

PRELIMINARY SITE PLAN

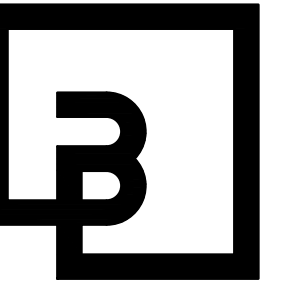
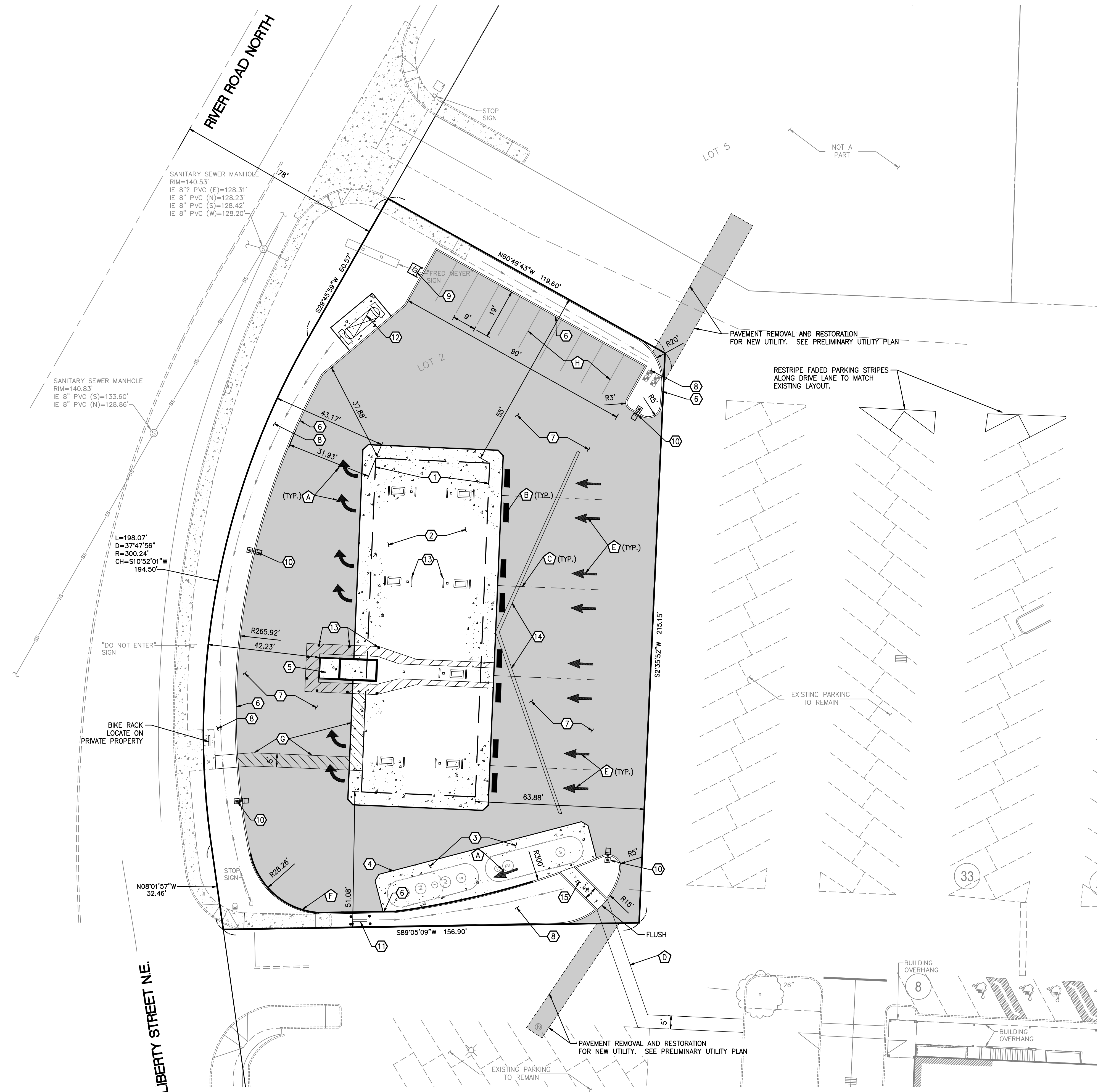


LEGEND

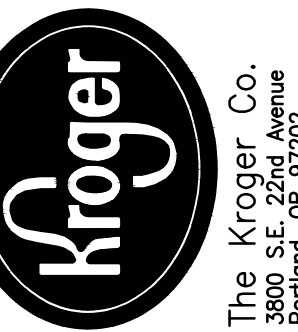
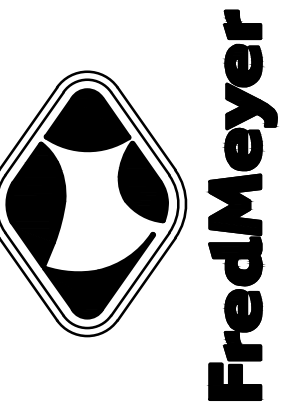
NEW CONCRETE CURB

- (1) PUMP ISLAND CANOPY WITH 7 MPD'S.
- (2) REINFORCED CONCRETE DRIVE SLAB BENEATH PUMP ISLAND CANOPY.
- (3) (1) 10,000/8,000 GALLON DUEL COMPARTMENT AND (1) 20,000 GALLON UNDERGROUND GASOLINE STORAGE TANKS
- (4) REINFORCED CONCRETE SLAB ABOVE UNDERGROUND GASOLINE STORAGE TANKS.
- (5) KIOSK ENCLOSURE.
- (6) CONCRETE BARRIER CURB. SEE GRADING AND STORM DRAINAGE PLAN FOR CURB BREAKS
- (7) HEAVY DUTY ASPHALT PAVEMENT
- (8) NEW LANDSCAPING. SEE GRADING AND STORM DRAINAGE PLAN FOR BIOFILTRATION SWALE INFO.
- (9) (1) SELF SERVE AIR UNIT ON 4'-0"x4'-0"x6" CONCRETE MOUNTING PAD.
- (10) AREA LOT LIGHT, TYPICAL
- (11) STORAGE TANK VENT STACK
- (12) BULK PROPANE TANK ON CONCRETE PAD
- (13) NEW BOLLARDS (TYP)
- (14) 2" HIGH ASPHALT SPEED HUMP TO DIRECT DRAINAGE TOWARD PLANTER SWALE
- (15) CEMENT CONCRETE PATHWAY

