

LAND USE SUBMISSION

03.11.2022



CDP SALEM - BUILDING B

5205 BATTLE CREEK RD SE
SALEM, OR 97306

S|E A
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FILE PATH: C:\Revit_Local\21031_CDP Salem Gateway_Walk Up Building B_22_acaano.rvt

| GENERAL PROJECT NOTES | PROJECT TEAM | PROJECT SUMMARY | SHEET INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <p>REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.</p> <p>1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.</p> <p>2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.</p> <p>3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.</p> <p>4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.</p> <p>5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.</p> <p>6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.</p> <p>7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.</p> <p>8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.</p> <p>9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.</p> <p>11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.</p> <p>12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.</p> <p>14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.</p> <p>15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.</p> <p>16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.</p> <p>17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.</p> | <p>OWNER</p> <p>CDP OREGON LLC 126 NE ALBERTA ST #202 PORTLAND, OR 97211 TEL: 971.533.7466 FAX: N/A CONTACT: THOMAS ELDRIDGE EMAIL: THOMAS@COMMUNITYDEVPARTNERS.COM</p> <p>CONTRACTOR</p> <p>LMC CONSTRUCTION 19200 SW TETON AVE TUALATIN, OR 97062 TEL: 503.646.0521 FAX: 503.646.6823 CONTACT: CHRIS DUFFIN EMAIL: CHRISD@LMCCONSTRUCTION.COM</p> <p>ARCHITECT</p> <p>SCOTT EDWARDS ARCHITECTS, LLP 2525 E BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: DAVE MOJICA EMAIL: DMOJICA@SEALLP.COM</p> <p>CIVIL ENGINEER</p> <p>WES TECH ENGINEERING 3841 FAIRVIEW INDUSTRIAL DR SE #100 SALEM, OR 97302 TEL: 503.585.2474 FAX: N/A CONTACT: STEVE WARD EMAIL: SWARD@WESTECH-ENG.COM</p> <p>LANDSCAPE ARCHITECT</p> <p>PLACE 735 NW 18TH AVENUE PORTLAND, OR 97209 TEL: 503.334.2080 FAX: N/A CONTACT: MAURICIO VILLARREAL EMAIL: MAURICIO.VILLARREAL@PLACE.LA</p> <p>STRUCTURAL ENGINEER</p> <p>STONEWOOD STRUCTURAL ENGINEERS, INC 2001 NW 19TH SUITE 103A PORTLAND, OR 97209 TEL: 360.216.1704 FAX: N/A CONTACT: D. SCOTT NYSETH EMAIL: SCOTT.NYSETH@STONEWOODSTRUCTURAL.COM</p> <p>MEP ENGINEER</p> <p>INTERFACE 100 SW MAIN STREET, SUITE 1600 PORTLAND, OR 97204 TEL: 503.382.2266 FAX: 503.382.2262 CONTACT: KIM W EMAIL: KIMW@INTERFACEENG.COM</p> | <p>PROJECT DESCRIPTION: 3-STORY, WOOD FRAMED MULTIFAMILY BUILDING FEATURING 24 RESIDENTIAL UNITS</p> <p>GROSS AREA: 22,739 SF</p> <p>PROJECT ADDRESS: 5205 BATTLE CREEK RD SE SALEM, OR 97306</p> <p>LEGAL DESCRIPTION: 083W14/ 118 AND 300</p> <p>ZONING: RM-II</p> <p>SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS</p> <p>CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.</p> <p>UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.</p> <p>SEPARATE PERMITS:</p> <p>1. DEMOLITION PERMIT 2. SIGNAGE PERMIT 3. FIRE SPRINKLER SYSTEM 4. FIRE DETECTION AND ALARM SYSTEM 5. FIRE DEPARTMENT ACCESS KEY BOX 6. HANGERS AND SUPPORT FOR HVAC 7. VIBRATION AND SEISMIC CONTROLS FOR HVAC 8. LATERAL BRACING AND ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT WEIGHING MORE THAN 75 LBS (EXCEPTIONS PER ASCE 7, SECTION 13.1.4) 9. PRE-ENGINEERED MANUFACTURED TRUSSES 10. STAIR FRAMING 11. ALUMINUM STOREFRONT</p> <p>SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.</p> | <table><tr><th>SHEET #</th><th>SHEET NAME</th></tr><tr><td colspan="2">GENERAL</td></tr><tr><td>G0.01</td><td>GENERAL PROJECT INFORMATION</td></tr><tr><td>G1.01</td><td>CODE SUMMARY</td></tr><tr><td colspan="2">ARCHITECTURAL</td></tr><tr><td>A0.01</td><td>ARCHITECTURAL GENERAL NOTES AND DIAGRAMS</td></tr><tr><td>A0.10</td><td>ACCESSIBILITY DIAGRAMS - RESIDENTIAL</td></tr><tr><td>A0.20</td><td>ASSEMBLIES</td></tr><tr><td>A1.01</td><td>SITE PLAN</td></tr><tr><td>A2.11</td><td>FLOOR PLAN - LEVEL 1 & 2</td></tr><tr><td>A2.12</td><td>FLOOR PLAN - LEVEL 3 & ROOF PLAN</td></tr><tr><td>A2.31</td><td>REFLECTED CEILING PLAN - LEVEL 1 & 2</td></tr><tr><td>A2.32</td><td>REFLECTED CEILING PLAN - LEVEL 3</td></tr><tr><td>A3.01</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A3.02</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A4.01</td><td>BUILDING SECTIONS</td></tr><tr><td>A5.01</td><td>WALL SECTIONS</td></tr><tr><td>A6.01</td><td>ENLARGED UNIT PLANS</td></tr><tr><td>A6.02</td><td>ENLARGED UNIT PLANS</td></tr><tr><td>A6.03</td><td>ENLARGED UNIT PLANS</td></tr><tr><td>A6.04</td><td>KITCHEN & BATH ELEVATIONS</td></tr><tr><td>A7.01</td><td>EXTERIOR DETAILS</td></tr><tr><td>A7.01XX</td><td>FOUNDATION DETAILS</td></tr><tr><td>A7.02</td><td>CLADDING DETAILS</td></tr><tr><td>A7.03</td><td>WINDOW SEQUENCING & PENETRATION DETAILS</td></tr><tr><td>A7.04</td><td>WINDOW DETAILS</td></tr><tr><td>A7.04A</td><td>DOOR DETAILS</td></tr><tr><td>A7.05</td><td>MATERIAL TRANSITIONS</td></tr><tr><td>A7.06</td><td>ROOF DETAILS</td></tr><tr><td>A9.01</td><td>INTERIOR FIRE RATING DETAILS</td></tr><tr><td>A10.01</td><td>DOOR SCHEDULE AND DOOR & WINDOW TYPES</td></tr><tr><td>A10.21</td><td>FINISH SCHEDULE AND LEGEND</td></tr><tr><td colspan="2">STRUCTURAL</td></tr><tr><td>S0.01</td><td>GENERAL STRUCTURAL NOTES AND SPECIAL INSPECTIONS</td></tr><tr><td>S1.01</td><td>TYPICAL DETAILS</td></tr><tr><td>S1.02</td><td>TYPICAL DETAILS</td></tr><tr><td>S1.03</td><td>TYPICAL DETAILS</td></tr><tr><td>S1.04</td><td>SHEET NOTES AND SCHEDULES</td></tr><tr><td>S2.01a</td><td>FOUNDATION PLAN - SECTOR A</td></tr><tr><td>S2.01b</td><td>FOUNDATION PLAN - SECTOR B</td></tr><tr><td>S2.02a</td><td>SECOND FLOOR FRAMING PLAN - SECTOR A</td></tr><tr><td>S2.02b</td><td>SECOND FLOOR FRAMING PLAN - SECTOR B</td></tr><tr><td>S2.03a</td><td>THIRD FLOOR FRAMING PLAN - SECTOR A</td></tr><tr><td>S2.03b</td><td>THIRD FOOR FRAMING PLAN - SECTOR B</td></tr><tr><td>S2.04a</td><td>ROOF FRAMING PLAN - SECTOR A</td></tr><tr><td>S2.04b</td><td>ROOF FRAMING PLAN - SECTOR B</td></tr><tr><td>S4.01</td><td>FOUNDATION DETAILS</td></tr><tr><td>S5.01</td><td>FRAMING DETAILS</td></tr><tr><td>S5.02</td><td>FRAMING DETAILS</td></tr></table> | SHEET # | SHEET NAME | GENERAL | | G0.01 | GENERAL PROJECT INFORMATION | G1.01 | CODE SUMMARY | ARCHITECTURAL | | A0.01 | ARCHITECTURAL GENERAL NOTES AND DIAGRAMS | A0.10 | ACCESSIBILITY DIAGRAMS - RESIDENTIAL | A0.20 | ASSEMBLIES | A1.01 | SITE PLAN | A2.11 | FLOOR PLAN - LEVEL 1 & 2 | A2.12 | FLOOR PLAN - LEVEL 3 & ROOF PLAN | A2.31 | REFLECTED CEILING PLAN - LEVEL 1 & 2 | A2.32 | REFLECTED CEILING PLAN - LEVEL 3 | A3.01 | EXTERIOR ELEVATIONS | A3.02 | EXTERIOR ELEVATIONS | A4.01 | BUILDING SECTIONS | A5.01 | WALL SECTIONS | A6.01 | ENLARGED UNIT PLANS | A6.02 | ENLARGED UNIT PLANS | A6.03 | ENLARGED UNIT PLANS | A6.04 | KITCHEN & BATH ELEVATIONS | A7.01 | EXTERIOR DETAILS | A7.01XX | FOUNDATION DETAILS | A7.02 | CLADDING DETAILS | A7.03 | WINDOW SEQUENCING & PENETRATION DETAILS | A7.04 | WINDOW DETAILS | A7.04A | DOOR DETAILS | A7.05 | MATERIAL TRANSITIONS | A7.06 | ROOF DETAILS | A9.01 | INTERIOR FIRE RATING DETAILS | A10.01 | DOOR SCHEDULE AND DOOR & WINDOW TYPES | A10.21 | FINISH SCHEDULE AND LEGEND | STRUCTURAL | | S0.01 | GENERAL STRUCTURAL NOTES AND SPECIAL INSPECTIONS | S1.01 | TYPICAL DETAILS | S1.02 | TYPICAL DETAILS | S1.03 | TYPICAL DETAILS | S1.04 | SHEET NOTES AND SCHEDULES | S2.01a | FOUNDATION PLAN - SECTOR A | S2.01b | FOUNDATION PLAN - SECTOR B | S2.02a | SECOND FLOOR FRAMING PLAN - SECTOR A | S2.02b | SECOND FLOOR FRAMING PLAN - SECTOR B | S2.03a | THIRD FLOOR FRAMING PLAN - SECTOR A | S2.03b | THIRD FOOR FRAMING PLAN - SECTOR B | S2.04a | ROOF FRAMING PLAN - SECTOR A | S2.04b | ROOF FRAMING PLAN - SECTOR B | S4.01 | FOUNDATION DETAILS | S5.01 | FRAMING DETAILS | S5.02 | FRAMING DETAILS |
| SHEET # | SHEET NAME | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GENERAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| G0.01 | GENERAL PROJECT INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| G1.01 | CODE SUMMARY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ARCHITECTURAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| A7.04A | DOOR DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A7.05 | MATERIAL TRANSITIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A7.06 | ROOF DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A9.01 | INTERIOR FIRE RATING DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A10.01 | DOOR SCHEDULE AND DOOR & WINDOW TYPES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A10.21 | FINISH SCHEDULE AND LEGEND | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STRUCTURAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S0.01 | GENERAL STRUCTURAL NOTES AND SPECIAL INSPECTIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S1.01 | TYPICAL DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S1.02 | TYPICAL DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S1.03 | TYPICAL DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S1.04 | SHEET NOTES AND SCHEDULES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.01a | FOUNDATION PLAN - SECTOR A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.01b | FOUNDATION PLAN - SECTOR B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.02a | SECOND FLOOR FRAMING PLAN - SECTOR A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.02b | SECOND FLOOR FRAMING PLAN - SECTOR B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.03a | THIRD FLOOR FRAMING PLAN - SECTOR A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.03b | THIRD FOOR FRAMING PLAN - SECTOR B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.04a | ROOF FRAMING PLAN - SECTOR A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2.04b | ROOF FRAMING PLAN - SECTOR B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S4.01 | FOUNDATION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5.01 | FRAMING DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5.02 | FRAMING DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>VICINITY MAP</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

S|E|A

SCOTT|EDWARDS ARCHITECTURE LLP.

2525 E Burnside Street, Portland, OR 97214

phone: (503) 226-3617 www.seellp.com

NOT FOR CONSTRUCTION

CDP SALEM - BUILDING B

Job Number: 21031

5205 BATTLE CREEK RD SE SALEM, OR 97306

C
D
P

Community Development Partners

LAND USE SUBMISSION ISSUE03.11.2022DATE

Drawing:

GENERAL PROJECT INFORMATION

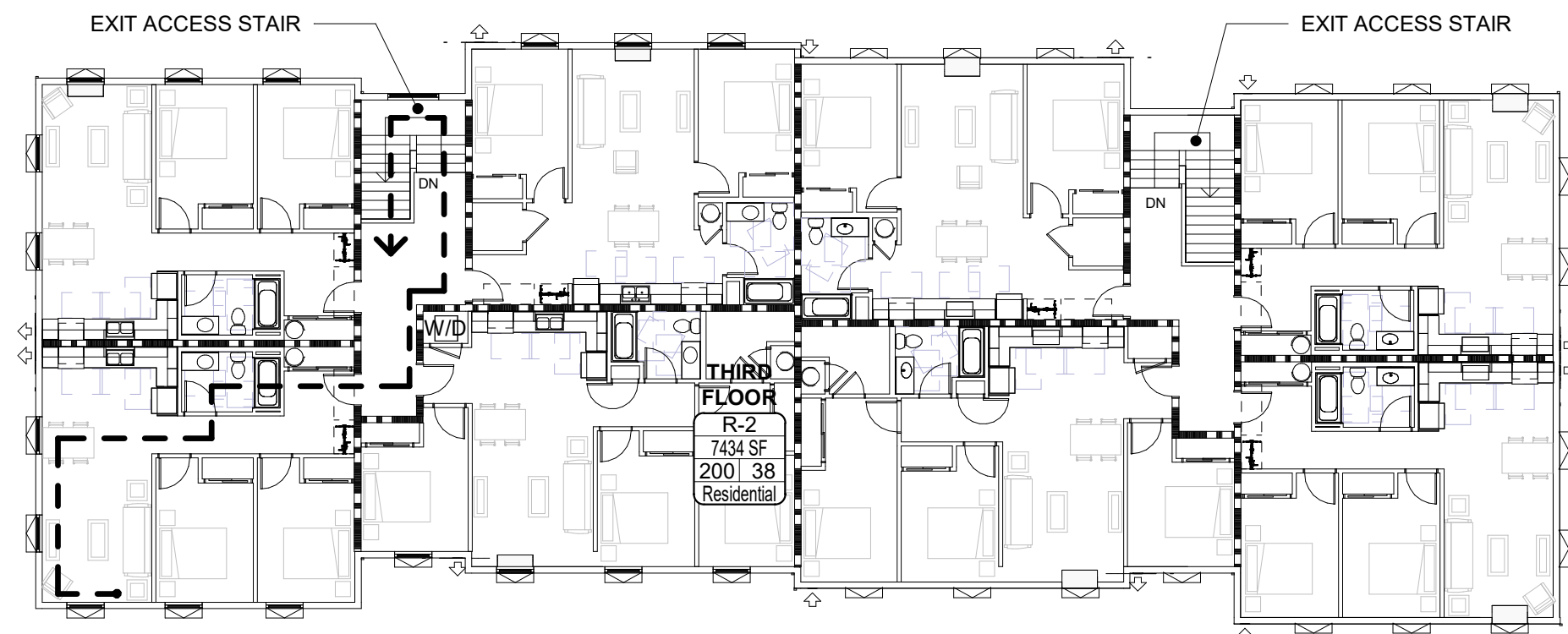
Sheet No: Building B -

G0.01

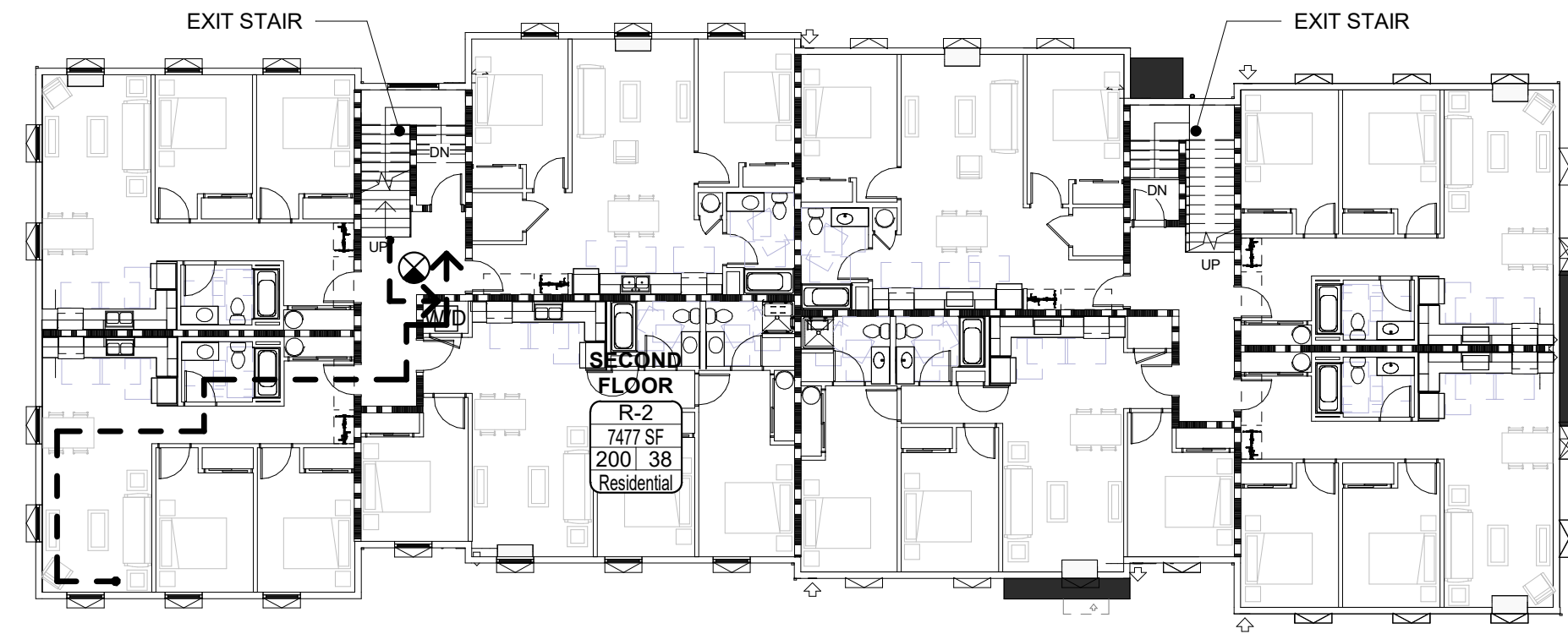
| BUILDING CODE SUMMARY | | 2019 OREGON STRUCTURAL SPECIALTY CODE | | | | | | | | | | | | | |
|---|---|--|--|---------------|--|-------------|-----------|-----------|---------|-----------|---------|-----------|---------|--|----------|
| OCCUPANCY | R-2 | | | | | | | | | | | | | | |
| CONSTRUCTION TYPE | V-B, SPRINKLERED PER NFPA 13-R | | | | | | | | | | | | | | |
| CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE | | | | | | | | | | | | | | | |
| OSSC REFERENCE | | | | | | | | | | | | | | | |
| SECTION 420.2 | SEPARATION WALLS | WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 706. | | | | | | | | | | | | | |
| SECTION 420.3 | HORIZONTAL SEPARATION | FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711. | | | | | | | | | | | | | |
| SECTION 420.4 | SPRINKLER SYSTEM | GROUP R OCCUPANCIES, REQUIRED PER 903.2.8 | | | | | | | | | | | | | |
| SECTION 420.5 | FIRE & SMOKE ALARMS | GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2 | | | | | | | | | | | | | |
| CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS | | | | | | | | | | | | | | | |
| TABLE 504.3 TABLE 504.4 TABLE 506.2 | HEIGHT / STORIES / AREA FACTOR | R-2: 60 FT / 3 STORY / 7000 SF | | | | | | | | | | | | | |
| MODIFICATIONS | | | | | | | | | | | | | | | |
| SECTION 506.2.3 EQUATION 5-2 | BUILDING AREA SINGLE-OCCUPANCY MULTISTORY BUILDINGS | Aa = [At + (Ns x If)] x Sa = [7000 SF + (7000 SF x 0.75)] x 3 = 12250 SF x 3 = 36750 SF | | | | | | | | | | | | | |
| SECTION 506.3 | FRONTAGE INCREASE | If = [F/P - 0.25] x W/30 If = [414/414 - 0.25] x 30/30 = 0.75 | | | | | | | | | | | | | |
| | ACTUAL HEIGHT / STORIES | 37' - 2" / 3 Story | | | | | | | | | | | | | |
| <table><tr><th colspan="2">BUILDING AREA</th></tr><tr><th>FLOOR LEVEL</th><th>AREA (SF)</th></tr><tr><td>LEVEL 1.1</td><td>7719 SF</td></tr><tr><td>LEVEL 3.1</td><td>7719 SF</td></tr><tr><td>LEVEL 2.1</td><td>7719 SF</td></tr><tr><td></td><td>23157 SF</td></tr></table> | | | | BUILDING AREA | | FLOOR LEVEL | AREA (SF) | LEVEL 1.1 | 7719 SF | LEVEL 3.1 | 7719 SF | LEVEL 2.1 | 7719 SF | | 23157 SF |
| BUILDING AREA | | | | | | | | | | | | | | | |
| FLOOR LEVEL | AREA (SF) | | | | | | | | | | | | | | |
| LEVEL 1.1 | 7719 SF | | | | | | | | | | | | | | |
| LEVEL 3.1 | 7719 SF | | | | | | | | | | | | | | |
| LEVEL 2.1 | 7719 SF | | | | | | | | | | | | | | |
| | 23157 SF | | | | | | | | | | | | | | |
| SECTION 508.2 | ACCESSORY OCCUPANCY | N/A | | | | | | | | | | | | | |
| SECTION 508.3 / 508.4 | MIXED OCCUPANCY | N/A | | | | | | | | | | | | | |
| TABLE 509 | INCIDENTAL USES LAUNDRY ROOMS OVER 100 SF TRASH ROOMS OVER 100 SF | SPRINKLERED, NO SEPARATION REQUIRED SPRINKLERED, NO SEPARATION REQUIRED | | | | | | | | | | | | | |
| CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION | | | | | | | | | | | | | | | |
| TABLE 601 | FIRE RESISTANCE RATING REQUIRMENTS FOR BUILDING ELEMENTS | | | | | | | | | | | | | | |
| | BUILDING ELEMENT | FIRE RATING * | | | | | | | | | | | | | |
| | PRIMARY STRUCTURAL FRAME | 0 HOUR | | | | | | | | | | | | | |
| | BEARING WALLS | 0 HOUR | | | | | | | | | | | | | |
| | EXTERIOR | 0 HOUR | | | | | | | | | | | | | |
| | INTERIOR | 0 HOUR | | | | | | | | | | | | | |
| | NON BEARING WALLS AND PARTITIONS - EXTERIOR | PER TABLE 602 | | | | | | | | | | | | | |
| | NON BEARING WALLS AND PARTITIONS - INTERIOR | 0 HOUR | | | | | | | | | | | | | |
| | FLOOR CONSTRUCTION AND SECONDARY MEMBERS | 0 HOUR | | | | | | | | | | | | | |
| | ROOF CONSTRUCTION AND SECONDARY MEMBERS | 0 HOUR | | | | | | | | | | | | | |
| | * UNLESS OTHERWISE REQUIRED BY THIS CODE | | | | | | | | | | | | | | |
| TABLE 602 | FIRE RESISTANCE RATING REQUIRMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE | | | | | | | | | | | | | | |
| | FIRE SEPARATION DISTANCE | FIRE RATING | | | | | | | | | | | | | |
| | X < 5' | 1 HOUR | | | | | | | | | | | | | |
| | 5' <= X < 10' | 1 HOUR | | | | | | | | | | | | | |
| | 10' <= X < 30' | 0 HOUR | | | | | | | | | | | | | |
| | X >= 30' | 0 HOUR | | | | | | | | | | | | | |
| CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES | | | | | | | | | | | | | | | |
| TABLE 705.2 | MINIMUM DISTANCE OF PROJECTION | 40 INCHES | | | | | | | | | | | | | |
| TABLE 705.8 | MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION | | | | | | | | | | | | | | |
| | UNPROTECTED, NON-SPRINKLERED | PROTECTED | | | | | | | | | | | | | |
| | 0 TO LESS THAN 3' | NOT PERMITTED | | | | | | | | | | | | | |
| | 3 TO LESS THAN 5' | NOT PERMITTED | | | | | | | | | | | | | |
| | 5 TO LESS THAN 10' | 15% | | | | | | | | | | | | | |
| | 10 TO LESS THAN 15' | 25% | | | | | | | | | | | | | |
| | 15 TO LESS THAN 20' | 45% | | | | | | | | | | | | | |
| | 20 TO LESS THAN 25' | 75% | | | | | | | | | | | | | |
| | 25 TO LESS THAN 30' | NO LIMIT | | | | | | | | | | | | | |
| | 30' OR GREATER | NO LIMIT | | | | | | | | | | | | | |
| 705.8.1 | ALLOWABLE AREA OF OPENINGS | EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS. | | | | | | | | | | | | | |
| 705.11 | PARAPETS | EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE. | | | | | | | | | | | | | |
| TABLE 706.4 | FIRE WALL FIRE RESISTANCE | N/A | | | | | | | | | | | | | |
| TABLE 707.3.10 | FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS | 1 HOUR, INTERIOR EXIT STAIR LESS THAN 4 STORIES | | | | | | | | | | | | | |
| SECTION 708 | FIRE PARTITIONS | 1 HOUR 1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1 | | | | | | | | | | | | | |
| SECTION 709 | SMOKE BARRIERS | NOT REQUIRED | | | | | | | | | | | | | |
| SECTION 711 | FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3 | | | | | | | | | | | | | | |
| 711.2.4.1 | SEPARATING MIXED OCCUPANCIES | N/A | | | | | | | | | | | | | |
| 711.2.4.2 | SEPARATING FIRE AREAS | N/A | | | | | | | | | | | | | |
| 711.2.4.3 | DWELLING / SLEEPING UNITS | 1 HOUR | | | | | | | | | | | | | |
| 711.2.4.4 | SEPARATING SMOKE COMPARTMENTS | N/A | | | | | | | | | | | | | |
| 711.2.4.5 | SEPARATING INCIDENTAL USES | PER TABLE 509 | | | | | | | | | | | | | |
| 711.2.4.6 | OTHER SEPARATIONS | N/A | | | | | | | | | | | | | |
| SECTION 713 | SHAFT ENCLOSURES | NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE | | | | | | | | | | | | | |
| CHAPTER 8: INTERIOR FINISHES | | | | | | | | | | | | | | | |
| TABLE 803.13 | INTERIOR WALL AND CEILING FNIISH REQUIREMENTS (FLAME SPREAD RATING) | | | | | | | | | | | | | | |
| | INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS | C | | | | | | | | | | | | | |
| | CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS | C | | | | | | | | | | | | | |
| | ROOMS AND ENCLOSED SPACES | C | | | | | | | | | | | | | |
| CHAPTER 9: FIRE PROTECTION SYSTEMS | | | | | | | | | | | | | | | |
| SPRINKLERED PER NFPA 13R | | | | | | | | | | | | | | | |

| CHAPTER 10: MEANS OF EGRESS | | | | |
|--|---|---|----------------------|---------------|
| SECTION 1004 | OCCUPANT LOAD (OL) | SEE OCCUPANT LOAD TABLE | | |
| SECTION 1005.3.1 | STAIRWAY EGRESS CAPACITY FACTOR | 0.3 | | |
| SECTION 1005.3.2 | OTHER EGRESS CAPACITY FACTOR | 0.2 | | |
| TABLE 1006.2.1 | MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL | 20 OCCUPANTS 125 FT | | |
| TABLE 1006.3.2 | MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY | 500 2 | | |
| TABLE 1006.3.3(1) | STORIES WITH ONE EXIT FOR R-2 | 4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030 REQUIRED FOR STORIES WITH ONE EXIT | | |
| TABLE 1017.2 | EXIT ACCESS TRAVEL DISTANCE | 250 FT | | |
| TABLE 1020.1 | CORRIDOR FIRE-RESISTANCE RATING | 0.5 HR | | |
| TABLE 1020.2 | MINIMUM CORRIDOR WIDTH | 44 INCHES + 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50 | | |
| SECTION 1020.4 | DEAD ENDS | 20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH | | |
| CHAPTER 11: ACCESSIBILITY | | | | |
| SECTION 1106.2 | R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE | | | |
| | TOTAL SPACES PROVIDED: | 167 | | |
| | ACCESSIBLE SPACES REQUIRED: | 167 x 2% = 4 | | |
| | ACCESSIBLE SPACES PROVIDED: | 6 | | |
| | VAN ACCESSIBLE SPACES REQUIRED : | 1 PER 6 ACCESSIBLE SPACES | | |
| | VAN ACCESSIBLE SPACES PROVIDED: | 1 | | |
| | WHEELCHAIR ONLY SPACES REQUIRED: | 1 PER 101-200 SPACES | | |
| | WHEELCHAIR ONLY SPACES PROVIDED: | 1 | | |
| SECTION 1107.6.2.2.1 | R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS | | | |
| | TYPE A UNITS REQUIRED (TOTAL FOR SITE): | 184 x 2% = 4 UNITS | | |
| | TYPE A UNITS PROVIDED (TOTAL FOR SITE): | 10 UNITS | | |
| | TYPE A UNITS PROVIDED (THIS BUILDING): | 2 UNITS | | |
| SECTION 1107.6.2.2.2 | WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM | | | |
| EXCEPTION: | THE NUMBER OF TYPE A AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1107.7 | | | |
| | 1107.7.1.1, STRUCTURES WITHOUT ELEVATOR SERVICE, ONE STORY WITH TYPE B UNITS REQUIRED | | | |
| ADDITIONAL ACCESSIBILITY REQUIREMENTS | | | | |
| APPLICABLE STANDARDS | | | | |
| ANSI ICC A117.1 - 2009 | | | | |
| 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II | | | | |
| SECTION 504 | | | | |
| FAIR HOUSING ACCESSIBILITY GUIDELINES | | | | |
| FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018 | | | | |
| OHCS CORE DEVELOPMENT MANUAL | | | | |
| ACCESSIBLE UNITS | | | | |
| | 5% OF UNITS WITH MOBILITY FEATURES | 184 x 5% = 10 UNITS | | |
| | 2% OF UNITS WITH COMMUNICATION FEATURES | 184 x 2% = 4 UNITS | | |
| CHAPTER 13: ENERGY EFFICIENCY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) | | | | |
| CLIMATE ZONE 4C | | | | |
| OPAQUE ELEMENTS | | | | |
| | REQUIRED | | PROVIDED | |
| | ASSEMBLY MAX. | MIN. R-VALUE | | |
| ROOFS | | | | |
| INSULATION ENTIRELY ABOVE DECK | N/A | N/A | | |
| METAL BUILDINGS | N/A | N/A | | |
| ATTIC AND OTHER | U-0.021 | R-49 | R-49 | |
| WALLS (ABOVE GRADE) | | | | |
| MASS | U-0.090 | R-11.4 CI | | |
| METAL BUILDINGS | N/A | N/A | | |
| STEEL-FRAMED | N/A | N/A | | |
| WOOD-FRAMED / OTHER | U-0.064 | R-13 + 3.8 CI OR R-20 | R-23 | |
| WALLS (BELOW GRADE) | C-0.092 | R-10 CI | | |
| FLOORS | | | | |
| MASS | N/A | N/A | | |
| STEEL JOIST | N/A | N/A | | |
| WOOD FRAMED / OTHER | U-0.033 | R-30 | R-30 | |
| SLAB-ON-GRADE FLOORS | | | | |
| HEATED | | N/A | | |
| UNHEATED | F-0.520 | R-15 FOR 24" | R-15 FOR 24" | |
| OPAQUE DOORS | | | | |
| SWINGING | U-0.370 | | U-0.370 | |
| NON-SWINGING | N/A | | | |
| FENESTRATION | REQUIRED | | PROVIDED | |
| | MAX U | MAX SHGC | MIN VT/ISHGC | |
| | MAX U | MAX SHGC | MIN VT/ISHGC | |
| VERTICAL (0% - 40% OF WALL ALLOWED) | | | | |
| FIXED | U-0.36 | 0.36 | 1.10 | |
| OPERABLE | U-0.45 | 0.33 | 1.10 | |
| ENTRANCE DOOR | U-0.63 | 0.33 | 1.10 | |
| SKYLIGHT (0% - 3% OF ROOF ALLOWED) | | | | |
| | | | | |
| CI = CONTINUOUS INSULATION FC = FILLED CAVITY NR = NO REQUIREMENT NA = NOT APPLICABLE | | | | |
| CHAPTER 29: PLUMBING FIXTURES | | | | |
| | TOTAL UNITS | | | |
| R-2 | 24 | 1 WC / LAV / Tub or Shower per unit required and provided | | |
| EXIT ACCESS TRAVEL DISTANCE | | | | |
| EGRESS PATH NAME | | EGRESS PATH LENGTH | | |
| FIRST FLOOR | | 54' - 1" | | |
| SECOND FLOOR | | 76' - 6" | | |
| THIRD FLOOR | | 120' - 1" | | |
| LIFE SAFETY OCCUPANT LOAD SCHEDULE | | | | |
| TABLE 1004.1.2 | | | | |
| AREA NAME | AREA (SF) | FUNCTION OF SPACE | OCCUPANT LOAD FACTOR | OCCUPANT LOAD |
| FIRST FLOOR | 7230 SF | Residential | 200 | 37 |
| SECOND FLOOR | 7477 SF | Residential | 200 | 38 |
| THIRD FLOOR | 7434 SF | Residential | 200 | 38 |
| | | | | 113 |

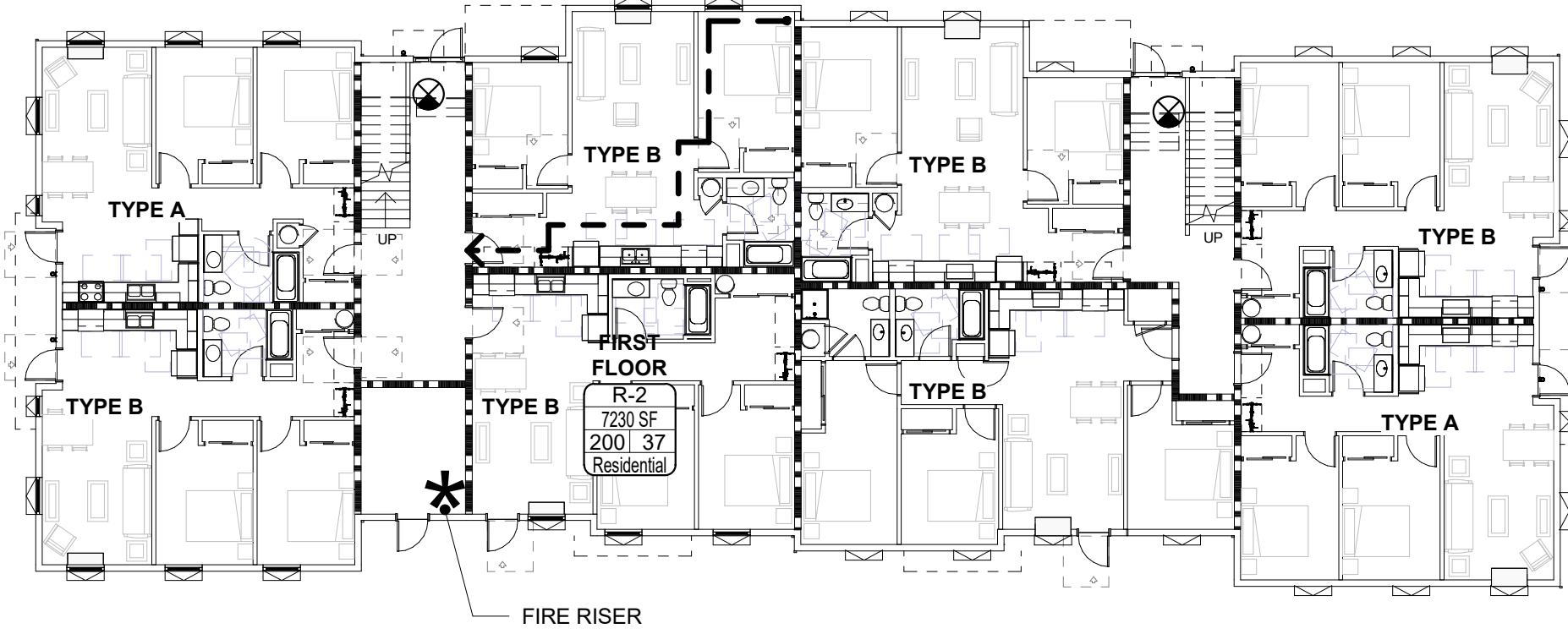
| CODE SUMMARY LEGEND | |
|---|---|
| | 1 HOUR RATED ASSEMBLY |
| | OBJECT ABOVE |
| WALL RATINGS TO CONTINUE ABOVE / BELOW ALL DOORS, RELITES, ETC. | |
| | AREA NAME |
| | NAME |
| | OCCUPANCY (CH. 3) |
| | AREA (SF) |
| | OCCUPANT LOAD FACTOR / NUMBER OF OCCUPANTS |
| | FUNCTION (CH. 10) |
| | UNOCCUPIED AREA, OCCUPANT LOAD NOT INCLUDED IN BUILDING TOTALS |
| | EXIT SIGN |
| | SHADE INDICATES ILLUMINATE FACE, ARROW INDICATES DIRECTION TO EXIT |
| | EXIT ACCESS PATH |
| | EXIT ACCESS DOOR |
| | DOOR RATING (IN MINUTES) |
| | MULTI-PURPOSE FIRE EXTINGUISHER AND CABINET (FEC) OR FIRE EXTINGUISHER (FE) ON BRACKET. VERIFY EXACT LOCATIONS AND QUANTITY WITH FIRE DEPARTMENT. |



3 THIRD FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

FILE PATH: C:\Revit_Local\21031_CDP Salem Gateway_Walk Up Building B_22_acano.rvt

REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009

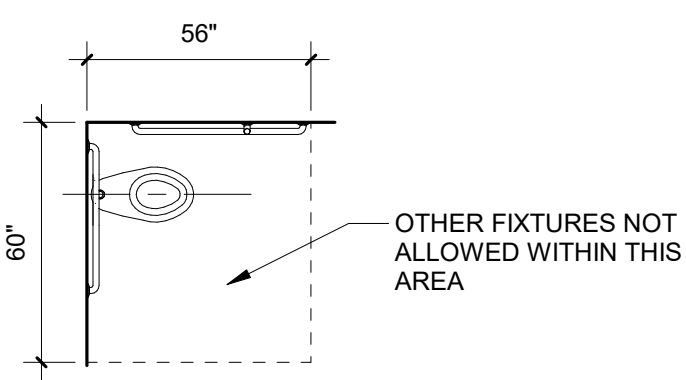
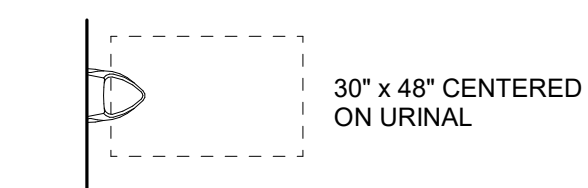
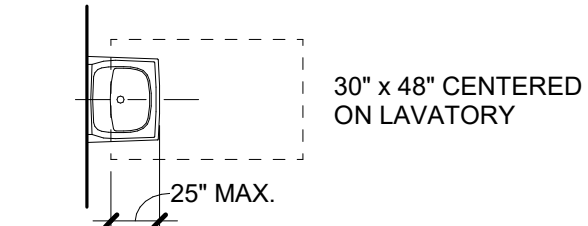


FIG. 604.3 SIZE OF CLEARANCE FOR WATER CLOSET



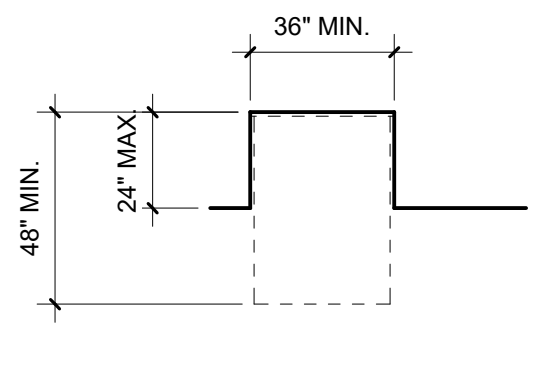
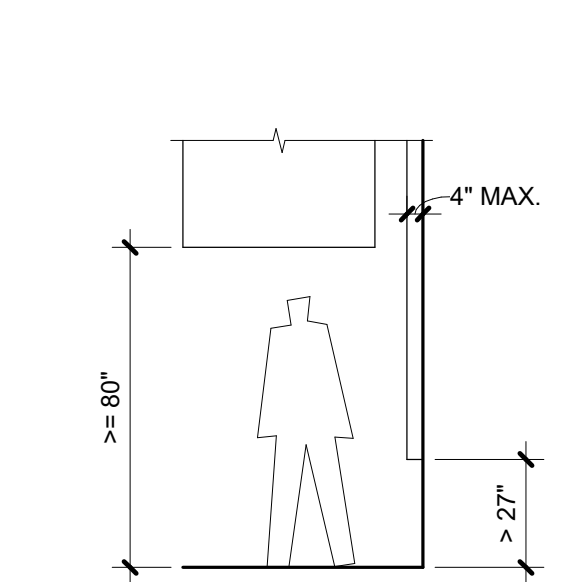
605.3 SIZE OF CLEARANCE FOR URINAL



