LAND USE SUBMISSION

03.11.2022

CDP SALEM - BUILDING A

5205 BATTLE CREEK RD SE
SALEM, OR 97306

S|E A
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2525 E Burnside Street, Portland, OR 97214
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GENERAL PROJECT NOTES

REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS: DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.
4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.
5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.
6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.
7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.
11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.
15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.
16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.
17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.

PROJECT TEAM

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VICINITY MAP

PROJECT SUMMARY

PROJECT DESCRIPTION:	3-STORY WOOD FRAMED MULTIFAMILY BUILDING FEATURING 12 RESIDENTIAL UNITS, LAUNDRY ROOM AND FIRE RISER ROOM. GROSS AREA: 13,593 SF
PROJECT ADDRESS:	5205 BATTLE CREEK RD SE SALEM, OR 97306
LEGAL DESCRIPTION:	083W14/ 118 AND 300
ZONING:	RM-II

SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS

CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.

UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

SEPARATE PERMITS:

1. SIGNAGE PERMIT
2. FIRE SPRINKLER SYSTEM
3. FIRE DETECTION AND ALARM SYSTEM
4. FIRE DEPARTMENT ACCESS KEY BOX
5. HANGERS AND SUPPORT FOR HVAC
6. VIBRATION AND SEISMIC CONTROLS FOR HVAC
7. LATERAL BRACING AND ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT WEIGHING MORE THAN 75 LBS (EXCEPTIONS PER ASCE 7, SECTION 13.1.4)
8. PRE-ENGINEERED MANUFACTURED TRUSSES
9. STAIR FRAMING
10. ALUMINUM STOREFRONTS

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDTIONAL BIDDER DESIGN ITEMS.

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SHEET #	SHEET NAME
GENERAL	
G0.01	GENERAL PROJECT INFORMATION
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G1.01	CODE SUMMARY
ARCHITECTURAL	
A0.01	ARCHITECTURAL GENERAL NOTES AND DIAGRAMS
A0.10	ACCESSIBILITY DIAGRAMS - RESIDENTIAL
A0.20	ASSEMBLIES
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A2.12	SECOND FLOOR PLAN
A2.13	THIRD FLOOR PLAN
A2.21	ROOF
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A5.01	WALL SECTIONS
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A7.31	MATERIAL TRANSITIONS
A7.41	ROOF, SOFFIT & PARAPET DETAILS

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Job Number: 21031

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Community Development Partners

LAND USE SUBMISSION ISSUE	DATE
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Drawing:

GENERAL PROJECT INFORMATION

Sheet No:
Building A -

G0.01

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BUILDING CODE SUMMARY

2019 OREGON STRUCTURAL SPECIALTY CODE

OCCUPANCY	R-2
CONSTRUCTION TYPE	V-B, SPRINKLERED PER NFPA 13-R

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

OSSC REFERENCE

SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	R-2: 60 FT / 3 STORY / 7000 SF

MODIFICATIONS

SECTION 506.2.3 SINGLE-OCCUPANCY MULTISTORY BUILDINGS EQUATION 5-2	BUILDING AREA	Aa = [At + (NS x If)] x Sa = [7000 SF + (7000 SF x 0.75)] x 3 = 12250 SF x 3 = 36750 SF
SECTION 506.3	FRONTAGE INCREASE	If = [F/P - 0.25] x W/30 If = [286/286 - 0.25] x 30/30 = 0.75
	ACTUAL HEIGHT / STORIES	34' - 9" / 3 Story

BUILDING AREA

FLOOR LEVEL	AREA (SF)
FIRST FLOOR	Not Enclosed
SECOND FLOOR	Not Enclosed
THIRD FLOOR	Not Enclosed
	0 SF

SECTION 508.2	ACCESSORY OCCUPANCY	N/A
SECTION 508.3 / 508.4	MIXED OCCUPANCY	N/A
TABLE 509	INCIDENTAL USES LAUNDRY ROOMS OVER 100 SF TRASH ROOMS OVER 100 SF	 SPRINKLERED, NO SEPARATION REQUIRED SPRINKLERED, NO SEPARATION REQUIRED

CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION

TABLE 601 — FIRE RESISTANCE RATING REQUIRMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	FIRE RATING *
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON BEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602
NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR

* UNLESS OTHERWISE REQUIRED BY THIS CODE

TABLE 602 — FIRE RESISTANCE RATING REQUIRMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE	FIRE RATING
X < 5'	1 HOUR
5' <= X < 10'	1 HOUR
10' <= X < 30'	0 HOUR
X >= 30'	0 HOUR

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES	
TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION		
		UNPROTECTED, NON-SPRINKLERED	PROTECTED
	0 TO LESS THAN 3'	NOT PERMITTED	NOT PERMITTED
	3 TO LESS THAN 5'	NOT PERMITTED	15%
	5 TO LESS THAN 10'	10%	25%
	10 TO LESS THAN 15'	15%	45%
	15 TO LESS THAN 20'	25%	75%
	20 TO LESS THAN 25'	45%	NO LIMIT
	25 TO LESS THAN 30'	70%	NO LIMIT
	30' OR GREATER	NO LIMIT	NO LIMIT
705.8.1	ALLOWABLE AREA OF OPENINGS	EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.	
705.11	PARAPETS	EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.	
TABLE 706.4	FIRE WALL FIRE RESISTANCE	N/A	
TABLE 707.3.10	FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS	1 HOUR, INTERIOR EXIT STAIR LESS THAN 4 STORIES	
SECTION 708	FIRE PARTITIONS	1 HOUR 1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1	
SECTION 709	SMOKE BARRIERS	NOT REQUIRED	
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3		
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A	
711.2.4.2	SEPARATING FIRE AREAS	N/A	
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR	
711.2.4.4	SEPARATING SMOKE COMPARTMENTS	N/A	
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509	
711.2.4.6	OTHER SEPARATIONS	N/A	
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE	

CHAPTER 8: INTERIOR FINISHES

TABLE 803.13	INTERIOR WALL AND CEILING FNIISH REQUIREMENTS (FLAME SPREAD RATING)	
	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C
	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C
	ROOMS AND ENCLOSED SPACES	C

CHAPTER 9: FIRE PROTECTION SYSTEMS

SPRINKLERED PER NFPA 13R

CHAPTER 10: MEANS OF EGRESS

SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD TABLE
SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR	0.3
SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR	0.2
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 OCCUPANTS 125 FT
TABLE 1006.3.2	MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY	500 2
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030 REQUIRED FOR STORIES WITH ONE EXIT
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	250 FT
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	0.5 HR
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES * 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50
SECTION 1020.4	DEAD ENDS	20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH

CHAPTER 11: ACCESSIBILITY

SECTION 1106.2 — R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE

TOTAL SPACES PROVIDED:	167
ACCESSIBLE SPACES REQUIRED:	167 x 2% = 4
ACCESSIBLE SPACES PROVIDED:	6
VAN ACCESSIBLE SPACES REQUIRED :	1 PER 6 ACCESSIBLE SPACES
VAN ACCESSIBLE SPACES PROVIDED:	1
WHEELCHAIR ONLY SPACES REQUIRED:	1 PER 101-200 SPACES
WHEELCHAIR ONLY SPACES PROVIDED:	1

SECTION 1107.6.2.2.1 — R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS

TYPE A UNITS REQUIRED (TOTAL FOR SITE):	184 x 2% = 4 UNITS
TYPE A UNITS PROVIDED (TOTAL FOR SITE):	10 UNITS
TYPE A UNITS PROVIDED (THIS BUILDING):	0 UNITS

SECTION 1107.6.2.2.2 — WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM

EXCEPTION: — THE NUMBER OF TYPE A AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1107.7
1107.7.1.1, STRUCTURES WITHOUT ELEVATOR SERVICE, ONE STORY WITH TYPE B UNITS REQUIRED

ADDITIONAL ACCESSIBILITY REQUIREMENTS

APPLICABLE STANDARDS
- ANSI ICC A117.1 - 2009
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II
- SECTION 504
- FAIR HOUSING ACCESSIBILITY GUIDELINES
  - FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018
- OHCS CORE DEVELOPMENT MANUAL

ACCESSIBLE UNITS

5% OF UNITS WITH MOBILITY FEATURES	184 x 5% = 10 UNITS
2% OF UNITS WITH COMMUNICATION FEATURES	184 x 2% = 4 UNITS

CHAPTER 13: ENERGY EFFICIENCY — 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)