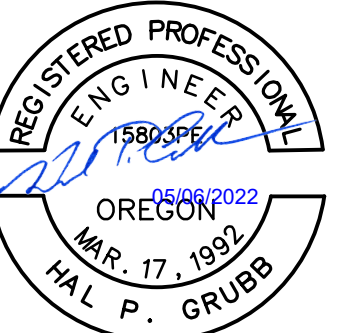
A	WHITE PAINTED DIRECTIONAL TRAFFIC ARROW
B	24" WIDE WHITE PAINTED STOP BAR
C	8" WIDE WHITE SKIP STRIPES (LANE DIVIDERS)
D	4" WIDE WHITE PAINTED CROSS-HATCH AT 2' O.C./36° ANGLE.
E	ON-SITE WHITE PAINTED LANE ARROW
F	RED PAINTED CURB (FIRE LANE – NO PARKING).
G	PAINTED CROSSWALK STRIPING, TYPICAL
H	4" WIDE WHITE PAINTED PARKING STALL LINE



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3800 S.E. 22nd Avenue
Portland, OR 97202
Phone (503) 232-8844
Fax (503) 797-3509



EXPIRES: 06/30/23

[illegible]

Model:

Drawing No.:

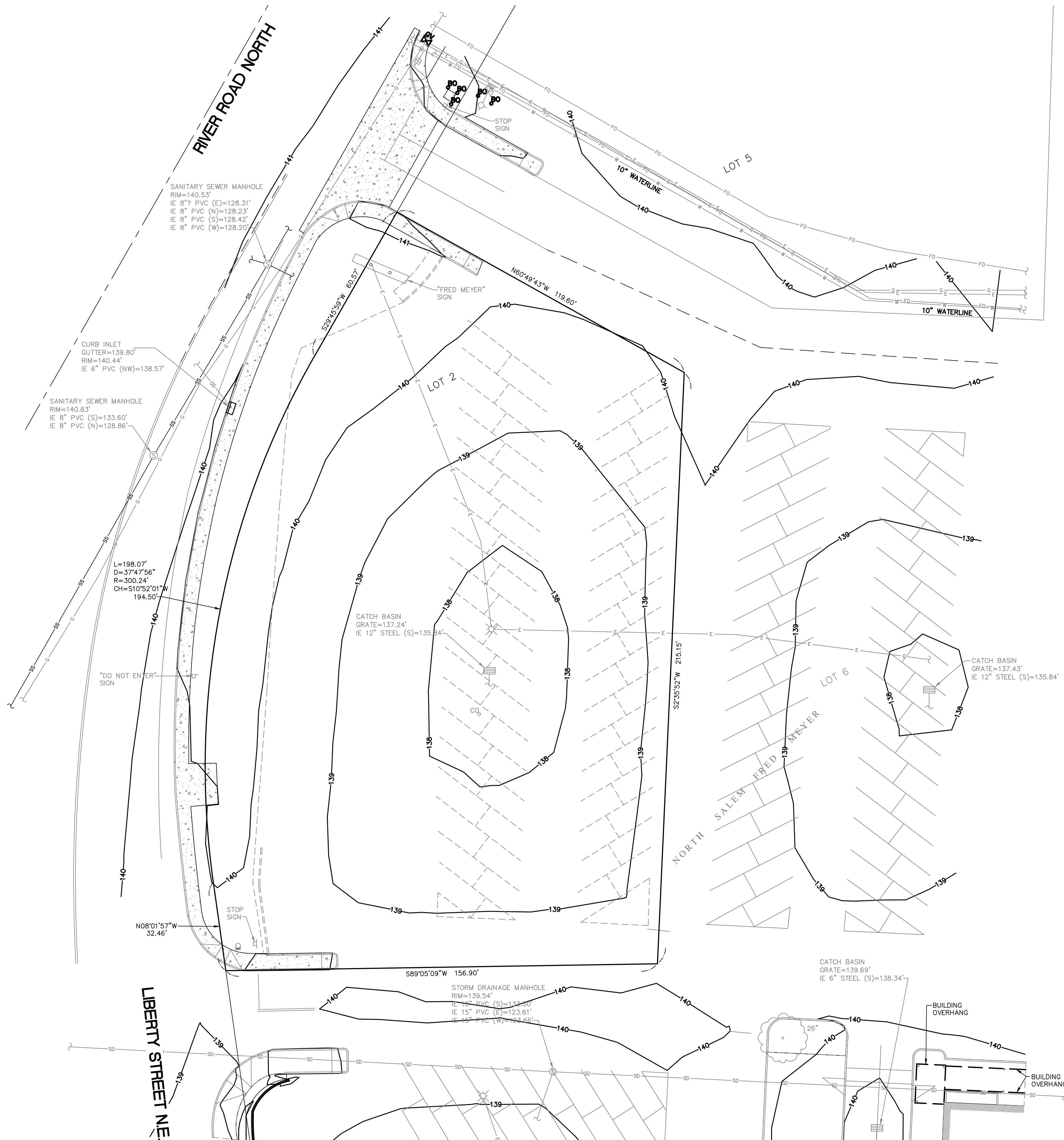
P3 of 5

File:P:\14000s\14855\preliminary\ENGINEERING SET\14855-PA.dwg Date/Time:5/5/2022 1:56 PM Scale:1" = 1' DLAMOTTE Xref: -----



SEC. 15 AND SEC. 10, TWP. 7 S., RGE. 3 W., W.M.

EXISTING CONDITIONS PLAN



LEGEND:



VERTICAL DATUM:

BENCHMARK: A81
PROJECT DATUM: CITY OF SALEM (NGVD 1929)
DESCRIPTION: 3" BRASS DISK IN THE BACK OF SIDEWALK ON THE EAST SIDE OF N. RIVER
ROAD, APPROXIMATELY 86 FEET SOUTH OF THE CENTERLINE OF THE ENTRANCE
BETWEEN FRED MEYER AND LES SCHWAB.

