

CODE COMPLIANCE

GENERAL INFORMATION

PROJECT:
OREGON BUILDING, 494 STATE STREET, SALEM, OR 97301
PROJECT NO.: 2022.0020
SCOPE OF WORK: 1st FLOOR INTERIOR RENOVATION ONLY, CONSTRUCTION OF SUITES AS INDICATED:
SUITES
NO STRUCTURAL WORK, NO SITE WORK.

CODES:
2019 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2018 IBC
2019 OREGON FIRE CODE

OWNER:
OREGON BUILDING
494 STATE ST.
PORTLAND, OR 97201
ATTN: GEORGE KIRK
gkirk@kirk-group.com

ARCHITECT:
AC + Co ARCHITECTURE | COMMUNITY
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PROJECT ARCHITECT: RICHARD GABRIEL, AIA
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AGENT:
A.J. NASH, PRINCIPAL BROKER
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ZONING CODE

ZONE: CB - CENTRAL BUSINESS DISTRICT
PERMITTED USE: BUSINESS TABLE 524.1

USE & OCCUPANCY - CHAPTER 3

OCCUPANCY: GROUP B SECT 304.1

FIRST FLOOR, WEST SIDE: M OCC
FIRST FLOOR, EAST SIDE: PREVIOUS OCCUPANT: PROF. SERVICES - B OCC

GENERAL BUILDING HEIGHTS & AREAS - CHAPTER 5

EXISTING BUILDING:
CONSTRUCTION TYPE III-B, SPRINKLED
OCCUPANCY GROUP B (MAIN OCCUPANCY)

ALLOWABLE AREA:
BASIC 19,000 SQ FT
INCREASE FOR FRONTAGE - 25% 4,750 SQ FT
INCREASE FOR SPRINKLERS - 200% 38,000 SQ FT
TOTAL ALLOWABLE AREA / FLOOR 61,750 SQ FT

EXISTING 1st FLOOR AREA 11,632 SQ FT << 61,750 SQ FT (EXISTING BUILDING COMPLIES)

ALLOWABLE HEIGHT:
BASIC 3 STORIES 55 FT
INCREASE FOR SPRINKLERS 1 STORY 20 FT
TOTAL ALLOWABLE HEIGHT 4 STORIES 75 FT

EXISTING BUILDING HEIGHT 4 STORIES (EXISTING BUILDING COMPLIES)
APPROXIMATELY 60 FT < 75 FT (EXISTING BUILDING COMPLIES)

CONSTRUCTION TYPES - CHAPTER 6

CONSTRUCTION TYPE: III-B, SPRINKLED SECT. 602.5
TABLE 601

INTERIOR FINISHES - CHAPTER 8

OCCUPANCY GROUP B, SPRINKLED
ROOMS AND ENCLOSED SPACES CLASS C TABLE 803.5

MEANS OF EGRESS - CHAPTER 10

OCCUPANT LOAD:
OCCUPANT LOAD FACTOR: BUSINESS AREAS: 150 SQ FT / OCCUPANT
OCCUPANT LOAD, SUITES 100 - 170: 17 OCC
OCCUPANT LOAD, SUITE 180: 10 OCC

EGRESS SIZING & NUMBER OF EXITS:
EGRESS WIDTH, SUITES 100 - 170: (17) OCCUPANTS x 0.2 = 3.4 IN MIN WIDTH
EGRESS WIDTH PROVIDED: (2) EXIT DOORS @ 3 FT WIDTH > 3.4 IN (COMPLIES)
EXITS REQUIRED: (1) EXIT FOR (49) OCC OR LESS
EXITS PROVIDED: (3) EXITS PROVIDED (COMPLIES)

EXIT SEPARATION: SEPARATION > 1/2 DIAG. DIM. OF AREA SERVED
DIAG. DIM. OF AREA SERVED = 105'-9"
1/2 DIAG. DIM = 35'-3"
EXIT SEPARATION = 60'-9" > 35'-3" (COMPLIES)

EXIT ACCESS DISTANCE: SPRINKLERED, B OCC, 300 LF MAX
ACTUAL DISTANCE: 62 LF < 300 LF (COMPLIES)

CORRIDORS: SPRINKLERED, B OCC < 30 OCCUPANTS:
0-HR FIRE RATING REQUIRED (COMPLIES)

PLUMBING - CHAPTER 29

PLUMBING FIXTURES REQUIRED / PROVIDED - SUITES 100 - 170:

MINIMUM NUMBER OF FIXTURES REQUIRED, B-OCCUPANCY
WATER CLOSETS: MEN & WOMEN: 1 PER 25 FOR FIRST 50, 1 PER 50 BEYOND
URINALS: 1 URINAL = 1/2 WATER CLOSET
LAVATORIES: MEN & WOMEN: 1 PER 40 FOR FIRST 80, 1 PER 80 BEYOND