CLIMATE ZONE 4C

OPAQUE ELEMENTS	REQUIRED		PROVIDED
	ASSEMBLY MAX.	MIN. R-VALUE	
ROOFS			
INSULATION ENTIRELY ABOVE DECK	N/A	N/A	
METAL BUILDINGS	N/A	N/A	
ATTIC AND OTHER	U-0.021	R-49	R-49
WALLS (ABOVE GRADE)			
MASS	U-0.090	R-11.4 CI	R-11.4 CI
METAL BUILDINGS	N/A	N/A	
STEEL-FRAMED	N/A	N/A	
WOOD-FRAMED / OTHER	U-0.064	R-13 + 3.8 CI OR R-20	R-23
WALLS (BELOW GRADE)	C-0.092	R-10 CI	
FLOORS			
MASS	N/A	N/A	
STEEL JOIST	N/A	N/A	
WOOD FRAMED / OTHER	U-0.033	R-30	R-30
SLAB-ON-GRADE FLOORS			
HEATED	N/A	N/A	
UNHEATED	F-0.520	R-15 FOR 24"	R-15 FOR 24"
OPAQUE DOORS			
SWINGING	U-0.370		U-0.370
NON-SWINGING	N/A		

FENESTRATION	REQUIRED			PROVIDED		
	MAX U	MAX SHGC	MIN VTI/SHGC	MAX U	MAX SHGC	MIN VTI/SHGC
VERTICAL (0% - 40% OF WALL ALLOWED)						
FIXED	U-0.36	0.36	1.10	U-0.36	0.36	1.10
OPERABLE	U-0.45	0.33	1.10	U-0.45	0.33	1.10
ENTRANCE DOOR	U-0.63	0.33	1.10	U-0.63	0.33	1.10
SKYLIGHT (0% - 3% OF ROOF ALLOWED)						

CI = CONTINUOUS INSULATION
FC = FILLED CAVITY
NR = NO REQUIREMENT
NA = NOT APPLICABLE

CHAPTER 29: PLUMBING FIXTURES

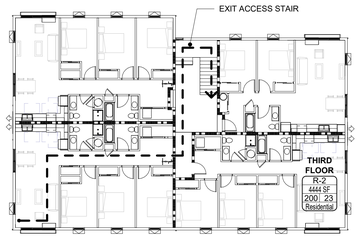
	TOTAL UNITS	
R-2	12	1 WC / LAV / Tub or Shower per unit required and provided

EXIT ACCESS TRAVEL DISTANCE

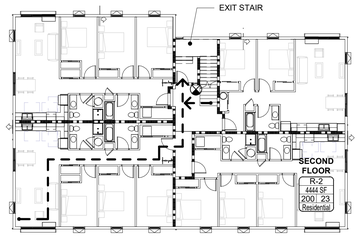
EGRESS PATH NAME	EGRESS PATH LENGTH
FIRST FLOOR	57' - 4"
SECOND FLOOR	79' - 2"
THIRD FLOOR	129' - 6"

LIFE SAFETY OCCUPANT LOAD SCHEDULE

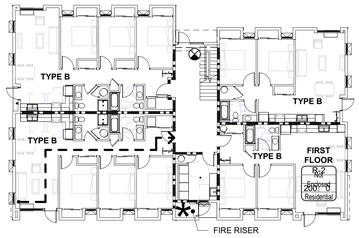
AREA NAME	AREA (SF)	TABLE 1004.1.2 FUNCTION OF SPACE	TABLE 1004.1.2 OCCUPANT LOAD FACTOR	OCCUPANT LOAD
SECOND FLOOR	4444 SF	Residential	200	23
THIRD FLOOR	4444 SF	Residential	200	23
				46



3 **THIRD FLOOR LIFE SAFETY PLAN**
1/16" = 1'-0"



2 **SECOND FLOOR LIFE SAFETY PLAN**
1/16" = 1'-0"



1 **FIRST FLOOR LIFE SAFETY PLAN**
1/16" = 1'-0"

CODE SUMMARY LEGEND

1 HOUR RATED ASSEMBLY

WALL RATINGS TO CONTINUE ABOVE / BELOW ALL DOORS, RELITES, ETC.

NAME — AREA NAME
Occ Grp # SF — OCCUPANCY (CH. 3); AREA (SF)
OLF# # Function — OCCUPANT LOAD FACTOR / NUMBER OF OCCUPANTS; FUNCTION (CH. 10)

* — UNOCCUPIED AREA. OCCUPANT LOAD NOT INCLUDED IN BUILDING TOTALS

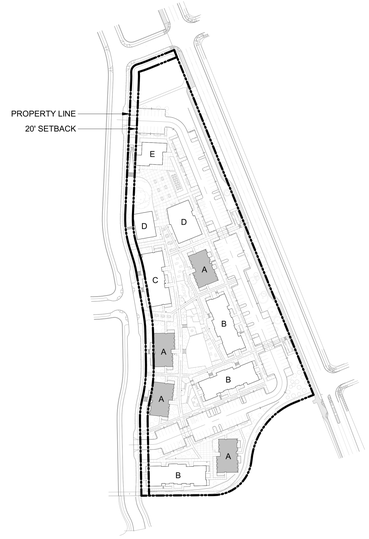
EXIT SIGN SHADE INDICATES ILLUMINATE FACE. ARROW INDICATES DIRECTION TO EXIT

PATH A 100' - 0" — EXIT ACCESS PATH

A — EXIT ACCESS DOOR

60 — DOOR RATING (IN MINUTES)

FEC or FE — MULTI-PURPOSE FIRE EXTINGUISHER AND CABINET (FEC) OR FIRE EXTINGUISHER (FE) ON BRACKET. VERIFY EXACT LOCATIONS AND QUANTITY WITH FIRE DEPARTMENT.



SITE PLAN - ZONING DIAGRAM

NORTH

702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

SECTION	REQUIRMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
SITE SAFETY & SECURITY		
702.020.c.1	REQUIREMENT MET	A2.11-A2.13
702.020.c.2	REQUIREMENT MET	A3.01-A3.02
FACADE & BUILDING DESIGN		
702.020.e.1	REQUIREMENT MET	A2.11-A2.14
702.020.e.8	REQUIREMENT MET	A3.02
702.020.e.9	ADJUSTMENT REQUESTED	A3.01
702.020.e.10	REQUIREMENT MET	A3.01-A3.02

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CDP SALEM - BUILDING A

Job Number: 21031

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SALEM, OR 97306

Community Development Partners

LAND USE	03.11.2022
SUBMISSION	
ISSUE	DATE

Drawing:

CODE SUMMARY

Sheet No:
Building A -

G1.01

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REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009

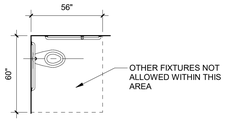
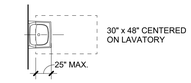
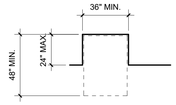


FIG. 604.3 SIZE OF CLEARANCE FOR WATER CLOSET

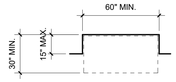
605.3 SIZE OF CLEARANCE FOR URINAL



SIZE OF CLEARANCE FOR LAVATORY

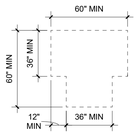


ALCOVE: FORWARD APPROACH

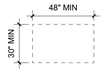


ALCOVE: PARALLEL APPROACH

TURNING SPACE: CIRCULAR



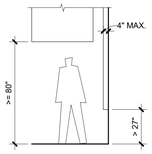
TURNING SPACE: T-SHAPED



REQUIRED FLOOR AREA

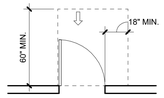
PROTRUDING OBJECTS

PER ICC A117.1-2009 FIG. 307.2

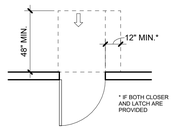


MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

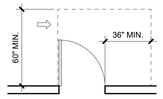
PER ICC A117.1-2009, FIG. 404.2.3.2



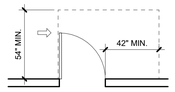
(a) FRONT APPROACH PULL SIDE



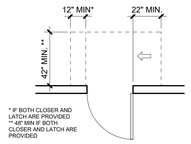
(b) FRONT APPROACH PUSH SIDE



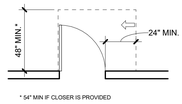
(c) HINGE APPROACH PULL SIDE



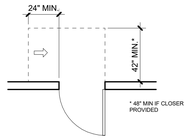
(d) HINGE APPROACH PULL SIDE



(e) HINGE APPROACH PUSH SIDE



(f) LATCH APPROACH PULL SIDE



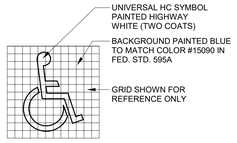
(g) LATCH APPROACH PUSH SIDE

ACCESSIBILITY NOTES

A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICATION.