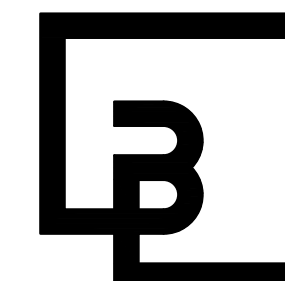
CONVERSION: IN ORDER TO CONVERT FROM CITY OF SALEM (NGVD 29) VERTICAL DATUM TO NAVD 88 VERTICAL DATUM, 2.675 FEET MUST BE ADDED TO THE PROJECT ELEVATIONS SHOWN HEREON.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM LOCATE PAINT MARKINGS TIED IN THE FIELD SURVEY AND AS-BUILT DRAWINGS PROVIDED BY THE COMPANY. THIS SURVEY DOES NOT SHOW ANY PAINT MARKINGS PROVIDED AFTER THE FIELD SURVEY WAS COMPLETED. AS-BUILT DRAWING INFORMATION THAT WAS NOT PROVIDED IS NOT REFLECTED ON THIS SURVEY. AS-BUILT INFORMATION, IF PROVIDED, WAS USED TO IDENTIFY UNDERGROUND PIPE SIZE AND TYPE. IF NO LOCATE PAINT MARKINGS WERE PROVIDED, AS-BUILT INFORMATION WAS USED TO HORIZONTALLY LOCATE THE UNDERGROUND UTILITIES.

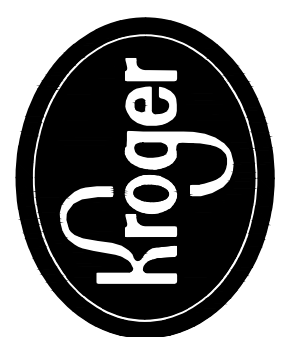
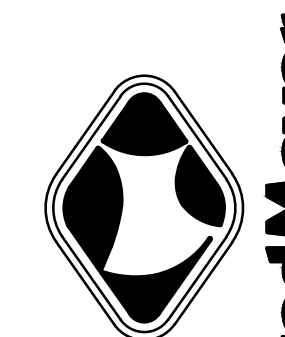
THIS SURVEY MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE OF ALL SUCH UTILITIES IN THE AREA. THE UNDERGROUND UTILITIES SHOWN MAY NOT BE IN THE EXACT LOCATION AS NOTED ON THIS SURVEY, BUT ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. MANHOLES OTHER THAN SANITARY AND STORM SEWER WERE IDENTIFIED BY MANHOLE LIDS AND MAY NOT BE LABELED CORRECTLY.

UTILITY LOCATIONS SHOULD BE VERIFIED BY OREGON UTILITIES
NOTIFICATION CENTER IMMEDIATELY PRIOR TO ANY EXCAVATION.

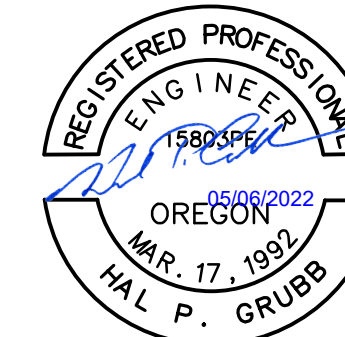


Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032

barghausen.com



The Kroger Co.
3800 S.E. 22nd Avenue
Portland, OR 97202
Phone (503) 232-8844
Fax (503) 797-3509



EXPIRES: 06/30/23

[illegible]

Project #:	14855	Store #	0225
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Designed By:

Drawn By:

Checked By: _____

Date: _____

Scale: AS SHOWN

Disk File: 14855-EX-CON.DWG

Model:

Address: 2980 RIVER ROAD NORTH
SALEM, OREGON

SALEM, OREGON

EXISTING CONDITIONS

EXISTING CONDITIONS
PLAN

PLAN
FRED MEYER

FUELING FACILITY

Drawing No.:

DO - f 5

P2 of 5

[illegible]

