



Pre-Application Report

Community Development Department
Planning Division

555 Liberty Street SE/Room 305
Phone: 503-588-6173

www.cityofsalem.net/planning

 [@Salem_Planning](https://twitter.com/Salem_Planning)

Case Number / AMANDA No.	PRE-AP20-51 / 20-108558-PA
Conference Date	June 15, 2020
Applicant	JCT Construction Group, LLC 201 Ferry Street SE, Suite 400 Salem, OR 97301
Contact	Brandie Dalton Multi-Tech Engineering, Inc. 1155 13 th Street SE Salem, OR 97302
Case Manager	Aaron Panko

Pre-Application Conference Required: ☒ Yes ☐ No

Project Description & Property Information	
Project Description	A pre-application conference to discuss development of a 24-unit multi-family apartment complex, for property approximately 1.77 acres in size.
Property Address	1400 Block of Mildred Lane SE - 97306
Assessor's Map and Tax Lot Number	083W14CB / 02401 and 02501
Existing Use	Vacant
Neighborhood Association	South Gateway Neighborhood Association
Adjacent Neighborhood Association	NA
Comprehensive Plan Map Designation	Industrial Commercial and Single Family Residential
Zoning	IC (Industrial Commercial) and RA (Residential Agriculture)
Overlay Zone	NA
Urban Service Area	The subject property is located outside the Urban Service Area.
Urban Renewal Area	NA
Past Land Use Actions	PAR19-11, SPR-DAP19-28, SPR-DAP18-07, CPC85-20 and CPC-84-07

Planning Division Comments

Proposal

A pre-application conference to discuss development of a 24-unit multi-family apartment complex, for property approximately 1.77 acres in size, zoned IC (Industrial Commercial) and RA (Residential Agriculture), and located at the 1400 Block of Mildred Lane SE - 97306 (Marion County Assessors Map and Tax Lot Numbers: 083W14CB / 02401 and 02501).

Required Land Use Applications

The land use applications checked in the table below have been preliminary identified as being required for the proposed development based upon the information provided by the applicant at the time of the pre-application conference. Additional land use applications may be required depending on the specific proposal at the time of future development.

Information for these applications, which include a summary of the review procedure, submittal requirements, and approval criteria, can be found on the Planning Division's website at the following location:

<https://www.cityofsalem.net/Pages/zoning-and-land-use.aspx>

The applicable land use application fees for these applications can be found on the Planning Division's website at the following location:

<https://www.cityofsalem.net/Pages/permit-fees.aspx>

****Please note that land use application fees will be increasing effective July 1, 2020.**

Required Land Use Applications					
Zoning		Site Plan Review			
	Conditional Use		Class 1 Site Plan Review		
	Comprehensive Plan Change		Class 2 Site Plan Review		
	Zone Change	X	Class 3 Site Plan Review		
	Temporary use Permit – Class 1	Design Review			
	Temporary Use Permit – Class 2	X	Class 1 Design Review		
	Non-Conforming Use Extension, Alteration, Expansion, or Substitution		Class 2 Design Review		
	Manufactured Dwelling Park Permit		Class 3 Design Review		
Land Divisions		Historic Design Review			
	Property Line Adjustment		Major		Minor Commercial
	Property Boundary Verification		Major		Minor Public
	Replat		Major		Minor Residential
	Partition	Wireless Communication Facilities			
	Subdivision		Class 1 Permit		
	Phased Subdivision		Class 2 Permit		
	Planned Unit Development Tentative Plan		Class 3 Permit		
	Manufactured Dwelling Park Subdivision		Temporary		
Relief			Adjustment		
X	Adjustment – Class 1	Other			
X	Adjustment – Class 2		Annexation (voter approval)		
	Variance		Annexation (voter-exempt)		
Natural Resources			Sign Adjustment		
	Tree Conservation Plan		Sign Conditional Use		
	Tree Conservation Plan Adjustment		Sign Variance		
	Tree Removal Permit		SWMU Zone Development Phasing Plan		

Required Land Use Applications			
	Tree Variance		Urban Growth Preliminary Declaration
	Willamette Greenway Permit – Class 1	X	Driveway Approach Permit
	Willamette Greenway Permit – Class 2		

Consolidated Land Use Application Procedures

When multiple land use applications are required or proposed for a development, the City's land use procedures ordinance (SRC Chapter 300) provides alternatives methods for how such applications may be processed.

The applications may be processed individually in sequence, concurrently, or consolidated into a single application. Where multiple applications proposed to be consolidated include an application subject to review by the Historic Landmarks Commission, the application subject to Historic Landmarks Commission review shall be processed individually in sequence or concurrently.

Multiple land use applications consolidated into a single application shall be accompanied by the information and supporting documentation required for each individual land use action. Review of the application shall be according to the highest numbered procedure type and the highest Review Authority required for any of the land use applications proposed to be consolidated.

Multiple applications processed concurrently require the filing of separate applications for each land use action. Each application shall be reviewed separately according to the applicable procedure type and Review Authority and processed simultaneously.

Zoning of Surrounding Properties

North: Right-of-way for Mildred Lane SE
 South: RS (Single Family Residential)
 East: Right-of-way for Woodside Drive SE
 West: Right-of-way for Mildred Lane SE

Development Standards

Development of the property will primarily be subject to the provisions of the following chapters of the SRC:

Zoning & Development Standards Chapters

- SRC Chapter 205 - Land Division and Reconfiguration
- SRC Chapter 220 - Site Plan Review
- SRC Chapter 225 - Design Review
- SRC Chapter 240 - Conditional Use
- SRC Chapter 250 - Adjustments
- SRC Chapter 510 - RA (Residential Agriculture)
- SRC Chapter 551 - IC (Industrial Commercial)
- SRC Chapter 702 - Multiple Family Design Review Guidelines and Standards
- SRC Chapter 800 - General Development Standards
- SRC Chapter 802 - Public Improvements
- SRC Chapter 803 - Streets and Right-of-Way Improvements
- SRC Chapter 804 - Driveway Approaches
- SRC Chapter 805 - Vision Clearance
- SRC Chapter 806 - Off-Street Parking, Loading, and Driveways
- SRC Chapter 807 - Landscaping and Screening
- SRC Chapter 808 - Preservation of Trees and Vegetation
- SRC Chapter 810 - Landslide Hazards

- All other applicable provisions of the Salem Revised Code

Proposed Use

The proposal includes development of a new 24-unit multi-family apartment complex with two buildings, for property approximately 1.77 acres in size and zoned IC (Industrial Commercial). Per SRC Chapter 551, Table 551-1, multiple family uses are allowed in the IC zone with a Conditional Use permit.

Issues/Concerns:

- 1) 15' minimum building and vehicle use area setback to south.
- 2) Record Partition prior to BP issuance.
- 3) The subject property is located in a high probability archaeological zone.

Staff Response: Please contact Kimberli Fitzgerald for more information.

- 4) SRC 702.020 – Design review standards for multiple family development with thirteen or more units.
 - a. To ensure usable open space that is of sufficient size, at least one common open space area shall be provided that meets the size and dimension standards set forth in Table 702-3. To ensure the provided open space is usable, a maximum of 15 percent of the common open space shall be located on land with slopes greater than 25 percent.

Staff Response: The open space plan does not indicate where the required open space area will be provided, or demonstrate that the area is in compliance with SRC 702.020(a)(1)(A and B).
 - b. Where a development site abuts property that is zoned Residential Agricultural (RA) or Single Family Residential (RS), a combination of landscaping and screening shall be provided to buffer between the multiple family development and the abutting RA or RS zoned property. The landscaping and screening shall include the following:
 - (A) A minimum of one tree, not less than 1.5 inches in caliper, for every 30 linear feet of abutting property width; and
 - (B) A minimum six-foot tall, decorative, sight-obscuring fence or wall. The fence or wall shall be constructed of materials commonly used in the construction of fences and walls, such as wood, stone, rock, brick, or other durable materials. Chainlink fencing with slats shall be not allowed to satisfy this standard.