	OCC.	MEN			WOMEN			
		WC	LAV	UR	WC	LAV		
FIXTURES REQUIRED		1/25	1/40	--	1/25	1/40		
TOTAL OCCUPANCY	17							
MEN / WOMEN - EACH	9	1	1	--	1	1		
FIXTURES PROVIDED		1	1	1	1	1	(COMPLIES)	

OREGON BUILDING

494 STATE STREET, SALEM, OR 97301

1st FLOOR SUITES 100, 120, 130, 140, 150, 160, 170 AND 180
1st FLOOR RENOVATIONS

BUSINESSES AND PLANNING DESIGNATIONS:

SUITE	BUSINESS NAME	BUSINESS TYPE
100	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
110	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
120	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
130	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
140	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
150	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
160	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
170	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES
180	THE KIRK GROUP LLC	BUSINESS AND PROFESSIONAL SERVICES

LEGEND:

XX	←	OCCUPANCY GROUP
XX	←	AREA
XX	←	FLOOR AREA/OCCUPANT
XX	←	OCCUPANT LOAD

(E) ⌘ EXIT SIGN: (E) = EXISTING TO REMAIN
(N) = NEW
(R) = RELOCATED FROM
DEMO LOCATION

(E) ⌘ EXISTING EXIT SIGN WITH
BATTERY-POWERED EMERGENCY
LIGHTING TO REMAIN