SEC. 15 AND SEC. 10, TWP. 7 S., RGE. 3 W., W.M.
PRELIMINARY UTILITY PLAN



UTILITY LEGEND

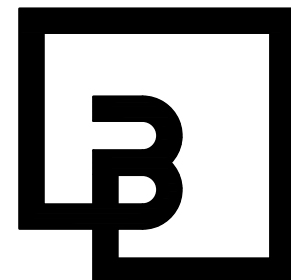
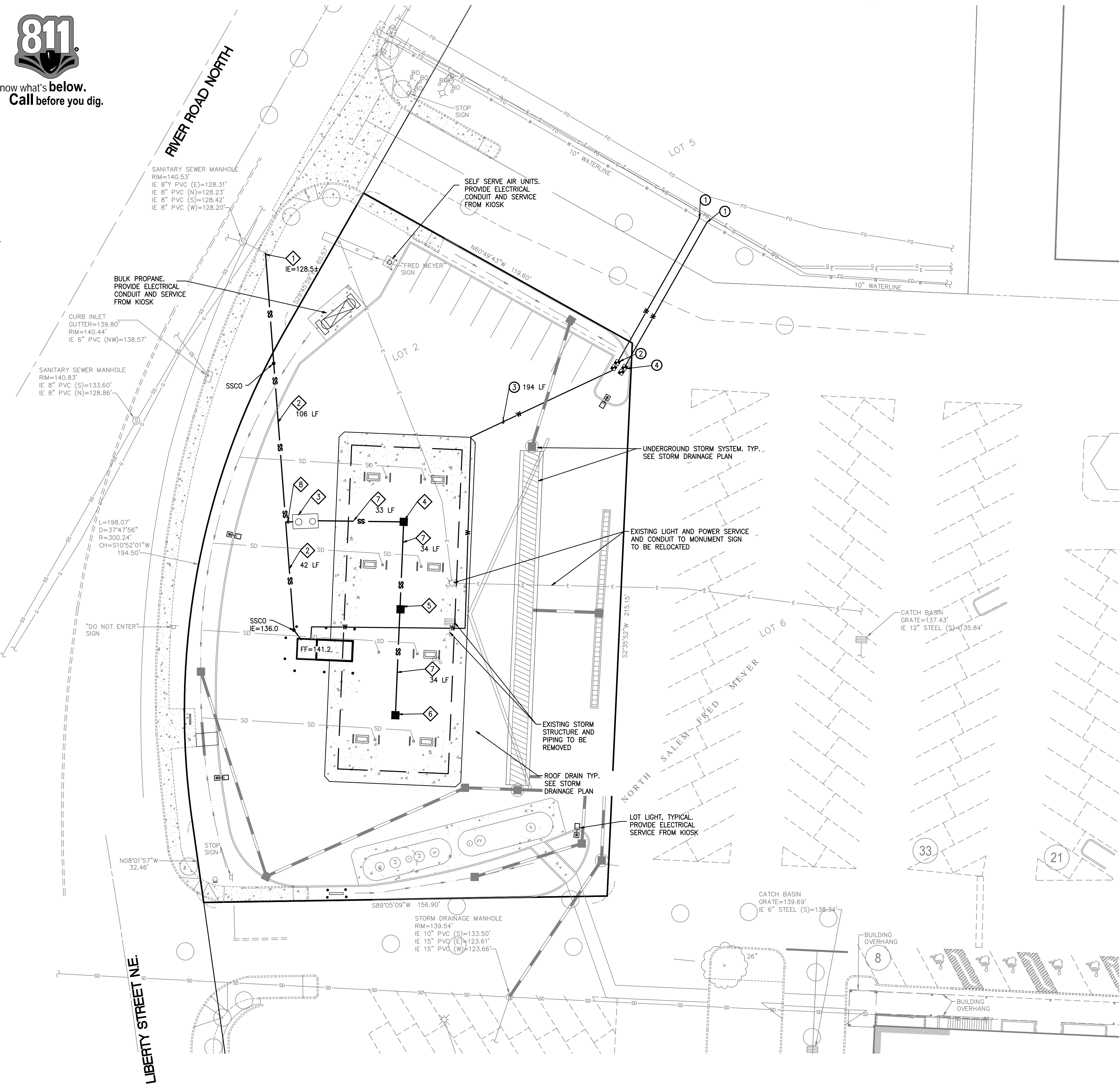
PROPOSED	EXISTING

WATER SCHEDULE

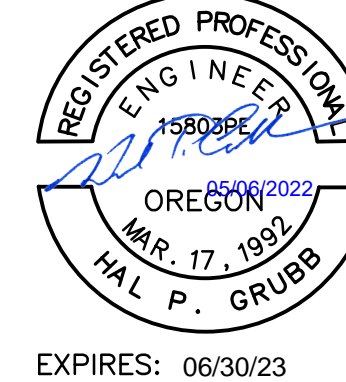
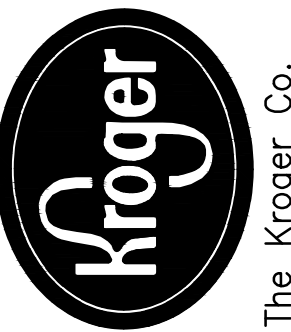
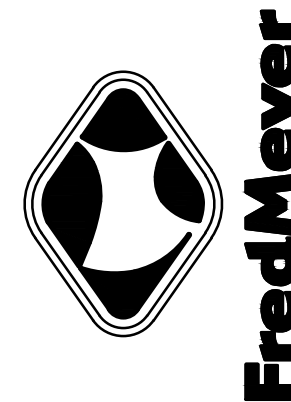
- 3/4" WATER CONNECTION TO EXISTING 10" D.I. WATERMAIN.
- 3/4" DOMESTIC SERVICE METER AND RPBA BACKFLOW PREVENTION
- 3/4" TYPE "K" COPPER WATER SERVICE TO KIOSK
- 3/4" IRRIGATION SERVICE METER AND DDCA BACKFLOW PREVENTION

SANITARY SEWER SCHEDULE

- CONNECT 6" PVC SIDE SEWER TO EXISTING SEWER STUB.
- 6" PVC SS @ 2% MIN SLOPE
- OIL/WATER SEPARATOR WITH 6" SHUT-OFF GATE VALVE DOWNSTREAM. OUTLET DRAINS TO SEWER
- AREA DRAIN W/ADA GRATE
RIM=140.9
- AREA DRAIN W/ADA GRATE
RIM=140.9
- AREA DRAIN W/ADA GRATE
RIM=140.9
- 6" PVC DRAIN PIPE @ 1% MIN SLOPE
- 6" SHUT-OFF GATE VALVE



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DESIGN		DATE	
DES.	DRAWN	ROC	2/24/2022
DL	DL	ROC	5/05/2022
REVISIONS			
No.	DESCRIPTION	1	PERMIT SET
2	SITE REVISIONS		

Project #: 14855 Store # 0225
Designed By:
Drawn By:
Checked By:
Date:
Scale: AS SHOWN
Disk File: 14855-PJ.DWG
Model:
Address: 2980 RIVER ROAD NORTH
SALEM, OREGON

PRELIMINARY UTILITY PLAN
FRED MEYER
FUELING FACILITY

Drawing No.:
P4 of 5

SEC. 15 AND SEC. 10, TWP. 7 S., RGE. 3 W., W.M.