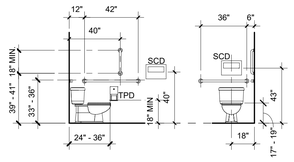
B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.

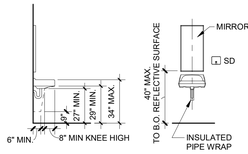


STANDARD MOUNTING HEIGHTS AND CLEARANCE REQUIREMENTS

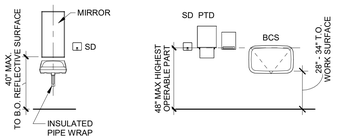
DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY



ACCESSIBLE TOILET AND GRAB BARS

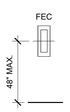


LAVATORY

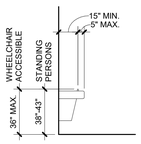


TOILET ROOM ACCESSORIES

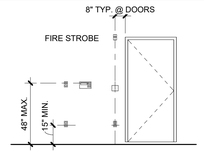
COAT HOOK



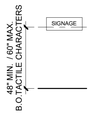
FIRE EXTINGUISHER CABINET



DRINKING FOUNTAIN SPOUT



ELECTRICAL DEVICES AND CONTROLS



SIGNAGE

ABBREVIATIONS

#	POUND OR NUMBER
@	AT
CL	CENTERLINE
L	ANGLE
ø	DIAMETER OR ROUND
AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATE / APPROXIMATELY
ARCH	ARCHITECTURAL / ARCHITECT
ASPH	ASPHALT
BC	BOTTOM OF CURB
BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLW	BELOW
BO	BOTTOM OF
BOT	BOTTOM
BRG	BEARING
BTWN	BETWEEN
BUR	BUILT UP ROOF
CAB	CABINET
CB	CATCH BASIN
CFM	CUBIC FEET PER MINUTE
CI	CAST IRON
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CPT	CARPET
CSMT	CASEMENT
CT	CERAMIC TILE
CTSK	COUNTERSUNK
CW	COLD WATER
CWD	CLAD WOOD
DBL	DOUBLE
DEG	DEGREE
DEPT	DEPARTMENT
DET	DETAIL
DF	DOUGLAS FIR
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	GARBAGE DISPOSAL
DN	DOWN
DO	DOOR OPENING
DP	DAMP PROOF
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
(E)	EXISTING
E	EAST
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FC	FIBER CEMENT
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISER
FEC	FIRE EXTINGUISHER CABINET
FG	FIBERGLASS
FIN	FINISH
FLASH	FLASHING
FLR	FLOOR
FLUOR	FLOURESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FRP	FIBERGLASS REINFORCED PLASTIC
FRT	FIRE RETARDANT TREATED
FRZ	FREEZER
FT	FOOT / FEET
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GI	GALVANIZED IRON
GL	GLULAM
GND	GROUND
GR	GRADE
GWB	GYPSUM BOARD
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HB	HOSE BIB
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HNDCP	HANDICAP
HORIZ	HORIZONTAL
HP	HORSE POWER
HPL	HIGH PRESSURE LAMINATE
HR	HOUR
HSS	HOLLOW STRUCTURAL STEEL
HT	HEIGHT
HVAC	HEATING VENTILATING AIR CONDITIONING
HW	HOT WATER
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES
INSUL	INSULATION
INT	INTERIOR
JB	JUNCTION BOX
JH	JOIST HANGER
JST	JOIST
JT	JOINT
KD	KILN DRIED
KIT	KITCHEN
KW	KILOWATT
LAM	LAMINATED
LAV	LAVATORY
LB	LEADER BOX
LH	LEFT HAND
LKR	LOCKER
LT	LIGHT
LTWT	LIGHTWEIGHT
MAT	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MRGWB	MOISTURE RESISTANT GWB
MTD	MOUNTED
MTL	METAL
MULL	MULLION
(N)	NEW
N	NORTH
NIC	NOT IN CONCRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OPNG	OPENING
OPP	OPPOSITE
OTS	OPEN TO STRUCTURE
P	PANTRY
PC	PRECAST
PIP	POURED IN PLACE
PL	PLATE OR PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTIC
PLYWD	PLYWOOD
PNT	PAINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PTD	PAINTED
PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE
R	RADIUS OR RISER
RA	RETURN AIR
RB	RESILIENT BASE
RD	ROOF DRAIN
REC	RECOMMENDATION
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCE(MENT)
REQ'D	REQUIRED
RESIL	RESILIENT
REV	REVISIONS
RF	RESILIENT FLOOR
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RWL	RAIN WATER LEADER
S	SOUTH
SA	SUPPLY AIR
SAM	SELF ADHERED MEMBRANE
SC	SOLID CORE
SCHED	SCHEDULE
SEC	SECTION
SF	SQUARE FOOT
SHT	SHEET
SHTHG	SHEATHING
SHWR	SHOWER
SIM	SIMILAR
SM	SHEET METAL
SP	SOLID PIPE
SPEC	SPECIFICATIONS
SPK	SPEAKER
SQ	SQUARE
SS	STAINLESS STEEL
SSK	SERVICE SINK
SSM	SOLID SURFACE MATERIAL
STA	STATION
STD	STANDARD
STL	STEEL
STN	STAIN
STR	STRUCTURAL
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	TREAD OR TILE
T&G	TONGUE AND GROOVE
T/M	TO MATCH
TC	TOP OF CURB
TEL	TELEPHONE
TEMP	TEMPERATURE
TER	TERRAZZO
THK	THICK / THICKNESS
TJ	TOOL JOINT
TLT	TOILET
TO	TOP OF
TOC	TOP OF CONCRETE
TOP	TOP OF PARAPET
TOS	TOP OF STEEL
TOSF	TOP OF SUB-FLOOR
TOW	TOP OF WALL
TP	TOP
TS	TUBE STEEL
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VFY	VERIFY
VG	VERTICAL GRAIN
VIF	VERIFY IN FIELD
VP	VENT PIPE
VR	VAPOR RETARDER
W	WEST
W	WATT
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WF	WIDE FLANGE
WH	WATER HEATER
WI	WROUGHT IRON
WO	WHERE OCCURS
WP	WATERPROOF
WR	WATER RESISTANT
WRB	WEATHER RESISTANT BARRIER
WSCT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

DIMENSIONS

A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.

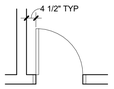
B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.

C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.

D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.

E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.

F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO ROUGH OPENING.



GRAPHIC SYMBOLS

NORTH ARROW

GRID LINE

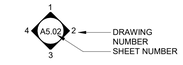
VERTICAL DATUM

ROOM NAME AND NUMBER

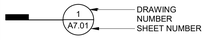
EXTERIOR ELEVATION

BUILDING SECTION / WALL SECTION

INTERIOR ELEVATION

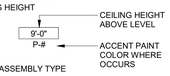


DETAIL CALLOUT

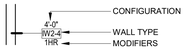


DOOR NUMBER

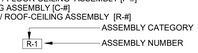
CEILING HEIGHT



WALL / ASSEMBLY TYPE



FLOOR / FLOOR-CEILING ASSEMBLY [F-#]
CEILING ASSEMBLY [C-#]
ROOF / ROOF-CEILING ASSEMBLY [R-#]



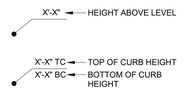
WINDOW TYPE

ACCESSORY / EQUIPMENT TYPE

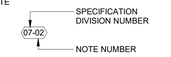
CASEWORK TYPE

MATERIAL / FINISH

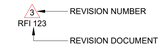
SPOT ELEVATION



KEYNOTE



REVISION



S|E A
SCOTT|EDWARDS ARCHITECTURE LLP.
2525 E Burnside Street, Portland, OR 97214
phone: (503) 226-3617 www.seallp.com

NOT FOR CONSTRUCTION

CDP SALEM - BUILDING A

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306

Community Development Partners

LAND USE SUBMISSION	03.11.2022
ISSUE	DATE

Drawing:

ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

Sheet No:
Building A -

A0.01

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FILE PATH: C:\Revit_Local\21031_CDP Salem Gateway_Walk Up Building A_22_mculbertson.rvt