FEC ⌘ EXISTING FIRE EXTINGUISHER CABINET
(E) TO REMAIN

◦ FE(E) FIRE EXTINGUISHER:
(E) = EXISTING TO REMAIN
(N) = NEW

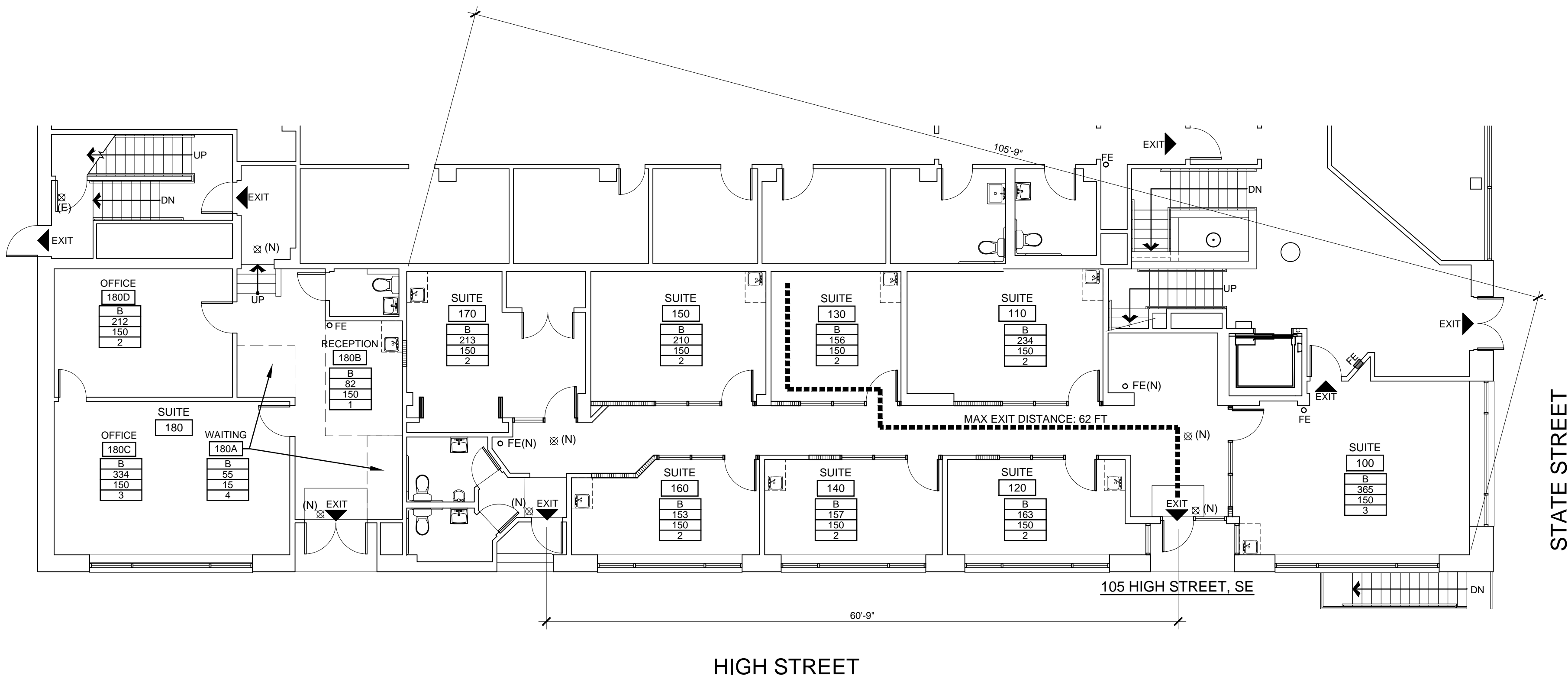
EXIT ► EXIT DOOR, EXIT DIRECTION

SHEET INDEX

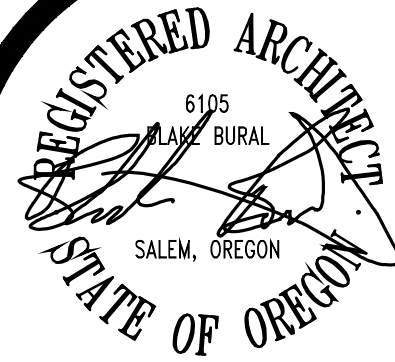
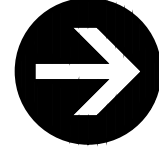
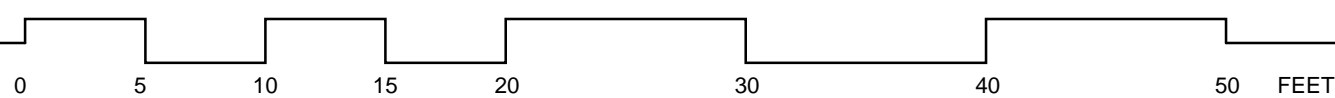
A0.1 TITLE SHEET - GENERAL INFO, CODE REVIEW
A2.1 FLOOR PLANS, DETAILS, SCHEDULES
A4.1 ENLARGED RESTROOM PLANS & ELEVATIONS

GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
- DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.
- PRIOR TO COMPLETE DEMOLITION OF WALLS, VERIFY STRUCTURAL SYSTEM TO VERIFY LOAD BEARING COMPONENTS.
- REFER TO OWNER FOR ALL FINISHES
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFORMATION



1 FLOOR PLAN - 1st FLOOR
SCALE: 1/8" = 1'-0"



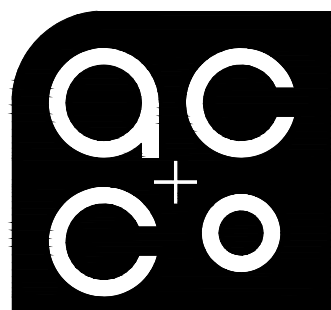
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JOB NO. 2022.0020

DATE JUNE 20, 2022

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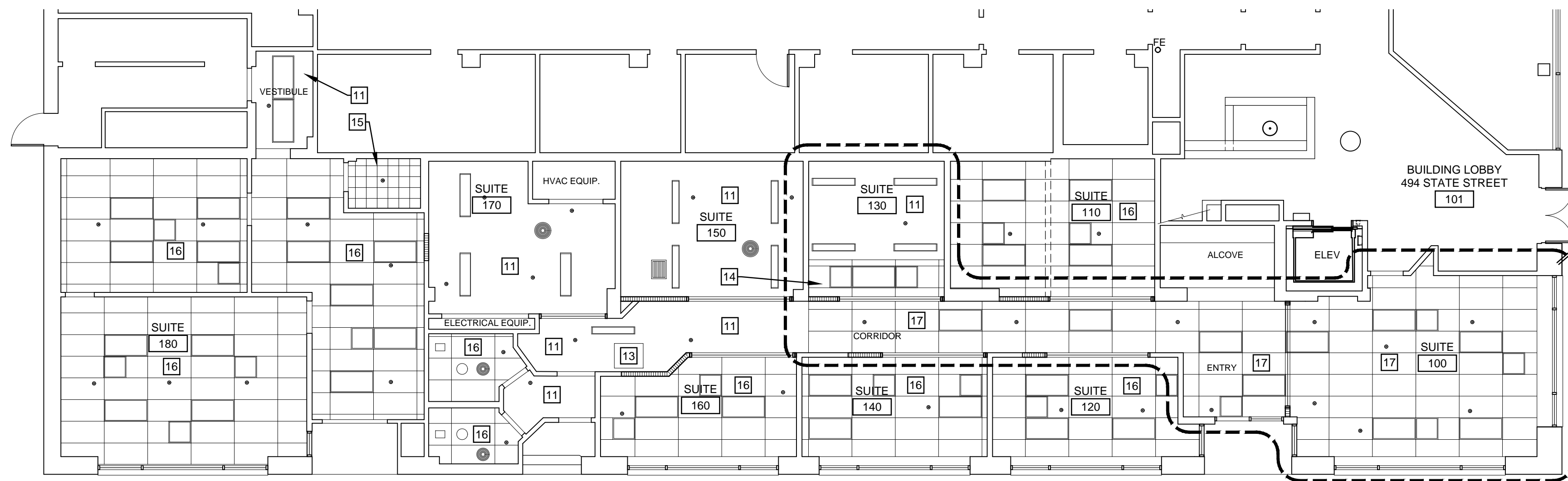
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OREGON BUILDING
494 STATE STREET
SALEM, OR 97301
1st FLOOR RENOVATIONS