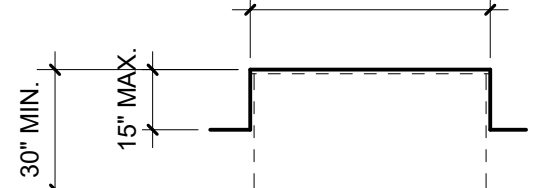
SIZE OF CLEARANCE FOR LAVATORY

PROTRUDING OBJECTS

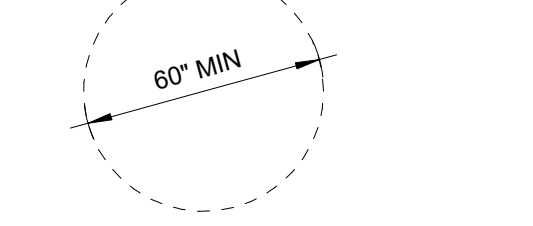
PER ICC A117.1-2009 FIG. 307.2



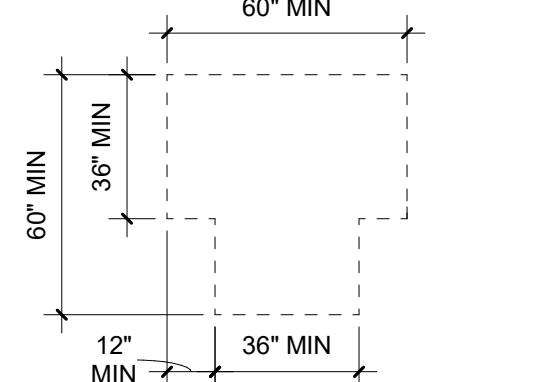
ALCOVE: FORWARD APPROACH



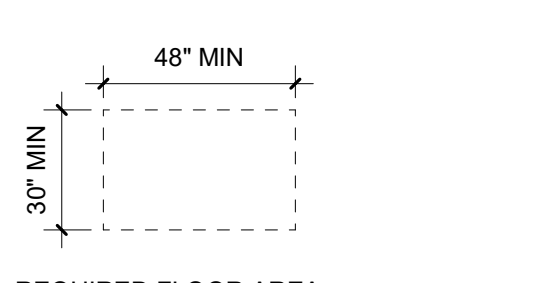
ALCOVE: PARALLEL APPROACH



TURNING SPACE: CIRCULAR

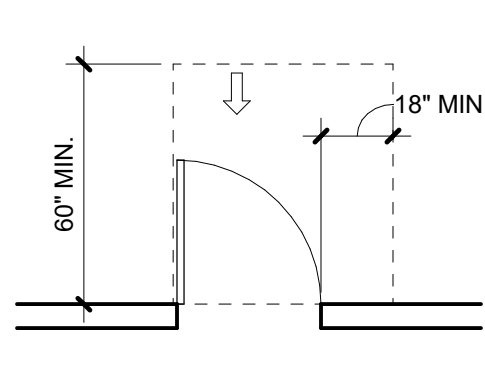


TURNING SPACE: T-SHAPED

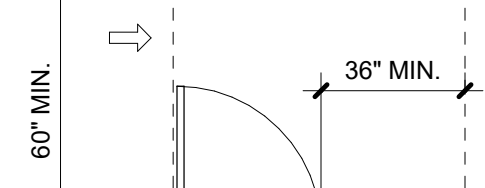


MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

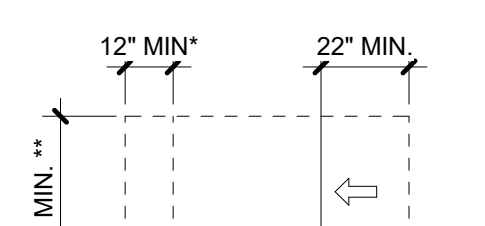
PER ICC A117.1-2009, FIG. 404.2.3.2



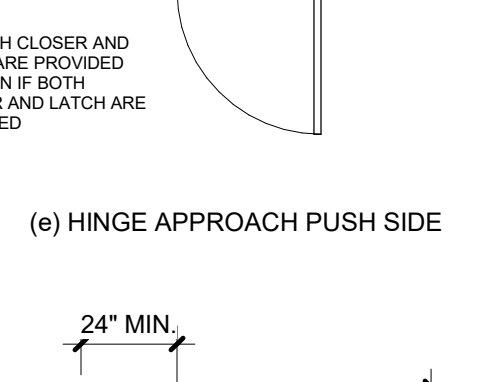
(a) FRONT APPROACH PULL SIDE



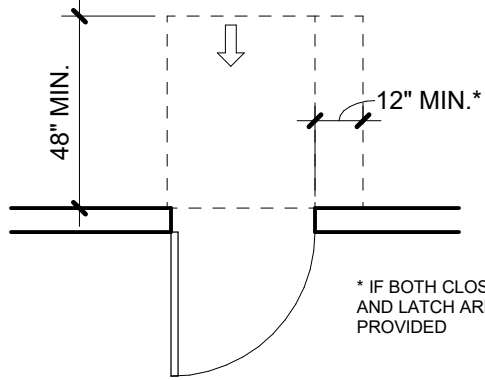
(c) HINGE APPROACH PULL SIDE



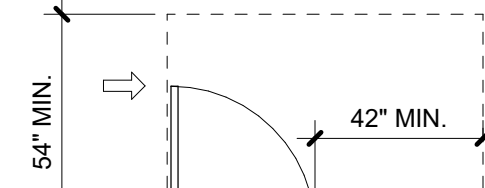
(e) HINGE APPROACH PUSH SIDE



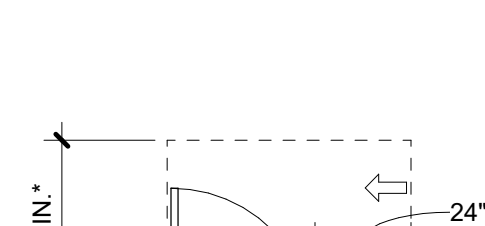
(g) LATCH APPROACH PUSH SIDE



(b) FRONT APPROACH PUSH SIDE



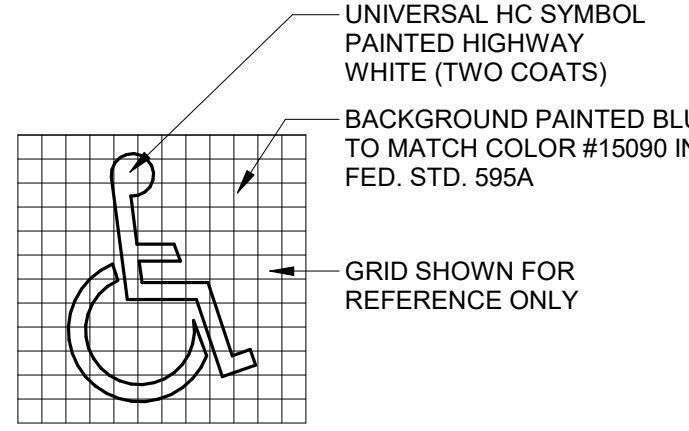
(d) HINGE APPROACH PULL SIDE



(f) LATCH APPROACH PULL SIDE

ACCESSIBILITY NOTES

- A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.
- B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.

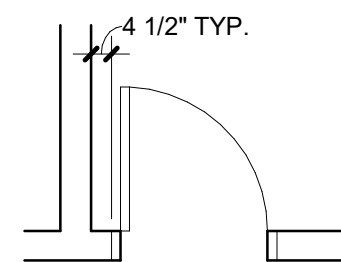


ABBREVIATIONS

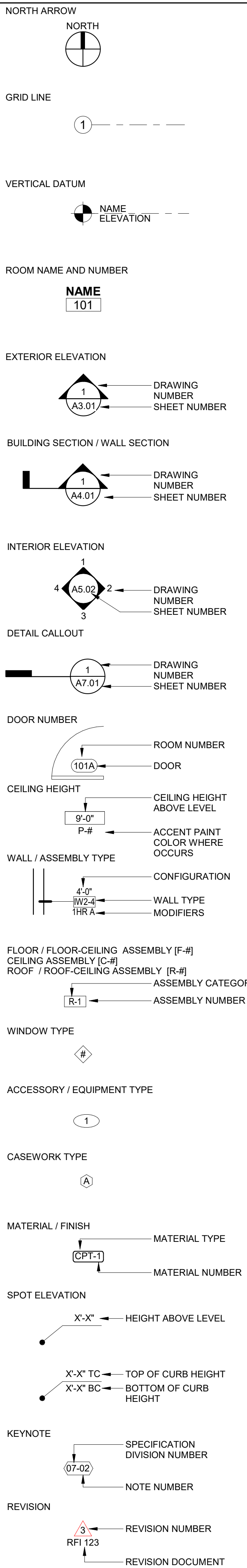
| | | | | | |
|--------|-----------------------------|--------|--------------------------------------|--------|---------------------------|
| # | POUND OR NUMBER | GA | GAUGE | R | RADIUS OR RISER |
| @ | CENTERLINE | GALV | GALVANIZED | RA | RETURN AIR |
| CL | CENTERLINE | GC | GENERAL CONTRACTOR | RB | RESILIENT BASE |
| L | ANGLE | GI | GALVANIZED IRON | RD | ROOF DRAIN |
| e | DIAMETER OR ROUND | GL | GLULAM | REC | RECOMMENDATION |
| AB | ANCHOR BOLT | GND | GROUND | REF | REFERENCE |
| AC | ASPHALTIC CONCRETE | GR | GRADE | REFR | REFRIGERATOR |
| ACT | ACOUSTIC CEILING TILE | GWB | GYP SUM BOARD | REIN | REINFORCE(MENT) |
| AD | AREA DRAIN | GYP | GYP SUM BOARD | REOD | REQUIRED |
| ADJ | ADJUSTABLE | GYP BD | GYP SUM BOARD | RESIL | RESILIENT |
| AFF | ABOVE FINISH FLOOR | | | REV | REVISIONS |
| AFG | ABOVE FINISH GRADE | HB | HOSE BIB | RF | RESILIENT FLOOR |
| ALT | ALTERNATE | HC | HOLLOW CORE | RH | RIGHT HAND |
| ALUM | ALUMINUM | HDR | HEADER | RM | ROOM |
| ANOD | ANODIZED | HDWD | HARDWOOD | RO | ROUGH OPENING |
| APPROX | APPROXIMATE / APPROXIMATELY | HDWR | HARDWARE | ROW | RIGHT OF WAY |
| ARCH | ARCHITECTURAL / ARCHITECT | HM | HOLLOW METAL | RWL | RAIN WATER LEADER |
| ASPH | ASPHALT | HNDOP | HANDICAP | | |
| | | HORIZ | HORIZONTAL | S | SOUTH |
| | | HP | HORSE POWER | SA | SUPPLY AIR |
| | | HPL | HIGH PRESSURE LAMINATE | SAM | SELF ADHERED MEMBRANE |
| | | HR | HOUR | SC | SOLID CORE |
| | | HSS | HOLLOW STRUCTURAL STEEL | SCHED | SCHEDULE |
| | | HT | HEIGHT | SEC | SECTION |
| | | HVAC | HEATING VENTILATING AIR CONDITIONING | SF | SQUARE FOOT |
| | | HW | HOT WATER | SHT | SHEET |
| | | | | SHTHG | SHEATHING |
| | | | | SHWR | SHOWER |
| | | ID | INSIDE DIAMETER | SIM | SIMILAR |
| | | IE | INVERT ELEVATION | SM | SHEET METAL |
| | | IN | INCHES | SP | SOLID PIPE |
| | | INSUL | INSULATION | SPEC | SPECIFICATIONS |
| | | INT | INTERIOR | SPK | SPEAKER |
| | | | | SQ | SQUARE |
| | | JB | JUNCTION BOX | SS | STAINLESS STEEL |
| | | JH | JOIST HANGER | SSK | SERVICE SINK |
| | | JST | JOIST | SSM | SOLID SURFACE MATERIAL |
| | | JT | JOINT | STA | STATION |
| | | | | STD | STANDARD |
| | | KD | KILN DRIED | STL | STEEL |
| | | KIT | KITCHEN | STN | STAIN |
| | | KW | KILOWATT | STR | STRUCTURAL |
| | | | | STRUCT | STRUCTURAL |
| | | LAM | LAMINATED | SUSP | SUSPENDED |
| | | LAV | LAVATORY | SYM | SYMMETRICAL |
| | | LB | LEADER BOX | | |
| | | LH | LEFT HAND | T | TREAD OR TILE |
| | | LKR | LOCKER | T&G | TONGUE AND GROOVE |
| | | LT | LIGHT | TM | TO MATCH |
| | | LTWT | LIGHTWEIGHT | TO | TOP OF CURB |
| | | | | TEL | TELEPHONE |
| | | MAT | MATERIAL | TEMP | TEMPERATURE |
| | | MAX | MAXIMUM | TER | TERRAZZO |
| | | MB | MACHINE BOLT | THK | THICK / THICKNESS |
| | | MC | MEDICINE CABINET | TJ | TOOL JOINT |
| | | MECH | MECHANICAL | TLT | TOILET |
| | | MFR | MANUFACTURER | TO | TOP OF |
| | | MH | MANHOLE | TOC | TOP OF CONCRETE |
| | | MIN | MINIMUM | TOP | TOP OF PARAPET |
| | | MIR | MIRROR | TOS | TOP OF STEEL |
| | | MISC | MISCELLANEOUS | TOSF | TOP OF SUB-FLOOR |
| | | MO | MASONRY OPENING | TOW | TOP OF WALL |
| | | MRGWB | MOISTURE RESISTANT GWB | TP | TUBE STEEL |
| | | MTD | MOUNTED | TS | TELEVISION |
| | | MTL | METAL | TYP | TYPICAL |
| | | MULL | MULLION | | |
| | | (N) | NEW | UL | UNDERWRITER'S LABORATORY |
| | | N | NORTH | UNF | UNFINISHED |
| | | NIC | NOT IN CONCRACT | UNO | UNLESS NOTED OTHERWISE |
| | | NO | NUMBER | UR | URINAL |
| | | NOM | NOMINAL | | |
| | | NTS | NOT TO SCALE | VB | VAPOR BARRIER |
| | | | | VCT | VINYL COMPOSITION TILE |
| | | OBS | OBSCURE | VERT | VERTICAL |
| | | OC | ON CENTER | VFY | VERIFY |
| | | OD | OUTSIDE DIAMETER | VG | VERTICAL GRAIN |
| | | OFCI | OWNER FURNISHED CONTRACTOR INSTALLED | VIF | VERIFY IN FIELD |
| | | OFOW | OWNER FURNISHED OWNER | VP | VENT PIPE |
| | | OPNG | OPENING | VR | VAPOR RETARDER |
| | | OPP | OPPOSITE | W | WEST |
| | | OTS | OPEN TO STRUCTURE | W | WATT |
| | | | | W | WITH |
| | | P | PANTRY | W/O | WITHOUT |
| | | PC | PRECAST | WC | WATER CLOSET |
| | | PIP | POURED IN PLACE | WD | WOOD |
| | | PL | PLATE OR PROPERTY LINE | WDW | WINDOW |
| | | PLAM | PLASTIC LAMINATE | WF | WIDE FLANGE |
| | | PLAS | PLASTIC | WI | WHERE OCCURS |
| | | PLYWD | PLYWOOD | WO | WROUGHT IRON |
| | | PNT | PAINT | WP | WATERPROOF |
| | | PSF | POUNDS PER SQUARE FOOT | WR | WATER RESISTANT |
| | | PSI | POUNDS PER SQUARE INCH | WRB | WEATHER RESISTANT BARRIER |
| | | PT | PRESSURE TREATED | WSC | WAINSCOT |
| | | PTD | PAINTED | WT | WEIGHT |
| | | PVC | POLYVINYL CHLORIDE | WWF | WELDED WIRE FABRIC |
| | | QT | QUARRY TILE | | |

DIMENSIONS

- A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.
- B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.
- C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.
- D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.
- E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.
- F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.



GRAPHIC SYMBOLS



S|E A

SCOTT|EDWARDS ARCHITECTURE LLP.

2525 E Burnside Street, Portland, OR 97214

phone: (503) 226-3617 www.sealp.com

NOT FOR CONSTRUCTION

CDP SALEM - BUILDING B

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306

C
D
P
Community
Development
Partners

LAND USE
SUBMISSION
ISSUE

03.11.2022

DATE

Drawing:

ARCHITECTURAL
GENERAL NOTES
AND DIAGRAMS

Sheet No:
Building B -

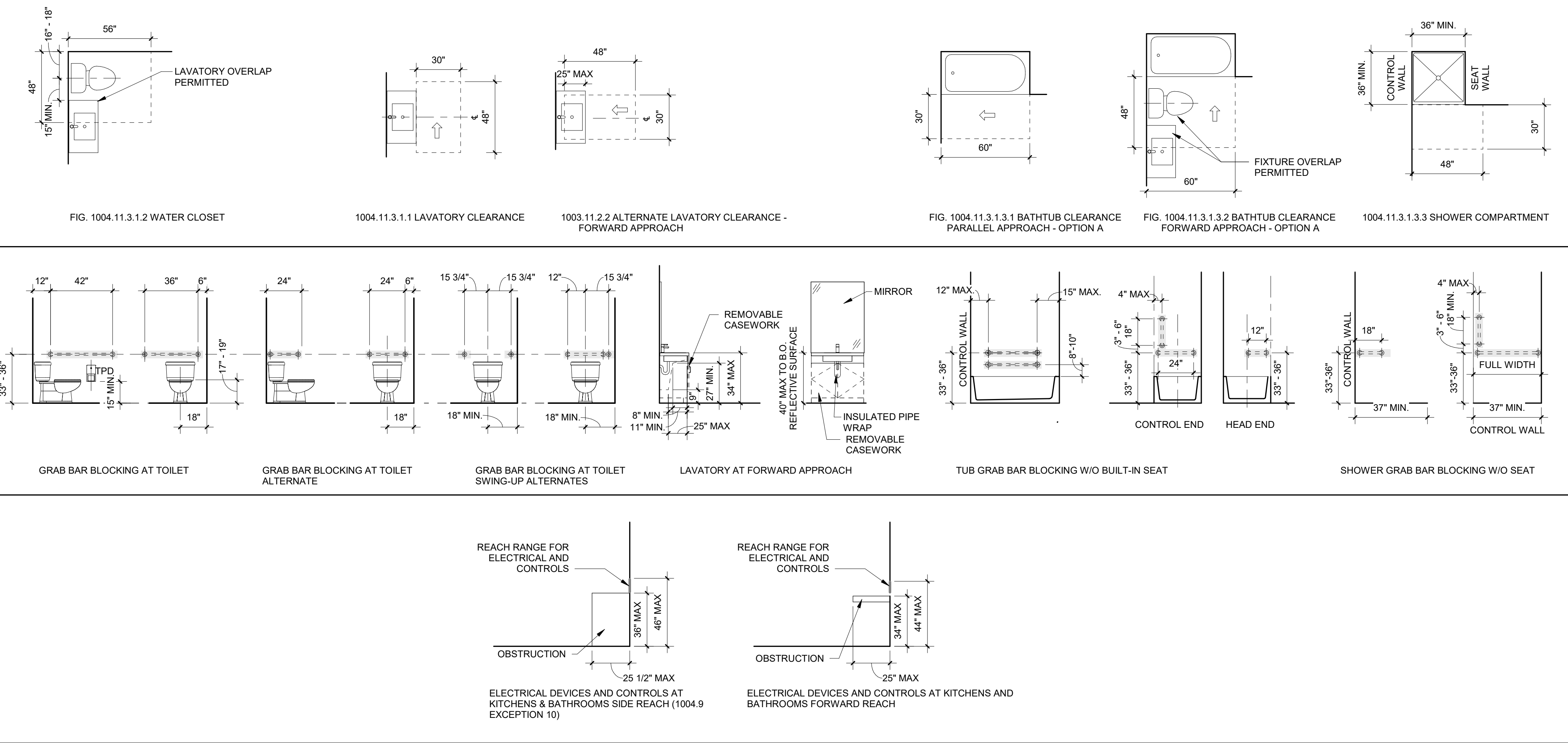
A0.01

PER ICC A117.1-2009 AND FAIR HOUSING ACT DESIGN MANUAL

DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY



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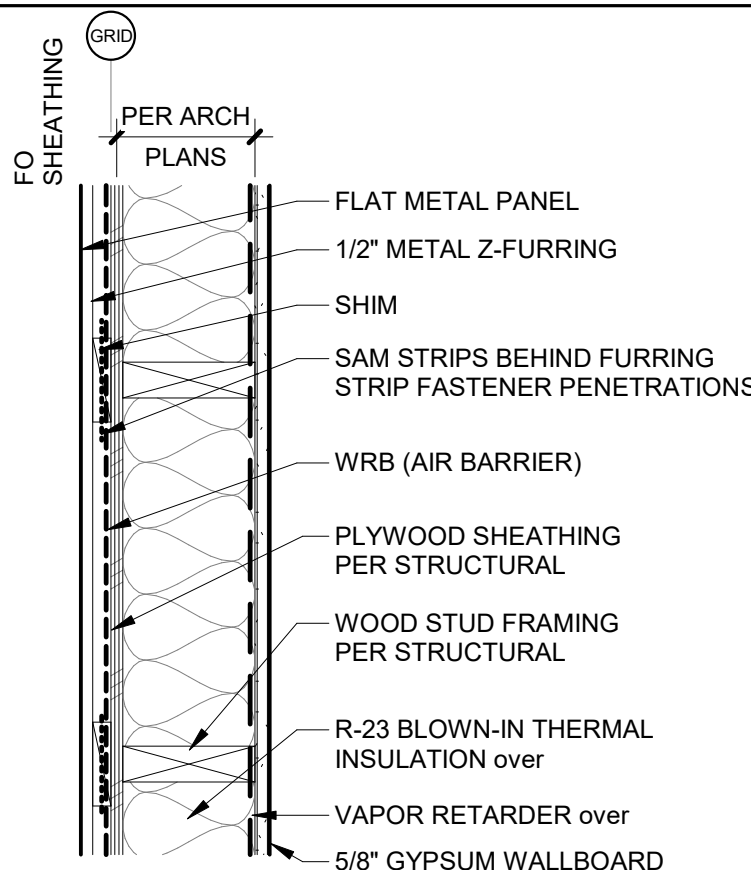
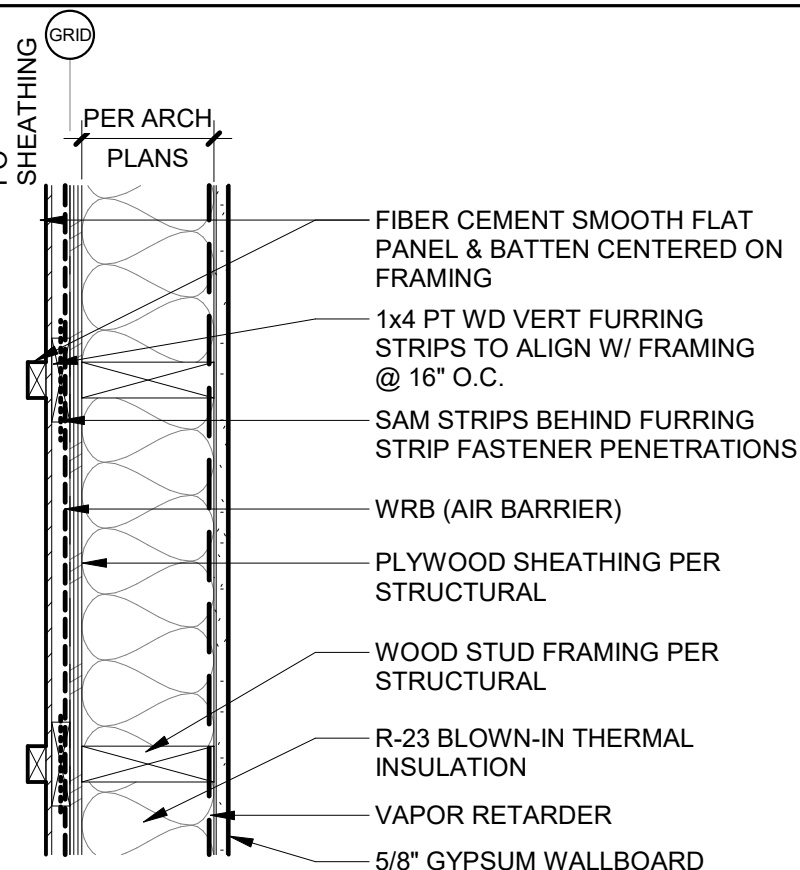
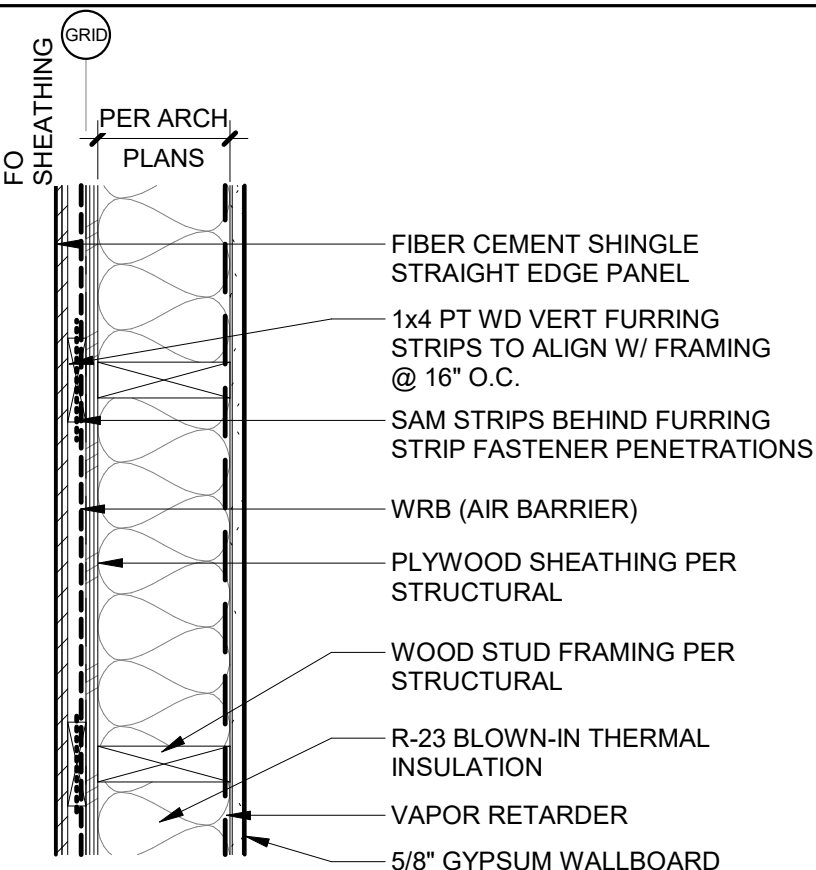
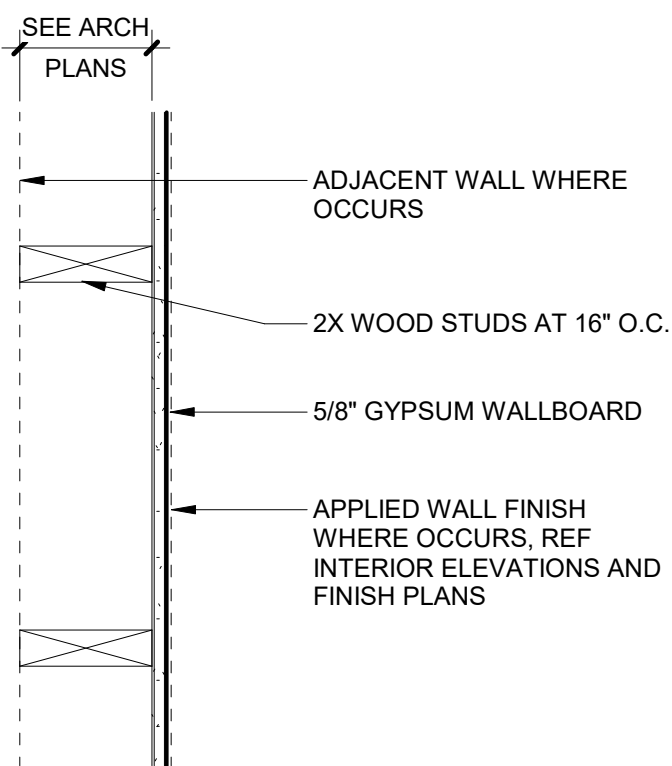
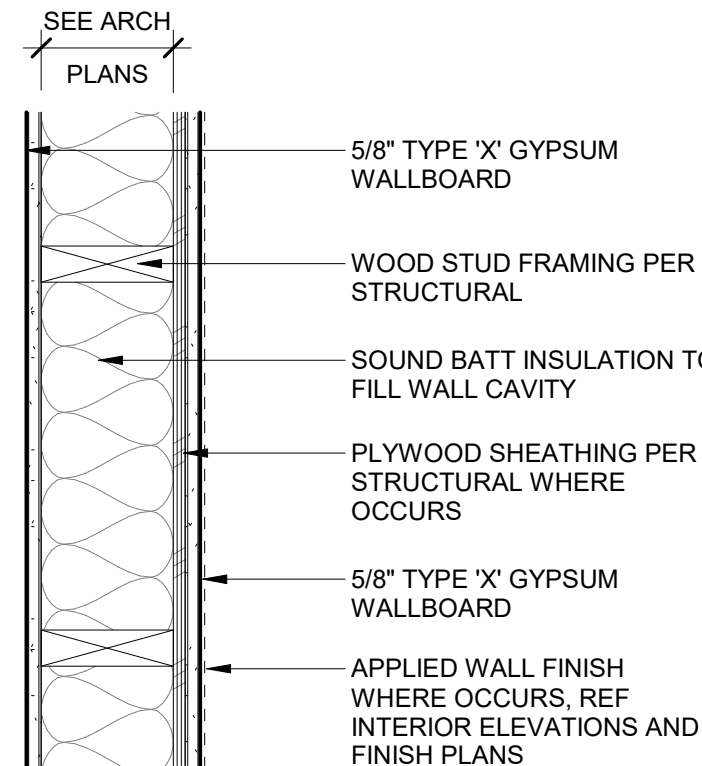
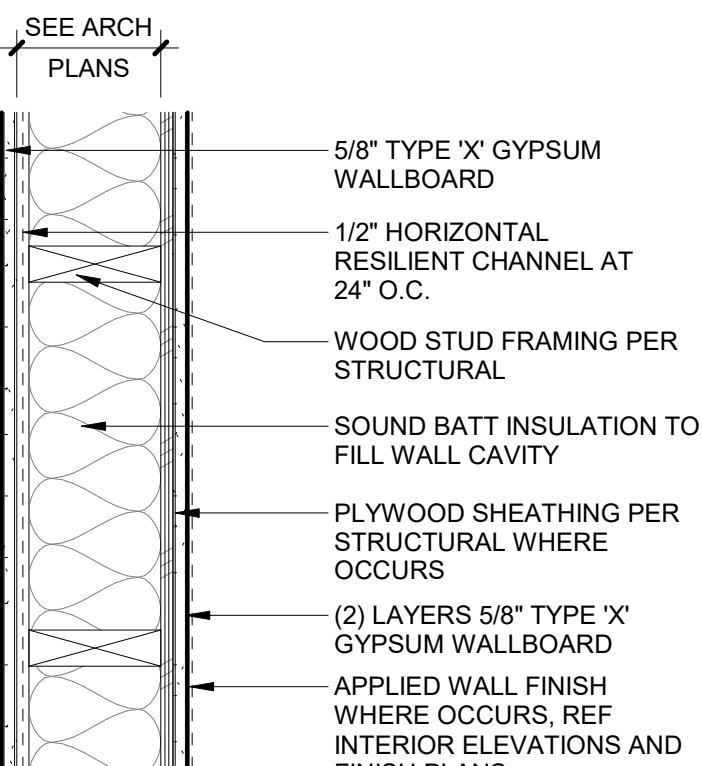
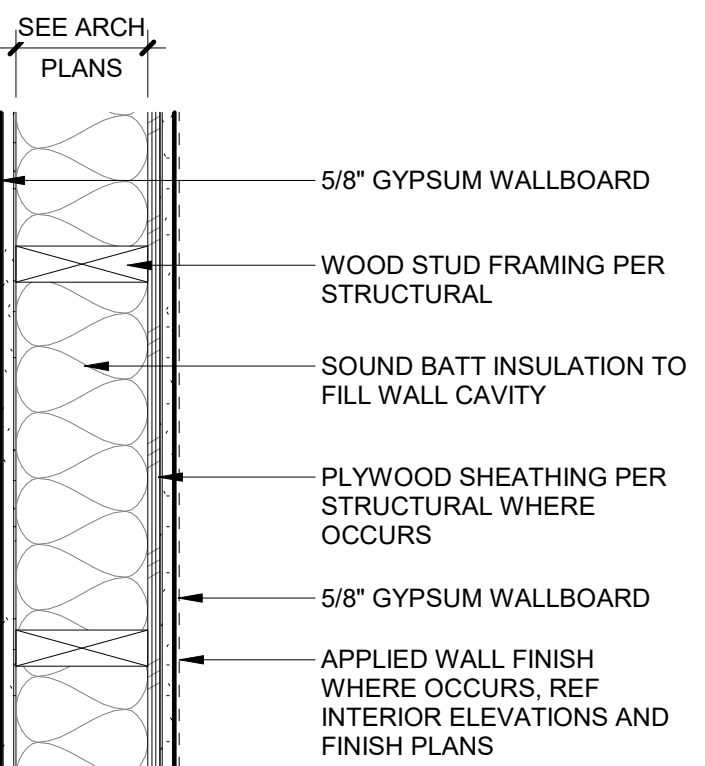
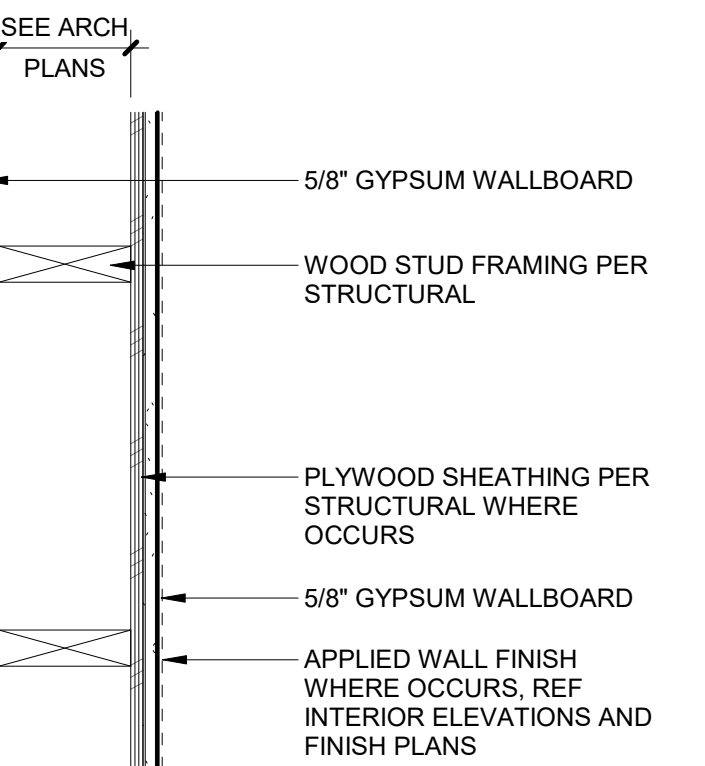
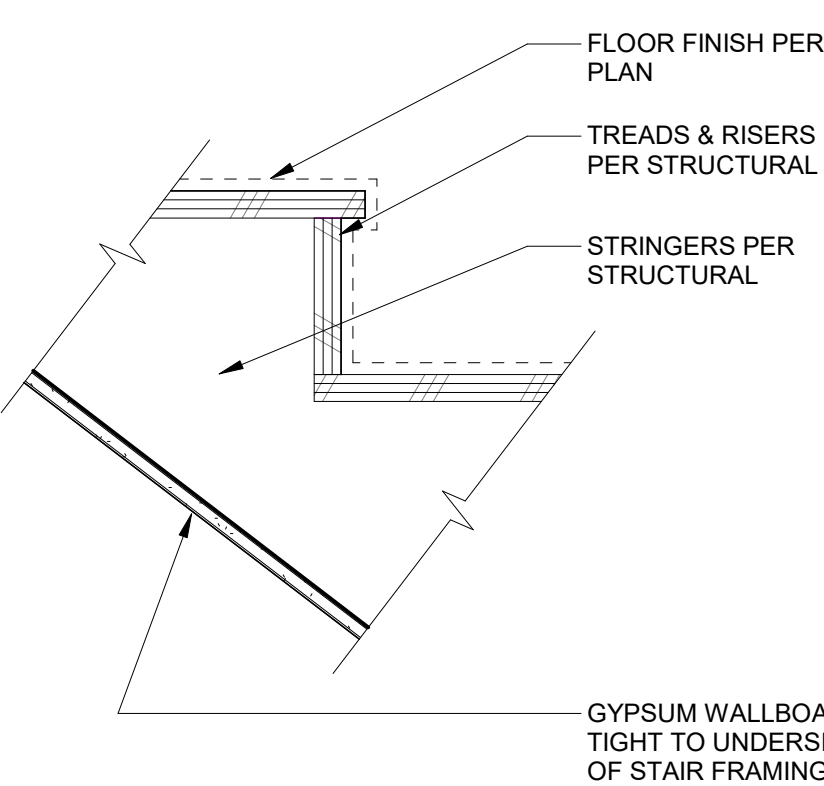
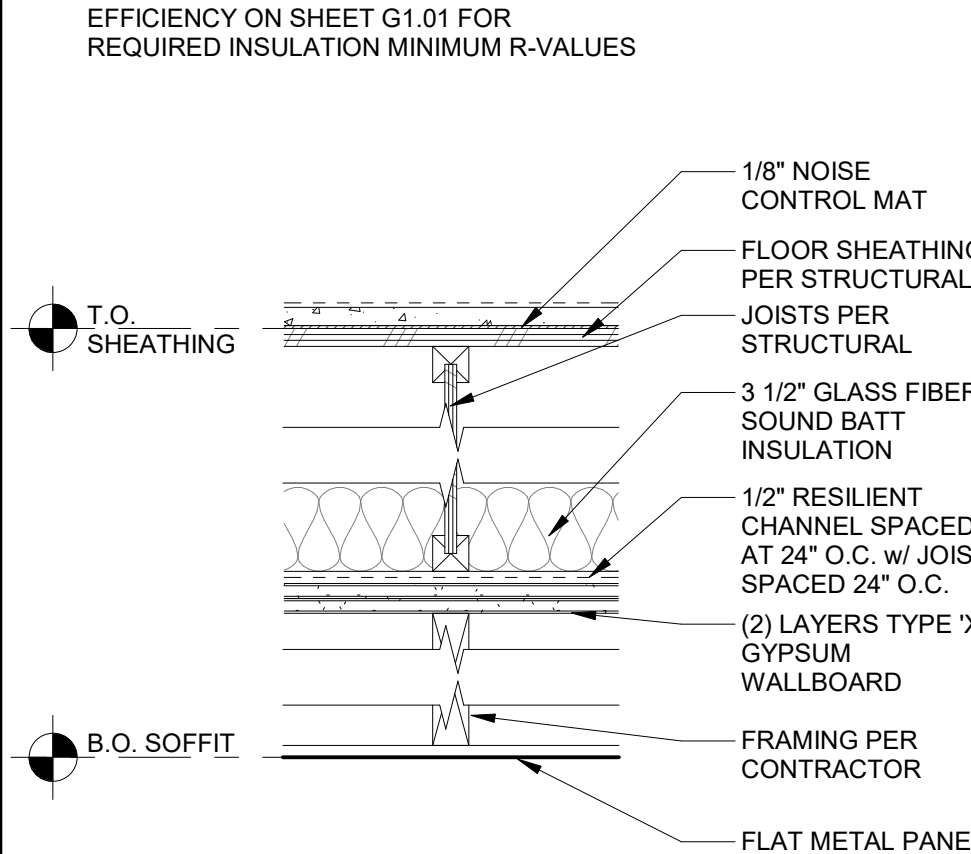
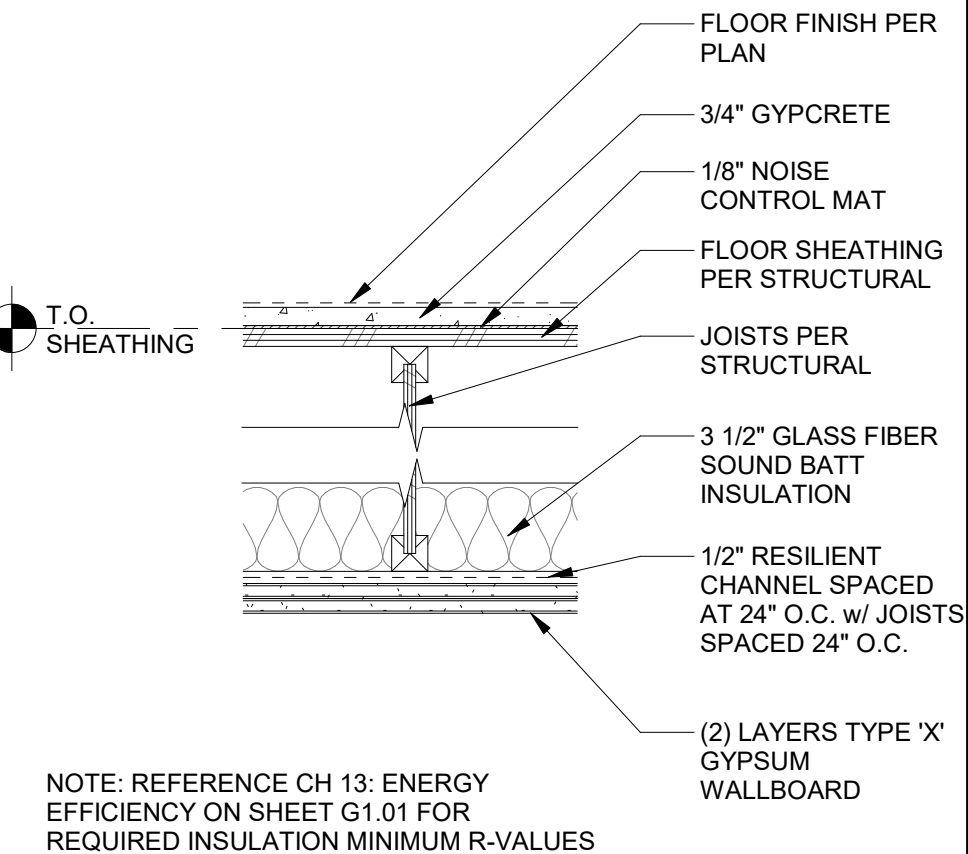
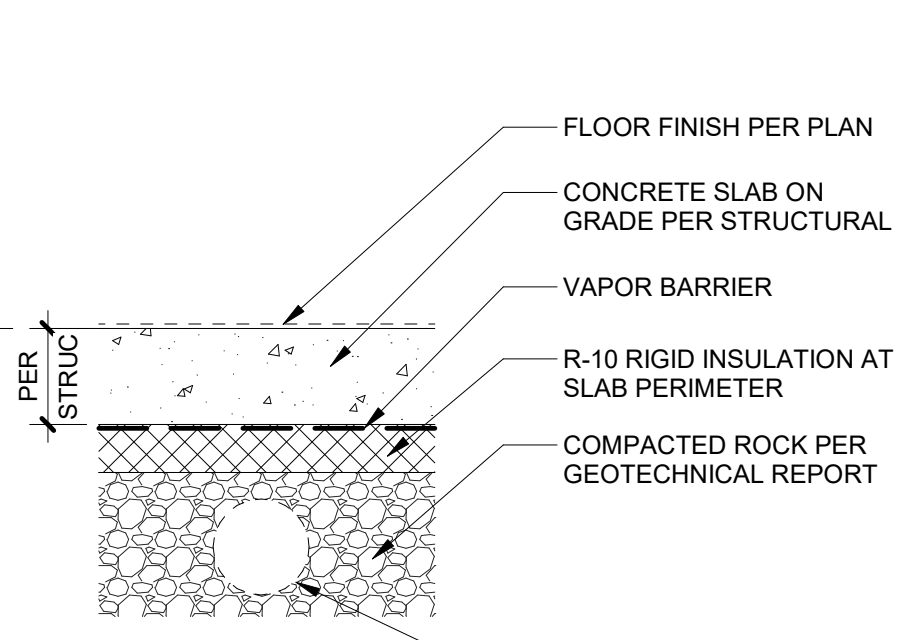
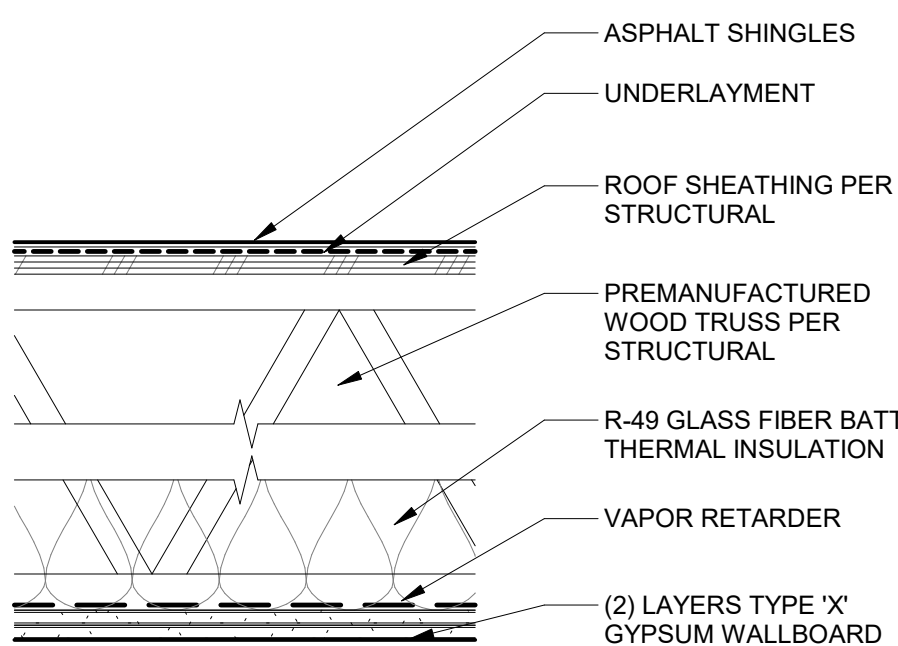
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5205 BATTLE CREEK RD SE
SALEM, OR 97306