PRELIMINARY GRADING AND STORM DRAINAGE

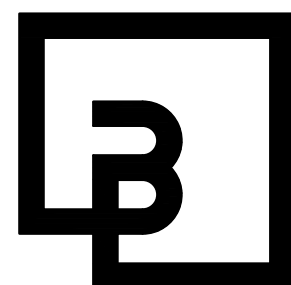
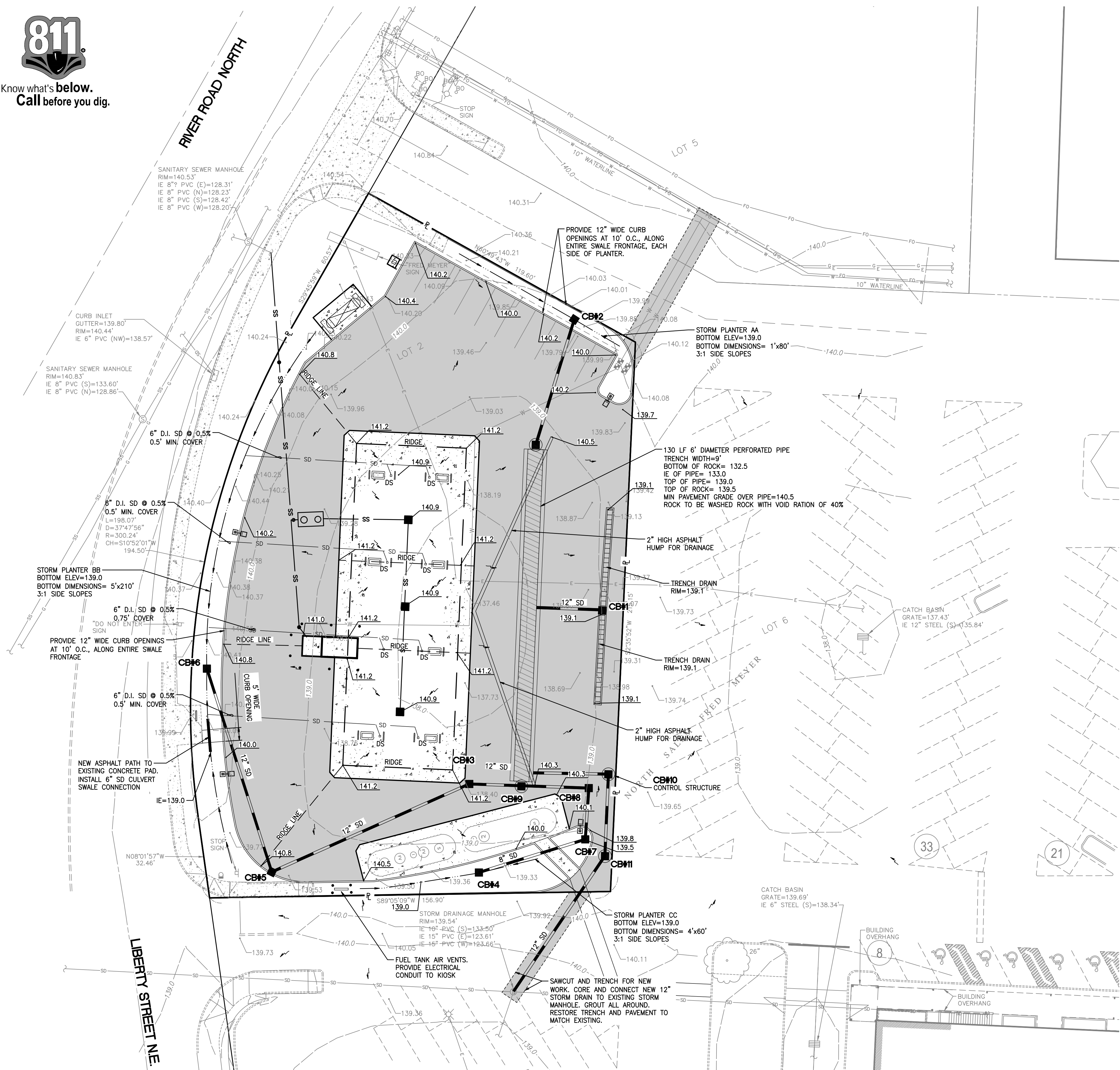


LEGEND

- PROPOSED TYPE I CATCH BASIN (CB) [Symbol]
- EXISTING TYPE II CATCH BASIN [Symbol]
- EXISTING TYPE I CATCH BASIN [Symbol]
- PROPOSED STORM DRAINAGE LINE [Symbol]
- EXISTING STORM DRAINAGE LINE [Symbol]
- EXISTING STORM DRAINAGE LINE [Symbol]
- EXISTING SANITARY SEWER MANHOLE [Symbol]
- EXISTING SANITARY SEWER LINE [Symbol]
- EXISTING WATERMAIN [Symbol]
- PROPOSED SPOT ELEVATIONS [Symbol]
- PROPOSED CONTOURS [Symbol]
- EXISTING CONTOURS [Symbol]
- RIDGE LINE [Symbol]
- EXISTING CONCRETE CURB [Symbol]
- NEW CONCRETE CURB [Symbol]
- PROPOSED CONCRETE [Symbol]
- PROPOSED HEAVY DUTY ASPHALT [Symbol]
- EXISTING SIGN [Symbol]
- PROPOSED SIGN [Symbol]
- TW [Symbol]
- ME [Symbol]
- SURFACE DRAINAGE FLOW DIRECTION [Symbol]
- DS [Symbol]
- TOP WALL ELEVATION [Symbol]
- MATCH EXISTING [Symbol]
- ROOF DOWNSPOUT [Symbol]

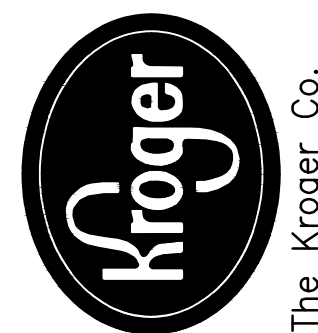
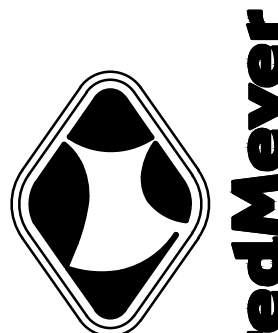
CB TABLE:

- CB#1**, TYPE 1, W/STD. GRATE
RIM=139.1
- CB#2**, TYPE 1, W/BEEHIVE GRATE
RIM=139.5
- CB#3**
TYPE 1, W/SOLID LOCKING LID
RIM=141.0
- CB#4**, TYPE 1, W/BEEHIVE GRATE
RIM=139.5
- CB#5**, TYPE 1, W/SOLID LOCKING LID
RIM=140.7
- CB#6**, TYPE 1, W/BEEHIVE GRATE
RIM=139.5
- CB#7**, TYPE 1, W/BEEHIVE GRATE
RIM=139.5
- CB#8**, TYPE 1, W/SOLID LOCKING LID
RIM=140.1
- CB#9**, TYPE 2-48", W/SOLID LOCKING LID
RIM=140.4
- CB#10**, TYPE 2-54", CONTROL STRUCTURE
W/SOLID LOCKING LID
RIM=139.3
- CB#11**, TYPE 2-48", W/SOLID LOCKING LID
RIM=139.5



Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032

barghausen.com



The Kroger Co.
2000 1st Avenue
Portland, OR 97202
Phone: (503) 232-8844
Fax: (503) 797-5585



EXPIRES: 06/30/23

REVISIONS

No.	DESCRIPTION	DATE	DES.	DRAWN	DATE
1	PERMIT SET	2/24/2022	DL	ROC	
2	SITE REVISIONS	5/05/2022	DL	ROC	

Project #: 14855 Store # 0225
Designed By:
Drawn By:
Checked By:
Date:
Scale: AS SHOWN
Disk File: 14855-PGM.DWG
Model:
Address: 2980 RIVER ROAD NORTH
SALEM, OREGON

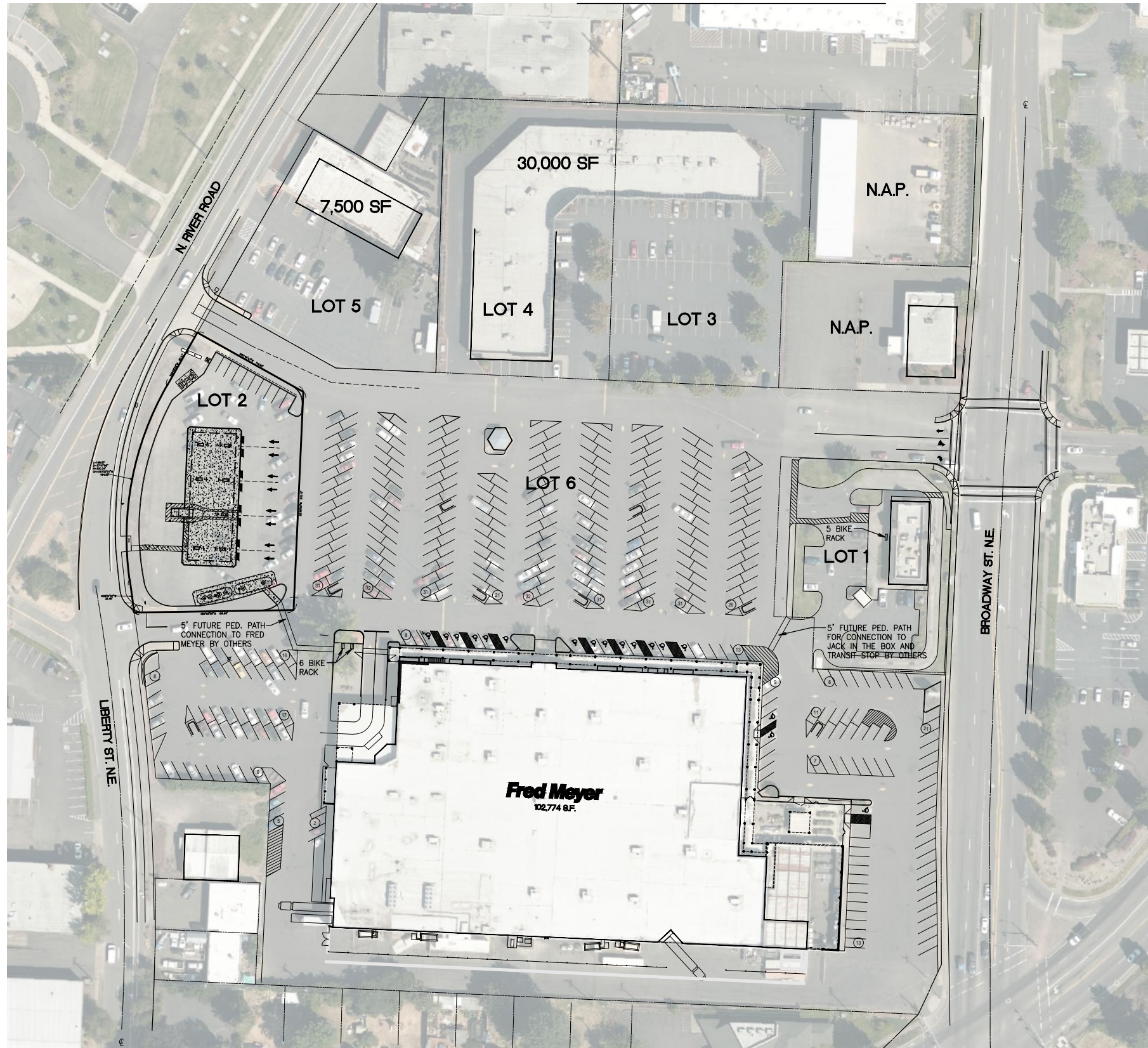
PRELIMINARY GRADING
AND STORM DRAINAGE
FRED MEYER
FUELING FACILITY

Drawing No.:

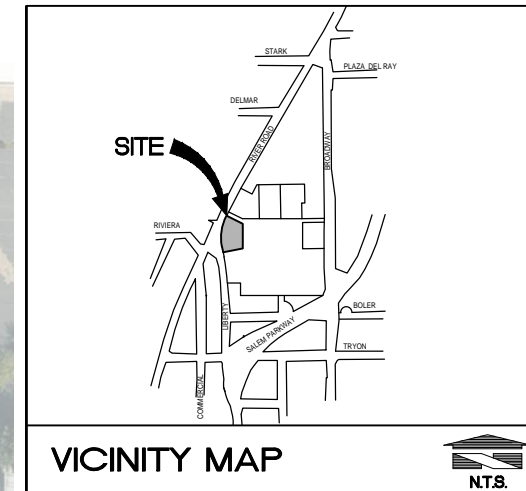
P5 of 5

1" = 120'

0 30 60 120



1. THIS SITE PLAN IS BASED ON A SITE PLAN BY MULVANNY G2 ARCHITECTURE, DATED 4/12/06 AND A PARTIAL SURVEY BY TERRA CALC, DATED 7/26/21. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF COMPLETE ZONING INFORMATION OR CONFIRMATION OF SITE DEVELOPMENT STANDARDS AND THUS THE SITE DEVELOPMENT FEASIBILITY IS NOT IMPLIED OR GUARANTEED.
2. THE TOTAL PARKING COUNT IS BASED ON AN AERIAL PHOTOGRAPH AND THE ACCURACY OF THE COUNT IS NOT GUARANTEED. FIELD VERIFICATION OF TOTAL PARKING IS RECOMMENDED.



