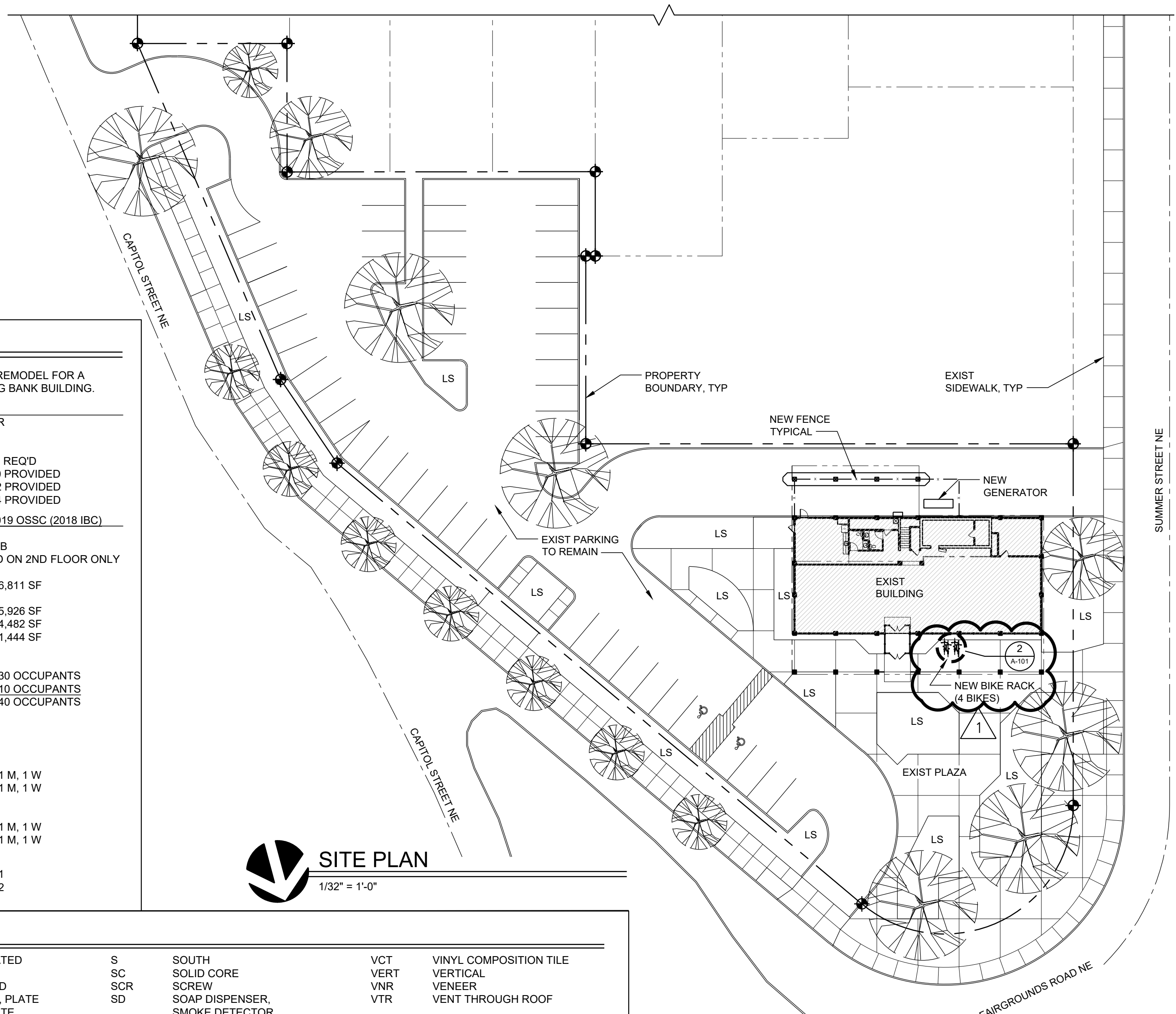
**PLUMBING FIXTURES**  
40 OCCUPANTS = 20 MEN / 20 WOMEN

**WATER CLOSETS (B OCC):**  
WATER CLOSETS REQ'D (1/25): = 1 M, 1 W  
WATER CLOSETS PROVIDED: = 1 M, 1 W

**LAVATORIES (B OCC):**  
LAVATORIES REQ'D (1/40): = 1 M, 1 W  
LAVATORIES PROVIDED: = 1 M, 1 W

**MEANS OF EGRESS**  
EXITS REQUIRED = 1  
EXITS PROVIDED = 2

**SITE PLAN**  
1/32" = 1'-0"



## ABBREVIATIONS

(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)