1st FLOOR TITLE SHEET -
PROJECT INFORMATION,
CODE COMPLIANCE

SHEET

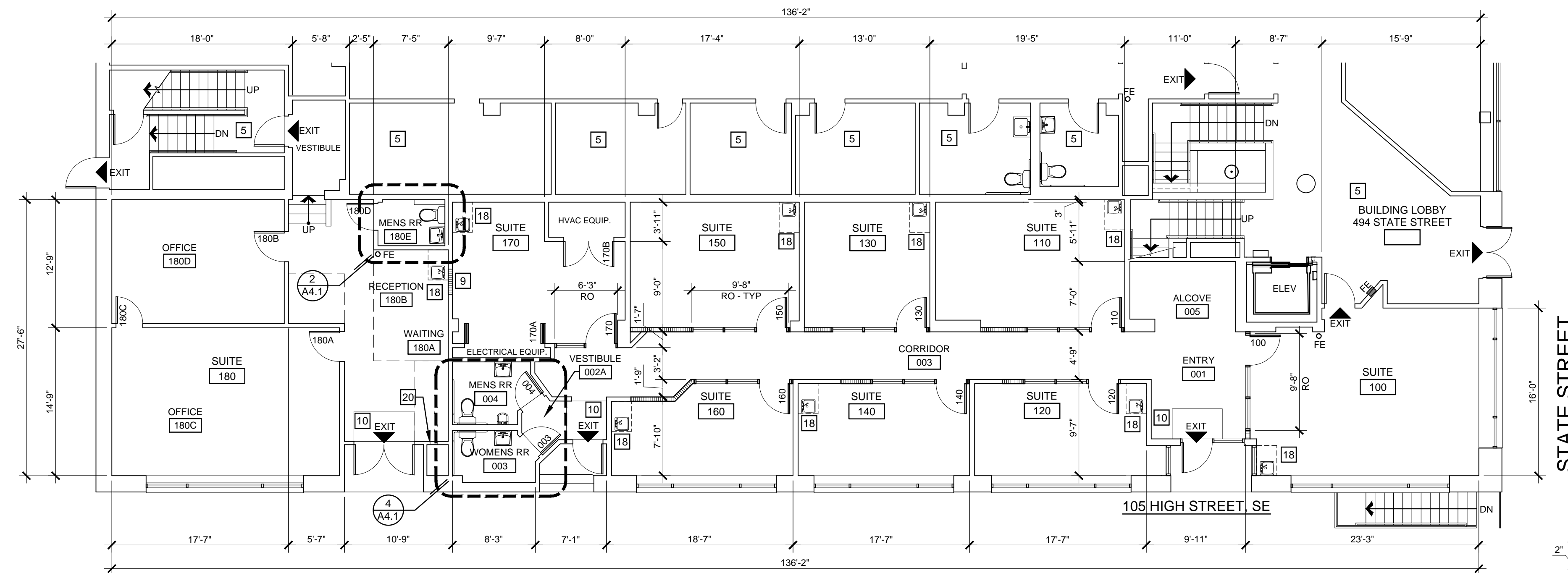
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1 REFLECTED CEILING PLAN - DEMOLITION & NEW CONSTRUCTION

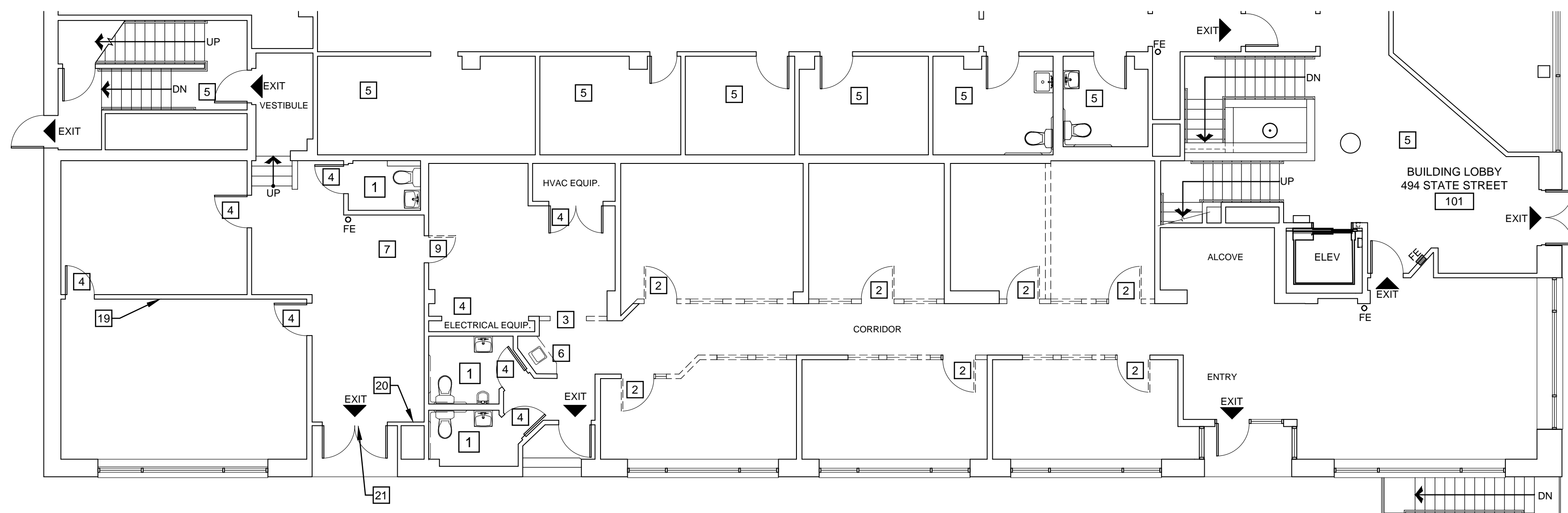
SCALE: 1/8" = 1'-0"