TYPE A UNITS - REQUIRED CLEAR FLOOR AREAS, CLEARANCES, AND STANDARD MOUNTING LOCATIONS

PER ICC A117.1-2009 AND FAIR HOUSING ACT DESIGN MANUAL

DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY

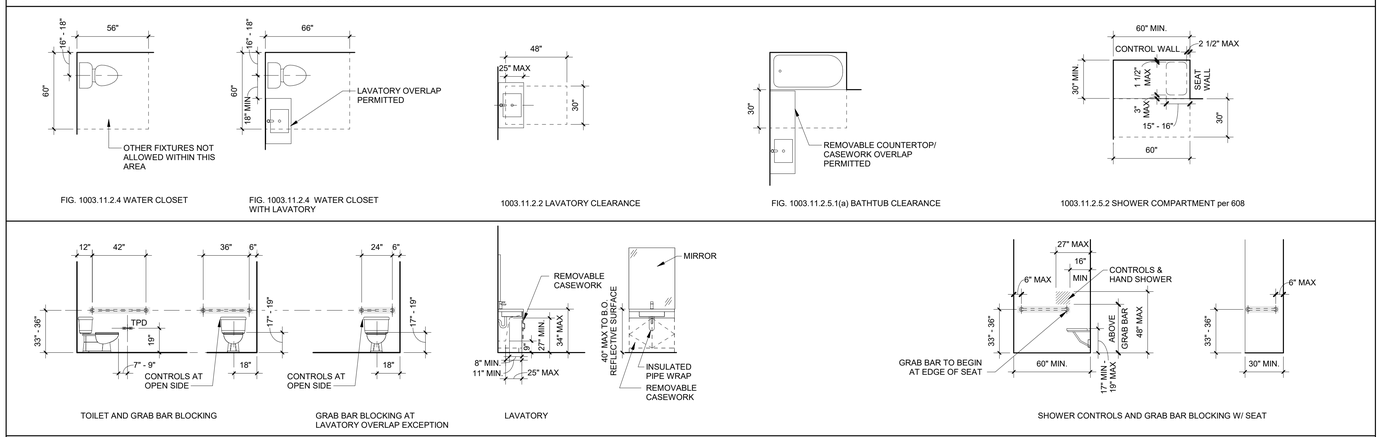

FIG. 1003.11.2.4 WATER CLOSET

FIG. 1003.11.2.4 WATER CLOSET WITH LAVATORY

1003.11.2.2 LAVATORY CLEARANCE

FIG. 1003.11.2.5.1(a) BATHTUB CLEARANCE

1003.11.2.5.2 SHOWER COMPARTMENT per 608

TOILET AND GRAB BAR BLOCKING

GRAB BAR BLOCKING AT LAVATORY OVERLAP EXCEPTION

LAVATORY

SHOWER CONTROLS AND GRAB BAR BLOCKING W/ SEAT

KITCHEN SINK

KITCHEN WORK SURFACE

ELECTRICAL DEVICES AND CONTROLS - SIDE REACH

ELECTRICAL DEVICES AND CONTROLS - FORWARD REACH

ELECTRICAL DEVICES AND CONTROLS - SIDE REACH

TYPE B UNITS - REQUIRED CLEAR FLOOR AREAS, CLEARANCES, AND STANDARD MOUNTING LOCATIONS

PER ICC A117.1-2009

DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY

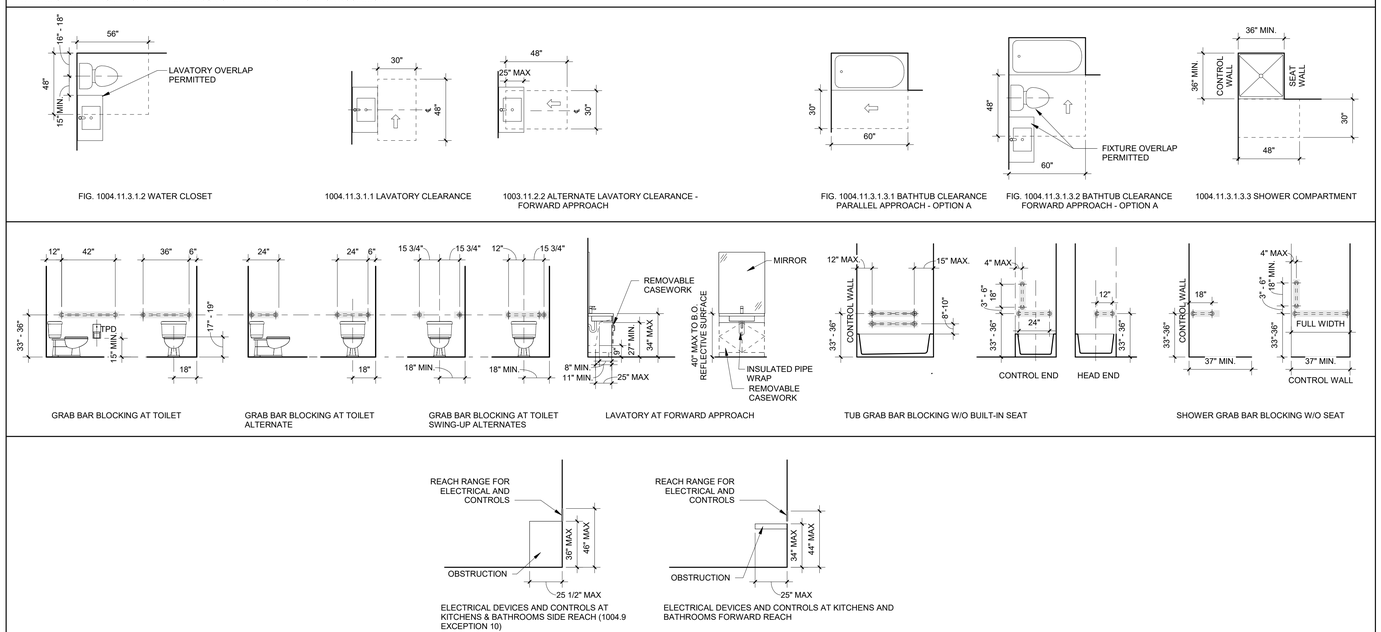

FIG. 1004.11.3.1.2 WATER CLOSET

1004.11.3.1.1 LAVATORY CLEARANCE

1003.11.2.2 ALTERNATE LAVATORY CLEARANCE - FORWARD APPROACH

FIG. 1004.11.3.1.3.1 BATHTUB CLEARANCE PARALLEL APPROACH - OPTION A

FIG. 1004.11.3.1.3.2 BATHTUB CLEARANCE FORWARD APPROACH - OPTION A

1004.11.3.1.3.3 SHOWER COMPARTMENT

GRAB BAR BLOCKING AT TOILET

GRAB BAR BLOCKING AT TOILET ALTERNATE

GRAB BAR BLOCKING AT TOILET SWING-UP ALTERNATES

LAVATORY AT FORWARD APPROACH

TUB GRAB BAR BLOCKING W/O BUILT-IN SEAT

SHOWER GRAB BAR BLOCKING W/O SEAT

ELECTRICAL DEVICES AND CONTROLS AT KITCHENS & BATHROOMS SIDE REACH (1004.9 EXCEPTION 10)

ELECTRICAL DEVICES AND CONTROLS AT KITCHENS AND BATHROOMS FORWARD REACH

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phone: (503) 226-3617 www.seallp.com

NOT FOR CONSTRUCTION

CDP SALEM - BUILDING A

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306

Community Development Partners

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	DATE

Drawing:

ACCESSIBILITY DIAGRAMS - RESIDENTIAL

Sheet No:
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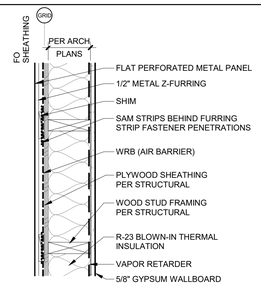
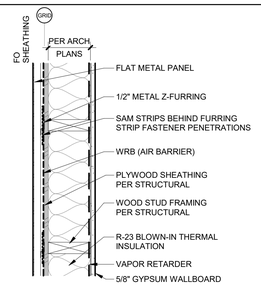
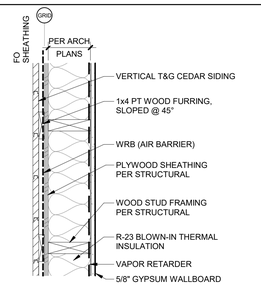
EXTERIOR WALL TYPES



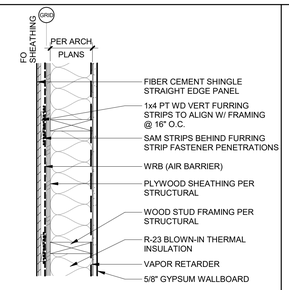
EW4-X EXTERIOR FLAT PERFORATED METAL PANEL



EW3-X EXTERIOR FLAT METAL PANEL

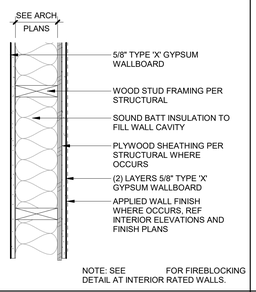


EW2-X EXTERIOR VERTICAL WOOD SIDING



EW1-X EXTERIOR FIBER CEMENT SHINGLE SINGLE STRAIGHT EDGE PANEL

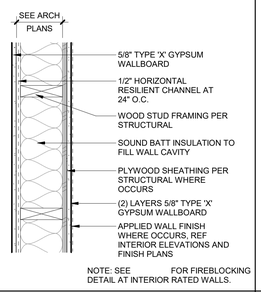
INTERIOR WALL TYPES



NOTE: SEE FOR FIREBLOCKING DETAIL AT INTERIOR RATED WALLS.