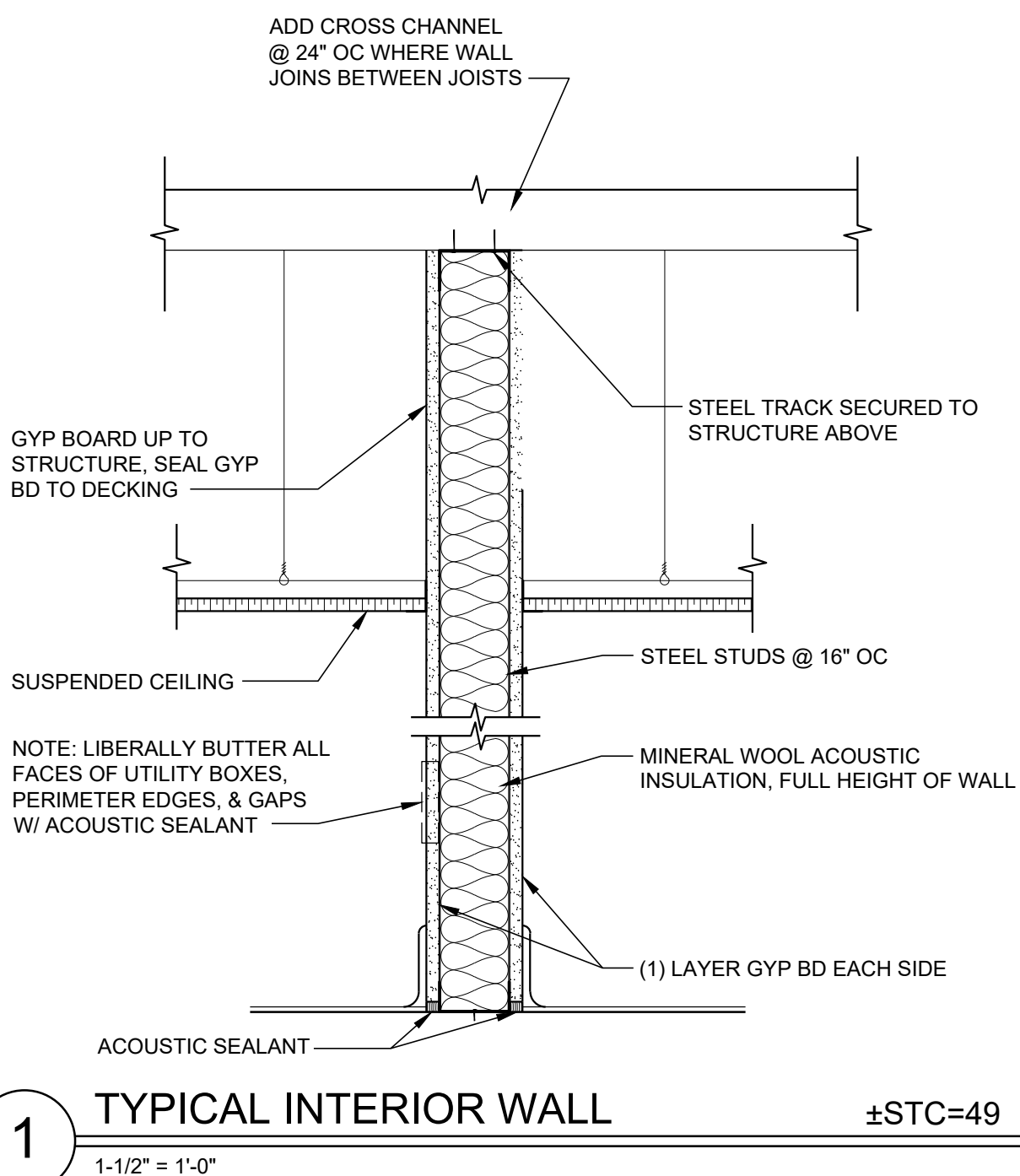
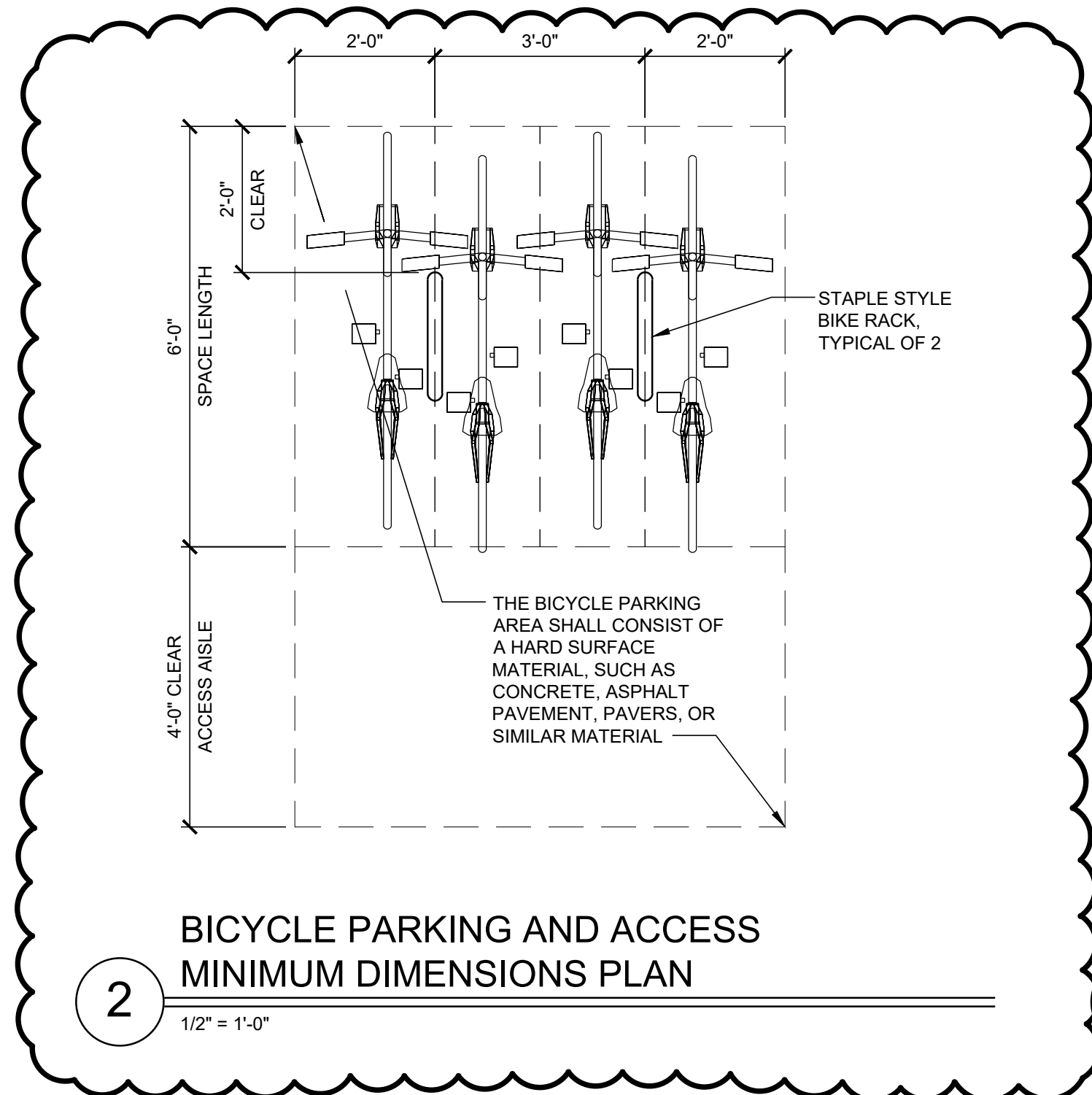
AB ANCHOR BOLT	DF DRINKING FOUNTAIN	GA GAGE	MATL MATERIAL	PAF POWDER ACTUATED	S SOUTH	VCT VINYL COMPOSITION TILE
ACST ACOUSTIC	DIA DIAMETER	GALV GALVANIZED	MAX MAXIMUM	FASTENER	SC SOLID CORE	VERT VERTICAL
ADJ ADJUSTABLE, ADJUST	DIM DIMENSION	GB GRAB BAR	MB MACHINE BOLT	PARTICLE BOARD	SCR SCREW	VNR VENEER
AFF ABOVE FINISHED FLOOR	DIV DIVIDE, DIVIDED, DIVISION	GL GLASS	MECH MECHANICAL	PL PROPERTY LINE, PLATE	SD SOAP DISPENSER,	VTR VENT THROUGH ROOF
ALUM ALUMINUM	DR DOOR	GLB GLU-LAM BEAM	MFR MANUFACTURER	PLAM PLASTIC LAMINATE	SMO SMOKE DETECTOR,	WAINS WAINSCOT
ANOD ANODIZED	DS DOWNSPOUT	GYP BD GYPSUM BOARD	MH MANHOLE	PLBG PLUMBING	STORM DRAIN	W WEST, WIDE, WIDTH
APPROX APPROXIMATELY	DTL DETAIL		MI MIRROR	PLYWD PLYWOOD	SQUARE FOOT	WC WATER CLOSET
ASPH ASPHALT	DWG DRAWING		MIN MINIMUM	PNL PANEL	SHEATHING	WD WOOD
			MISC MISCELLANEOUS	PR PAIR	SHT SHEET	WDW WINDOW
BD BOARD	E EAST	HB HOSE BIBB	MO MOUNT	PRKG PARKING	SIM SIMILAR	WH WATER HEATER
BLDG BUILDING	EA EACH	HCP HANDICAP, HOLLOW CORE	MT MOUNT	PAPER TOWEL DISPENSER	SPEC SPECIFICATION, SPECIFIED	W/O WITHOUT
BLKG BLOCKING	EF EXHAUST FAN	HDR HEADER	MTL METAL	PTN PARTITION	SPKR SPEAKER	WP WATERPROOFING
BM BENCH MARK, BEAM	EJ EXPANSION JOINT	HDW HARDWARE		PT POINT	SQ SQUARE	WRB WEATHER RESISTIVE BARRIER
BOT BOTTOM	EL ELEVATION	HC HOLLOW CORE		PVC POLYVINYL CHLORIDE	SSK SERVICE SINK	
BUR BUILT-UP ROOFING	ELEC ELECTRIC, ELECTRICAL	HORIZ HORIZONTAL	N NORTH	PVMT PAVEMENT	SST STAINLESS STEEL	
	ELEV ELEVATOR	HS HIGH STRENGTH	NIC NOT IN CONTRACT		STD STANDARD	WT WEIGHT
CAB CABINET	ENCL ENCLOSURE	HT HEATING VENTILATING	NL NIGHT LIGHT	QUAL QUALITY	STL STEEL	WWF WELDED WIRE FABRIC
CB CATCH BASIN, CORNER BEAD	EQ EQUAL	HVAC HEATING VENTILATING AIR CONDITIONING	NO NUMBER		STOR STORAGE	
CG CORNER GUARD	EQUIP EQUIPMENT	HW HOT WATER	NTS NOT TO SCALE	R RADIUS, RISER	STRUC STRUCTURE, STRUCTURAL	
CHBD CHALKBOARD	EW EACH WAY		OA OVERALL OUTSIDE AIR	RC RESILIENT CHANNEL	SUSP SUSPENDED	
CJ CAST IRON	EXIST EXISTING	INSUL INSULATE, INSULATED,	OBS OBSCURE	RD ROOF DRAIN		
CL CONTROL JOINT	EXP B EXPANSION BOLT	INSULATION	OC ON CENTER	RECEP RECEPTACLE		
CLG CEILING	EXT EXTERIOR	INT INTERIOR	OC EW ON CENTER EACH WAY	REF REFERENCE, REFRIGERATOR		
CLR CLEAR, CLEARANCE		INV INVERT	OD OUTSIDE DIAMETER	REINF REINFORCEMENT		
CMU CONCRETE MASONRY UNIT	FD FLOOR DRAIN		OFDI OWNER FURNISHED-OWNER FURNISHED-	REINFORC REINFORCEMENT		
COL COLUMN	FDTN FOUNDATION	JAN JANITOR	CONTRACTOR INSTALLED	REQD REQUIRED		
CONC CONCRETE	FE FIRE EXTINGUISHER	J-BOX JUNCTION BOX	OH OVERHEAD	REV REVISION, REVISED		
CONSTR CONSTRUCTION	FEC FIRE EXTINGUISHER CABINET	JST JOIST	OPG OPENING	RHWS ROUND HEAD WOOD SCREW		
CONT CONTINUOUS, CONTINUE	FH FIRE HYDRANT	JOINT JOINT	OFDI OWNER FURNISHED-OWNER INSTALLED	RM ROOM		
CONTR CONTRACTOR	FHWS FLATHEAD WOOD SCREW		OPP OPPOSITE	RO ROUGH OPENING		
CNTR COUNTER	FIN FINISH, FINISHED	KD KNOCKED DOWN		ROW RIGHT OF WAY		
CRS COURSE, COURSES	FIN FLR FINISHED FLOOR	LAM LAMINATE		ULMT UNDERLAYMENT		
CSK COUNTERSINK, COUNTERSUNK	FL FLOOR	LAV LAVATORY		UNON UNLESS OTHERWISE NOTED		
CW COLD WATER	FLASH FLASHING	LS LANDSCAPING		UR URINAL		
	FTG FOOTING	LT LIGHT				
	FOS FACE OF STUD					

project:  
SALEM CLINIC BUSINESS OFFICE  
INTERIOR REMODEL  
1940 FAIRGROUNDS ROAD NE,  
SALEM, OR, 97301

consultants:  
revisions:  
1 6-16-2022  
PER CITY OF SALEM

date: 6-2-2022  
project: 01922  
dwg file: G-001-01922  
drawn by: KC  
checked by: MJ  
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TITLE SHEET  
sheet:  
**G-001**  
of:



**FINISH KEY**

NAME	ROOM NAME
101	ROOM NUMBER
A   1   A   1	FINISHES
8'-0"	CEILING HEIGHT

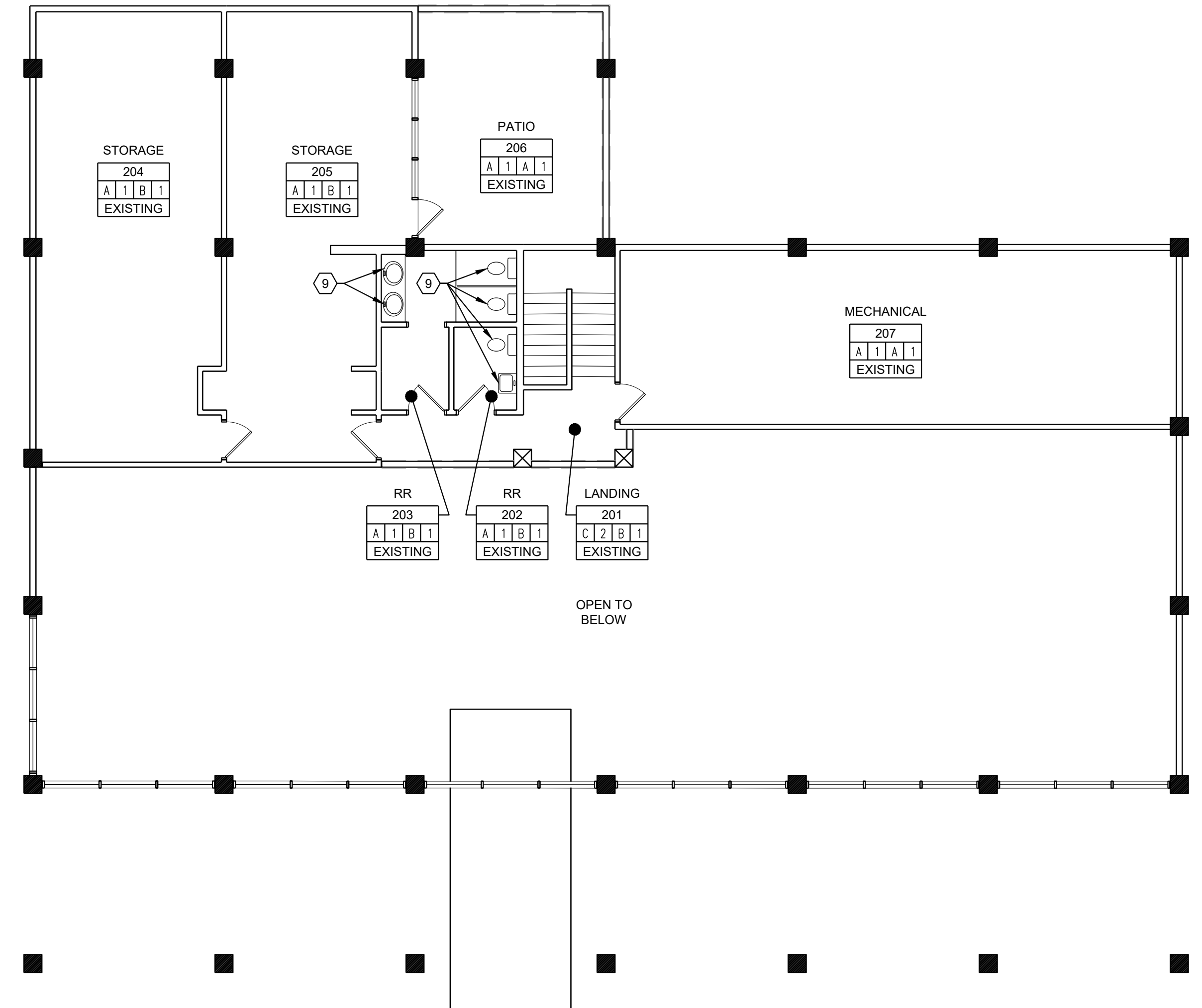
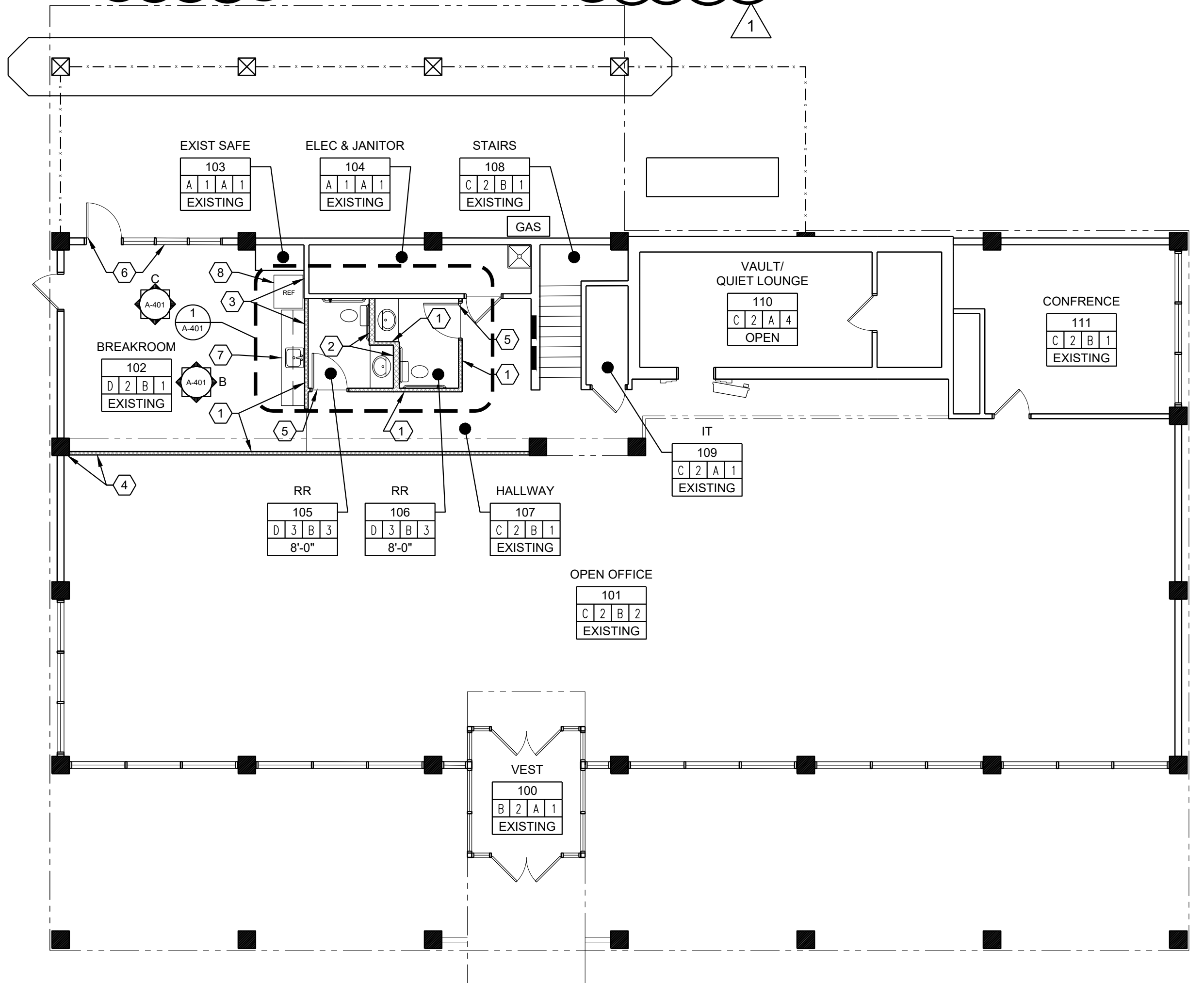
ROOM FINISH SCHEDULE					
FLOOR	BASE	WALLS	CEILING		
A	EXISTING TO REMAIN	1	EXISTING TO REMAIN	A	EXISTING TO REMAIN
B	WALK-OFF CARPET TILES	2	4" RUBBER	B	GYP BOARD, SMOOTH, PAINTED
C	CARPET TILES	3	6" RUBBER	C	-
D	LVT				4

