

CLASS 2 SITEPLAN SUBMITTAL
AT HOME STORE
CITY OF SALEM, OREGON
Revised May, 2022

JURISDICTION: CITY OF SALEM
555 LIBERTY STREET SE - RM 305
SALEM, OR 97301
(503) 588-6173

OWNER: COSTCO WHOLESALE CORP.
999 LAKE DR
ISSAQUAH, WA 98027

APPLICANT: DICKERHOOF PROPERTIES
P.O. BOX 1583
CORVALLIS, OR 97339
(541) 231-5977

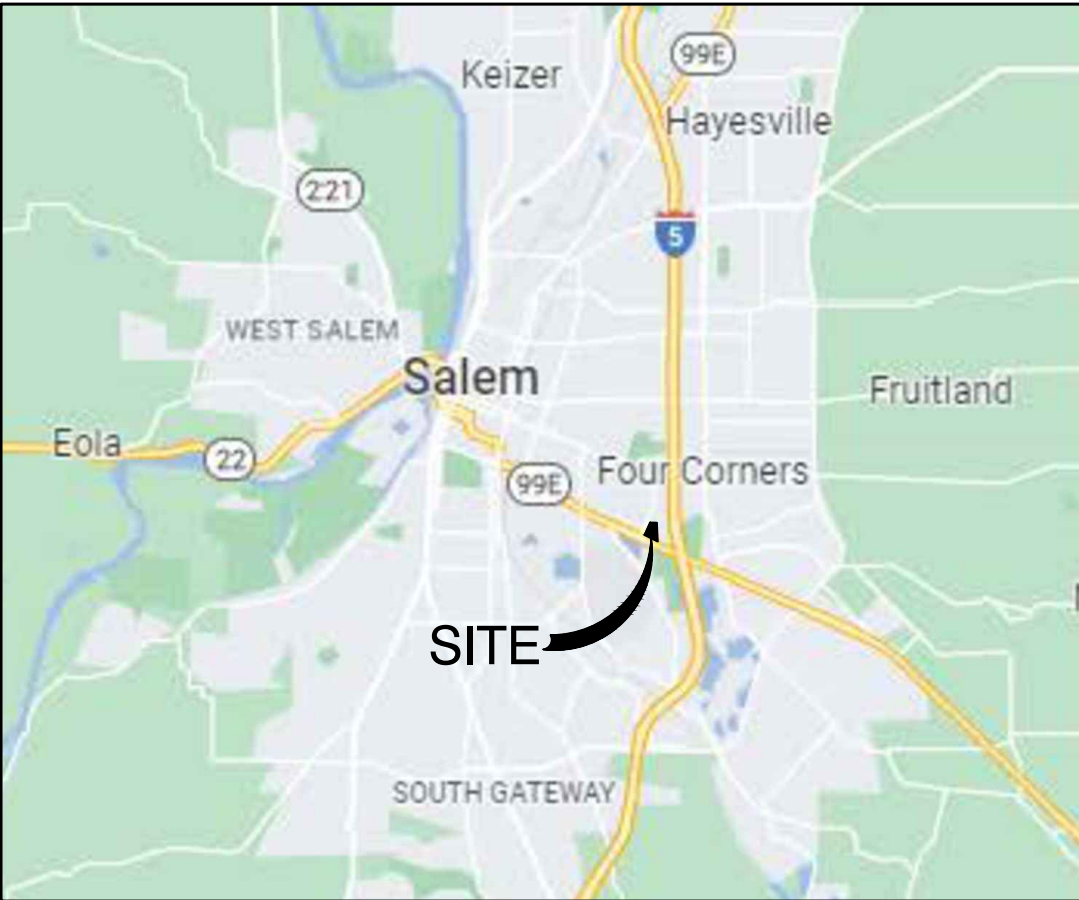
ENGINEER: RHINE-CROSS GROUP, LLC
ATTN: MARC CROSS, PE, PLS
112 N 5th ST - SUITE 200
KLAMATH FALLS, OR 97601
(541) 851-9405

PROPERTY ADDRESS: 1010 HAWTHORNE AVE

MAP # TAX LOT NUMBER: 073W360000803

ZONING: CR - RETAIL COMMERCIAL

PROPOSAL: RE-PURPOSE A PORTION OF THE FORMER COSTCO BUILDING TO A NEW AT HOME STORE



VICINITY MAP
No Scale

SITEPLAN NOTES:

- PROPERTY LINE
- EXISTING ACCESS DRIVEWAY TO REMAIN
- ADA PARKING STALLS INCLUDING VAN ACCESSIBLE ADA
- EXISTING SITE LIGHTING TO REMAIN
- EXISTING SIDEWALK CONNECTION TO HAWTHORNE AVE SE TO REMAIN
- PROPOSED SIDEWALK PEDESTRIAN ACCESS TO MISSION ST SE
- PROPOSED SIDEWALK RE-SURFACING FOR NEW ENTRY AND NEW FACADE
- PROPOSED PICK UP DRIVE AISLE
- EXISTING CATCH BASINS TO BE MODIFIED FOR NEW RAISED SIDEWALK DRAINAGE
- EXISTING FUEL STATION TO BE COMPLETELY REMOVED. SHADED AREA TO BE RESERVED FOR FUTURE DEVELOPMENT (PERMITTED SEPARATELY)
- EXISTING ANGLED PARKING TO BE RE-STRIPED FOR PARALLEL PARKING
- EXISTING SIDEWALK TO BE WIDENED TO 8' FOR FUTURE STOREFRONT PARKING
- PROPOSED 5' WIDE CONCRETE SIDEWALK CUT INTO ASPHALT AT GRADE FOR PEDESTRIAN CONNECTION TO ADJACENT LOT TO THE NORTH

SITE DATA & CALCULATIONS

TOTAL SITE AREA:	594,562 sq.ft.
TOTAL SITE AREA RESERVED FOR FUTURE DEV.	78,869 sq.ft.
TOTAL SITE AREA EXCLUDING FUTURE DEV:	515,693 sq.ft.
TOTAL BUILDING FOOTPRINT:	143,260 sq.ft.
% BUILDING COVERAGE:	27.8%
TOTAL PAVED AREA:	300,465 sq.ft.
% PAVED COVERAGE:	58.3%
ONSITE SIDEWALK AREA:	17,762 sq.ft.
ONSITE SIDEWALK COVERAGE:	3.4%
LANDSCAPE/OPEN AREA:	54,206 sq.ft.
LANDSCAPE/OPEN COVERAGE:	10.5%

OFF-STREET PARKING DATA

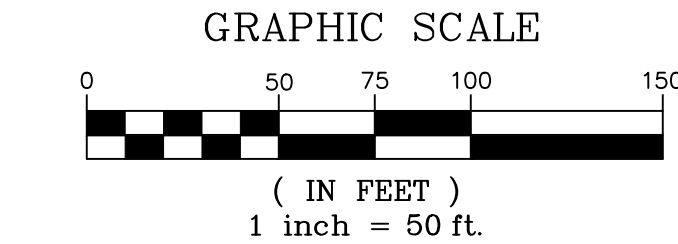
BUILDING	# SPACES
RETAIL COMMERCIAL 143,260 sq.ft. TOTAL: 143,260 sf RETAIL COMMERCIAL @ 1 per 250 sf	574
	TOTAL REQUIRED: 574
	TOTAL PROVIDED: 585
ADA REQUIREMENTS: 2% OF THE TOTAL PROVIDED PARKING = 12 ADA STALL REQUIRED 17 ADA STALL PROVIDED	

SHADING LEGEND:

- EXISTING SIDEWALK AREA
- EXISTING SIDEWALK OR ASPHALT AREA CONVERTED TO NEW SIDEWALK
- EXISTING STRUCTURE FOR FUTURE TENANTS
- EXISTING FUEL STATION TO BE REMOVED AND RESERVED FOR FUTURE BUILDING PAD

SHEET INDEX

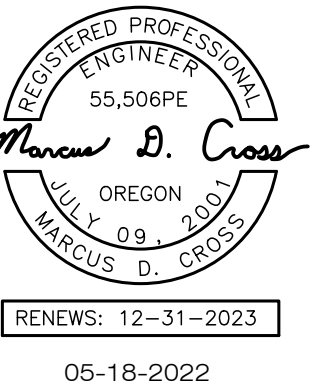
- T1 OVERALL SITEPLAN
- T2 SITEPLAN DETAIL
- T3 EXISTING CONDITIONS PLAN



DEVELOPMENT NOTE:
IMPROVEMENTS ARE LIMITED TO NEW SIDEWALK CONSTRUCTION AND NEW PARKING LOT STRIPING AT THE FRONT OF THE STORES OVER AREA THAT IS ALREADY ASPHALT OR SIDEWALK. AS REQUIRED BY CITY OF SALEM CODE, TWO NEW PEDESTRIAN ACCESS WAYS WILL BE CONSTRUCTED AS SHOWN ON THE SITEPLAN TO PROVIDE CONNECTION TO THE EXISTING STREET SIDEWALK SYSTEM. THIS CONSTRUCTION WILL RESULT IN MINOR LANDSCAPE DISTURBANCE TO CONSTRUCT THE PEDESTRIAN PATHS.

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112 N 5th ST - P.O. BOX 909
KLAMATH FALLS, OREGON 97601
Phone: (541) 851-9405
Fax: (541) 273-9200
admin@rc-grp.com



at home
The Home Décor Superstore
Former Costco Building Remodel

SHEET NAME:

Overall
Siteplan

DRAWN BY: MDC
CHKD BY: LH
DATE: MARCH 2022

REVISIONS:

JOB NO.
2049

SHEET NO.

T1