IW4-X 1 HR RATED INTERIOR PARTITION WALL

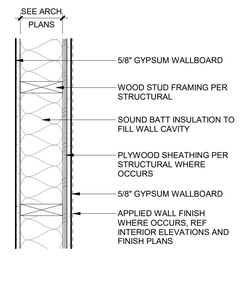
GA	WP 3520
STC	35-39



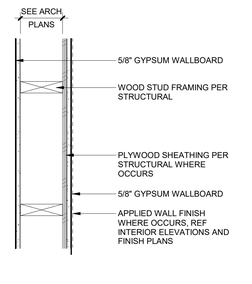
NOTE: SEE FOR FIREBLOCKING DETAIL AT INTERIOR RATED WALLS.

IW3-X 1 HR RATED INTERIOR DEMISING WALL

GA	WP 3243
STC	50-54



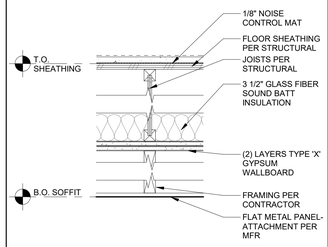
IW2-X INTERIOR PARTITION WALL



IW1-X INTERIOR PARTITION WALL

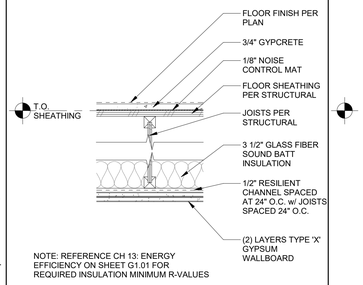
FLOOR/CEILING TYPES

NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES



F-3 1-HR RATED FLOOR/CEILING ASSEMBLY

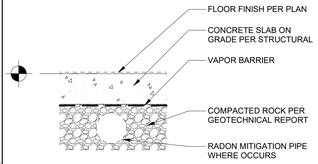
UL #	BXUV.L570
STC	55, 100528151CRT-002I
ICC	53, 100528151CRT-001T



NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES

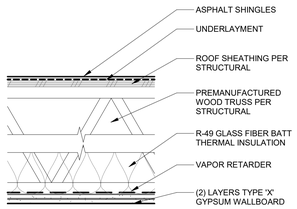
F-2 1-HR RATED FLOOR/CEILING ASSEMBLY

UL #	BXUV.L570
STC	55, 100528151CRT-002I
ICC	53, 100528151CRT-001T



F-1 SLAB ON GRADE FLOOR

ROOF TYPES



BASE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" O.C. WITH 1-1/4" TYPE W DRYWALL SCREWS 24" O.C. FACE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1-7/8" TYPE W DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS, 12" O.C.

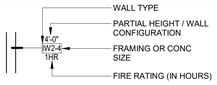
R-1 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY

OSSC: T721.1(3) NO. 21-1.1

GENERAL SHEET NOTES

A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE
B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.
F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.
H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
I. AT WALLS WITH RESILIENT CHANNELS SEE DETAIL __ FOR ASSEMBLY DETAILS.
J. WHERE ACOUSTIC WALL IS INDICATED, SEE __ FOR ASSEMBLY DETAILS.

WALL TYPE SYMBOL



WOOD FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED
4 = 2" x 4"
6 = 2" x 6"
8 = 2" x 8"

ABBREVIATIONS

GA GYPSUM ASSOCIATION

S|E A
SCOTT|EDWARDS ARCHITECTURE LLP.
2525 E Burnside Street, Portland, OR 97214
phone: (503) 226-3617 www.seallp.com

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CDP SALEM - BUILDING A

Job Number: 21031

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SALEM, OR 97306

Community Development Partners

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Drawing:

ASSEMBLIES

Sheet No:
Building A -

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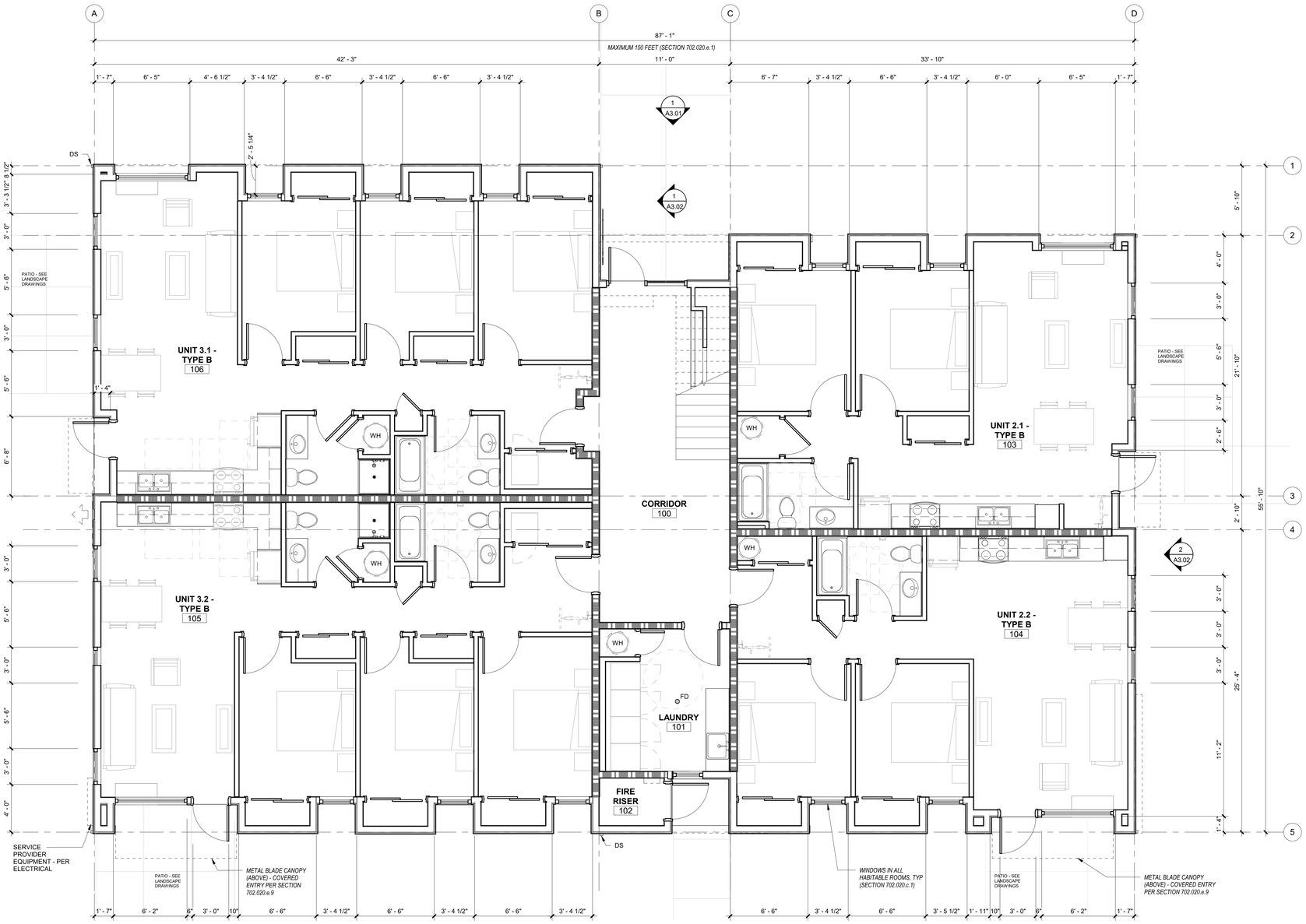