**GENERAL NOTES**

- DAMAGED WALLS TO BE REPAIRED AND FINISHED TO MATCH ADJACENT WALLS. PAINT WALLS CORNER TO CORNER, TYP.
- PROVIDE BLOCKING IN WALLS TO SUPPORT NEW CASEWORK

**CONSTRUCTION NOTES**

- NEW FULL-HEIGHT WALL WITH 3 5/8" STEEL STUDS @ 16" OC AND 5/8" TYPE X GYP BOARD BOTH SIDES. FINISH NEW WALLS TO MATCH EXIST ADJ. SEE STL 1/A-101
- NEW FULL-HEIGHT WALL WITH 6" STEEL STUDS @ 16" OC AND 5/8" TYPE X GYP BOARD BOTH SIDES. FINISH NEW WALLS TO MATCH EXIST ADJ. SEE DTL 1/A-101
- ALIGN NEW FACE OF FINISH W/ EXIST FACE OF FINISH
- ALIGN NEW FACE OF FINISH W/ FACE OF EXIST COLUMN
- 3070 SC DOOR W/ HOLLOW STEEL FRAME. PROVIDE LEVER LATCHSET AND OCCUPANCY INDICATOR DEADBOLT. SEE DETAIL 6 / A-401
- NEW STOREFRONT ASSEMBLY, SEE ELEVATION C / A-401
- NEW CASEWORK WITH SINGLE-BASIN SINK
- NEW REFRIGERATOR, OFOI
- REPLACE EXIST PLUMBING FIXTURES WITH NEW FIXTURES



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REGISTERED ARCHITECT  
MICHAEL W. JUNGE  
SALEM, OREGON  
STATE OF OREGON

project: SALEM CLINIC BUSINESS OFFICE INTERIOR REMODEL  
1940 FAIRGROUNDS ROAD NE SALEM, OR 97301  
consultants:

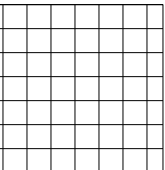

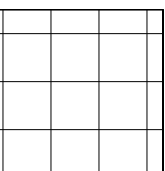

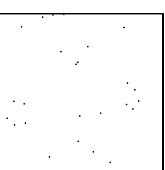

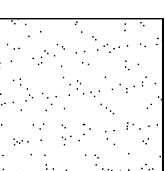



revisions:  
1 6-16-2022 PER CITY OF SALEM  
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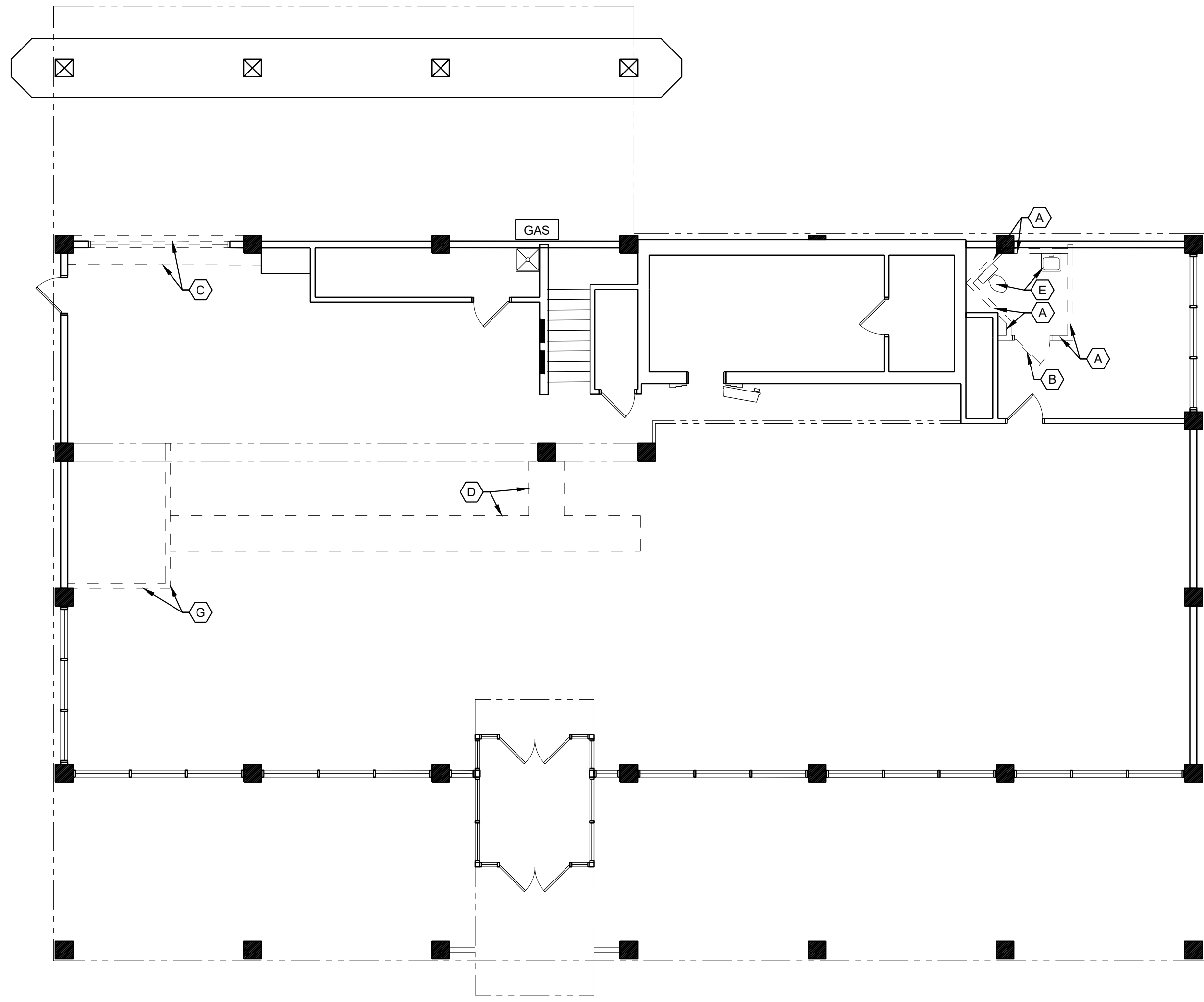
**FLOOR PLANS**  
sheet: **A-101**  
of:

**DEMOLITION NOTES**

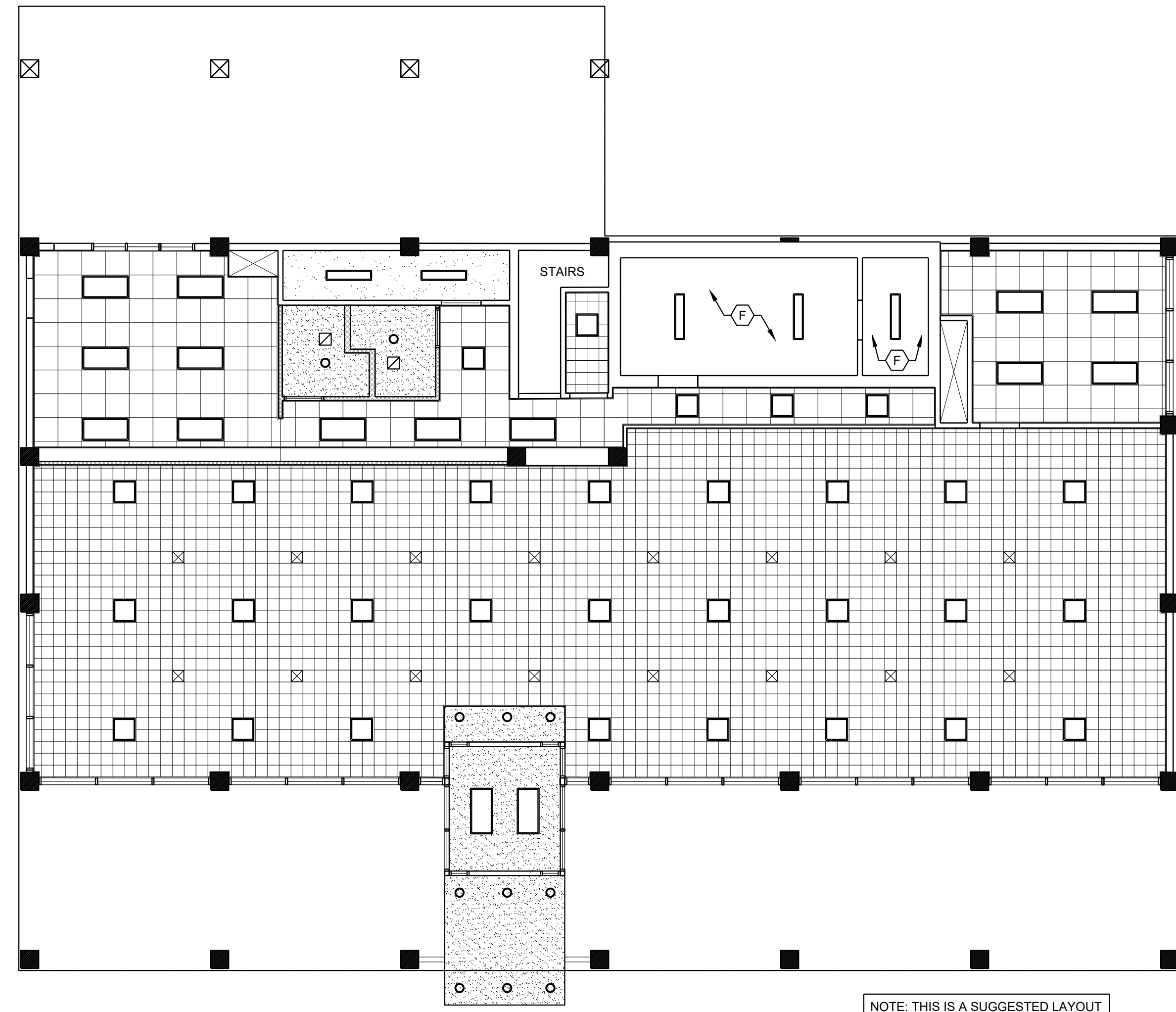
- (A) REMOVE EXISTING WALL OR PORTION OF EXIST WALL; PATCH AFFECTED ADJACENT SURFACES
- (B) REMOVE EXISTING DOOR/FRAME ASSEMBLY
- (C) REMOVE EXISTING TELLER WINDOW ASSEMBLY
- (D) REMOVE EXIST CASEWORK
- (E) REMOVE PLUMBING FIXTURES, CAP LINES BELOW SLAB OR WIN WALL
- (F) REMOVE EXISTING CEILING IN THIS ROOM, DISPOSE AND PAINT EXIST STRUCTURE ABOVE
- (G) REMOVE EXISTING WALL, PATCH AFFECTED ADJACENT SURFACES, SALVAGE WOOD PANELING FOR REUSE

**CEILING AND LIGHTING LEGEND**

- |   |  |   |  |
|---|--|---|--|
|  | EXIST ACOUSTIC CEILING TO BE PAINTED. REPLACE EXIST TILES AS NEEDED. REMOVE AND REPLACE ALL EXIST LIGHTING WITH NEW LED FIXTURES |  | NEW 2x2 RECESSED LED LIGHT FIXTURE TO REPLACE EXISTING |
|  | EXIST SUSPENDED ACOUSTIC CEILING. REPLACE EXIST TILES AS NEEDED. REMOVE AND REPLACE ALL EXIST LIGHTING WITH NEW LED FIXTURES     |  | NEW 2x4 RECESSED LED LIGHT FIXTURE TO REPLACE EXISTING |
|  | EXIST GYP BOARD CEILING TO REMAIN  |  | NEW 1x4 LED LIGHT FIXTURE SURFACE MOUNT ACRYLIC WRAP   |
|  | NEW 5/8" GYP BOARD CEILING ON JOISTS @16" OC   |  | EXIST HVAC TO REMAIN                                   |
|   |  |  | NEW RECESSED CAN LIGHT                                 |
|   |  |  | NEW EXHAUST FAN  |