Drawing:

ACCESSIBILITY DIAGRAMS - RESIDENTIAL

| | | | | | | | | | | | | | | | | | | | | | | | | |
|-------|---|---|---|--|--|-----------------------|---|-----------------------|--|------|-----------|---|---|-----|-----------------------|--|------|-----------|-----|-----------------------|-----|-----------------------|---|--|
| | | | <div><p>PER ARCH PLANS</p><p>FLAT METAL PANEL</p><p>1/2" METAL Z-FURRING</p><p>SHIM</p><p>SAM STRIPS BEHIND FURRING STRIP FASTENER PENETRATIONS</p><p>WRB (AIR BARRIER)</p><p>PLYWOOD SHEATHING PER STRUCTURAL</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>R-23 BLOWN-IN THERMAL INSULATION over</p><p>VAPOR RETARDER over</p><p>5/8" GYPSUM WALLBOARD</p></div> | <div><p>PER ARCH PLANS</p><p>FIBER CEMENT SMOOTH FLAT PANEL & BATTEN CENTERED ON FRAMING</p><p>1x4 PT WD VERT FURRING STRIPS TO ALIGN W/ FRAMING @ 16" O.C.</p><p>SAM STRIPS BEHIND FURRING STRIP FASTENER PENETRATIONS</p><p>WRB (AIR BARRIER)</p><p>PLYWOOD SHEATHING PER STRUCTURAL</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>R-23 BLOWN-IN THERMAL INSULATION</p><p>VAPOR RETARDER</p><p>5/8" GYPSUM WALLBOARD</p></div> | <div><p>PER ARCH PLANS</p><p>FIBER CEMENT SHINGLE STRAIGHT EDGE PANEL</p><p>1x4 PT WD VERT FURRING STRIPS TO ALIGN W/ FRAMING @ 16" O.C.</p><p>SAM STRIPS BEHIND FURRING STRIP FASTENER PENETRATIONS</p><p>WRB (AIR BARRIER)</p><p>PLYWOOD SHEATHING PER STRUCTURAL</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>R-23 BLOWN-IN THERMAL INSULATION</p><p>VAPOR RETARDER</p><p>5/8" GYPSUM WALLBOARD</p></div> | EXTERIOR WALL TYPES | | | | | | | | | | | | | | | | | | |
| | | | <div>EW3-X EXTERIOR FLAT METAL PANEL</div> | <div>EW2-X EXTERIOR FIBER CEMENT SMOOTH FLAT PANEL</div> | <div>EW1-X EXTERIOR FIBER CEMENT SHINGLE SINGLE STRAIGHT EDGE PANEL</div> | | | | | | | | | | | | | | | | | | | |
| | <div><p>SEE ARCH PLANS</p><p>ADJACENT WALL WHERE OCCURS</p><p>2X WOOD STUDS AT 16" O.C.</p><p>5/8" GYPSUM WALLBOARD</p><p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p></div> | <div><p>SEE ARCH PLANS</p><p>5/8" TYPE 'X' GYPSUM WALLBOARD</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>SOUND BATT INSULATION TO FILL WALL CAVITY</p><p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p><p>5/8" TYPE 'X' GYPSUM WALLBOARD</p><p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p></div> | <div><p>SEE ARCH PLANS</p><p>5/8" TYPE 'X' GYPSUM WALLBOARD</p><p>1/2" HORIZONTAL RESILIENT CHANNEL AT 24" O.C.</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>SOUND BATT INSULATION TO FILL WALL CAVITY</p><p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p><p>(2) LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD</p><p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p><p>NOTE: SEE FOR FIREBLOCKING DETAIL AT INTERIOR RATED WALLS.</p></div> | <div><p>SEE ARCH PLANS</p><p>5/8" GYPSUM WALLBOARD</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>SOUND BATT INSULATION TO FILL WALL CAVITY</p><p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p><p>5/8" GYPSUM WALLBOARD</p><p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p></div> | <div><p>SEE ARCH PLANS</p><p>5/8" GYPSUM WALLBOARD</p><p>WOOD STUD FRAMING PER STRUCTURAL</p><p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p><p>5/8" GYPSUM WALLBOARD</p><p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p></div> | INTERIOR WALL TYPES | | | | | | | | | | | | | | | | | | |
| | <div>IW5-X INTERIOR FURRED WALL</div> | <div>IW4-X 1 HR RATED INTERIOR PARTITION WALL<table><tr><td>GA</td><td>WP 3520</td></tr><tr><td>STC</td><td>35-39</td></tr></table></div> | GA | WP 3520 | STC | 35-39 | <div>IW3-X 1 HR RATED INTERIOR DEMISING WALL<table><tr><td>GA</td><td>WP 3243</td></tr><tr><td>STC</td><td>50-54</td></tr></table></div> | GA | WP 3243 | STC | 50-54 | <div>IW2-X INTERIOR PARTITION WALL</div> | <div>IW1-X INTERIOR PARTITION WALL</div> | | | | | | | | | | | |
| GA | WP 3520 | | | | | | | | | | | | | | | | | | | | | | | |
| STC | 35-39 | | | | | | | | | | | | | | | | | | | | | | | |
| GA | WP 3243 | | | | | | | | | | | | | | | | | | | | | | | |
| STC | 50-54 | | | | | | | | | | | | | | | | | | | | | | | |
| | <div><p>FLOOR FINISH PER PLAN</p><p>TREADS & RISERS PER STRUCTURAL</p><p>STRINGERS PER STRUCTURAL</p><p>GYPSUM WALLBOARD TIGHT TO UNDERSIDE OF STAIR FRAMING</p></div> | <div><p>NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES</p><p>T.O. SHEATHING</p><p>1/8" NOISE CONTROL MAT</p><p>FLOOR SHEATHING PER STRUCTURAL</p><p>JOISTS PER STRUCTURAL</p><p>3 1/2" GLASS FIBER SOUND BATT INSULATION</p><p>1/2" RESILIENT CHANNEL SPACED AT 24" O.C. w/ JOISTS SPACED 24" O.C.</p><p>(2) LAYERS TYPE 'X' GYPSUM WALLBOARD</p><p>FRAMING PER CONTRACTOR</p><p>B.O. SOFFIT</p><p>FLAT METAL PANEL</p></div> | <div><p>NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES</p><p>T.O. SHEATHING</p><p>FLOOR FINISH PER PLAN</p><p>3/4" GYPCRETE</p><p>1/8" NOISE CONTROL MAT</p><p>FLOOR SHEATHING PER STRUCTURAL</p><p>JOISTS PER STRUCTURAL</p><p>3 1/2" GLASS FIBER SOUND BATT INSULATION</p><p>1/2" RESILIENT CHANNEL SPACED AT 24" O.C. w/ JOISTS SPACED 24" O.C.</p><p>(2) LAYERS TYPE 'X' GYPSUM WALLBOARD</p></div> | <div><p>FLOOR FINISH PER PLAN</p><p>CONCRETE SLAB ON GRADE PER STRUCTURAL</p><p>VAPOR BARRIER</p><p>R-10 RIGID INSULATION AT SLAB PERIMETER</p><p>COMPACTED ROCK PER GEOTECHNICAL REPORT</p><p>RADON MITIGATION PIPE WHERE OCCURS</p></div> | | FLOOR/CEILING TYPES | | | | | | | | | | | | | | | | | | |
| | <div>F-4 STAIR ASSEMBLY</div> | <div>F-3 1-HR RATED FLOOR/CEILING ASSEMBLY<table><tr><td>UL #</td><td>BXUV L570</td></tr><tr><td>STC</td><td>55, 100528151CRT-0021</td></tr><tr><td>ICC</td><td>53, 100528151CRT-0011</td></tr></table></div> | UL # | BXUV L570 | STC | 55, 100528151CRT-0021 | ICC | 53, 100528151CRT-0011 | <div>F-3 1-HR RATED FLOOR/CEILING ASSEMBLY<table><tr><td>UL #</td><td>BXUV L570</td></tr><tr><td>STC</td><td>55, 100528151CRT-0021</td></tr><tr><td>ICC</td><td>53, 100528151CRT-0011</td></tr></table></div> | UL # | BXUV L570 | STC | 55, 100528151CRT-0021 | ICC | 53, 100528151CRT-0011 | <div>F-2 1-HR RATED FLOOR/CEILING ASSEMBLY<table><tr><td>UL #</td><td>BXUV L570</td></tr><tr><td>STC</td><td>55, 100528151CRT-0021</td></tr><tr><td>ICC</td><td>53, 100528151CRT-0011</td></tr></table></div> | UL # | BXUV L570 | STC | 55, 100528151CRT-0021 | ICC | 53, 100528151CRT-0011 | <div>F-1 SLAB ON GRADE FLOOR</div> | |
| UL # | BXUV L570 | | | | | | | | | | | | | | | | | | | | | | | |
| STC | 55, 100528151CRT-0021 | | | | | | | | | | | | | | | | | | | | | | | |
| ICC | 53, 100528151CRT-0011 | | | | | | | | | | | | | | | | | | | | | | | |
| UL # | BXUV L570 | | | | | | | | | | | | | | | | | | | | | | | |
| STC | 55, 100528151CRT-0021 | | | | | | | | | | | | | | | | | | | | | | | |
| ICC | 53, 100528151CRT-0011 | | | | | | | | | | | | | | | | | | | | | | | |
| UL # | BXUV L570 | | | | | | | | | | | | | | | | | | | | | | | |
| STC | 55, 100528151CRT-0021 | | | | | | | | | | | | | | | | | | | | | | | |
| ICC | 53, 100528151CRT-0011 | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | <div><p>ASPHALT SHINGLES</p><p>UNDERLAYMENT</p><p>ROOF SHEATHING PER STRUCTURAL</p><p>PREMANUFACTURED WOOD TRUSS PER STRUCTURAL</p><p>R-49 GLASS FIBER BATT THERMAL INSULATION</p><p>VAPOR RETARDER</p><p>(2) LAYERS TYPE 'X' GYPSUM WALLBOARD</p><p>BASE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" O.C. WITH 1-1/4" TYPE W DRYWALL SCREWS 24" O.C. FACE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1-7/8" TYPE W DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE G DRYWALL SCREWS PLACED 2' BACK ON EITHER SIDE OF FACE LAYER END JOINTS. 12" O.C.</p></div> | | ROOF TYPES | | | | | | | | | | | | | | | | | | |
| | | | | <div>R-1 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY<table><tr><td>OSSC:</td><td>1721.1(3) NO. 21-1.1</td></tr></table></div> | OSSC: | 1721.1(3) NO. 21-1.1 | | | | | | | | | | | | | | | | | | |
| OSSC: | 1721.1(3) NO. 21-1.1 | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | CEILING TYPES | | | | | | | | | | | | | | | | | | |

GENERAL SHEET NOTES

A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.

B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.

C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.

D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.

E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.

F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.

G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.

H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.

I. PROVIDE DEFLECTION HEADS OR CLIPS AT ALL NON-LOAD BEARING CONDITIONS.

J. FOR TYPICAL LIGHT GAUGE METAL FRAMING DETAILS SEE XXX.

WALL TYPE SYMBOL

WALL TYPE

PARTIAL HEIGHT / WALL CONFIGURATION

FRAMING OR CMU/CONC SIZE

ACOUSTIC INSULATION

FIRE RATING (IN HOURS)

METAL FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED

1 = 1 5/8"

2 = 2 1/2"

3 = 3 1/2"

4 = 4"

6 = 6"

8 = 8"

WOOD FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED

4 = 2" x 4"

6 = 2" x 6"

8 = 2" x 8"

WALL CONFIGURATION

STRUCTURE

CEILING

FLOOR

P/X-X" A B C D E

X-X"

P PARTIAL HEIGHT WALL, SEE ELEVATIONS OR SECTIONS

X-X" HEIGHT AS INDICATED TO TOP OF FINISH

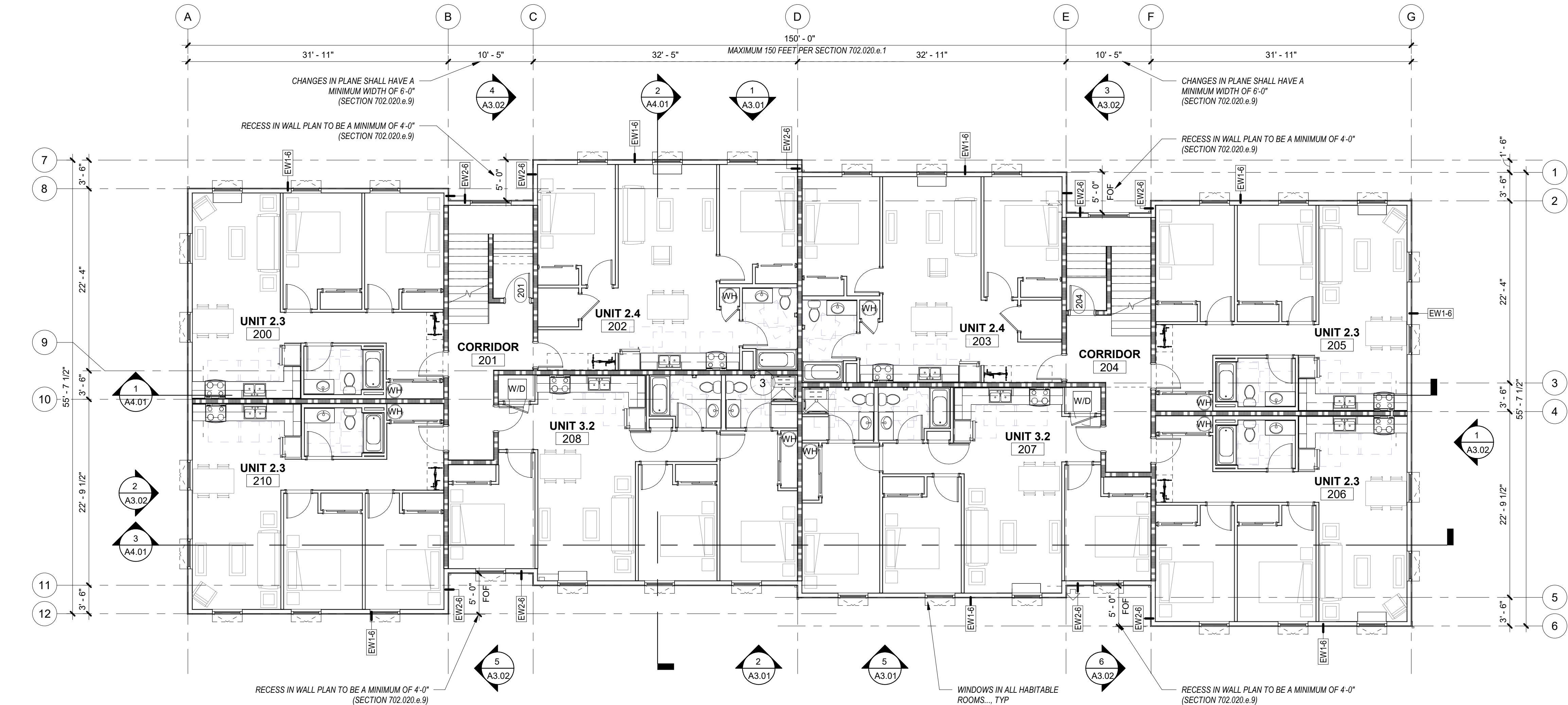
A FRAMING AND FINISHES TERMINATE AT UNDERSIDE OF CEILING. BRACE AS REQUIRED.

B FRAMING AND FINISHES TERMINATE 4" ABOVE FINISHED CEILING. BRACE AS REQUIRED.

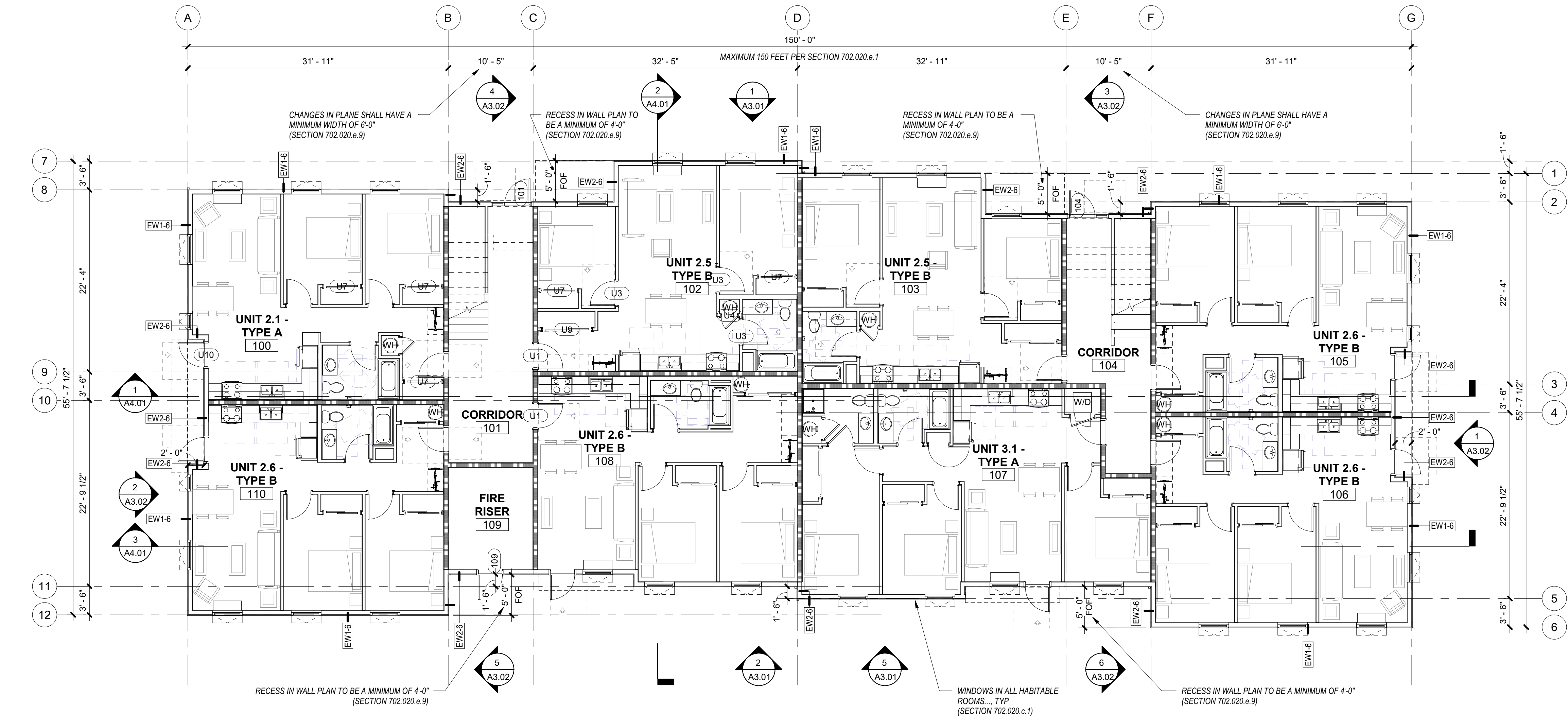
C FRAMING EXTENDS TO BOTTOM OF STRUCTURE. FINISHES TERMINATE AT 4" ABOVE FINISHED CEILING.