1 FIRST FLOOR PLAN

1/4" = 1'-0"

GENERAL SHEET NOTES

A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
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F. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS
G. SEE WINDOW SCHEDULE FOR WINDOW TYPES
H. FOR FLOOR FINISHES, SEE A10.21 SCHEDULES & FINISH LEGENDS.
I. WIRE SHELVING IN ALL BEDROOM CLOSETS
J. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY.
K. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS
L. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS
M. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL

LEGEND

REF A0.01 FOR GENERAL LEGENDS

- 1 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF
- DS 2x3 FLAT STYPE DOWNSPOUT
- FD FLOOR DRAIN
- WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS

KEYNOTES

07-02

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FIRST FLOOR PLAN

Sheet No:
Building A -

A2.11

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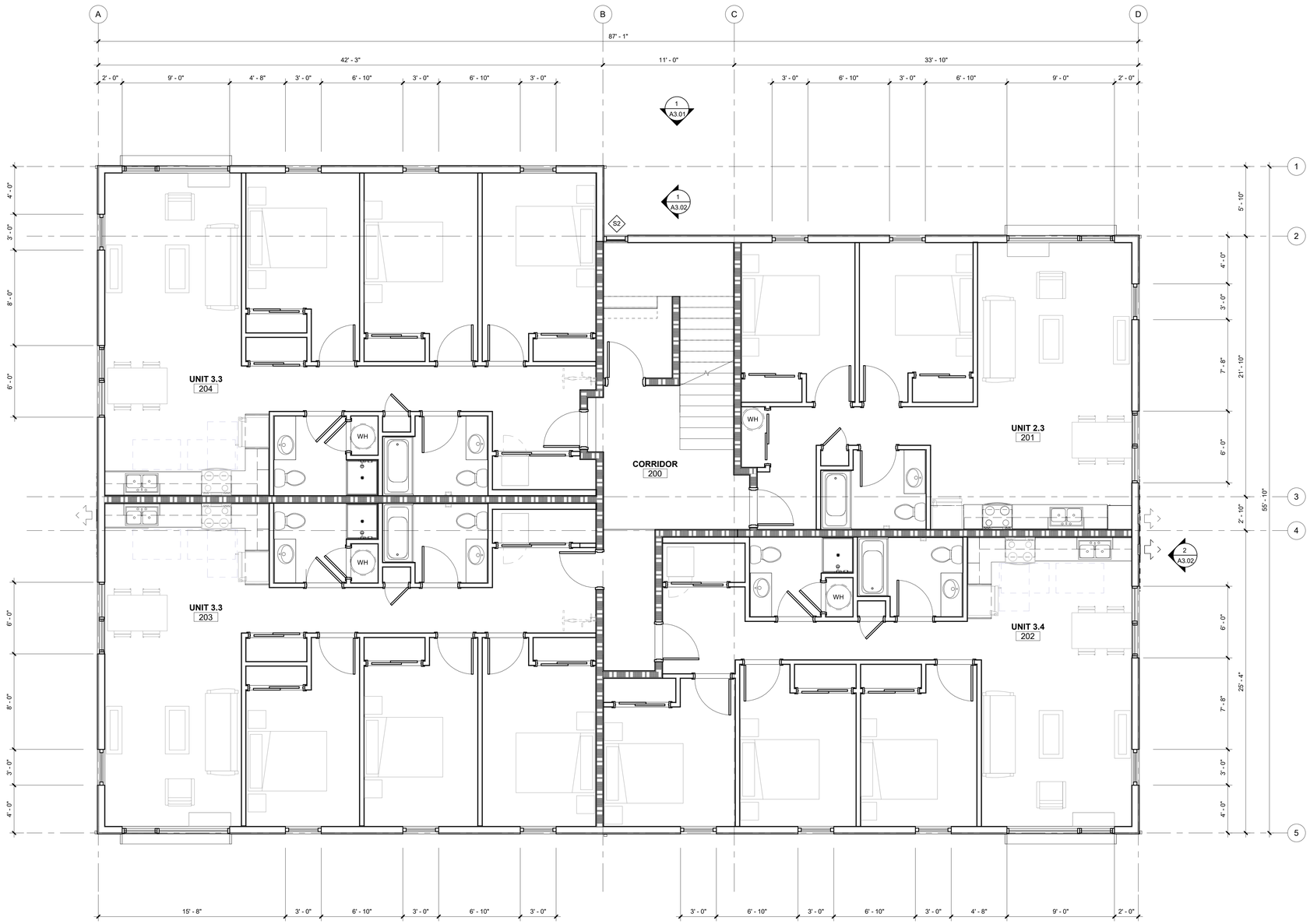

1 **SECOND FLOOR PLAN**
1/4" = 1'-0"

GENERAL SHEET NOTES

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B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
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G. SEE WINDOW SCHEDULE FOR WINDOW TYPES
H. FOR FLOOR FINISHES, SEE A10.21 SCHEDULES & FINISH LEGENDS.
I. WIRE SHELVING IN ALL BEDROOM CLOSETS
J. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY.
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M. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL

LEGEND

REF A0.01 FOR GENERAL LEGENDS

- 1 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF
- DS 2x3 FLAT STYPE DOWNSPOUT
- FD FLOOR DRAIN
- WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS

KEYNOTES

07-02

CDP SALEM - BUILDING A

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306

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SECOND FLOOR PLAN

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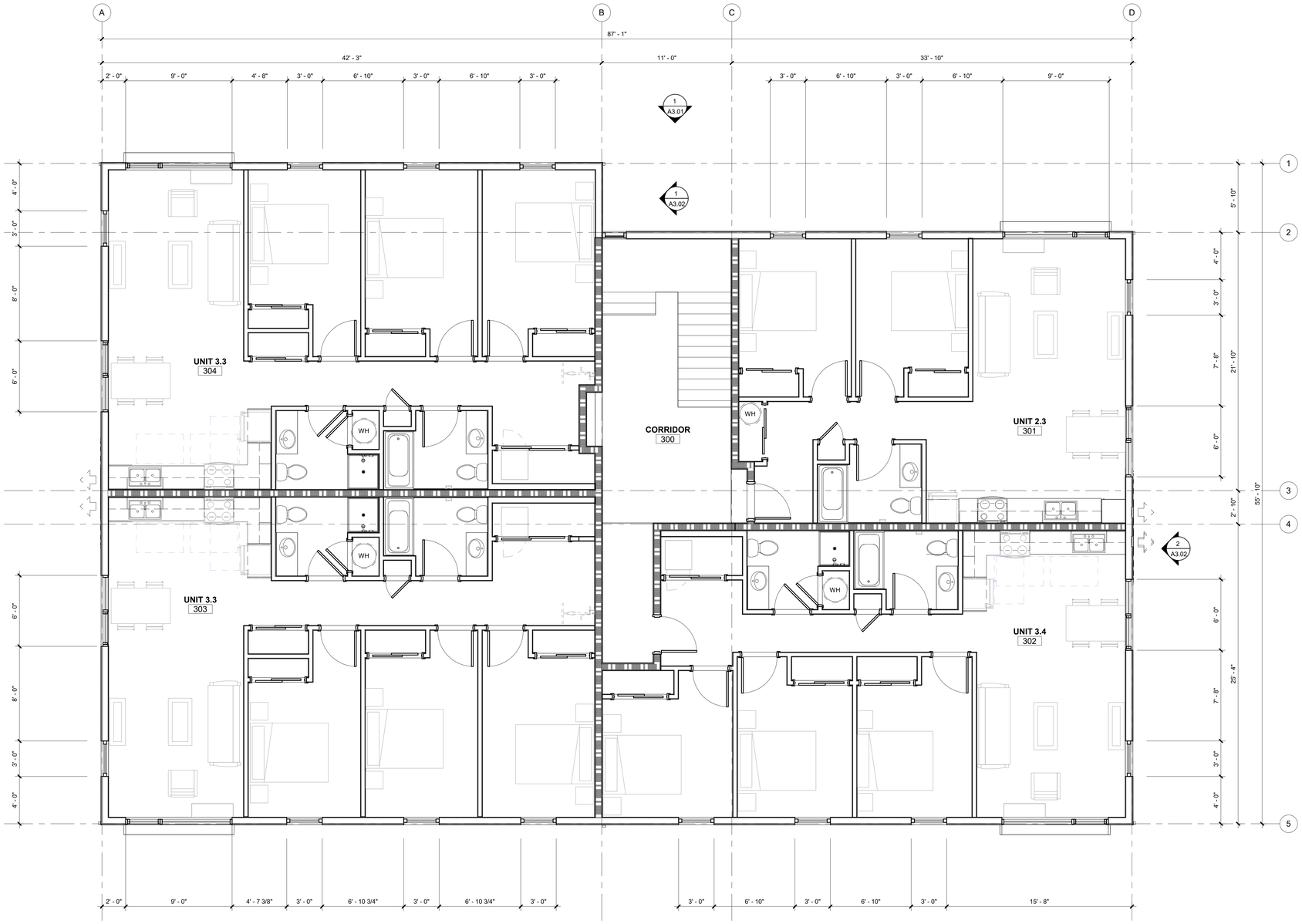