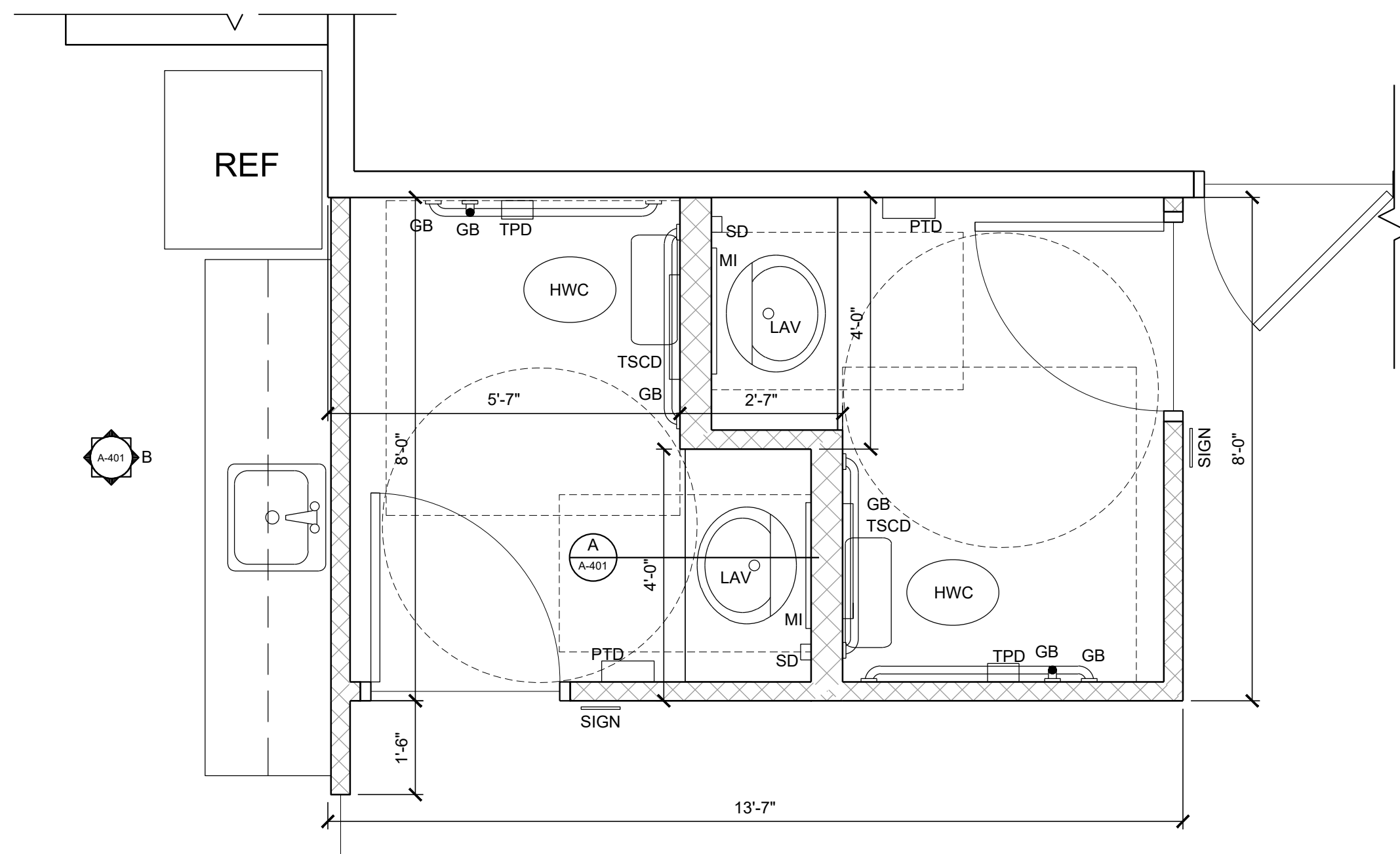


**DEMOLITION FLOOR PLAN - MAIN LEVEL**  
1/8" = 1'-0"

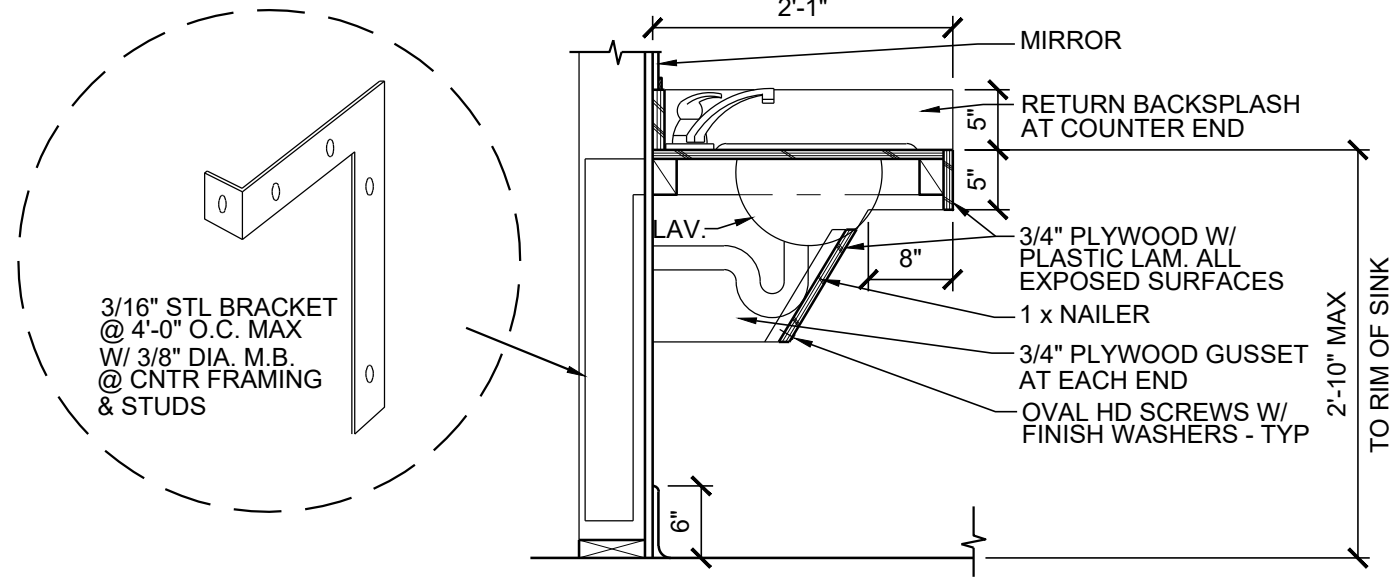


NOTE: THIS IS A SUGGESTED LAYOUT AS ALL LIGHTING WILL COMPLY WITH ENERGY CODE AND BE DESIGN/BUILD BY CONTRACTOR

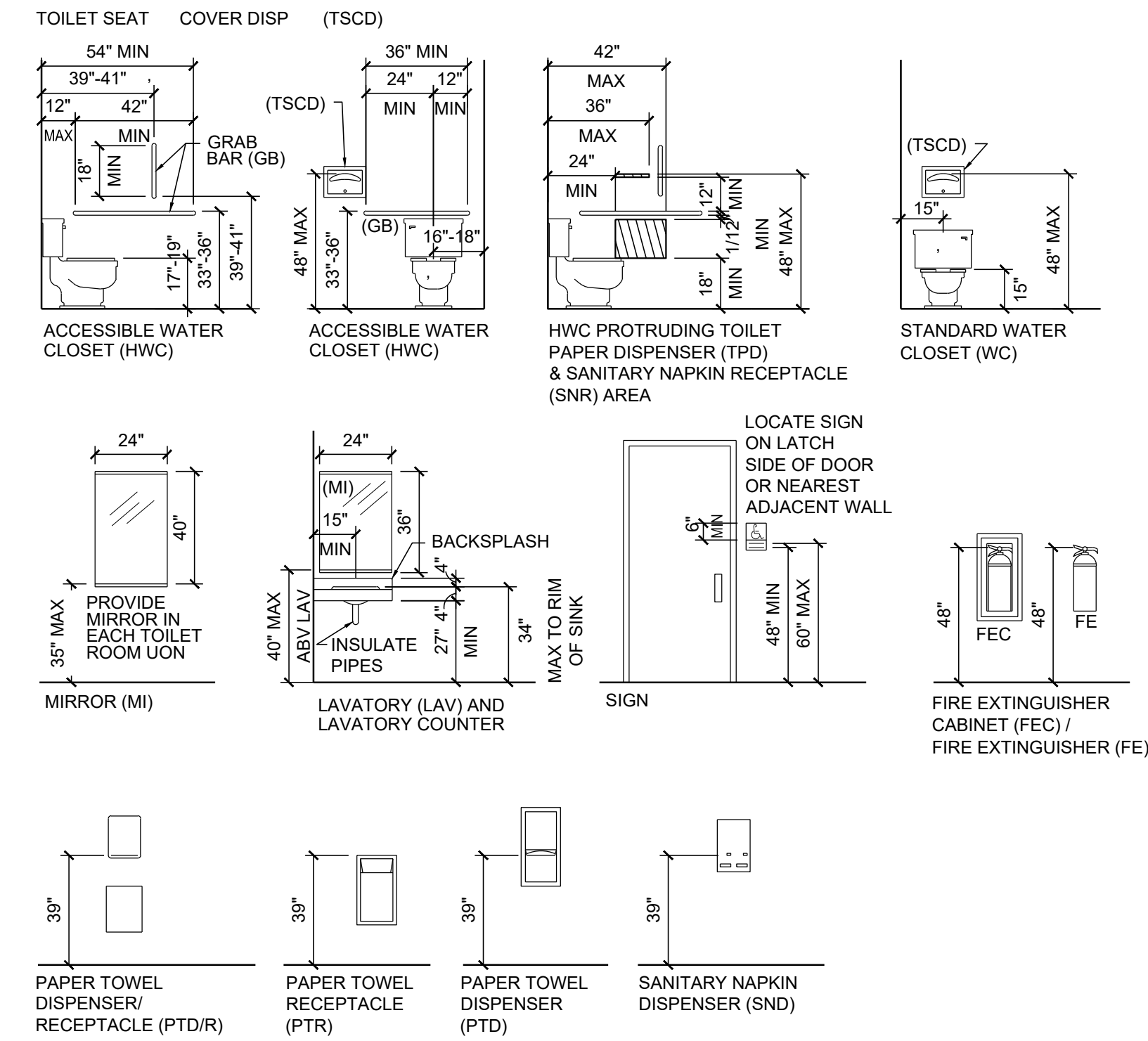
**REFLECTED CEILING PLAN - MAIN LEVEL**  
1/8" = 1'-0"