NOTE: FOR NEW CEILING CONSTRUCTION AT SUITES 4 & 6, ENTRY & CORRIDOR REFER TO PLAN 4 A2.1



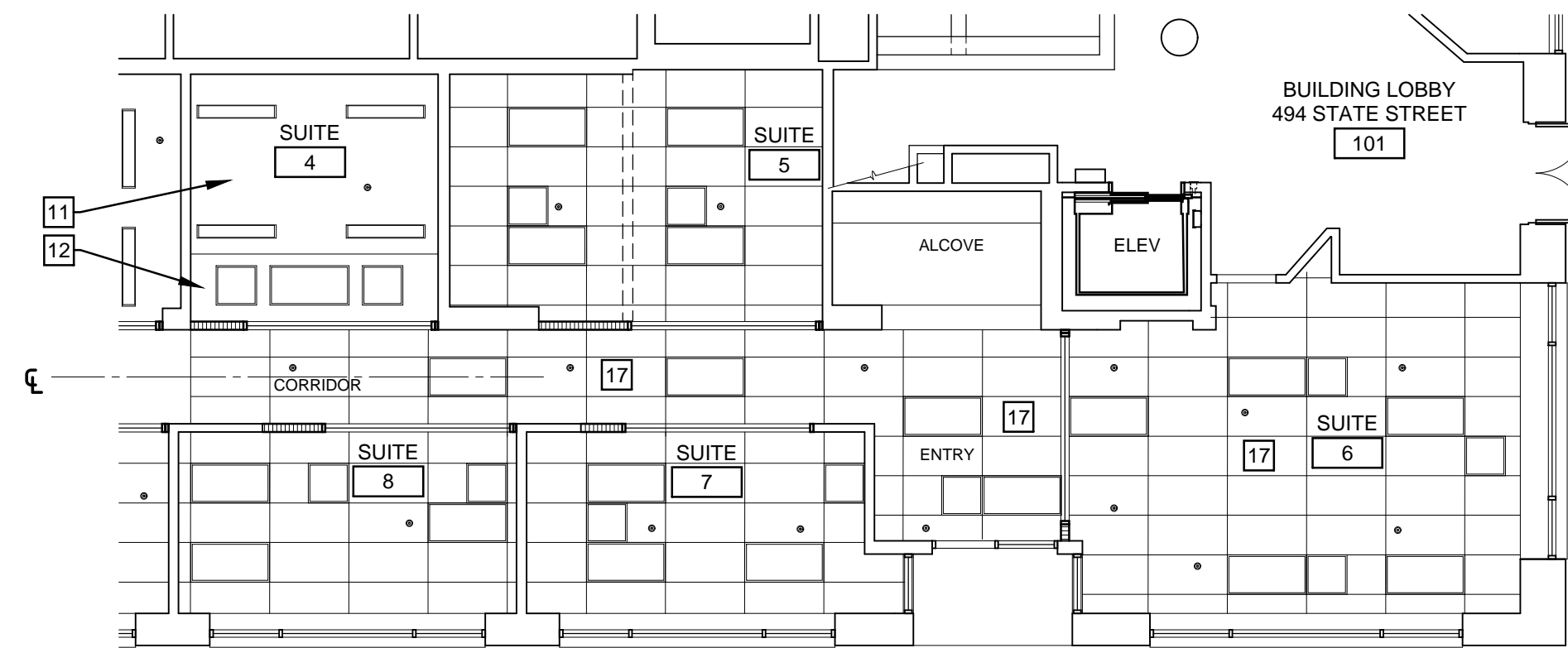
2 FLOOR PLAN - NEW CONSTRUCTION

SCALE: 1/8" = 1'-0"