D FRAMING AND FINISH ONE SIDE OF WALL EXTEND TO BOTTOM OF STRUCTURE. FINISH OTHER SIDE TERMINATES AT 4" ABOVE FINISHED CEILING.

E FRAMING AND FINISHES BOTH SIDE EXTEND TO UNDERSIDE OF STRUCTURE ABOVE.



2 FLOOR PLAN - LEVEL 2
1/8" = 1'-0"



1 FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

GENERAL SHEET NOTES

- A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
- B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
- C. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES.
- D. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY WITH FLOOR FINISHES.
- E. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.
- F. SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.
- H. WIRE SHELVING IN ALL BEDROOM CLOSETS.
- I. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE ALL LOCATIONS OF EQUIPMENT AND REQUIRED PENETRATIONS.
- J. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS.
- K. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS.
- L. CURTAIN RODS AT ALL BEDROOM CLOSETS ARE CFCL IN LIEU OF DOORS. CURTAINS ARE OFOL.
- M. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.

LEGEND

- 1 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- FLOOR DRAIN
- R-1 ASPHALT SHINGLE ROOF
- R-2 STANDING SEAM METAL ROOF
- PROVIDE FIRE-RETARDANT TREATED ROOF SHEATHING IN AREA INDICATED
- DS DOWNSPOUT
- WH WATER HEATER W FLOOR DRAIN BELOW - REF PLUMBING
- OPERABLE WINDOW

KEYNOTES 07-02

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CDP SALEM - BUILDING B

Job Number: 21031
5205 BATTLE CREEK RD SE
SALEM, OR 97306

C
D P
Community Development Partners

LAND USE SUBMISSION ISSUE 03.11.2022 DATE

Drawing:

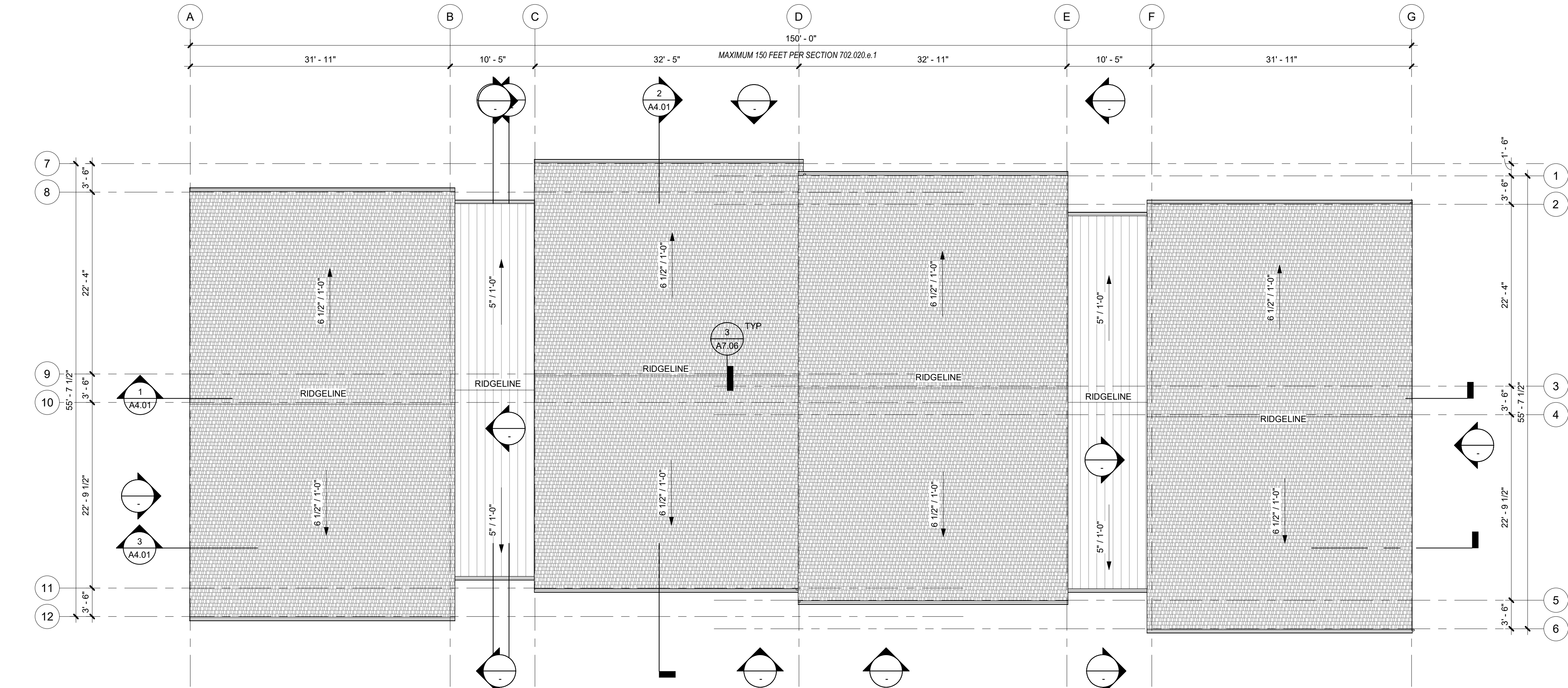
FLOOR PLAN - LEVEL 1 & 2

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Building B -

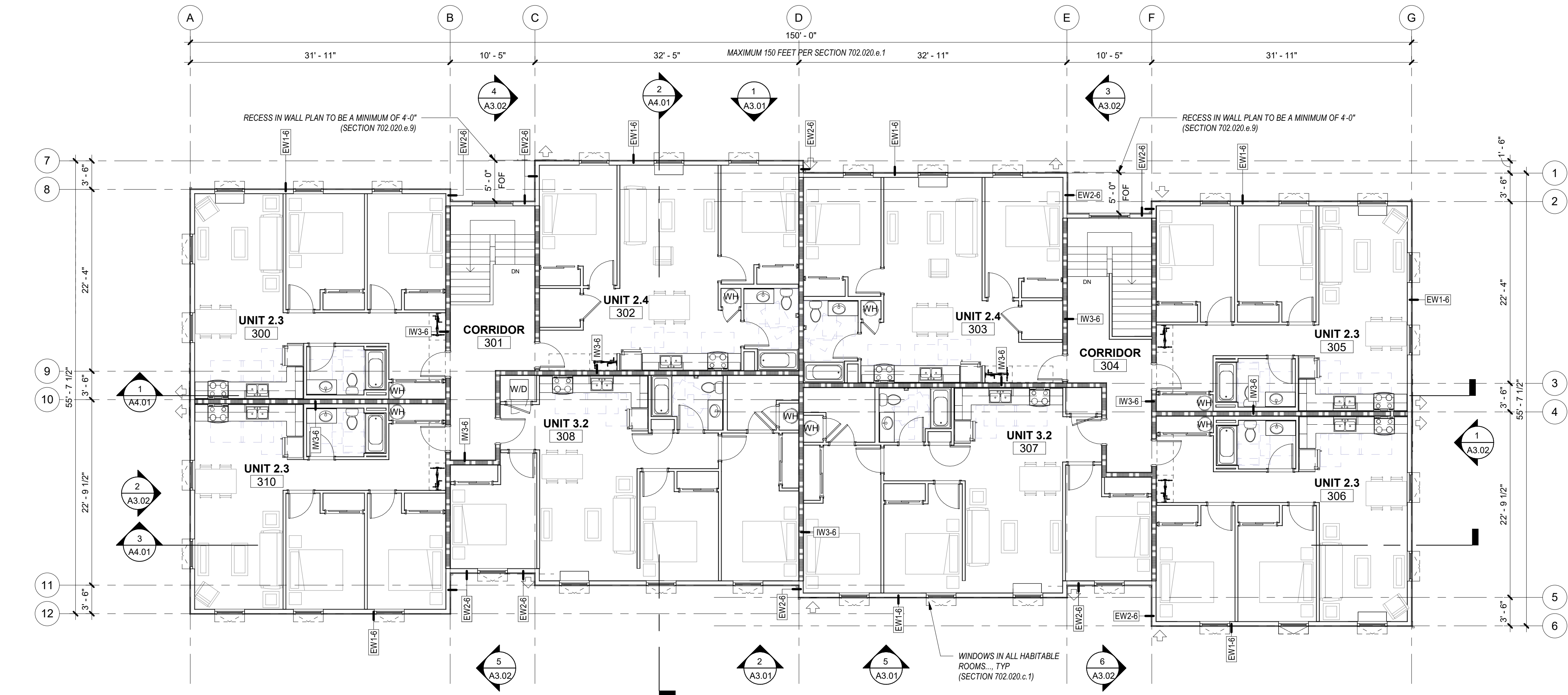
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THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



2 ROOF PLAN
1/8" = 1'-0"



1 THIRD FLOOR PLAN
1/8" = 1'-0"

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LEGEND

- 1 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- + FD FLOOR DRAIN
- R-1 ASPHALT SHINGLE ROOF
- R-2 STANDING SEAM METAL ROOF
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- WH WATER HEATER W FLOOR DRAIN BELOW - REF PLUMBING
- OPERABLE WINDOW

KEYNOTES 07-02

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Job Number: 21031

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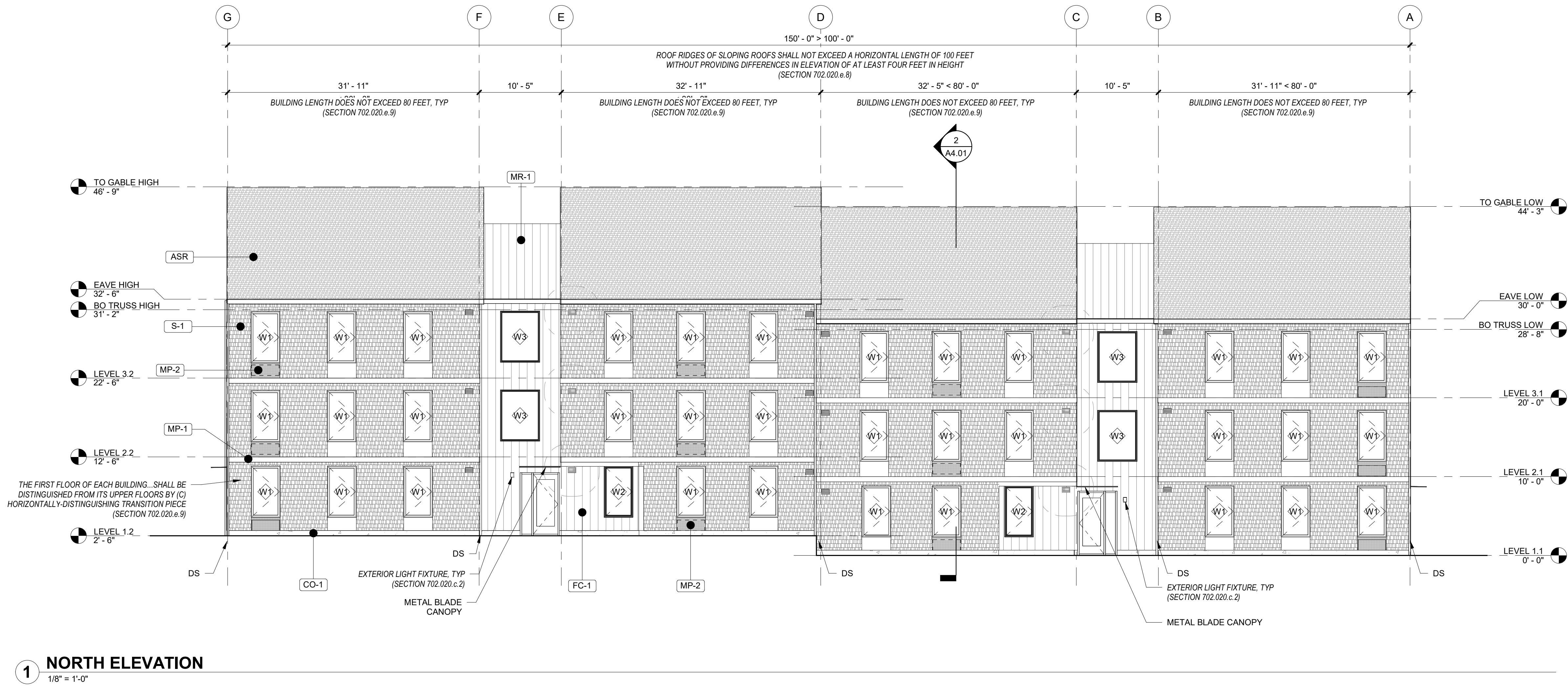
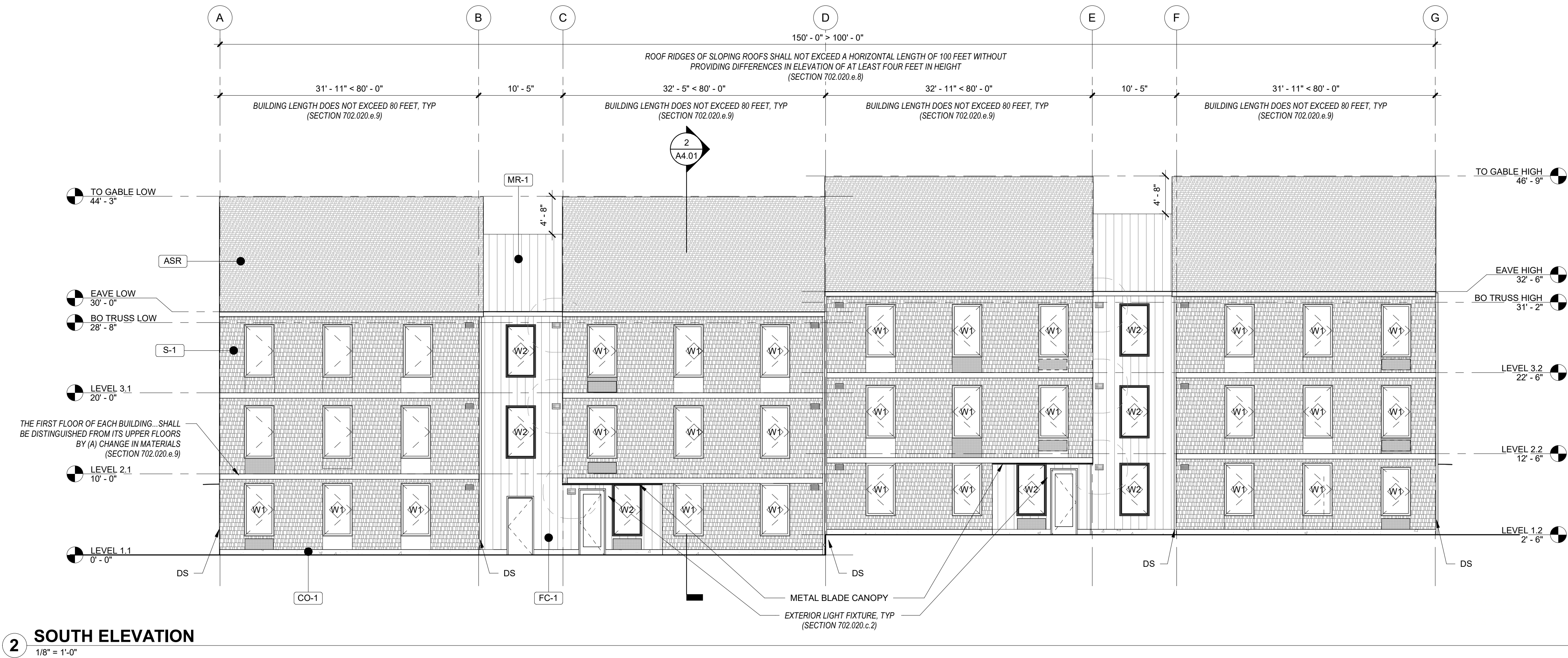
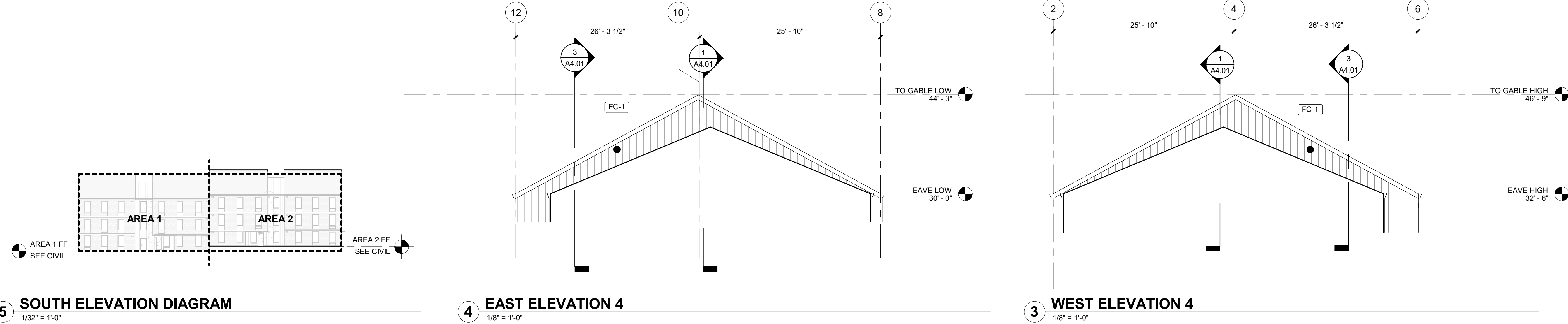
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Drawing:

FLOOR PLAN - LEVEL 3 & ROOF PLAN

Sheet No:
Building B -

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GENERAL SHEET NOTES

- REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
- REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
- CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
- ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
- PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
- PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
- TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

LEGEND

- | | |
|--|--|
| | SHINGLE SIDING PRODUCT: FIBER CEMENT SHINGLE SIDING, STRAIGHT EDGE PANEL COLOR: TBD, DARK |
| | ASPHALT SHINGLE ROOF PRODUCT: TBD COLOR: TBD |
| | FLAT METAL PANEL PRODUCT: TBD FINISH: BLACK |
| | FLAT METAL PANEL, PERFORATED PRODUCT: TBD FINISH: BLACK |
| | BOARD & BATTEN SIDING PRODUCT: FIBER CEMENT SMOOTH FLAT PANEL COLOR: WHITE |
| | STANDING SEAM METAL ROOF PRODUCT: TBD COLOR: WHITE |
| | CONCRETE STEM WALL |
| | X-VENT |
| | PTHP (BEYOND) |