**1** LARGE SCALE BATHROOM -  
1/2" = 1'-0"

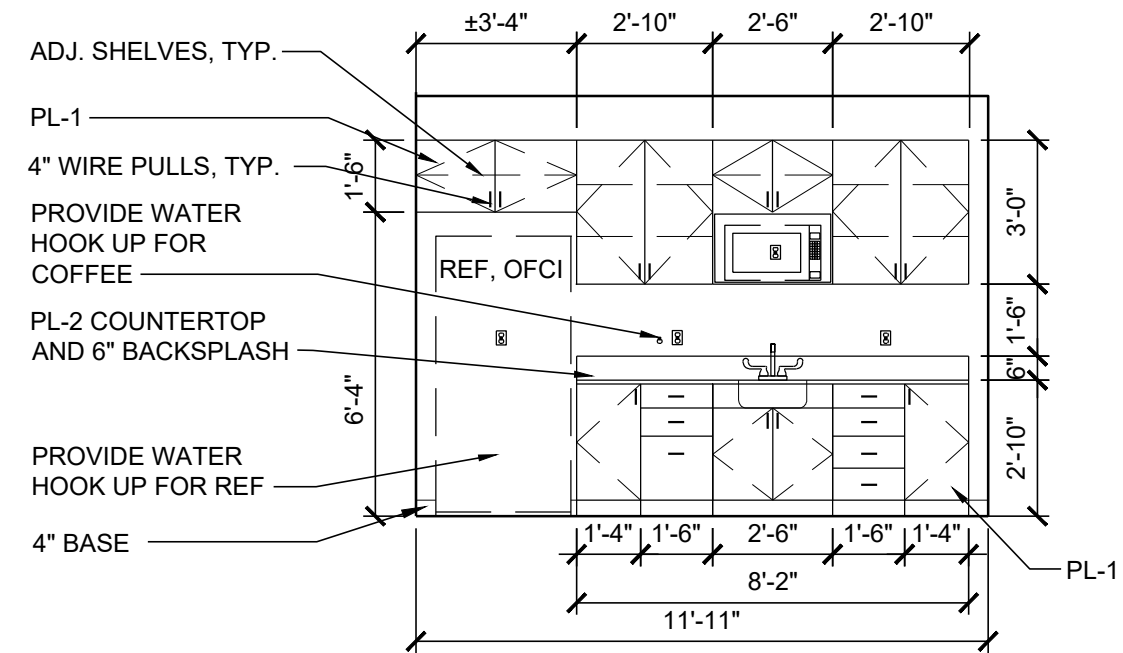


**A** BATHROOM SINK  
3/4" = 1'-0"

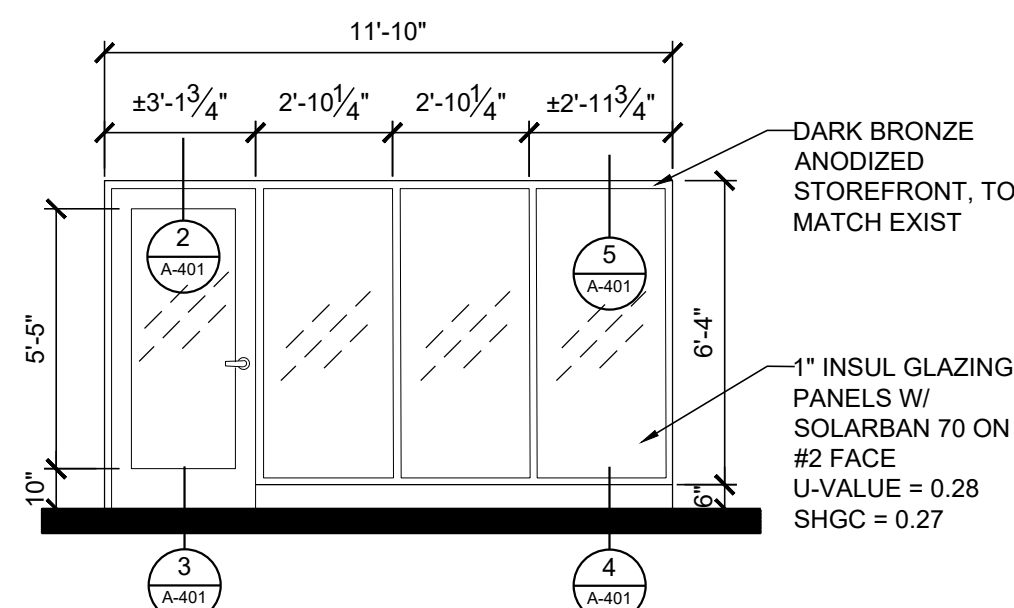


**FIXTURE MOUNTING HEIGHTS**

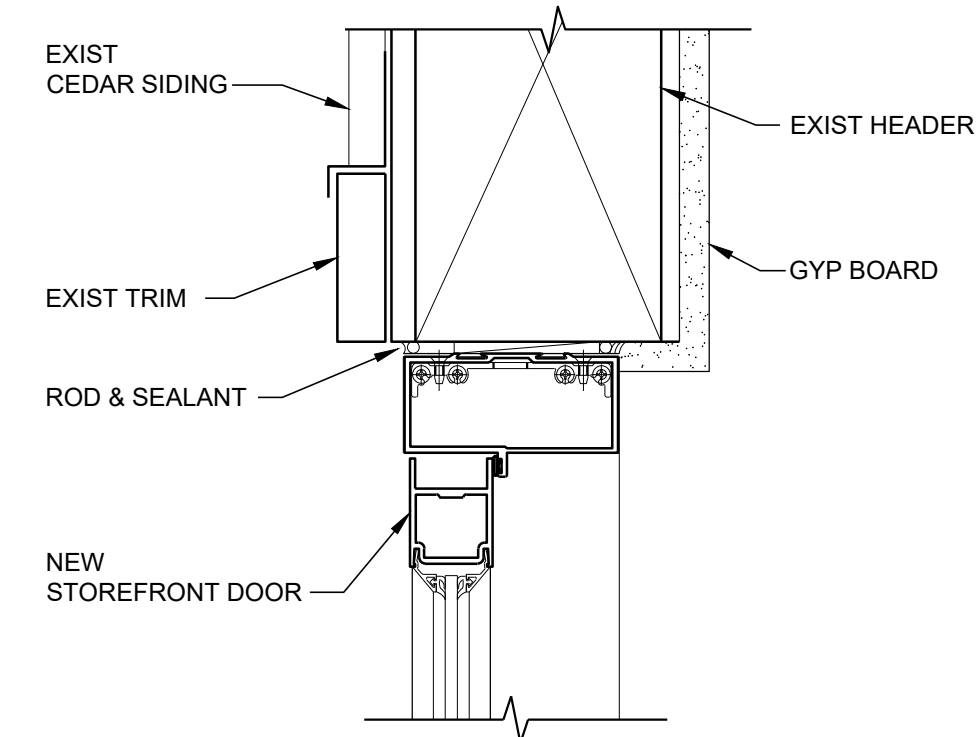
NTS  
TYPICAL UNLESS OTHERWISE NOTED  
ALL DIMENSIONS ARE CLEAR FINISH



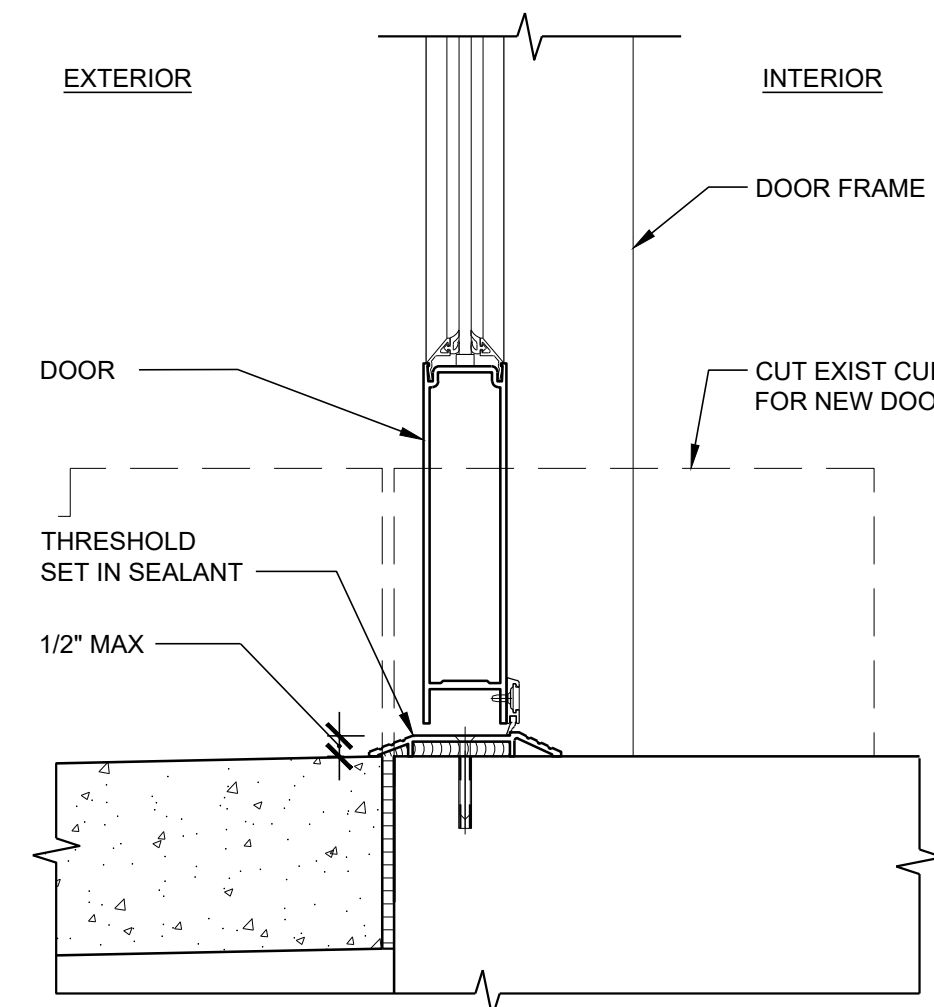
**B** BREAK ROOM -  
1/4" = 1'-0"  
12" DEEP UPPERS  
24" DEEP LOWERS, UON