3 FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"



4 REFLECTED CEILING PLAN - NEW CONSTRUCTION AT SUITES 4 & 6, CORRIDOR & ENTRY

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

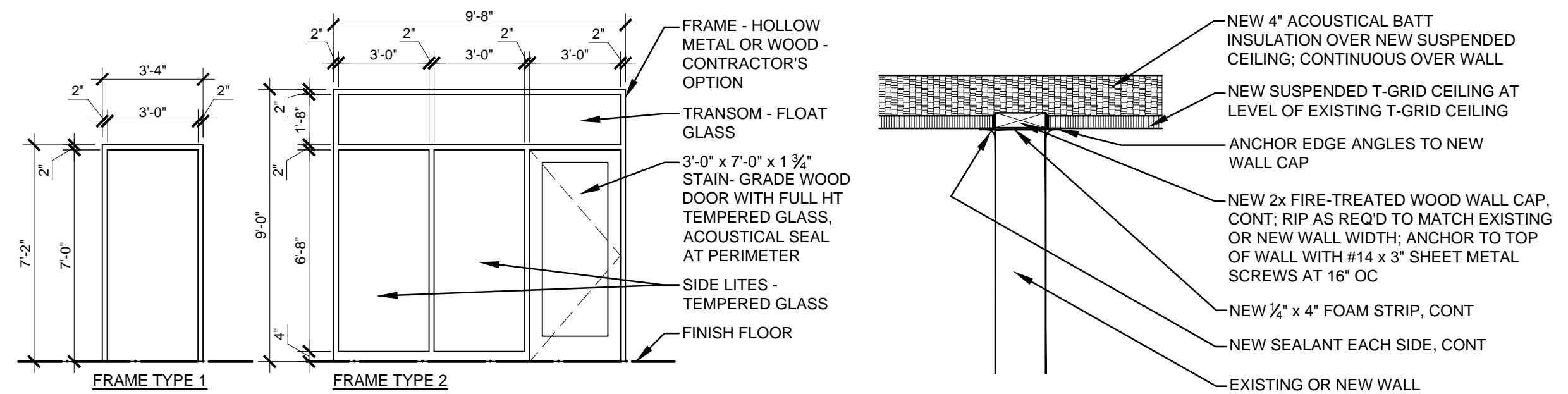
- RESTROOM REFRESH:
 - DEMO EXISTING PLUMBING FIXTURES
 - DEMO EXISTING FLOORING AND WALL BASE
 - CEILING PER NOTES BELOW
 - REMOVE EXISTING GRAB BARS AND RETAIN FOR RE-INSTALLATION
 - DEMO EXISTING MIRROR
 - DEMO EXISTING DISPENSERS, WASTE CONTAINERS, HAND DRYER
 - REFER TO SHEET A4.1 FOR NEW CONSTRUCTION
- DEMO EXISTING DOOR, ADJACENT RELITES AND WALL: INSTALL NEW HM FRAME, PRE-FINISHED STAIN GRADE WOOD DOOR, TEMPERED GLASS SIDE LITES AND TRANSOM PER 5 A2.1: INSTALL NEW WALL AS REQUIRED TO MATCH EXISTING
- DEMO EXISTING WALL: INSTALL NEW HM FRAME, PRE-FINISHED STAIN GRADE WOOD DOOR, TEMPERED GLASS SIDE LITE AND TRANSOM SIM TO 5 A2.1: INSTALL NEW WALL AS REQUIRED TO MATCH EXISTING
- DEMO EXISTING DOOR: EXISTING HM FRAME TO REMAIN: INSTALL NEW PRE-FINISHED STAIN GRADE WOOD DOOR: ALL NEW DOORS TO BE 3'-0" x 7'-0" x 1 3/4" UNLESS OTHERWISE NOTED: INCLUDE NEW CLOSER IF REQUIRED TO MATCH EXISTING
- NO WORK REQUIRED THIS AREA
- DEMO EXISTING CASEWORK AND RELATED PLUMBING FIXTURE
- DEMO EXISTING STAIRS AND RELATED SIDE WALLS
- DEMO EXISTING CASEWORK AND RELATED PLUMBING FIXTURE
- DEMO EXISTING DOOR AND FRAME: INSTALL NEW WALL TO MATCH EXISTING
- NEW WALK-OFF MAT AT EXTERIOR ENTRANCE
- EXISTING GYPSUM WALLBOARD CEILING TO REMAIN: PROVIDE NEW SURFACE-MOUNTED LED LIGHTING
- NEW GYPSUM WALLBOARD CEILING TO MATCH EXISTING ADJACENT: NEW LIGHTING AND HVAC REGISTERS TO OCCUPY SIMILAR POSITIONS TO EXISTING
- EXISTING CEILING ACCESS HATCH TO REMAIN
- DEMO EXISTING SUSPENDED T-GRID CEILING: REPLACE WITH GYPSUM WALLBOARD CEILING PER 4 A2.1
- EXISTING SURFACE-APPLIED CEILING ACOUSTIC TILE TO REMAIN THIS ROOM: CLEAN
- DEMO EXISTING SUSPENDED T-GRID CEILING: REPLACE WITH NEW SUSPENDED T-GRID CEILING MOUNTED SAME HEIGHT AFF: INSTALL PER EXISTING GRID PATTERN AND POSITION
- DEMO EXISTING SUSPENDED T-GRID CEILING: REPLACE WITH NEW SUSPENDED T-GRID CEILING MOUNTED SAME HEIGHT AFF: OFFSET EXISTING GRID PATTERN TO CENTER LIGHT FIXTURES AT CORRIDOR: REFER TO 4 A2.1
- OPTIONAL NEW 3'-0" WIDE PLASTIC LAMINATE BASE CABINET AND COUNTER WITH SINK
- EXISTING RELITES AT TOP OF WALL TO REMAIN
- EXISTING BUILT-IN WOOD CASEWORK TO REMAIN
- EXISTING APPLIED ADDRESS LETTERING AT TRANSOM TO BE REMOVED