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ISSUE

03.11.2022

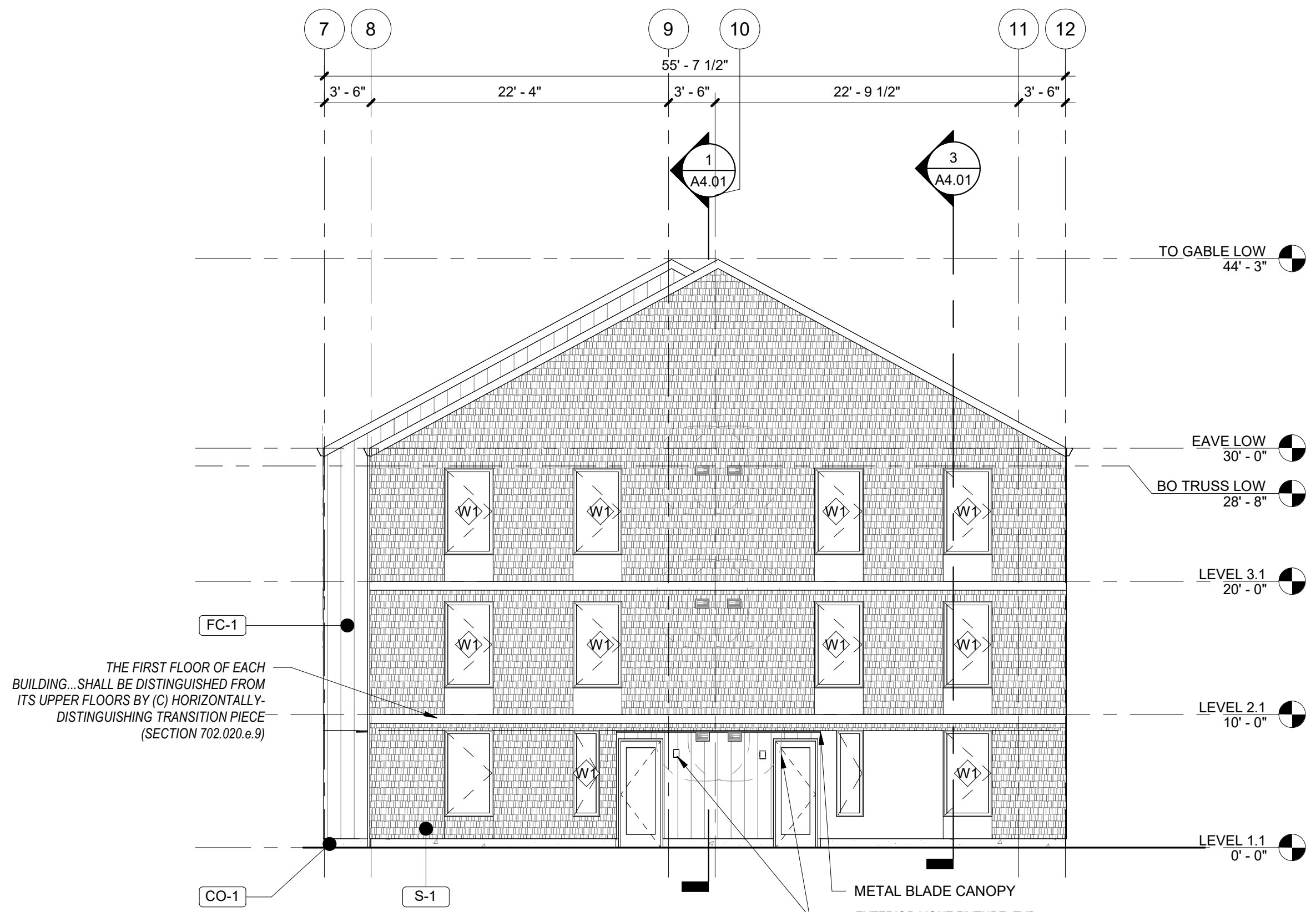
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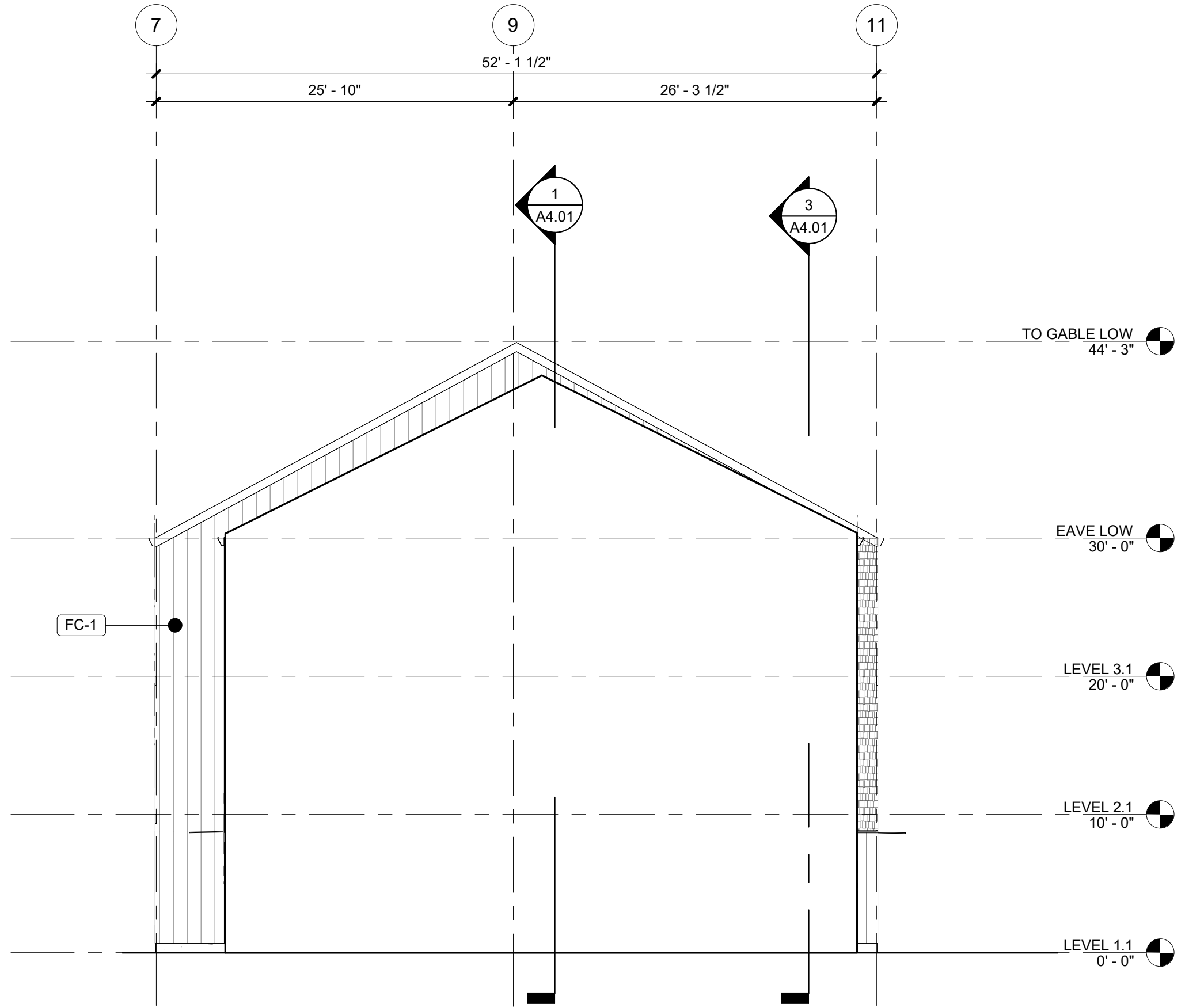
EXTERIOR
ELEVATIONS

Sheet No:
Building B -

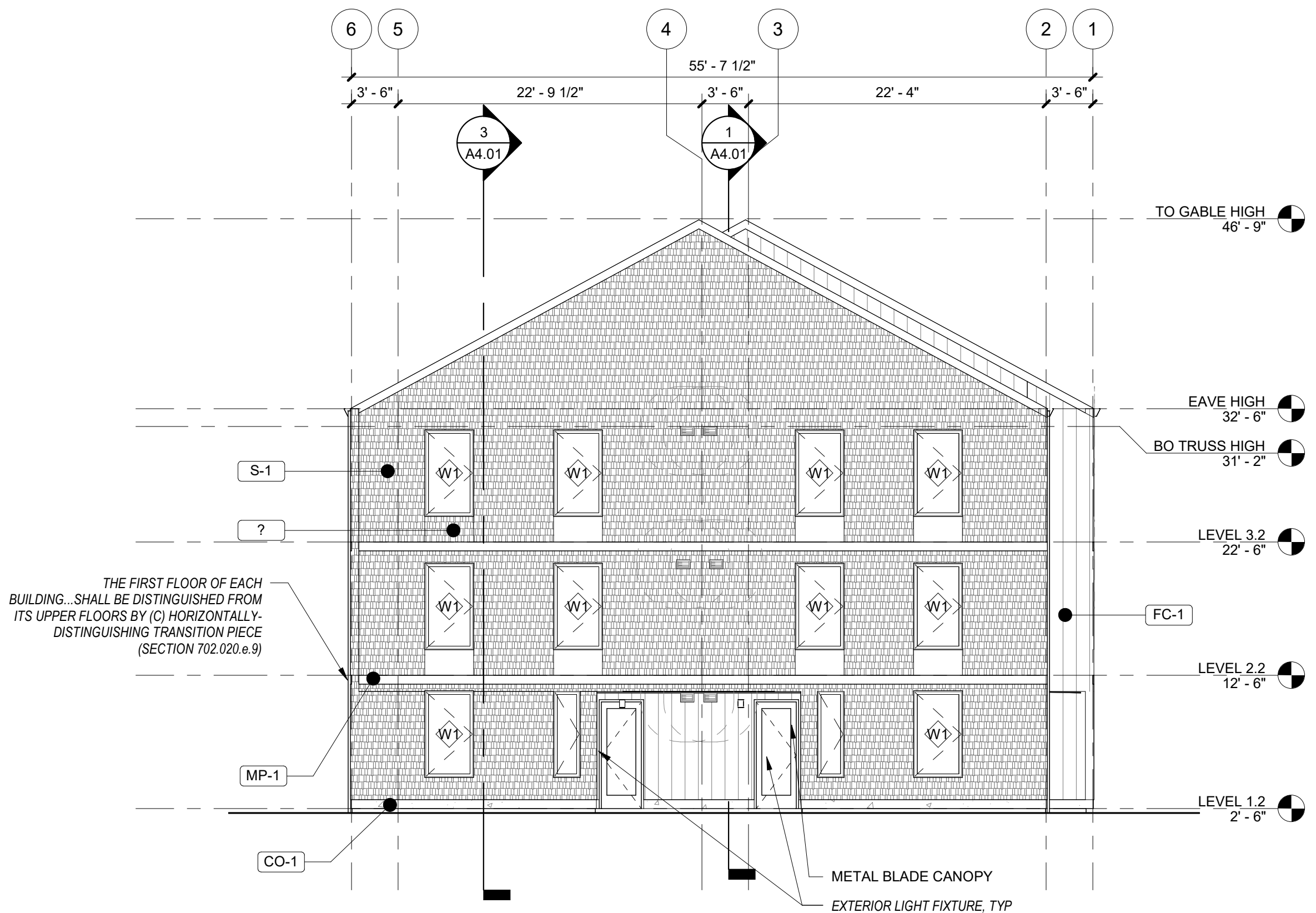
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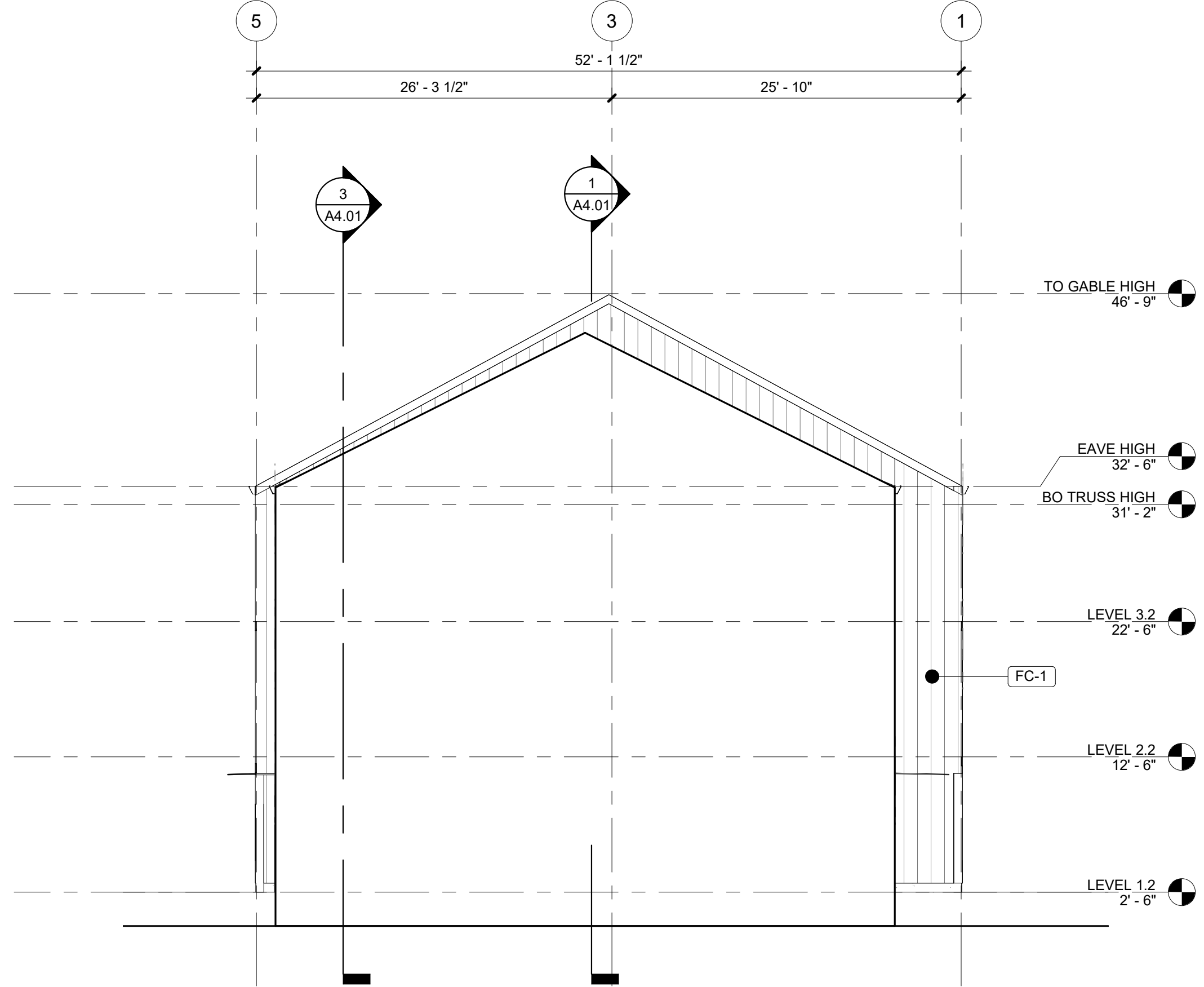
2 WEST ELEVATION 1
1/8" = 1'-0"



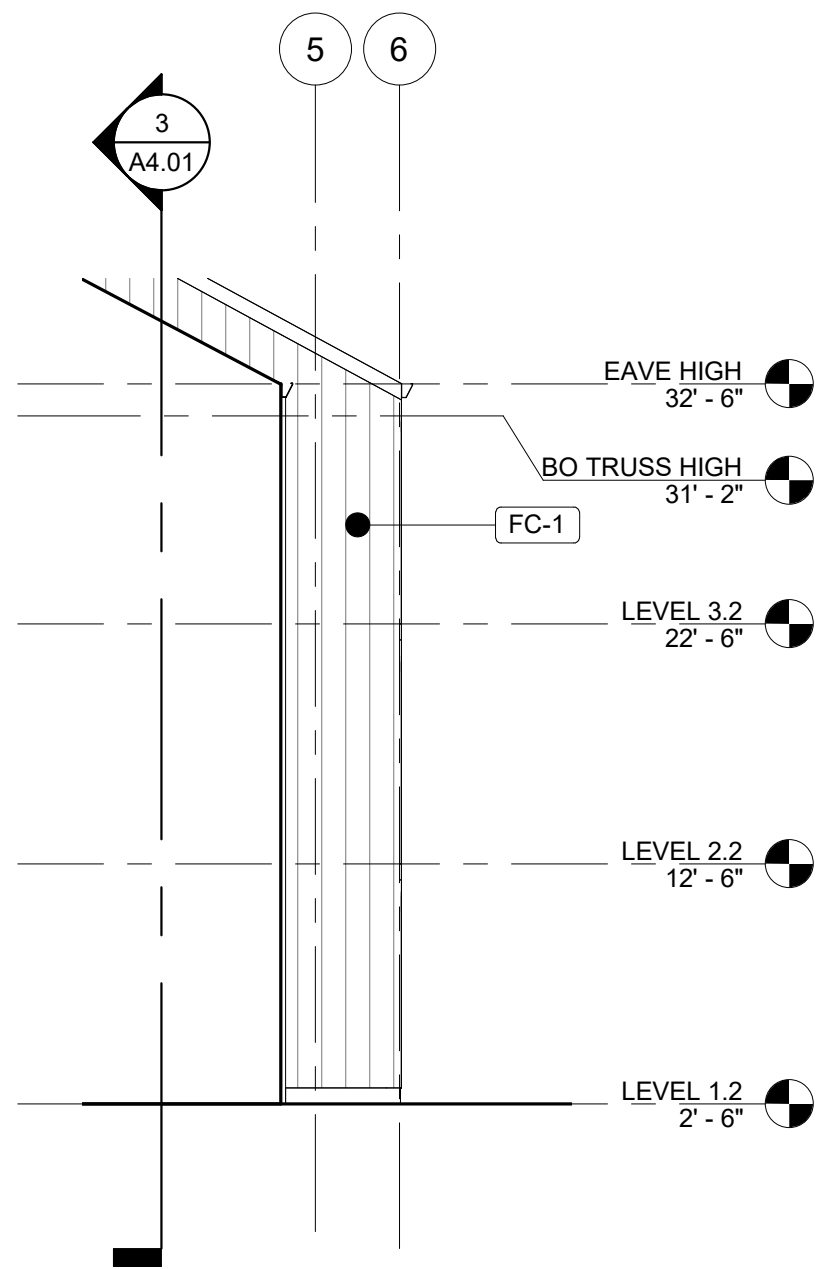
4 WEST ELEVATION 2
1/8" = 1'-0"



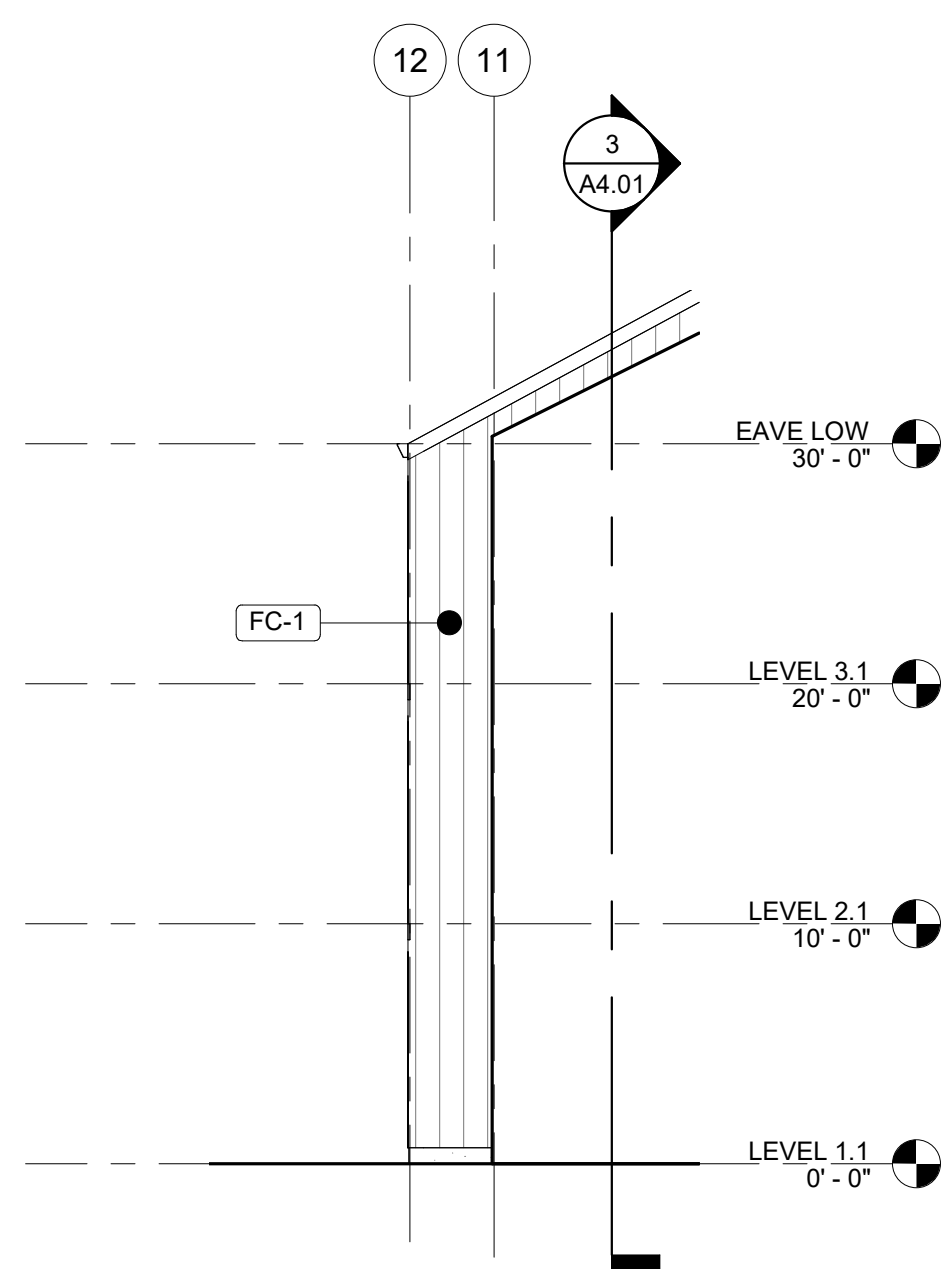
1 EAST ELEVATION 1
1/8" = 1'-0"



3 EAST ELEVATION 2
1/8" = 1'-0"



6 WEST ELEVATION 3
1/8" = 1'-0"



5 EAST ELEVATION 3
1/8" = 1'-0"

GENERAL SHEET NOTES

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LEGEND

- | | |
|--|--|
| | SHINGLE SIDING PRODUCT: FIBER CEMENT SHINGLE SIDING, STRAIGHT EDGE PANEL COLOR: TBD, DARK |
| | ASPHALT SHINGLE ROOF PRODUCT: TBD COLOR: TBD |
| | FLAT METAL PANEL PRODUCT: TBD FINISH: BLACK |
| | FLAT METAL PANEL, PERFORATED PRODUCT: TBD FINISH: BLACK |
| | BOARD & BATTEN SIDING PRODUCT: FIBER CEMENT SMOOTH FLAT PANEL COLOR: WHITE |
| | STANDING SEAM METAL ROOF PRODUCT: TBD COLOR: WHITE |
| | CONCRETE STEM WALL |
| | X-VENT |
| | PTHP (BEYOND) |

S|E A

SCOTT|EDWARDS ARCHITECTURE LLP.