Staff Response: The subject property abuts property zoned RS to the south.

- c. On sites with 75 feet or more of buildable width, a minimum of 40 percent of the buildable width shall be occupied by building placed at the setback line to enhance visual interest and activity along the street. Accessory structures shall not apply towards meeting the required percentage.

Staff Response: Buildings are not placed on the setback line abutting Mildred Lane SE or Woodside Drive SE.

- d. To orient buildings to the street, any ground-level unit, cluster of units, interior lobbies, or portions thereof, located within 25 feet of the property line abutting a street shall have a building entrance facing that street, with direct pedestrian access to adjacent sidewalks.

Staff Response: Direct pedestrian access is not provided between the building entrances and adjacent sidewalks.

- e. Fences, walls, and plant materials shall not be installed between street-facing dwelling units and public or private streets in locations that obstruct the visibility of dwelling unit entrances from the street. For purposes of this standard, the term "obstructed visibility" means the entry is not in view from the street along one-half or more of the dwelling unit's frontage.

Staff Response: Fences are proposed between the dwelling unit entryways and abutting streets.

- f. To minimize the visual impact of on-site parking and to enhance the pedestrian experience, off-street surface parking areas and vehicle maneuvering areas shall be located behind or beside buildings and structures. Off-street surface parking areas and vehicle maneuvering areas shall not be located between a building or structure and a street.

Staff Response: Off-street parking area adjacent to Mildred is located in front of building, not to the side. This issue may be corrected if the buildings are placed at the setback line.

- g. To ensure safe pedestrian access to and throughout a development site, pedestrian pathways shall be provided that connect to and between buildings, common open space, and parking areas, and that connect the development to the public sidewalks.

Staff Response: Pedestrian crossings required through parking area.

Subdivision

If you want to divide your property into four or more lots, then you need to apply for a subdivision. The approval process starts with the tentative plan review outlined below and ends with finalizing your land survey.

Requirements for a subdivision tentative plan can be found in Salem Revised Code (SRC) Chapter 205.

Conditional Use Permit

The purpose of this chapter is to allow uses that are similar to other uses permitted outright in a zone but because of the manner in which the use may be conducted, or the land and buildings developed for the use, review is required to determine whether the imposition of conditions is necessary to minimize the negative impacts on uses in the surrounding area.

Requirements for Conditional Use Permits can be found in Salem Revised Code (SRC) Chapter 240.

Site Plan Review

The purpose of Site Plan Review is to provide a unified, consistent and efficient means to conduct review for development activity that requires a building permit, to ensure that such development meets all applicable standards of the UDC, including, but not limited to, standards related to access, pedestrian connectivity, setbacks, parking areas, external refuse storage areas, open areas, landscaping, and transportation and utility infrastructure.

Requirements for Site Plan Review can be found in Salem Revised Code (SRC) Chapter 220.

- ❖ **Staff Response:** *Class 3 Site Plan Review is required for this application because of the requirement for a Conditional Use Permit, Class 2 Driveway Approach Permit, and the likely need for Adjustments to multi-family design standards.*

Adjustments

The purpose of this chapter is to provide a process to allow deviations from the development standards of the UDC for developments that, while not meeting the standards of the UDC, will continue to meet the intended purpose of those standards. Adjustments provide for an alternative way to meet the purposes of the Code and provide for flexibility to allow reasonable development of property where special conditions or unusual circumstances exist.

Requirements for Adjustments can be found in Salem Revised Code (SRC) Chapter 250.

Design Review

Design review is required for certain types of development, or in specified areas of the City, where design review requirements have been established to achieve a desired community character, to promote greater compatibility between uses, and to promote established principles of urban design. SRC Chapter 702 establishes design review standards for multiple family development. Multiple family development with 13 or more dwelling units shall comply with the design review standards set forth in SRC 702.020.

Requirements for Design Review can be found in Salem Revised Code (SRC) Chapter 225, and the multiple family design standards are found in SRC Chapter 702.

Natural Resources

Trees: The City's tree preservation ordinance (SRC Chapter 808) protects Heritage Trees, Significant Trees (*including Oregon White Oaks with diameter-at-breast-height of 24 inches or greater*), trees and native vegetation in riparian corridors, and trees on lots and parcels greater than 20,000 square feet. The tree preservation ordinance defines "tree" as, "any living woody plant that grows to 15 feet or more in height, typically with one main stem called a trunk, which is 10 inches or more dbh, and possesses an upright arrangement of branches and leaves."

All significant trees, riparian trees, and riparian vegetation on the subject property shall be preserved. A Chapter 808 variance is required for removal of any significant tree or riparian trees and vegetation.

Wetlands: According to the Salem-Keizer Local Wetland Inventory (LWI) there are wetlands mapped on the subject property associated with Waln Creek. The applicant should contact the Department of State Lands to verify if permits are required for the proposed scope of work.

Landslide Hazard Susceptibility: According to the City's adopted landslide hazard susceptibility maps there are landslide hazard areas identified in the area of development, equal to 2 points. In addition, a multiple family building permit is assigned 2 activity points. A cumulative score of 4 points indicates a low landslide hazard risk. A geologic assessment or geotechnical report is not required in conjunction with the proposed development.

Neighborhood Association Contact Information

Staff recommends that applicants/property owners contact the relevant neighborhood association(s) regarding their proposals as soon as possible. This allows for the neighborhood association(s) to be involved early in the process and helps to identify any potential issues that might arise.

SRC Table 300-2 indicates that Neighborhood Association contact is required prior to submittal of an application for a Class 3 Site Plan Review. Please see SRC 300.310 for more details.

<https://egov.cityofsalem.net/SRCUtility/src/300>

For your convenience, neighborhood association(s) contact information is included below. Please note that the identified neighborhood association chair(s), and their corresponding contact information, is current as of the date of the pre-application conference, but this information is subject to change if the chair(s) or their contact information has changes subsequent to the date of the pre-application conference.

Up-to-date contact information for neighborhood representatives may also be obtained by contacting the City's Neighborhood Enhancement Division at 503-588-6207 or by visiting the City's website at the following location: <https://www.cityofsalem.net/Pages/find-your-neighborhood-association.aspx>

Applicable Neighborhood Association(s):	South Gateway Neighborhood Association
Meeting Date, Time, & Location:	Battle Creek Elementary School 1640 Waln Drive SE 2 nd Thursday each month, 6:45 PM
Neighborhood Association Chair	Glen Baly (Chair) glennbaly12345@gmail.com

Specific contact information for neighborhood representatives may also be obtained by contacting the City's Neighborhood Enhancement Division at 503-588-6207.