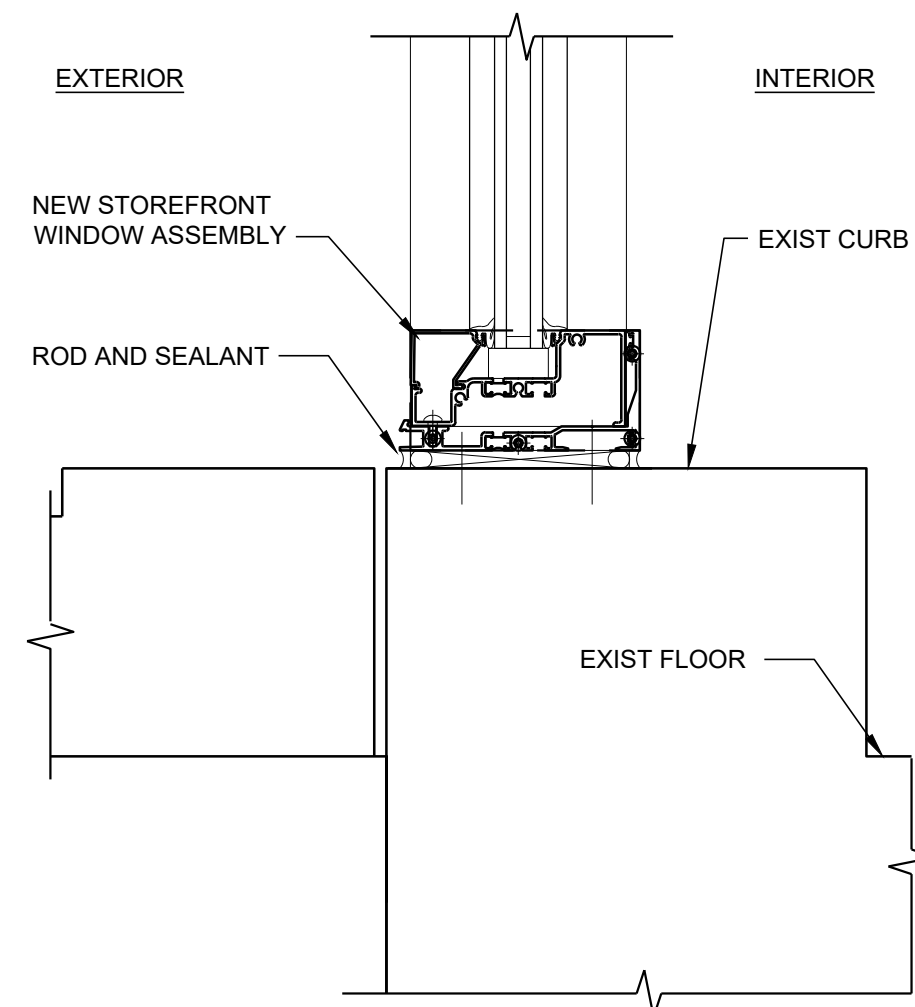
**C** STOREFRONT ELEVATIONS  
1/4" = 1'-0"



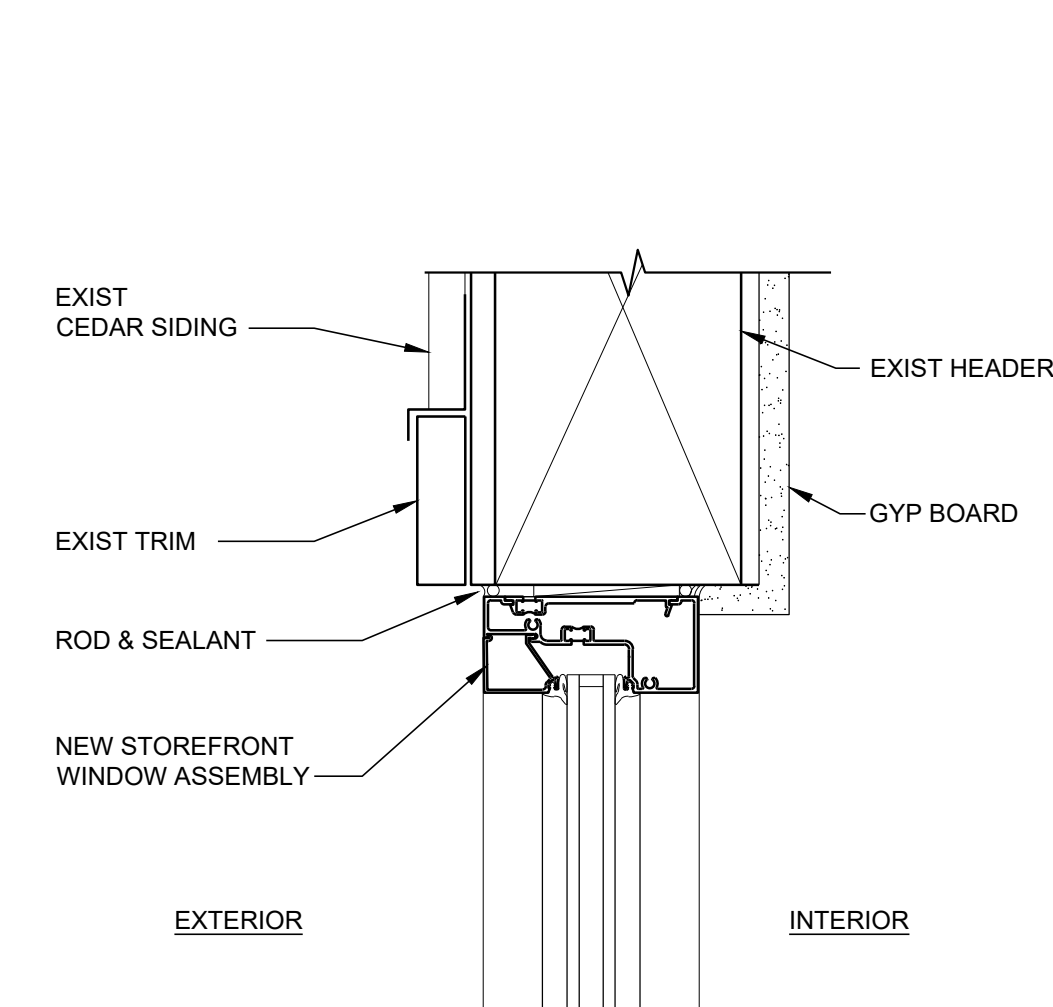
**2** STOREFRONT HEAD AT DOOR  
3" = 1'-0"



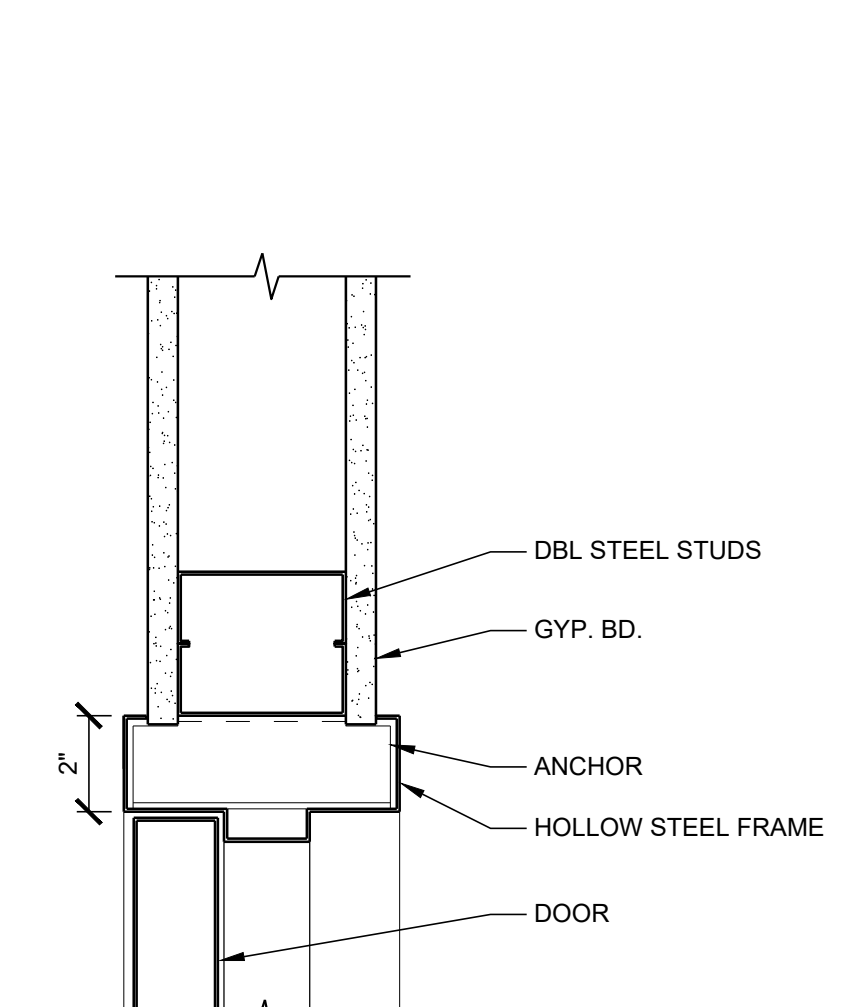
**3** STOREFRONT THRESHOLD  
3" = 1'-0"



**4** STOREFRONT SILL  
3" = 1'-0"



**5** STOREFRONT HEAD  
3" = 1'-0"



**6** DOOR HEAD/ JAMB SIMILAR  
3" = 1'-0"