1 **THIRD FLOOR PLAN**
1/4" = 1'-0"

GENERAL SHEET NOTES

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B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
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LEGEND

REF A0.01 FOR GENERAL LEGENDS

- 1 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF
- DS 2x3 FLAT STYPE DOWNSPOUT
- FD FLOOR DRAIN
- WH WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS

KEYNOTES

07-02

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CDP SALEM - BUILDING A

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THIRD FLOOR PLAN

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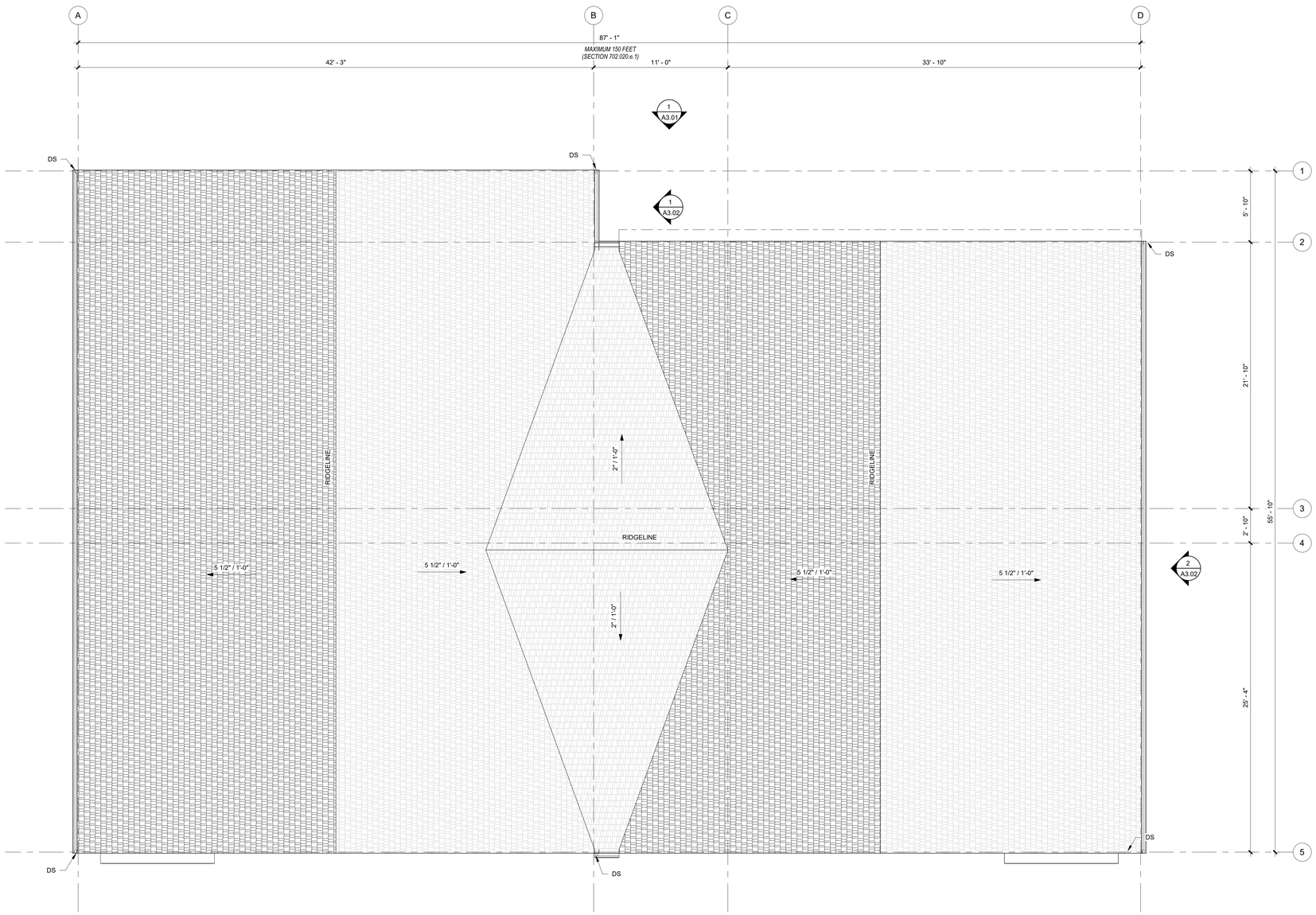

1 **ROOF PLAN**
1/4" = 1'-0"

GENERAL SHEET NOTES

A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
C. ALL INTERIOR UNIT WALLS TO BE IW2-X.
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M. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL

LEGEND

REF A0.01 FOR GENERAL LEGENDS

	1 HOUR RATED ASSEMBLY
	ELEMENT ABOVE
R-1	ASPHALT SHINGLE ROOF
DS	2x3 FLAT STYPE DOWNSPOUT
FD	FLOOR DRAIN
WH	WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS

KEYNOTES

07-02

SEE MECHANICAL DRAWINGS FOR LOCATION OF MECHANICAL UNITS AND ROOF PENETRATIONS

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CDP SALEM - BUILDING A

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Drawing:

ROOF

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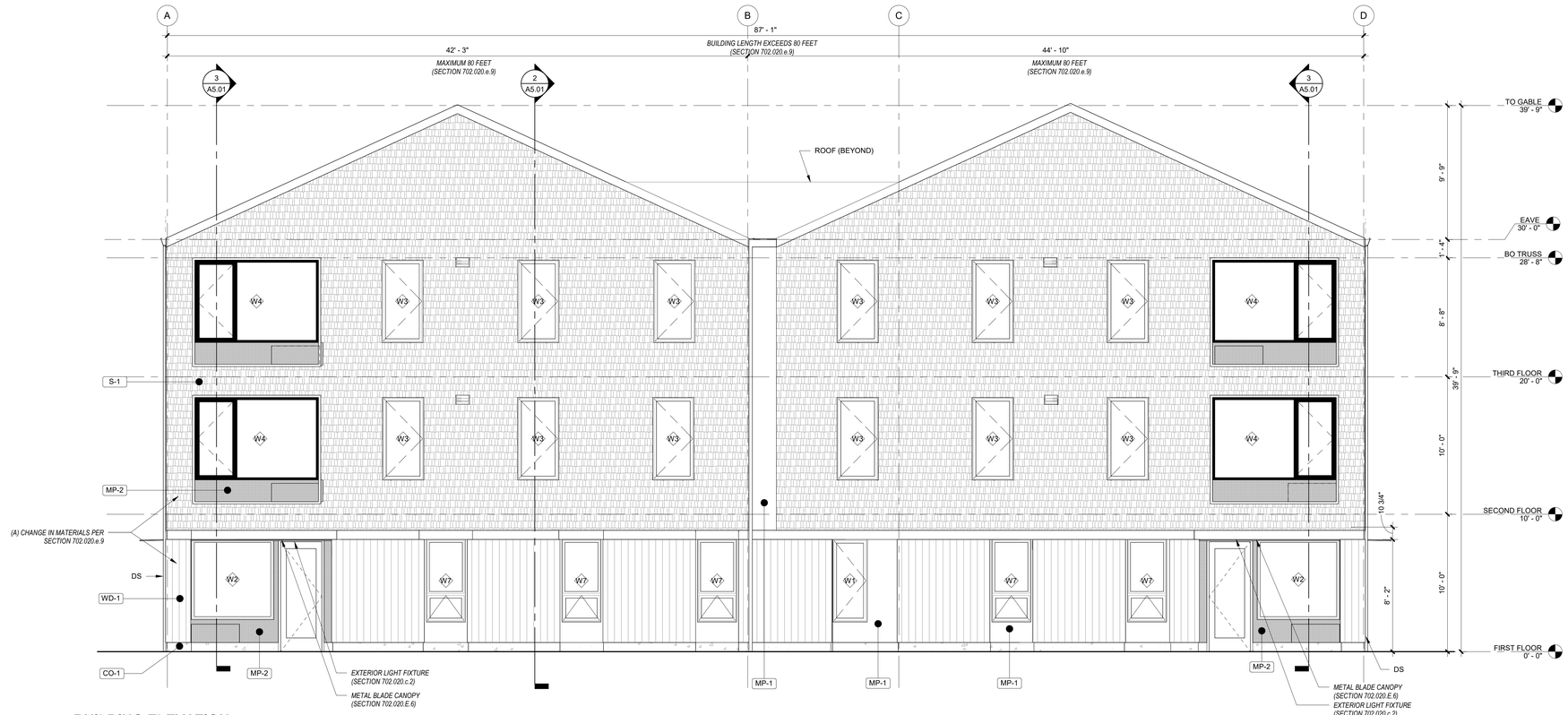
1 **BUILDING ELEVATION**
1/4" = 1'-0"