Salem Revised Code Available On-Line

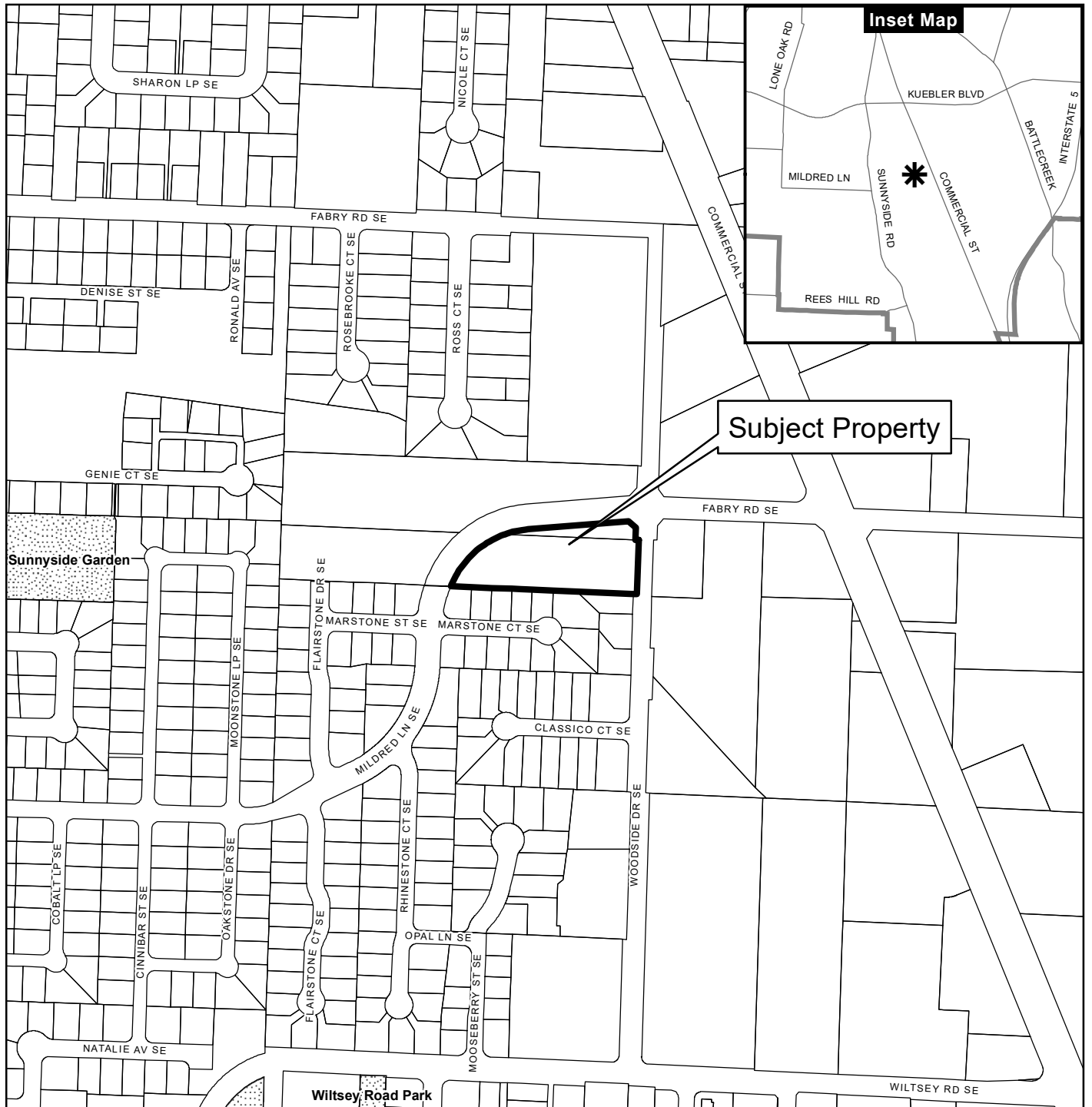
For specific reference to the requirements of the Salem Revised Code (SRC) discussed in this report, the code can be accessed on-line through the City's website at:
<http://www.cityofsalem.net/Pages/salem-revised-code.aspx>

Attachments: A. Vicinity map
 B. Applicant's proposal

G:\CD\PLANNING\CASE APPLICATION Files 2011-On\PRE-APPLICATIONS\1 - Post-Conference Letters & Reports 2011 - present\2020\PRE-AP20-51.amp.docx

Vicinity Map

1400 Block of Mildred Lane SE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

0 100 200 400 Feet



CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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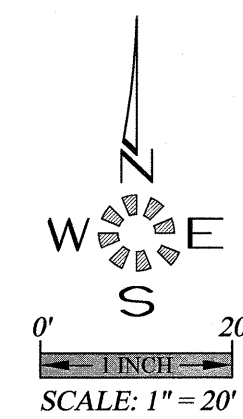
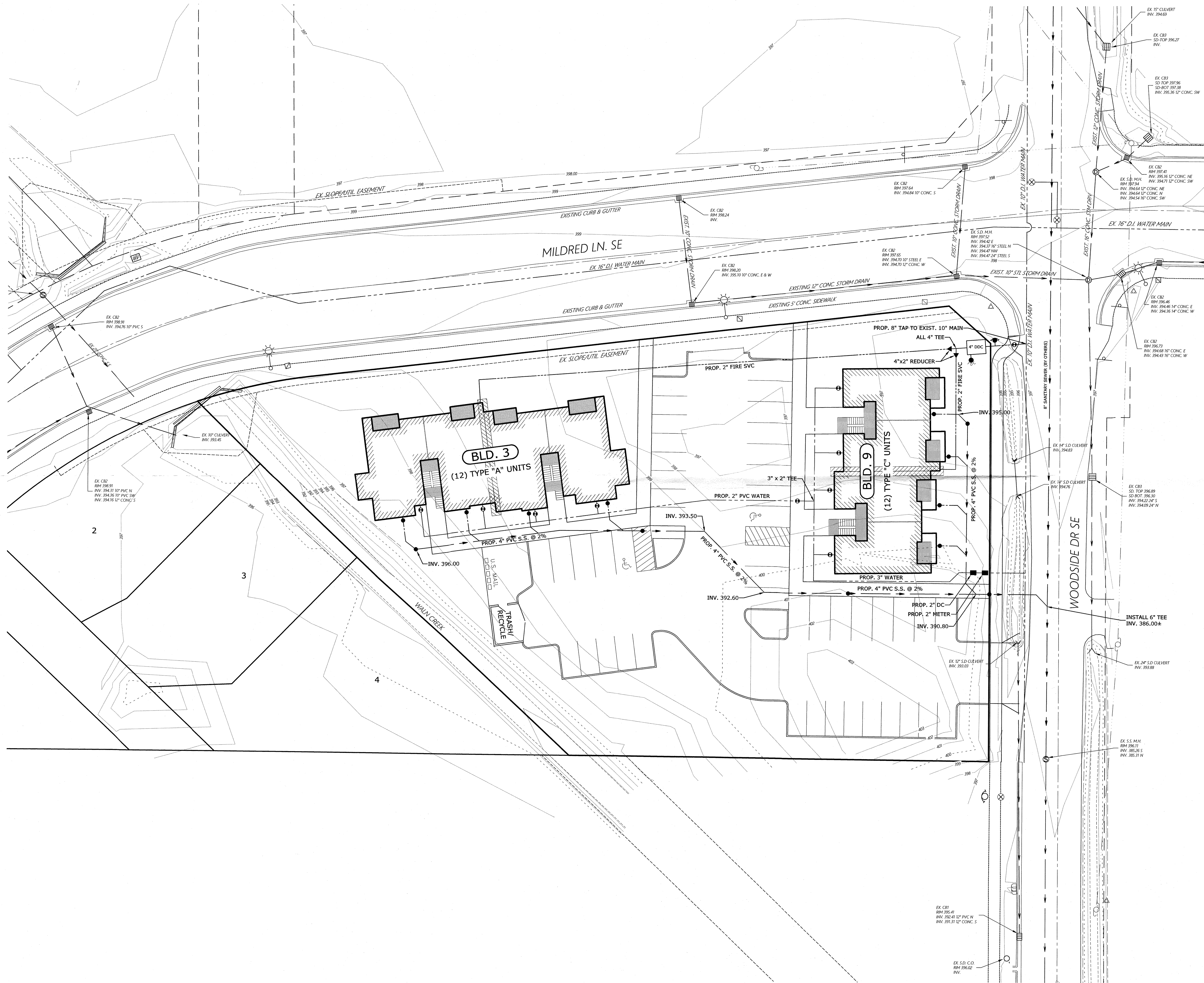
Design Review Pre-Application Meeting

Proposal:

The subject property is located on the west side of Woodside Drive (083W14CB/Tax Lot 2401 and 2501), zoned IC (Industrial Commercial) and RA (Residential Agriculture). The subject property is about 1.53 acres in size. The applicant is requesting a Design Review Pre-Application Meeting to discuss the development of the eastern portion of the site into multi-family dwelling units. The eastern portion of the site is zoned IC.

Questions for Pre-App Meeting:

1. Land-Use process and costs?
2. How best to accomplish this project?
3. Any foreseen issues?
4. What offsite improvements are required for the development?
5. What requirements through Public Works will the applicant have to meet to develop the site?
6. TIA or TPR?
7. All other relevant information
8. Design Review Criteria
9. Neighborhood Meeting Required?