SITE DATA LOT 2:
 LOT 2 (HESLIN HOLDINGS): ±38,701 SF (0.89 AC)

 BUILDING AREA:
 FUEL CANOPY: 5,418 SF
 CASHIER KIOSK: 179 SF
 TOTAL BUILDING AREA: 5,597 SF

 LANDSCAPE AREA REQUIRED (15%)
 LOT 2 REQUIRED: 5,805 SF

 LANDSCAPE AREA PROVIDED:
 LOT 2 PROVIDED: 6,299 SF (16.3%)

 MINIMUM PARKING REQUIRED:
 5,597 SF @ 1STALL/900 SF GFA = 6 STALLS
 MAXIMUM PARKING ALLOWED:
 6 STALLS X 2.5 = 15 STALLS
 PARKING PROVIDED: 10 STALLS

 MINIMUM BICYCLE PARKING REQUIRED:
 5,597 SF @ 1 STALL/9,000 SF GFA = 1 STALL
 BICYCLE PARKING PROVIDED: 1 STALL

SITE DATA (LOTS 1, 3, 4, 5 & 6)			
LOT 1 (JACK IN THE BOX)	+/-	33,541	SF (0.77 AC)
LOT 3 & 4 (DOLLAR TREE)	+/-	96,040	SF (2.22 AC)
LOT 5 (LES SCHWAB)	+/-	44,394	SF (1.02 AC)
LOT 6 (FRED MEYER)	+/-	403,366	SF (9.26 AC)
TOTAL SITE AREA:	+/-	577,341	SF (13.27 AC)

BUILDING AREA:	
LOT 1:	3,300 SF
LOT 3 & 4:	30,000 SF
LOT 5:	7,500 SF
LOT 6:	102,774 SF
TOTAL BUILDING AREA:	143,574 SF

LANDSCAPE AREA REQUIRED (15%)	
LOT 1 REQUIRED:	5,031 SF
LOT 3 & 4 REQUIRED:	14,406 SF
LOT 5 REQUIRED:	6,659 SF
LOT 6 REQUIRED:	60,505 SF
TOTAL LANDSCAPE AREA REQUIRED:	86,601 SF

LANDSCAPE AREA PROVIDED:	
LOT 1 PROVIDED:	(17%) 5,784 SF
LOT 3 & 4 PROVIDED:	(10%) 9,616 SF
LOT 5 PROVIDED:	(3.6%) 1,605 SF
LOT 6 PROVIDED:	(0.78%) 3,158 SF
TOTAL LANDSCAPE AREA PROVIDED:	(3.49%) 20,163 SF

MINIMUM PARKING REQUIRED:

LOT 1 REQUIRED:	13 STALLS
LOT 3 & 4 REQUIRED:	120 STALLS
LOT 5 REQUIRED:	8 STALLS
LOT 6 REQUIRED:	411 STALLS
TOTAL PARKING REQUIRED:	553 STALLS

MAXIMUM PARKING ALLOWED:
 LOT 1 ALLOWED: 33 STALLS
 LOT 3 & 4 ALLOWED: 300 STALLS
 LOT 5 ALLOWED: 21 STALLS
 LOT 6 ALLOWED: 719 STALLS
 TOTAL PARKING ALLOWED: 1,703 STALLS

PARKING PROVIDED:	
LOT 1 PROVIDED:	23 STALLS
LOT 3 & 4 PROVIDED:	128 STALLS
LOT 5 PROVIDED:	28 STALLS
LOT 6 PROVIDED:	411 STALLS
TOTAL PARKING PROVIDED:	590 STALLS

MINIMUM BICYCLE PARKING REQUIRED:	
LOT 1 REQUIRED:	4 STALLS
LOT 3 & 4 REQUIRED:	4 STALLS
LOT 5 REQUIRED:	1 STALLS
LOT 6 REQUIRED:	8 STALLS
TOTAL BICYCLE PARKING REQUIRED:	17 STALLS

BICYCLE PARKING PROVIDED:	
LOT 1 PROVIDED:	5 STALLS
LOT 3 & 4 PROVIDED:	4 STALLS
LOT 5 PROVIDED:	0 STALLS
LOT 6 PROVIDED:	12 STALLS
TOTAL BICYCLE PARKING PROVIDED:	21 STALLS

2855 BROADWAY N.E.
SALEM, OR

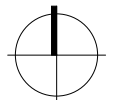
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PORTLAND, OREGON 97202
503.232.8844
503.797.3509 FAX



