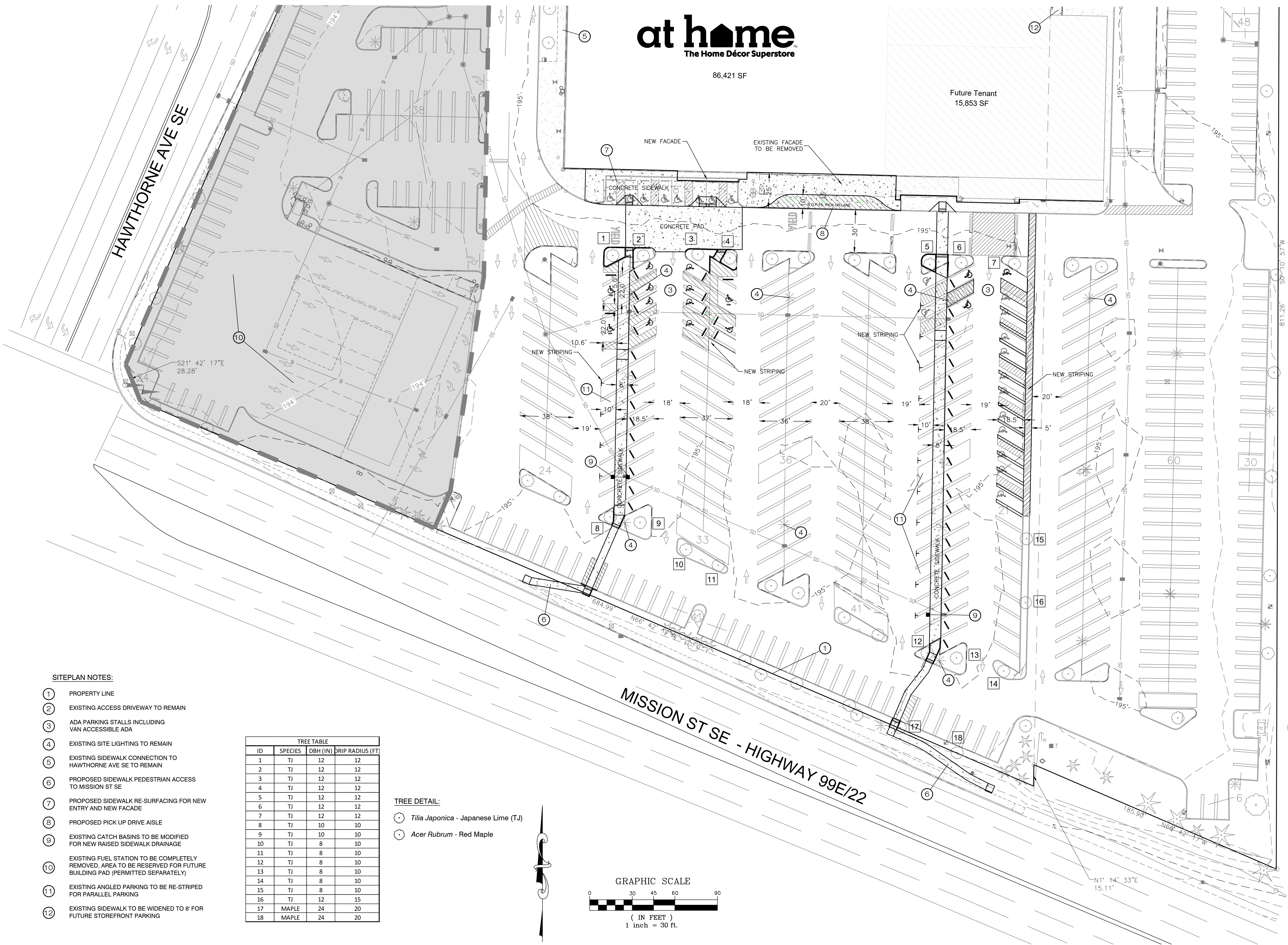




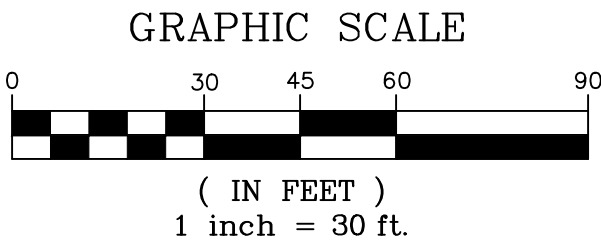
SITEPLAN NOTES:

- PROPERTY LINE
- EXISTING ACCESS DRIVEWAY TO REMAIN
- ADA PARKING STALLS INCLUDING VAN ACCESSIBLE ADA
- EXISTING SITE LIGHTING TO REMAIN
- EXISTING SIDEWALK CONNECTION TO HAWTHORNE AVE SE TO REMAIN
- PROPOSED SIDEWALK PEDESTRIAN ACCESS TO MISSION ST SE
- PROPOSED SIDEWALK RE-SURFACING FOR NEW ENTRY AND NEW FACADE
- PROPOSED PICK UP DRIVE AISLE
- EXISTING CATCH BASINS TO BE MODIFIED FOR NEW RAISED SIDEWALK DRAINAGE
- EXISTING FUEL STATION TO BE COMPLETELY REMOVED. AREA TO BE RESERVED FOR FUTURE BUILDING PAD (PERMITTED SEPARATELY)
- EXISTING ANGLED PARKING TO BE RE-STRIPED FOR PARALLEL PARKING
- EXISTING SIDEWALK TO BE WIDENED TO 8' FOR FUTURE STOREFRONT PARKING

TREE TABLE			
ID	SPECIES	DBH (IN)	DRIP RADIUS (FT)
1	TJ	12	12
2	TJ	12	12
3	TJ	12	12
4	TJ	12	12
5	TJ	12	12
6	TJ	12	12
7	TJ	12	12
8	TJ	10	10
9	TJ	10	10
10	TJ	8	10
11	TJ	8	10
12	TJ	8	10
13	TJ	8	10
14	TJ	8	10
15	TJ	8	10
16	TJ	12	15
17	MAPLE	24	20
18	MAPLE	24	20

TREE DETAIL:

- Tilia Japonica - Japanese Lime (TJ)
- Acer Rubrum - Red Maple



DICKERHOOF PROPERTIES
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REGISTERED PROFESSIONAL
ENGINEER
55,506PE
OREGON
JULY 09 2001
MARCUS D. CROSS
RENEWS: 12-31-2023
05-18-2022

Former Costco Building Remodel

SHEET NAME:
Siteplan
Detail

DRAWN BY: MDC
CHKD BY: LH
DATE: MAY 2022

REVISIONS:

JOB NO.
2049

SHEET NO.
T2