**PRIVATE
UTILITY
PLAN**

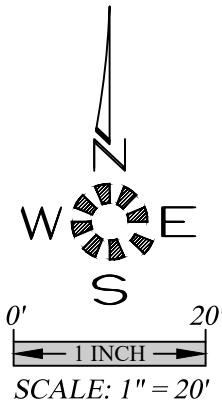
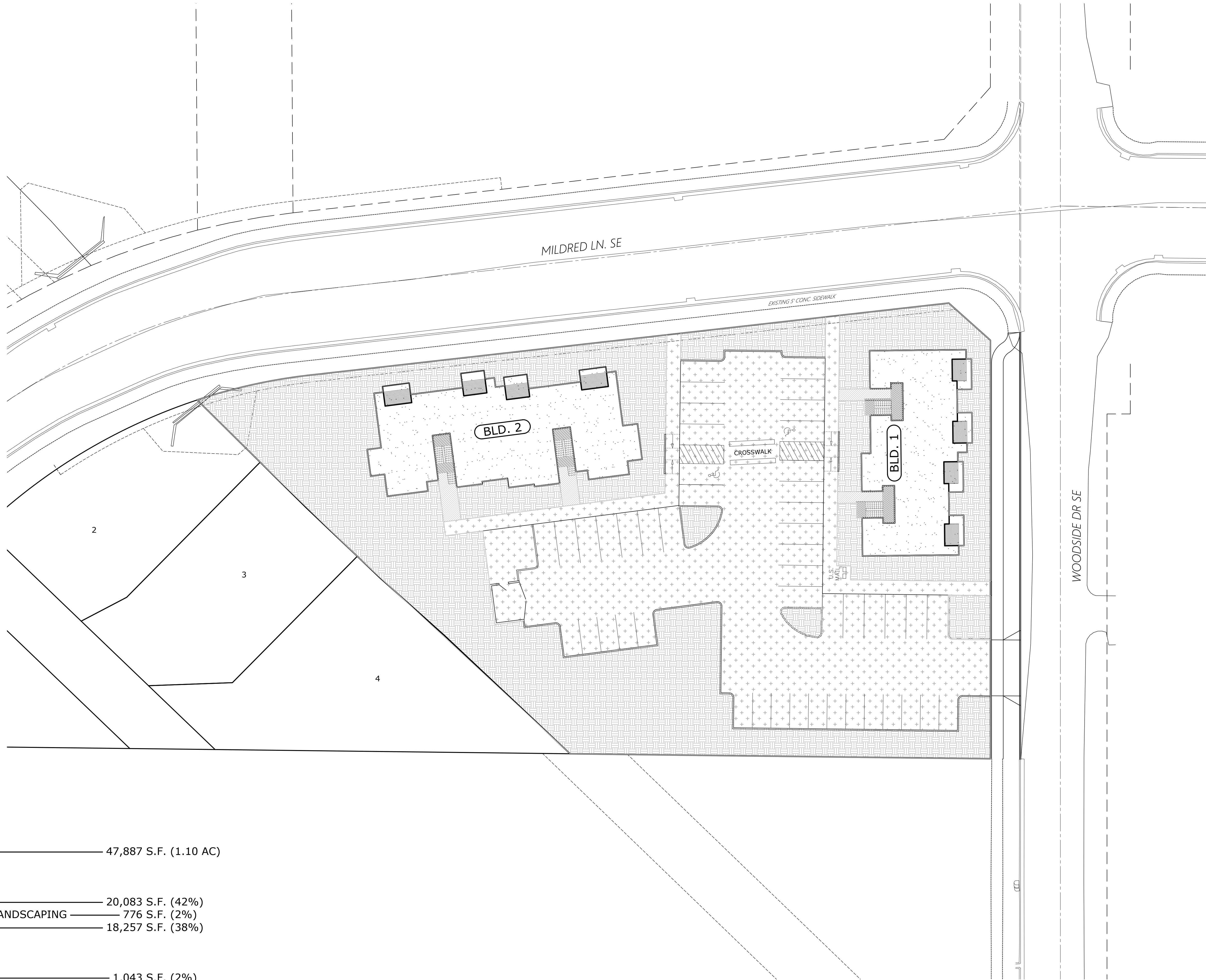
WALN CREEK APARTMENTS

NO CHANGES, MODIFICATIONS
OR REPRODUCTIONS TO BE
MADE TO THESE DRAWINGS
WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

Design: M.D.G.
Drawn: T.N.S.
Checked: M.D.G.
Date: APRIL 2020
Scale: AS SHOWN



EXPIRES: 06-30-2021
JOB # 7026

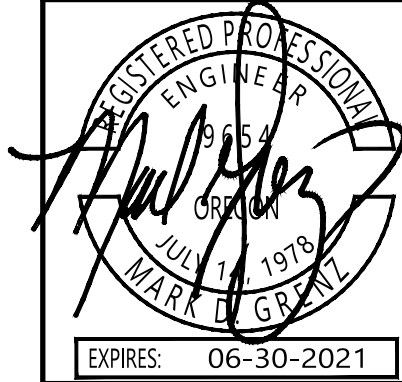


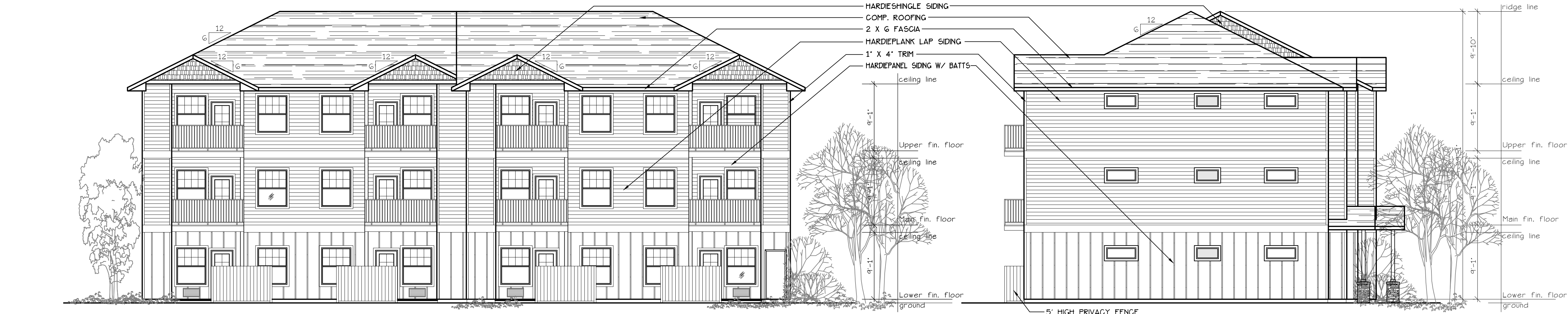
OPEN SPACE
PLAN

WALN CREEK APARTMENTS

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OR REPRODUCTIONS TO BE
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AUTHORIZATION FROM THE
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DIMENSIONS & NOTES TAKE
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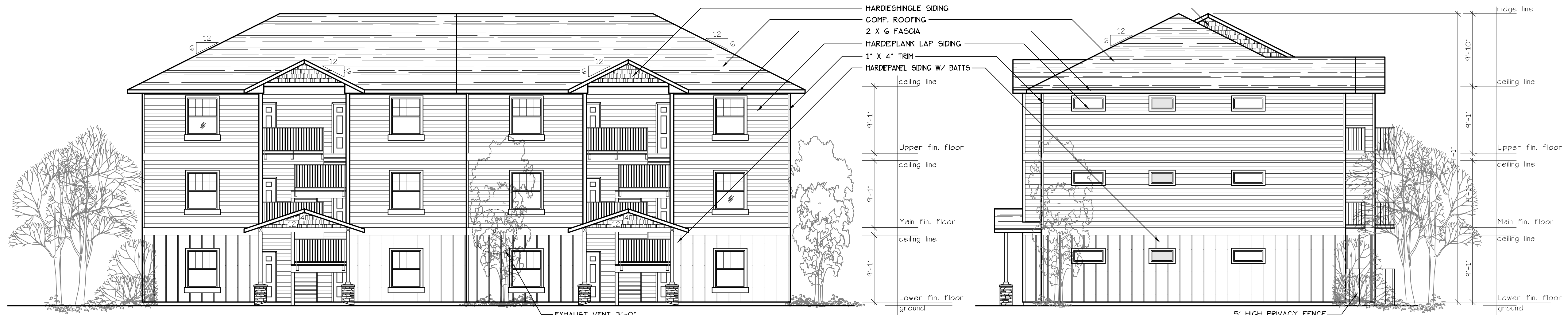
70206 SDR4-05
Design: M.D.G.
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Checked: M.D.G.
Date: APRIL 2020
Scale: AS SHOWN