SHEET NOTES

- NEW PAINT ALL WALLS ALL ROOMS AND ALL GYPSUM WALLBOARD CEILINGS, UNLESS OTHERWISE NOTED - ALL SUITES, CORRIDOR, VESTIBULE AND ADJACENT SPACES
- REMOVE ALL EXTERIOR WINDOW BLINDS
- DEMO AND REPLACE EXISTING FLOORING - ALL SUITES, CORRIDOR, VESTIBULE AND ADJACENT SPACES: NEW FLOORING TO BE CARPET TILE
- PROVIDE ALL NEW 2x4 (OR AS OTHERWISE SHOWN) LED LIGHTING THROUGHOUT
- PROVIDE ALL NEW HVAC SUPPLY AND RETURN AIR GRILLES

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW METAL STUD WALL TO MATCH EXISTING: STUDS AT 16" OC
- EXISTING FIRE EXTINGUISHER
- EXISTING SPRINKLER HEAD
- 2 x 4 LIGHT FIXTURE IN SUSPENDED CEILING
- SURFACE-MOUNTED LIGHT FIXTURE
- EXISTING SUPPLY OR R/A GRILLE IN SUSPENDED CEILING
- EXISTING AIR DIFFUSER IN CEILING



5 DOOR FRAME TYPES & SIDELIGHT CONST.

SCALE: 1/4" = 1'-0"

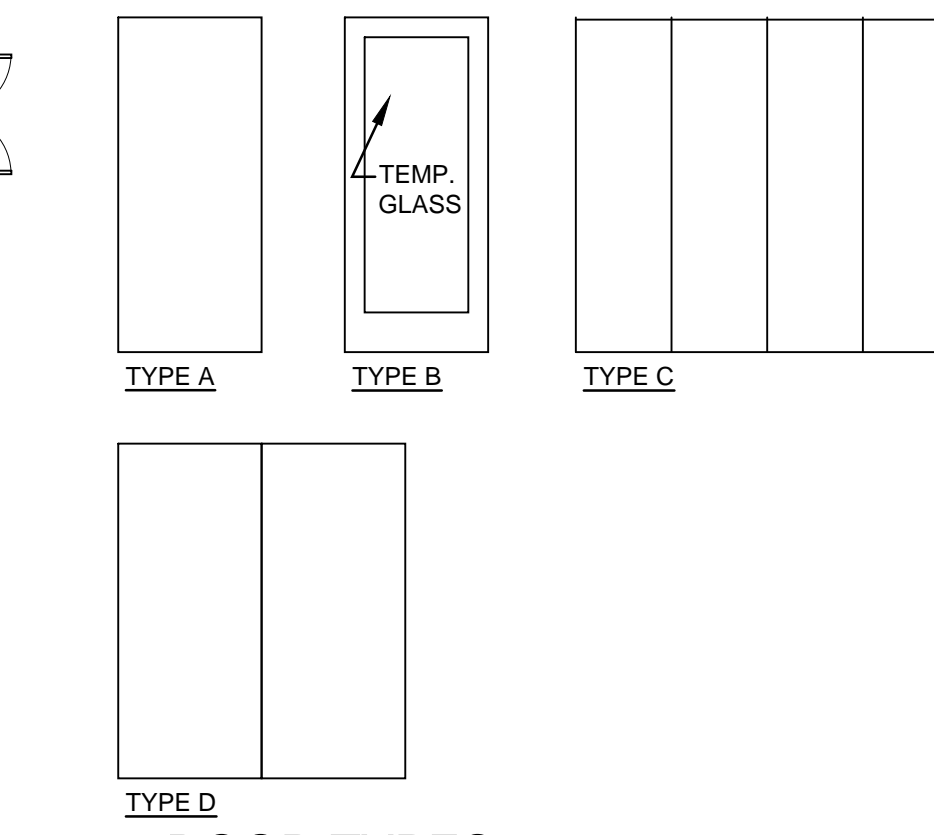
6 TOP OF WALL AT SUSPENDED CEILING

SCALE: 1" = 1'-0"