2525 E Burnside Street, Portland, OR 97214
phone: (503) 226-3617 www.seallp.com

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CDP SALEM - BUILDING B

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Drawing:

EXTERIOR
ELEVATIONS

Sheet No:
Building B -

A3.02

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BUILDING FACING COURTYARD 2

MATERIALS



SHINGLE SIDING
PRODUCT: FIBER CEMENT
SHINGLE SIDING, STRAIGHT
EDGE PANEL
COLOR: TBD, DARK



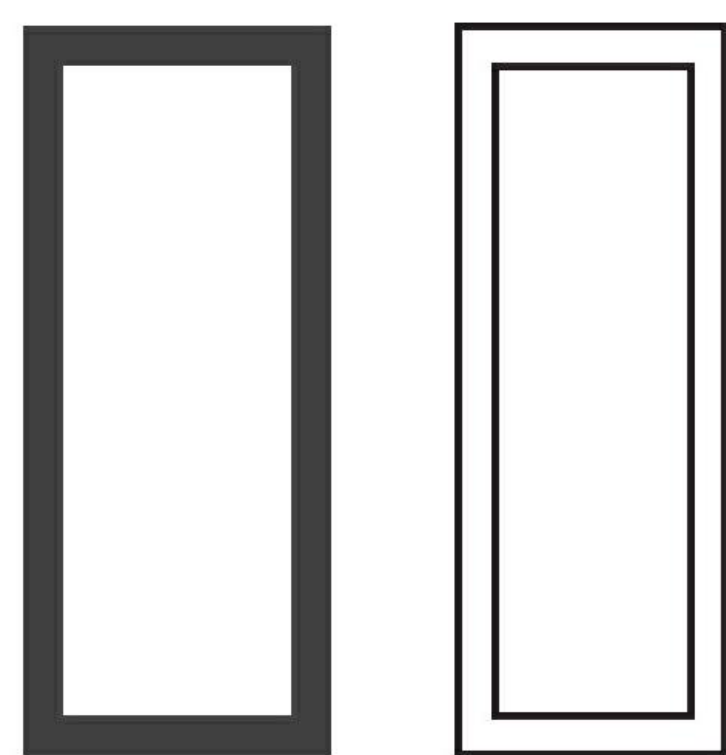
BOARD AND BATTEN SIDING
PRODUCT: FIBER CEMENT
SMOOTH FLAT PANEL
COLOR: WHITE



ASPHALT SHINGLE ROOF
PRODUCT: TBD
FINISH: TBD, DARK



FLAT METAL PANEL
PRODUCT: TBD
FINISH: TBD, DARK



VINYL WINDOWS
PRODUCT: PRODUCT: VPI
ENDURANCE AND KAWNEER
TRIFAB 451
FINISH: TBD, LIGHT & DARK



BUILDING FACING PARKING



PATH FROM PARKING TO COURTYARD

* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.

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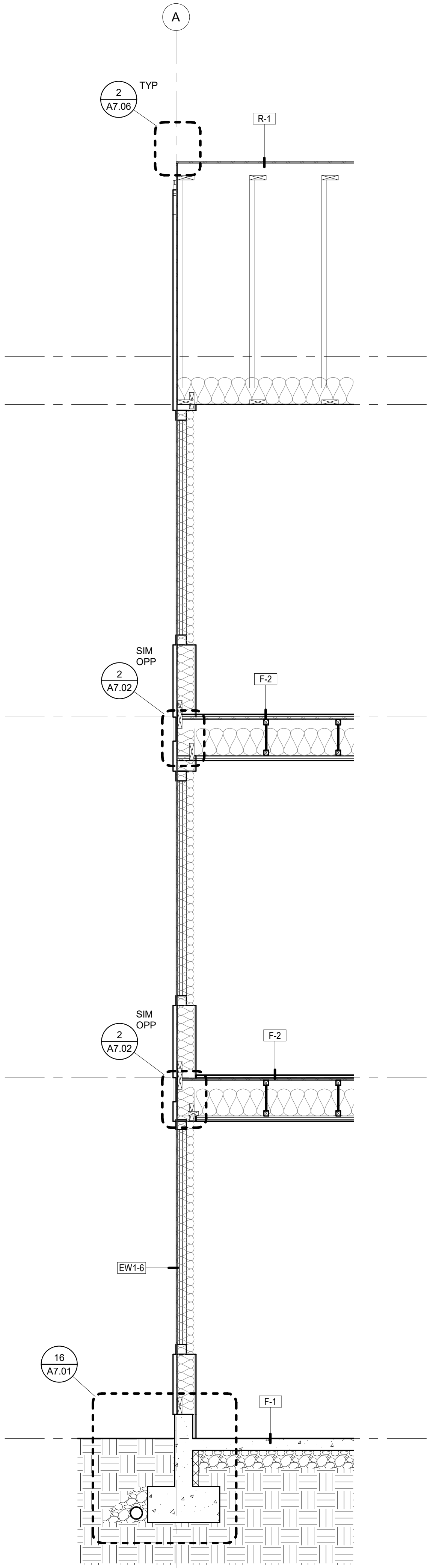
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SALEM, OR 97306



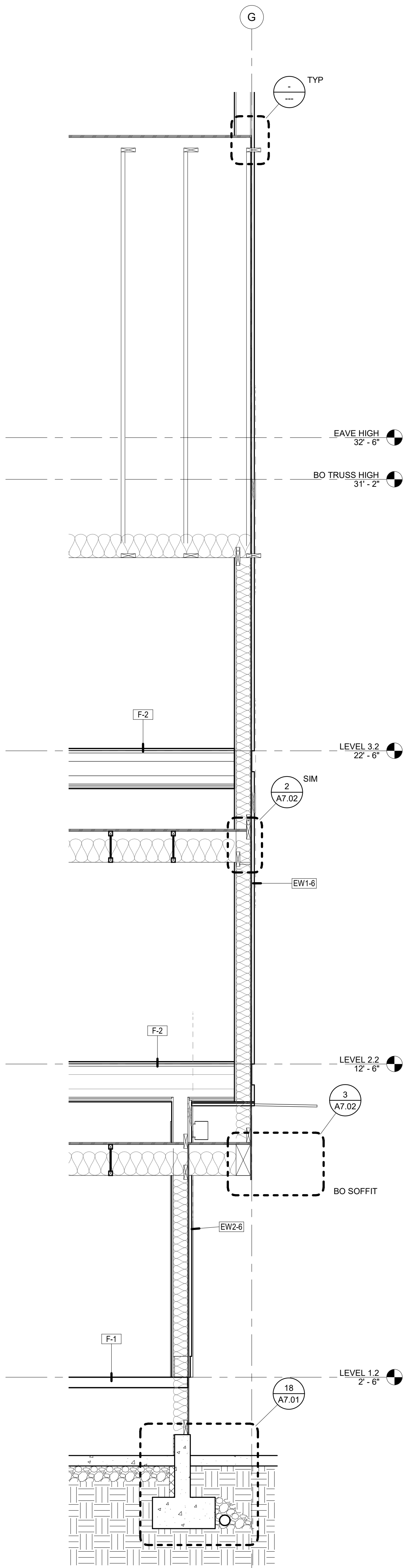
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2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"

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WALL SECTIONS

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BUILDING B

Job Number: 21031

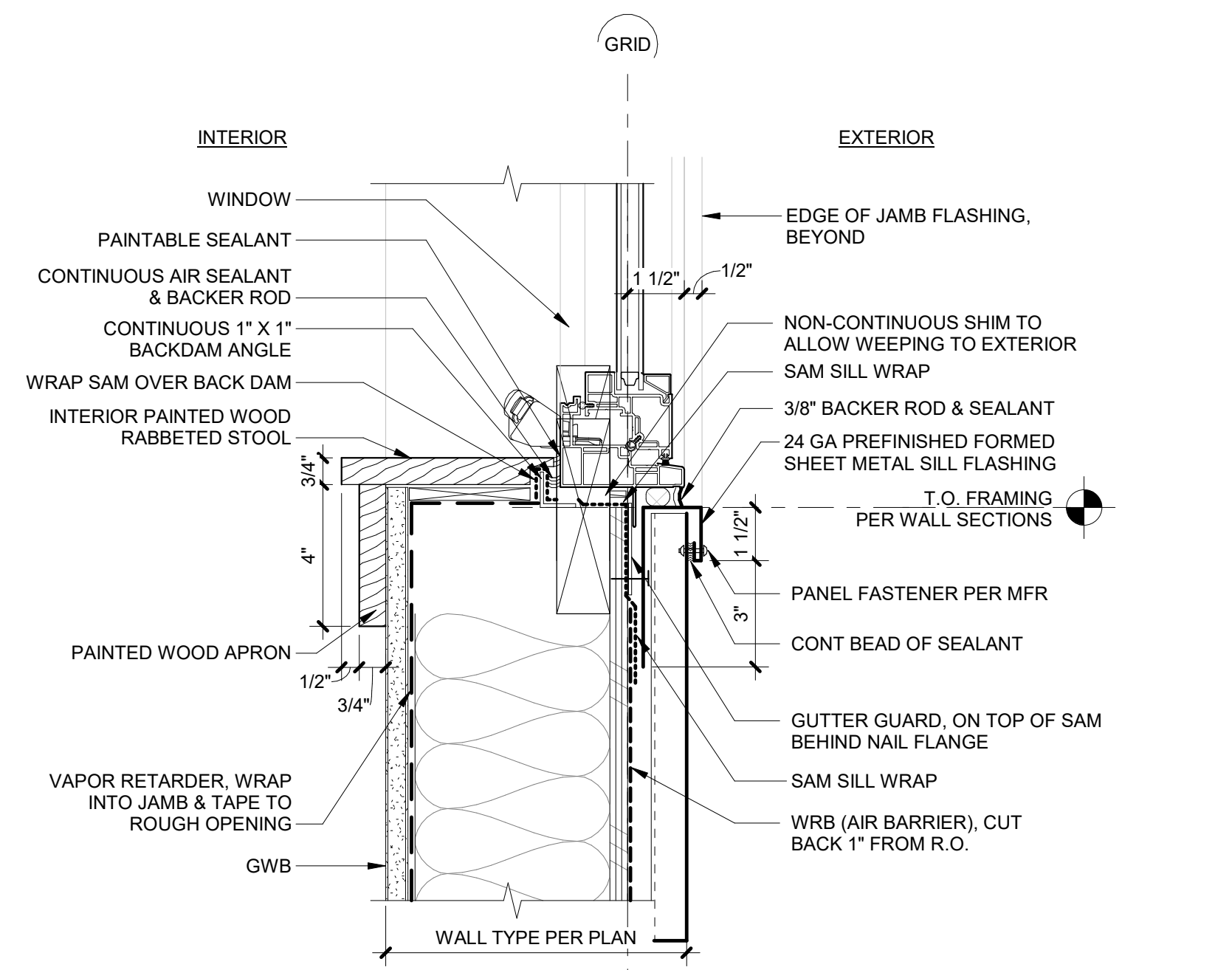
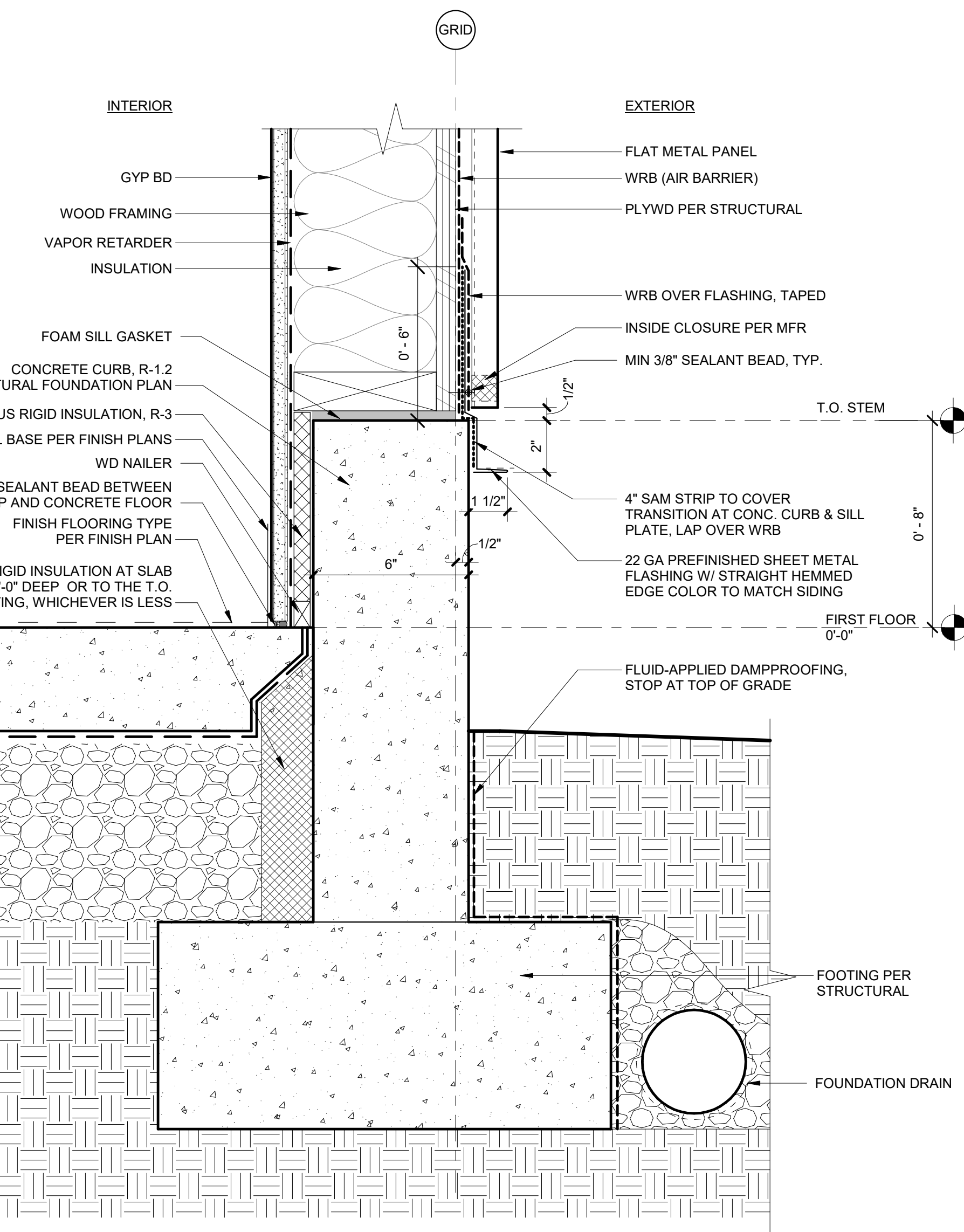
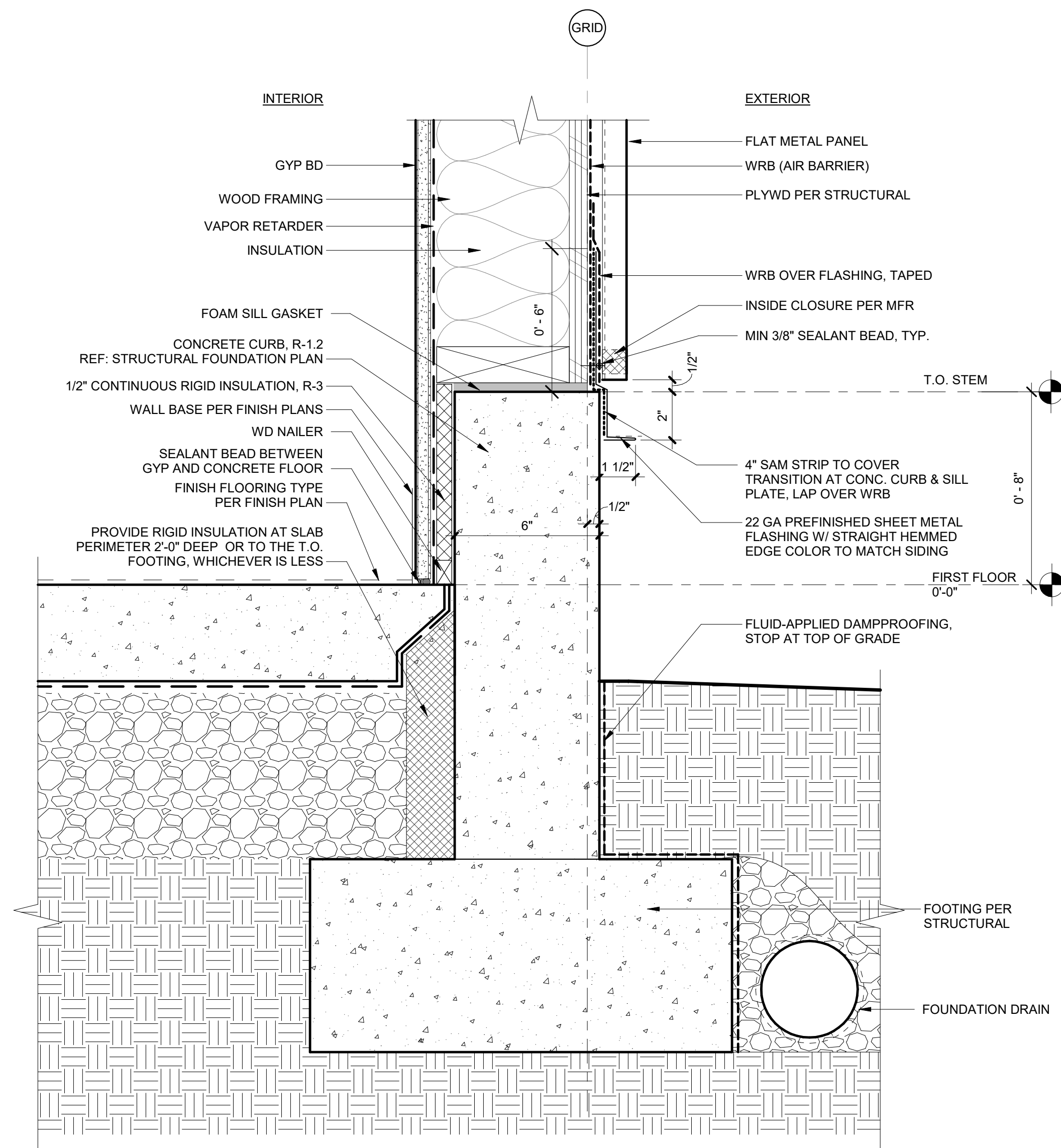
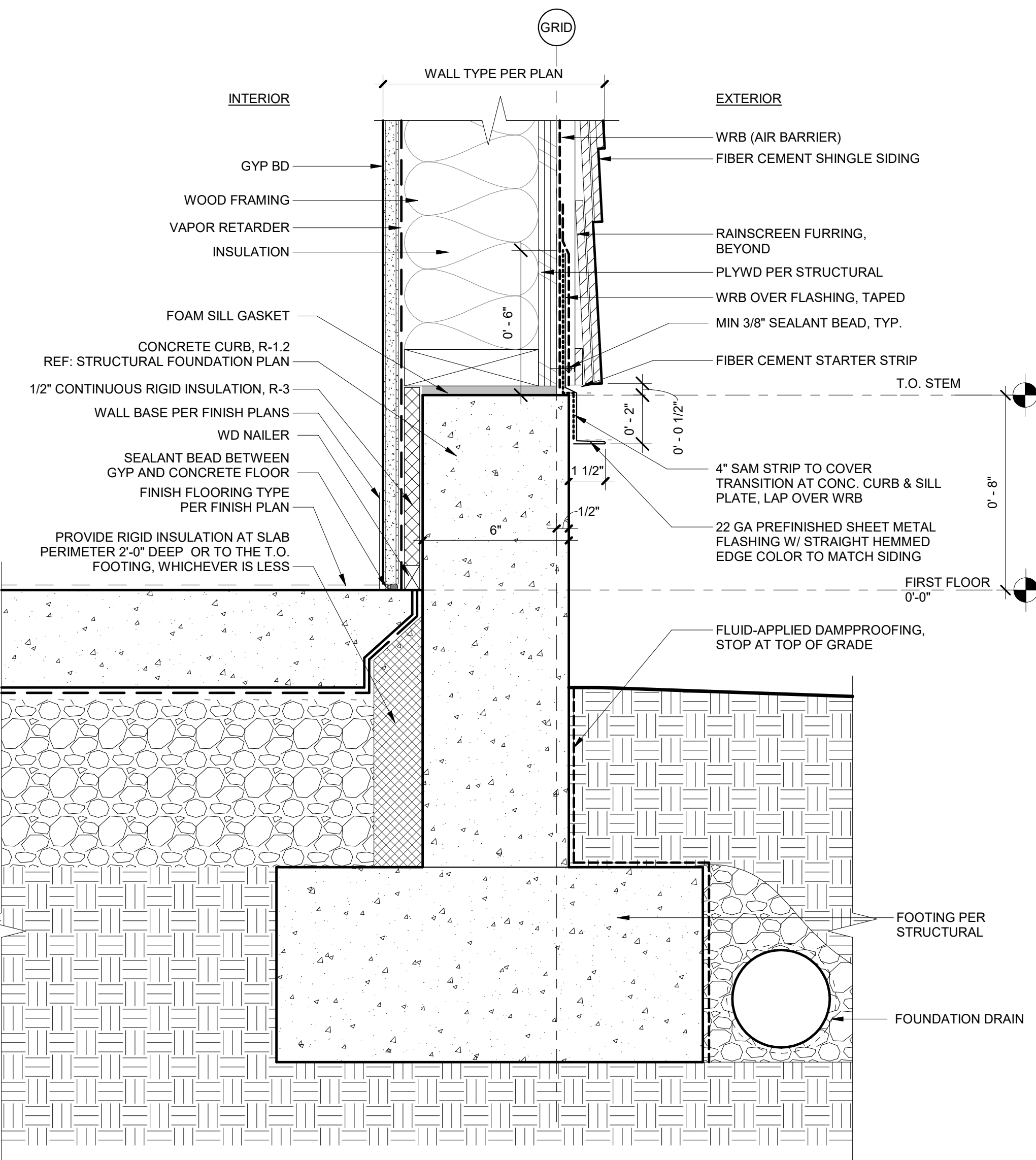
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EXTERIOR DETAILS

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Building B -

A7.01

3 WINDOW HEAD @ F.C. SHINGLE SIDING
3" = 1'-0"7 WINDOW SILL @ METAL PANEL SIDING
3" = 1'-0"18 CURB AT METAL PANEL WALL
3" = 1'-0"6 WINDOW SILL @ METAL PANEL W/ PTHP
3" = 1'-0"16 CURB AT EXT FIBER CEMENT SHINGLE CLAD WALL
3" = 1'-0"