EAST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 1

NORTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 1



WEST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 1

SOUTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
BLD. 1

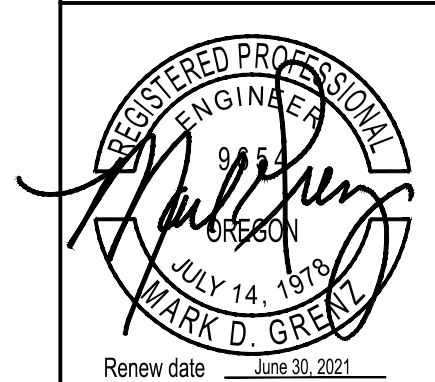
BUILDING
ELEVATIONS

WALN CREEK
APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
REVISIONS TO BE MADE TO
THIS DRAWING WITHOUT THE
AUTHORIZATION FROM THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
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REPRESENTATION.

BLD1C-12-SB-PR013
A1.90/ELEV
Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-20
Scale: AS SHOWN

JOB # 7026



Renew date: June 30, 2021

A1.90



NORTH ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"



WEST ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"



EAST ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"

LOWER FLOOR PLAN

WALN CREEK
APARTMENT COMPLEX

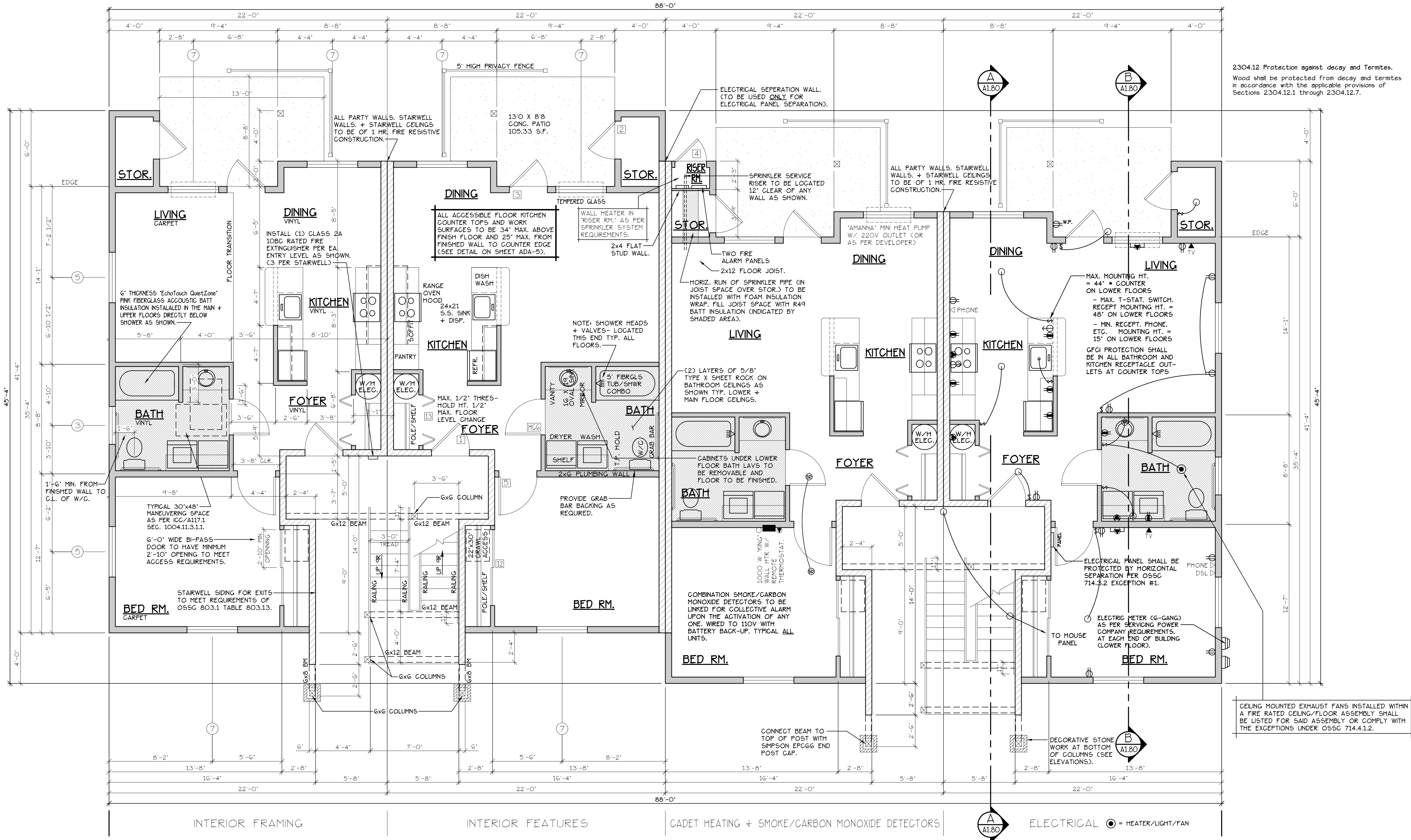
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REDUCTIONS TO BE MADE TO
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Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-20
Scale: AS SHOWN

JOB # 7026

REGISTERED PROFESSIONAL
ENGINEER
July 14, 1994
MARK D. GREY
Renew date: June 30, 2021

A1.31

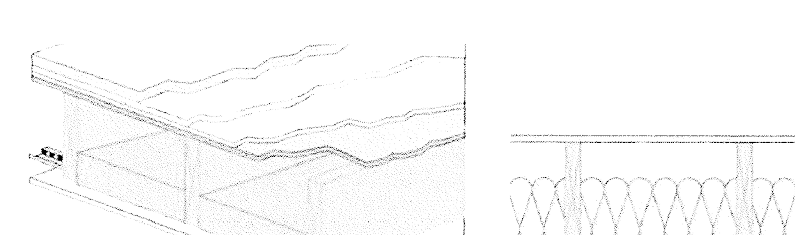


LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"
(HANDICAP ADAPTABLE/ACCESSIBLE)
'C' UNIT = 728 S.F.

TYPE C UNITS
BLD. 1

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

- NOTES:
1. ALL DOOR AND WINDOW HEADERS TO BE #2 4X12 UNLESS NOTED OTHERWISE ON PLANS.
 2. ALL 6X12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
 3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6"-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).