DOOR SCHEDULE

NOTE: ALL NEW DOORS TO BE 1 3/4" THICK UNLESS OTHERWISE NOTED

MARK	NOM. SIZE	TYPE	MATT'L	GLASS	FRAME	MATT'L	GLASS	NOTES
003	3'-0" x 7'-0"	A	WOOD	-	1	HM	-	4 CLOSER REQ'D
004	3'-0" x 7'-0"	A	WOOD	-	1	HM	-	4 CLOSER REQ'D
100	3'-0" x 7'-0"	B	WOOD	TEMP.	2, SIM	HM	TEMP.	CLOSER REQ'D
110	3'-0" x 7'-0"	B	WOOD	TEMP.	2	HM	TEMP.	2 CLOSER REQ'D
120	3'-0" x 7'-0"	B	WOOD	TEMP.	2	HM	TEMP.	2 CLOSER REQ'D
130	3'-0" x 7'-0"	B	WOOD	TEMP.	2	HM	TEMP.	2 CLOSER REQ'D
140	3'-0" x 7'-0"	B	WOOD	TEMP.	2	HM	TEMP.	2 CLOSER REQ'D
150	3'-0" x 7'-0"	B	WOOD	TEMP.	2	HM	TEMP.	2 CLOSER REQ'D
160	3'-0" x 7'-0"	B	WOOD	TEMP.	2	HM	TEMP.	2 CLOSER REQ'D
170	3'-0" x 7'-0"	B	WOOD	TEMP.	2, SIM	HM	TEMP.	3 CLOSER REQ'D
170A	BI-FOLD PR 2'-0" x 7'-0"	C	WOOD	-	1	HM	-	4
170B	PR 2'-8" x 7'-0"	D	WOOD	-	1	HM	-	4
180A	3'-0" x 7'-0"	A	WOOD	-	1	HM	-	4
180B	3'-0" x 7'-0"	A	WOOD	-	1	HM	-	4
180C	3'-0" x 7'-0"	A	WOOD	-	1	HM	-	4
180D	3'-0" x 7'-0"	A	WOOD	-	1	HM	-	4 CLOSER REQ'D



7 DOOR TYPES

SCALE: 1/4" = 1'-0"

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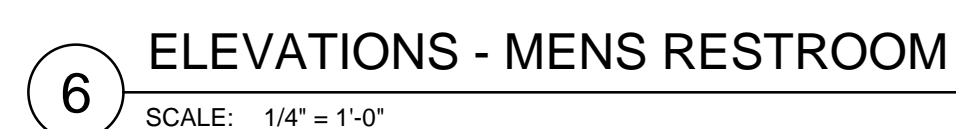
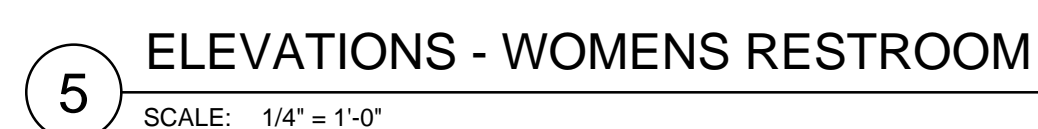


OREGON BUILDING
494 STATE STREET
SALEM, OR 97301
1st FLOOR RENOVATIONS

FLOOR PLANS -
DEMO, NEW CONST.,
REFL. CEILING PLAN

SHEET

A2.1



- ## RESTROOM REFERENCE NOTES:
- | | |
|----|---|
| 1 | NEW PAPER TOWEL DISPENSER |
| 2 | NEW TOILET PAPER HOLDER |
| 3 | DOOR OR WINDOW AS OCCURS; REFER TO SCHEDULES |
| 4 | NEW SOAP DISPENSER |
| 5 | MIRROR |
| 6 | NEW ONE PIECE GRAB BAR |
| 7 | NEW TOILET SEAT COVER DISPENSER |
| 8 | NOT USED |
| 9 | INSTALL NEW WALL TILE TO 5 FT HEIGHT AT ALL PLUMBING WALLS AND WALL ADJACENT TO TOILET; PAINT ALL REMAINING WALLS |
| 10 | NEW LAVATORY, REFER TO DESIGN/BUILD PLUMBING DRAWINGS |
| 11 | NEW WATER CLOSET, HANDICAP ACCESSIBLE AS INDICATED (HC), REFER TO DESIGN/BUILD PLUMBING DRAWINGS |
| 12 | NEW VERTICAL GRAB BAR |
| 13 | FLOOR DRAIN, REFER TO DESIGN/BUILD PLUMBING DRAWINGS |
| 14 | ROOM SIGN; CONFIGURATION, LETTERING, MOUNTING HEIGHT PER ADA REQUIREMENTS |
| 15 | NEW ADA COMPLIANT UNDERSINK PROTECTION |
| 16 | PAINT, REFER TO FINISH SCHEDULE |
| 17 | NOT USED |
| 18 | EXISTING GRAB BAR RE-INSTALLED |
| 19 | NEW URINAL |
| 20 | NEW SANITARY NAPKIN DISPOSAL, WOMEN'S RESTROOM ONLY |
| 21 | NEW WALL MOUNT LIGHT FIXTURE |
| 22 | EXISTING LOW WALL PROJECTION |
| 23 | DEMO EXISTING FLOORING AND WALL BASE; INSTALL NEW SHEET VINYL FLOORING AND WALL BASE |

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