**Barghausen
Consulting Engineers, Inc.**

18215 72nd Avenue South
Kent, WA 98032
425.251.6777
barghausen.com

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SALEM, OR



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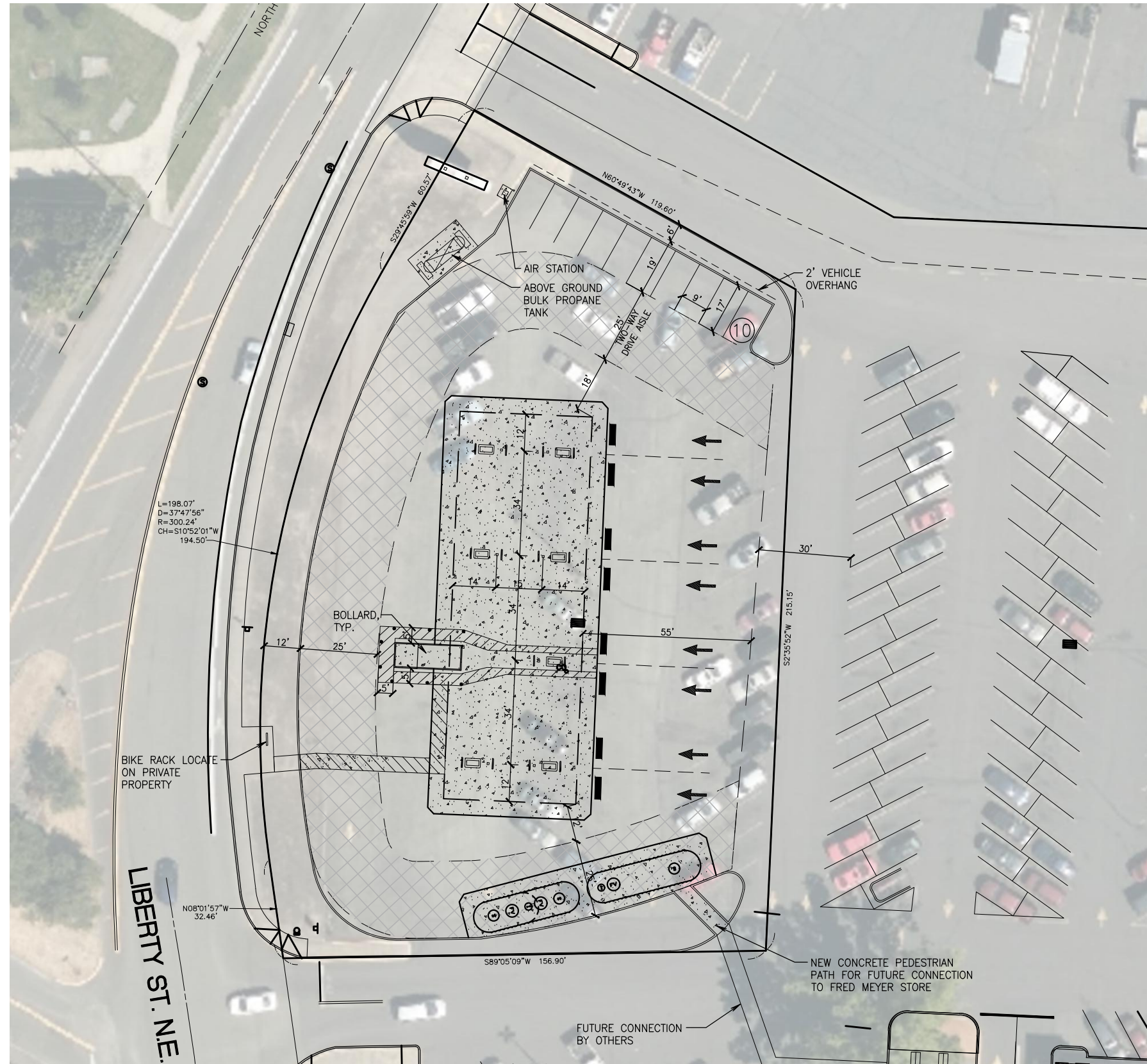
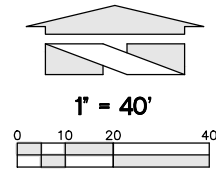
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PLOTTED ON : May 24, 2022 - 5:56pm BY: djedel

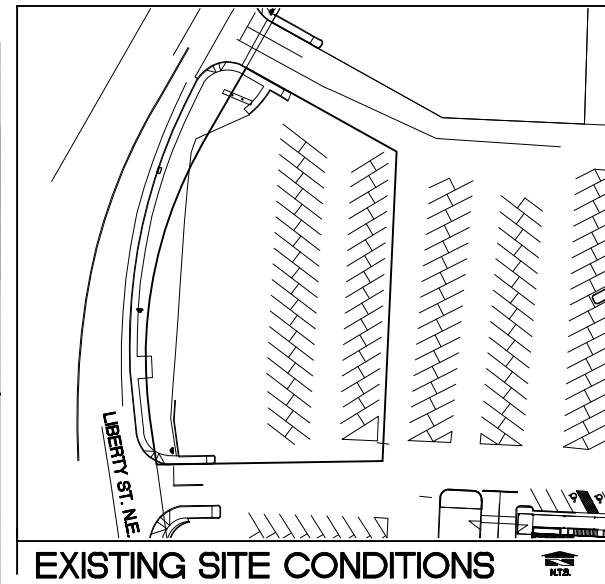
BCE #14855
PM: CHRIS FERKO
DATE: 04/19/22

DD-1
OVERALL
SITE PLAN

DETAILED SITE PLAN



EXISTING SITE CONDITIONS



Fred Meyer

STORE #0225
NORTH SALEM

2855 BROADWAY N.E.
SALEM, OR

THE KROGER CO.
AND FRED MEYER
STORES INC.

3800 SE 22ND AVENUE
PORTLAND, OREGON 97202
503.232.8844
503.797.3509 FAX

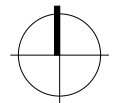


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Kent, WA 98032
425.251.6222
barghausen.com

FRED MEYER
FUELING
FACILITY

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SALEM, OR



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PLOTTED ON : May 24, 2022 - 5:57pm BY: djedel

BCE #14855
PM: CHRIS FERKO
DATE: 04/19/22

DD-2
DETAILED
SITE PLAN

DISCLAIMER:

1. THIS SITE PLAN IS BASED ON A SITE PLAN BY MULVANNY G2 ARCHITECTURE, DATED 4/12/06 AND A PARTIAL SURVEY BY TERRA CALC, DATED 7/26/21. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF COMPLETE ZONING INFORMATION OR CONFIRMATION OF SITE DEVELOPMENT STANDARDS AND THUS THE SITE DEVELOPMENT FEASIBILITY IS NOT IMPLIED OR GUARANTEED.
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