FLOOR/CEILING ASSEMBLY AT TUB/SHOWERS

[F] 907.2.10.3 SMOKE ALARMS. SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.
[F] 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS. LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS, COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

DOOR SCHEDULE									
DOORS					FRAMES		REMARKS		
#	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.
141	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	A	METAL	PAINT
142	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	B	METAL	PAINT
143	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	C	METAL	PAINT
144	2'-6"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	D	METAL	PAINT
145	3'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
146	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
147	2'-6"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
148	2'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
149	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN
150	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN
151	5'-8"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN
152	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN
153	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN
154	5'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN
155	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN

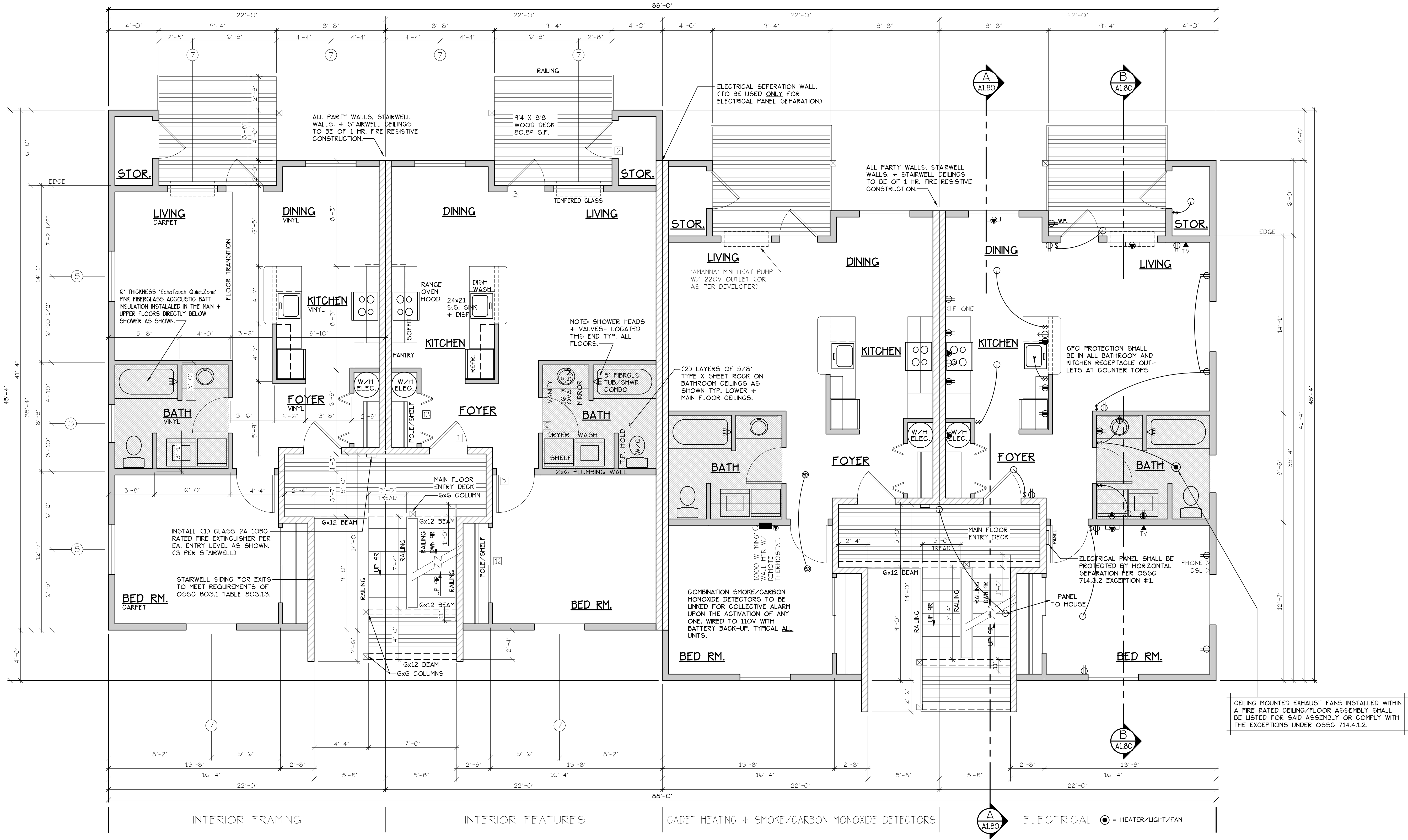
* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.

WINDOW SCHEDULE									
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	2'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
2	3'0" X 1'0"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
3	3'0" X 1'0"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
4	3'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
5	4'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12		
6	4'0" X 3'6"	VNLY SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
7	4'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
8	5'0" X 1'6"	VNLY SLD.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12		
9	5'0" X 2'6"	VNLY SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
10	5'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
11	3'0" X 4'6"	CASEMENT	MLGARD	WHITE	YES	CASEMENT W/ SCREEN	DF#1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2019 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.13. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. UNO.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS + FALL PROTECTION' DETAIL ON SHEET A25.40.

CONSTRUCTION TYPE V B SPRINKLED.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
'C' UNIT = 728 S.F.

TYPE C UNITS

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

BLD. 1

DOOR SCHEDULE											
DOORS						FRAMES			REMARKS		
#	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.		
141	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	A	METAL	PAINT.	G PANEL 60 MIN. RATED ASSY. W/ THRESHOLD, WEATHERSTRIP, CLOSURES.	
142	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	B	METAL	PAINT.	G PANEL W/ THRESHOLD, WEATHERSTRIP AND KEYED LOCK	
143	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	C	METAL	PAINT.	FULL LITE, TEMP. GLASS, LOCK, THRESHOLD, WEATHERSTRIP AND INTERIOR BLINDS.	
144	2'-6"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	D	METAL	PAINT.	W/ THRESHOLD, WEATHERSTRIP AND KEYED LOCK	
145	3'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	E	HEMLOCK	STAIN.		
146	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	E	HEMLOCK	STAIN.		
147	2'-6"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	E	HEMLOCK	STAIN.		
148	2'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	E	HEMLOCK	STAIN.		
149	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	F	HEMLOCK	STAIN.	POCKET DOOR	
150	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	F	HEMLOCK	STAIN.	POCKET DOOR	
151	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	G	HEMLOCK	STAIN.	BI-PASS DOOR	
152	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	G	HEMLOCK	STAIN.	BI-PASS DOOR	
153	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	H	HEMLOCK	STAIN.	BI-FOLD DOOR	
154	5'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	H	HEMLOCK	STAIN.	BI-FOLD DOOR	
155	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN.	H	HEMLOCK	STAIN.	BI-FOLD DOOR	

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.

WINDOW SCHEDULE									
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	2'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
2	3'0" X 1'0"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
3	3'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
4	3'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
5	4'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12		
6	4'0" X 3'6"	VNLY SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
7	4'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
8	5'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12		
9	5'0" X 2'6"	VNLY SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
10	5'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
11	3'0" X 4'6"	CASEMENT	MLGARD	WHITE	YES	CASEMENT W/ SCREEN	DF#1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2019 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.13. OPERABLE PARTS SHALL COMPLY WITH SEC. 309.4. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. U.N.O.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS + FALL PROTECTION' DETAIL ON SHEET A25.40.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OESG U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OESG SECTIONS 1015.8.

CONSTRUCTION TYPE V B SPRINKLED.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR.

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A1.20 BEFORE BEGINNING ANY CONSTRUCTION.

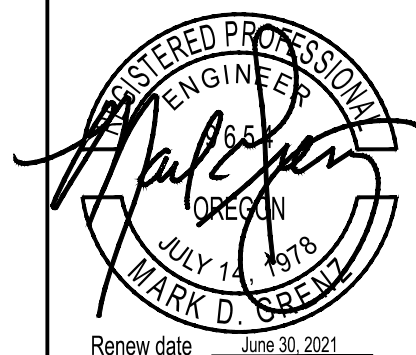
GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OESG 718.2.2 AND OESG 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDGS.
- AS PER OESG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

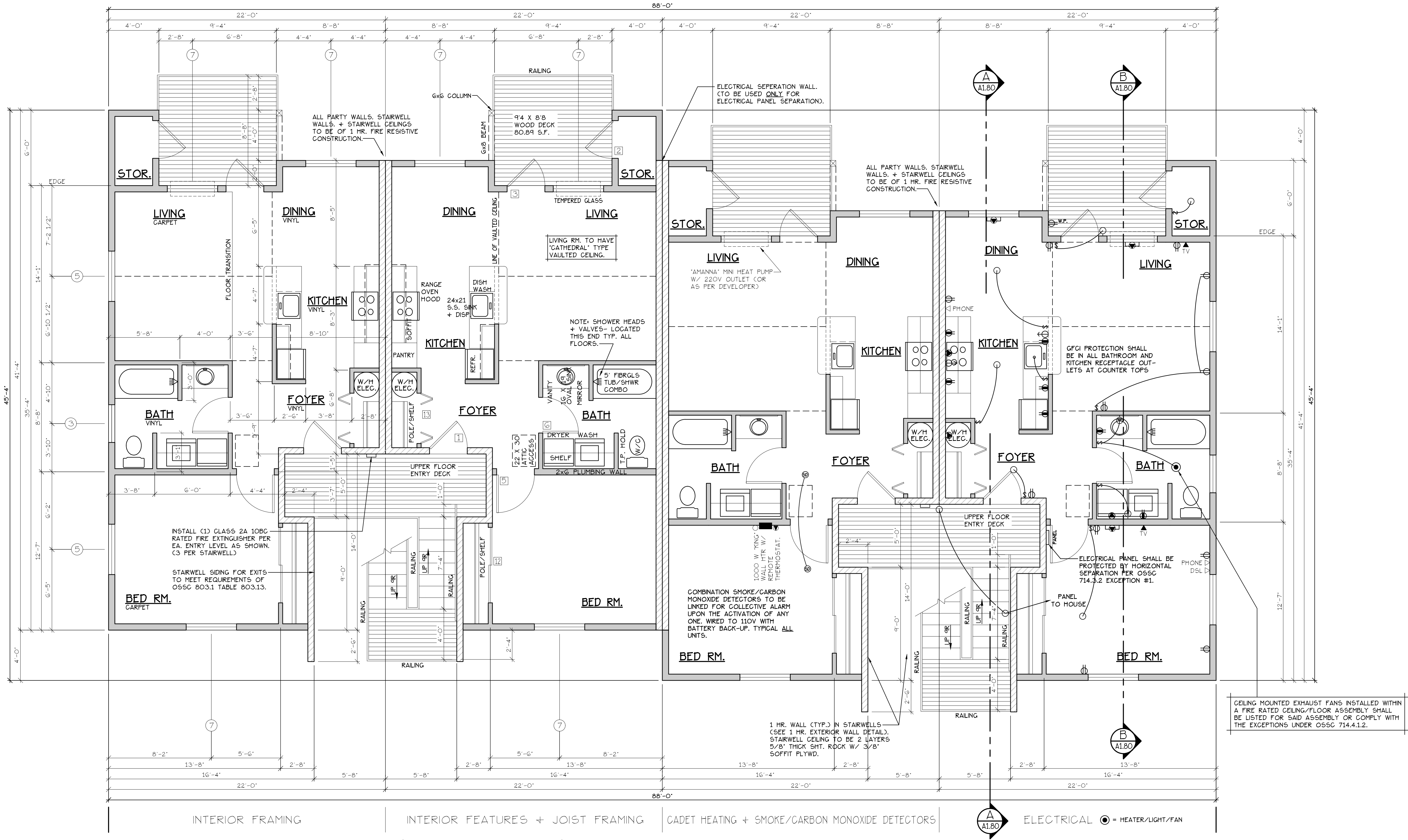
WALN CREEK
APARTMENT COMPLEX
MAIN
FLOOR PLAN

NO CHANGES, MODIFICATIONS OR REDUCTIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-20
Scale: AS SHOWN
JOB # 7026



A1.41



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

TYPE C UNITS
BLD. 1

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR.

DOOR SCHEDULE											
DOORS						FRAMES			REMARKS		
#	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.		
141	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	A	METAL	PAINT	6 PANEL 60 MIN RATED ASSY. W/ THRESHOLD, WEATHERSTRIP, CLOSURES.	
142	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	B	METAL	PAINT	6 PANEL W/ THRESHOLD, WEATHERSTRIP AND KEYED LOCK	
143	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	C	METAL	PAINT	FULL LITE, TEMP. GLASS, LOCK, THRESHOLD, WEATHERSTRIP AND INTERIOR BLINDS.	
144	2'-6"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT	D	METAL	PAINT	W/ THRESHOLD, WEATHERSTRIP AND KEYED LOCK	
145	3'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN		
146	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN		
147	2'-6"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN		
148	2'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN		
149	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	POCKET DOOR	
150	2'-10"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	POCKET DOOR	
151	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN	BI-PASS DOOR	
152	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN	BI-PASS DOOR	
153	4'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN	BI-FOLD DOOR	
154	5'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN	BI-FOLD DOOR	
155	6'-0"	6'-8"	1 3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN	BI-FOLD DOOR	

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.

WINDOW SCHEDULE									
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	2'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
2	3'0" X 1'0"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
3	3'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
4	3'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
5	4'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12		
6	4'0" X 3'6"	VNLY SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
7	4'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
8	5'0" X 1'6"	VNLY STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12		
9	5'0" X 2'6"	VNLY SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
10	5'0" X 5'0"	VNLY SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)		
11	3'0" X 4'6"	CASEMENT	MLGARD	WHITE	YES	CASEMENT W/ SCREEN	DF#1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2019 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.13. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. U.N.O.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS + FALL PROTECTION' DETAIL ON SHEET A25.40.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.G.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OESG U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OESG SECTIONS 1015.8.

CONSTRUCTION TYPE V B SPRINKLED.

UPPER FLOOR PLAN
WALN CREEK
APARTMENT COMPLEX

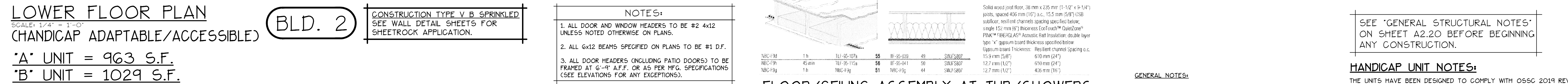
NO CHANGES, MODIFICATIONS OR REDUCTIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-20
Scale: AS SHOWN
JOB # 7026

REGISTERED PROFESSIONAL ENGINEER
JULY 14, 1978
MARK D. SNEYD
Renew date: June 30, 2021

A1.50

- SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A1.20 BEFORE BEGINNING ANY CONSTRUCTION.
- GENERAL NOTES:
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
 - FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OESG 718.2.2 AND OESG 718.2.3.
 - PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
 - ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
 - ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
 - ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'G'S.
 - AS PER OESG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
 - ALL TYPE A ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.



WINDOW SCHEDULE							
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS
(1)	2' 0" X 1'	VNLT STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12
(2)	3' 0" X 1'	VNLT STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12
(3)	3' 0" X 1'	VNLT STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12
(4)	3' 0" X 5' 0"	VNLT SGL.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)
(5)	4' 0" X 1'	VNLT STAT.	MILGARD	WHITE	YES	STATIONARY	DF#1 4x12
(6)	4' 0" X 3'	VNLT SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12
(7)	4' 0" X 5' 0"	VNLT SGL.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)
(8)	5' 0" X 1'	VNLT STAT.	MILGARD	WHITE	YES	STATIONARY	DF#1 4x12
(9)	5' 0" X 2' 6"	VNLT SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12
(10)	5' 0" X 5' 0"	VNLT SGL.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)
(11)	3' 0" X 4' 6"	GASEMENT	MILGARD	WHITE	YES	GASEMENT W/ SCREEN	DF#1 4x12

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S. 2019 CHAPTER 11 SEC. 1107.2 ON TO ICG/ANSI A117.1 THEN SEC. 1002.13. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. U.N.O.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS + FALL PROTECTION" DETAIL ON SHEET A25.40

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OEEESC U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OSSC SECTIONS 1015.8.

CONSTRUCTION TYPE V B SPRINKLED

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. FIRE BLOCK CONCEALED SPACES VERTICAL & HORIZONTAL AS PER O550 718.2.2 AND O550 718.2.3.
3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER & SHOWER UNITS, SHEET PILING SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
4. ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
6. ALL EXTERIOR LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS & STORAGE BLD'G.
7. AS PER OEESS HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 80 PERCENT OF THE LAMPS IN PERMANENTLY NEEDED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS MINIMUM EFFICIENCY OF 40 LUMENS PER INPUT WATT.
8. ALL "TYPE A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSGC 2019 REVISED TO BE EFFECTIVE JANUARY 1, 2020. CHAPTER 11 OF THE OSGC 2019 AS REVISED INCORPORATES AS PART OF ITS AMERICAN NATIONAL STANDARD (ANSI) A117.1 (ANSI A117.1) WITHIN ICG/ANSI A117.1. CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS. CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE TYPE 'A' UNITS WHICH MUST MEET THE REQUIREMENTS SET OUT IN ICG/ANSI A117.1. CHAPTER 10, SECTION 1004.1.1.1.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICG/ANSI A117.1. CHAPTER 11, SECTION 1004.4. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM OR ONLY BATHROOM ELEMENTS MUST BE DESIGNATED AS AN SECTION 1004.4.1.1 BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICG/ANSI A117.1 SECTION 1004.4.1.1.3.2.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5 THAT SET OUT SPECIFIC INFORMATION FROM OSGC 2019, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT THE SPECIFIC ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

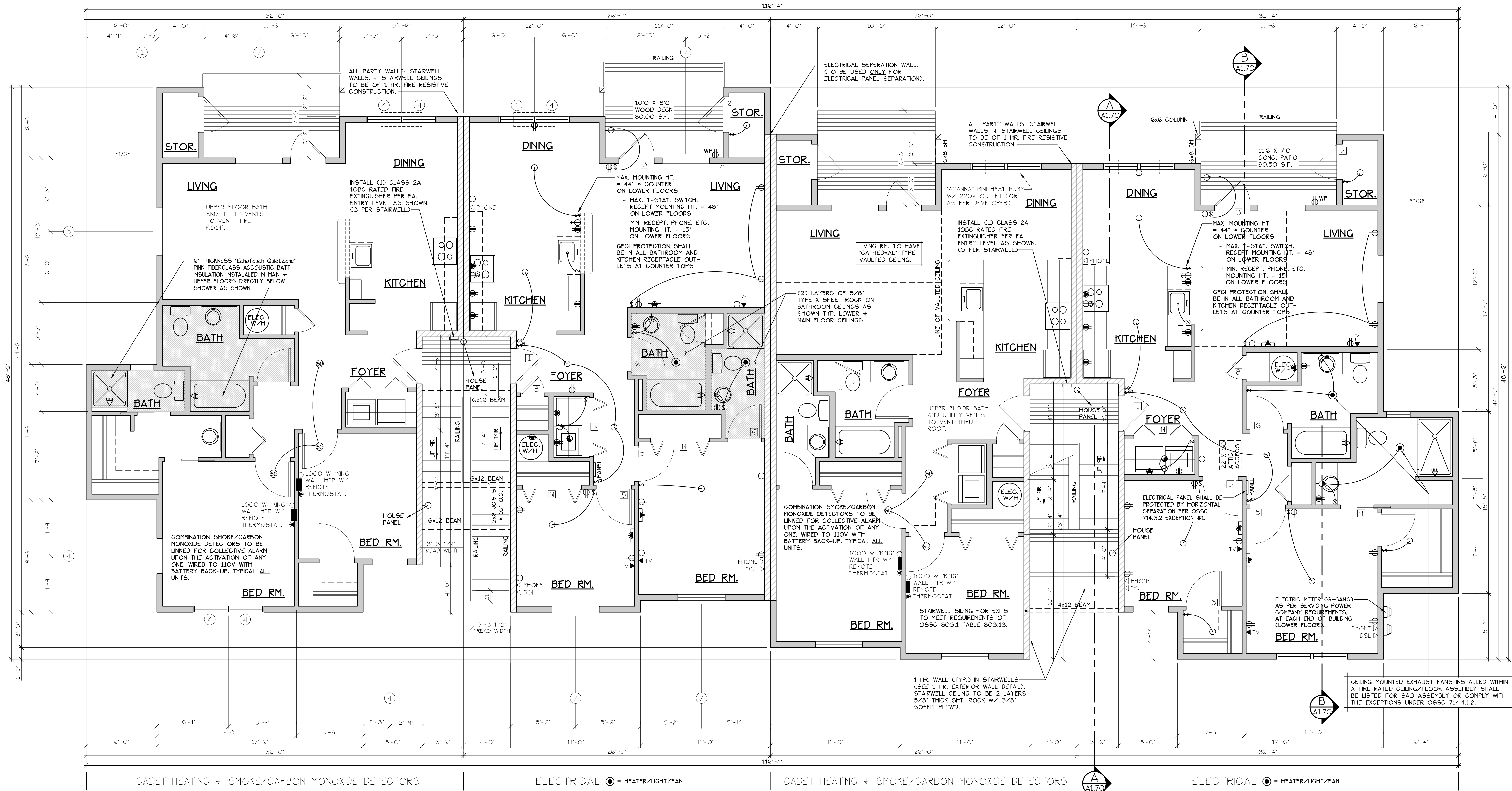
MAIN & UPPER
FLOOR PLAN

WALN CREEK
APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
REDUCTIONS TO BE MADE TO
THIS DRAWING WITHOUT THE
AUTHORIZATION FROM THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-20
Scale: AS SHOWN
JOB # 7026
REGISTERED PROFESSIONAL
ENGINEER
JULY 14, 1978
MARK D. SEELY
Renew date: June 30, 2021

A2.41



CADET HEATING + SMOKE/CARBON MONOXIDE DETECTORS
ELECTRICAL ● = HEATER/LIGHT/FAN
CADET HEATING + SMOKE/CARBON MONOXIDE DETECTORS
ELECTRICAL ● = HEATER/LIGHT/FAN

TYPE B UNIT
TYPE A UNIT
TYPE A UNIT
TYPE B UNIT

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
A UNIT = 963 S.F.
B UNIT = 1029 S.F.

BLD. 2
CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:

- ALL DOOR AND WINDOW HEADERS TO BE #2 4x12 UNLESS NOTED OTHERWISE ON PLANS.
- ALL 6x12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
- ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).

DOOR SCHEDULE

DOORS		FRAMES		REMARKS					
#	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TYP.	MATL.	FIN.
1	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	A	METAL	PAINT.
2	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	B	METAL	PAINT.
3	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	C	METAL	PAINT.
4	2'-6"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	D	METAL	PAINT.
5	3'-0"	6'-8"	1 3/4"	MTL.	GLAD.	PAINT.	E	METAL	PAINT.
6	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
7	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
8	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
9	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
10	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
11	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
12	2'-10"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	E	HEMLOCK	STAIN
13	4'-0"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN
14	5'-0"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN
15	6'-0"	6'-8"	1 3/4"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.

WINDOW SCHEDULE

#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS
1	2'-0" X 1'-6"	VNVL STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12
2	3'-0" X 1'-0"	VNVL STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12
3	3'-0" X 1'-6"	VNVL STAT.	MLGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12
4	3'-0" X 5'-0"	VNVL SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)
5	4'-0" X 1'-6"	VNVL STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12
6	4'-0" X 3'-6"	VNVL SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12
7	4'-0" X 5'-0"	VNVL SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)
8	5'-0" X 1'-6"	VNVL STAT.	MLGARD	WHITE	YES	STATIONARY	DF#1 4x12
9	5'-0" X 2'-6"	VNVL SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12
10	5'-0" X 5'-0"	VNVL SQH.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A25.40)
11	3'-0" X 4'-6"	CASEMENT	MLGARD	WHITE	YES	CASEMENT W/ SCREEN	DF#1 4x12

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2019 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.13. OPERABLE PARTS SHALL COMPLY WITH SEC. 309.4. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. UNO.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS + FALL PROTECTION" DETAIL ON SHEET A25.40.

NOTES:

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.G.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OESG U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OESG SECTIONS 1015.8.

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OESG 718.2.2 AND OESG 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDGS.
- AS PER OESG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL TYPE A ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR.

SEE "GENERAL STRUCTURAL NOTES" ON SHEET A2.20 BEFORE BEGINNING ANY CONSTRUCTION.