2 **BUILDING ELEVATION**
1/4" = 1'-0"

GENERAL SHEET NOTES

A. REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
B. REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
C. CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
D. ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
E. PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
F. PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
G. TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

LEGEND

- S-1 — **SHINGLE SIDING** PRODUCT: SHINGLE SIDING, STRAIGHT EDGE PANEL COLOR: TBD, LIGHT
- ASR — **ASPHALT SHINGLE ROOF** PRODUCT: TBD COLOR: TBD
- MP-1 — **FLAT METAL PANEL** PRODUCT: TBD FINISH: BLACK
- MP-2 — **FLAT METAL PANEL, PERFORATED** PRODUCT: TBD FINISH: BLACK
- WD-1 — **VERTICAL WOOD SIDING** PRODUCT: TBD FINISH: TBD
- CO-1 — CONCRETE STEM WALL
- X-VENT
- PTHP (BEYOND)

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NOT FOR CONSTRUCTION

CDP SALEM - BUILDING A

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306

Community Development Partners

LAND USE SUBMISSION ISSUE	03.11.2022
	DATE

Drawing:

EXTERIOR ELEVATIONS

Sheet No:
Building A -

A3.01

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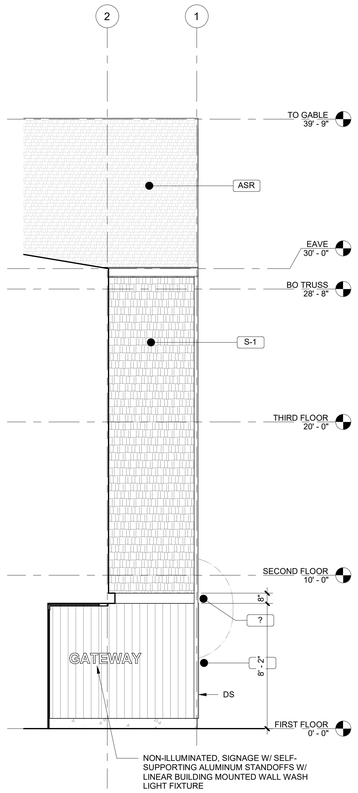
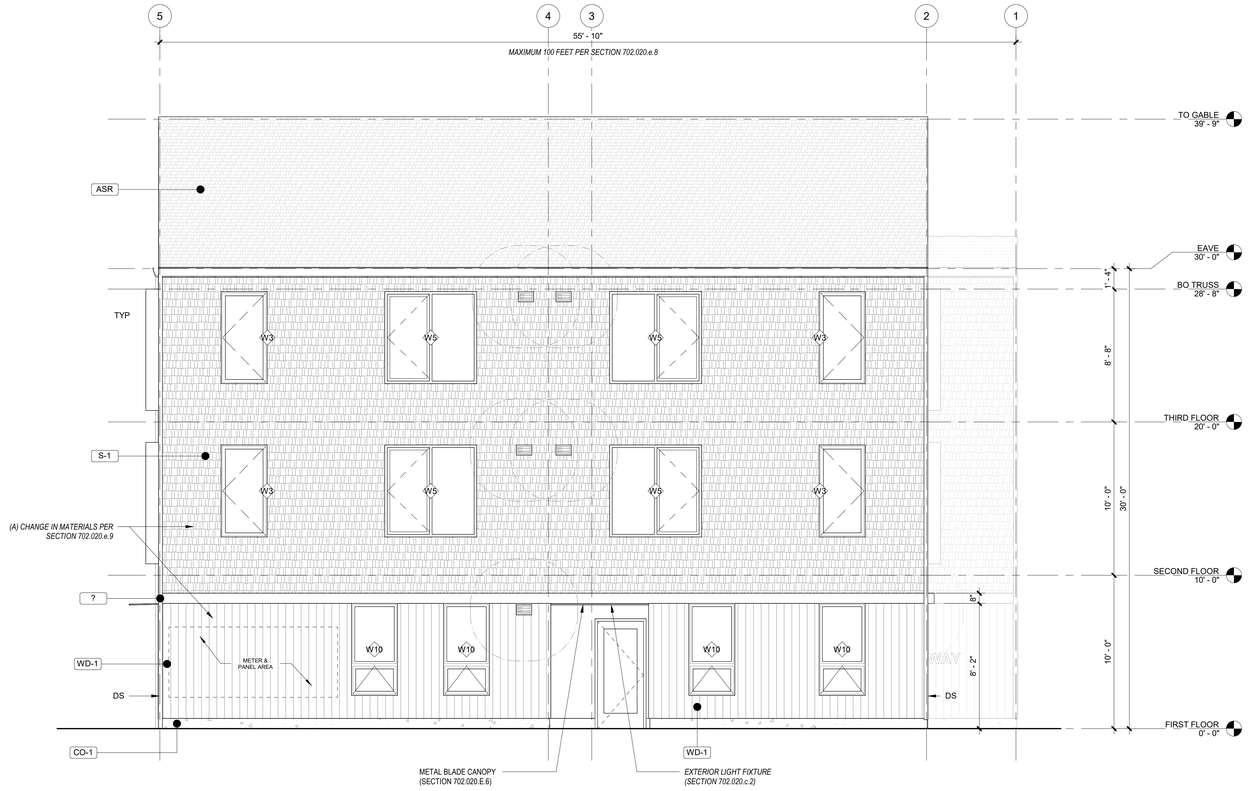


1 **BUILDING ELEVATION**
1/4" = 1'-0"



2 **BUILDING ELEVATION**
1/4" = 1'-0"

3 **BUILDING ELEVATION**
1/4" = 1'-0"

GENERAL SHEET NOTES

A. REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
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LEGEND

S-1	**SHINGLE SIDING** PRODUCT: SHINGLE SIDING, STRAIGHT EDGE PANEL COLOR: TBD, LIGHT
ASR	**ASPHALT SHINGLE ROOF** PRODUCT: TBD COLOR: TBD
MP-1	**FLAT METAL PANEL** PRODUCT: TBD FINISH: BLACK
MP-2	**FLAT METAL PANEL, PERFORATED** PRODUCT: TBD FINISH: BLACK
WD-1	**VERTICAL WOOD SIDING** PRODUCT: TBD FINISH: TBD
CO-1	CONCRETE STEM WALL
	X-VENT
	PTHP (BEYOND)

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EXTERIOR ELEVATIONS

Sheet No:
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BUILDING FACING COURTYARD 1

PATH FROM PARKING TO COURTYARD

BUILDING PATIOS

BUILDINGS ALONG SALAL ST.

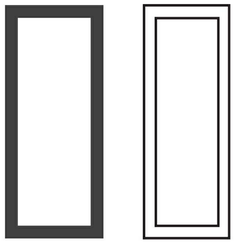
MATERIALS

VERTICAL WOOD SIDING
PRODUCT: TBD
FINISH: TBD

SHINGLE SIDING
PRODUCT: SHINGLE SIDING, STRAIGHT EDGE PANEL
FINISH: TBD, LIGHT

ASPHALT SHINGLE ROOF
PRODUCT: TBD
FINISH: TBD, DARK

FLAT METAL PANEL
PRODUCT: TBD
FINISH: TBD, DARK



VINYL WINDOWS
PRODUCT: VPI ENDURANCE
FINISH: TBD, LIGHT & DARK

* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.

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RENDERINGS

Sheet No:
Building A -

A3.10

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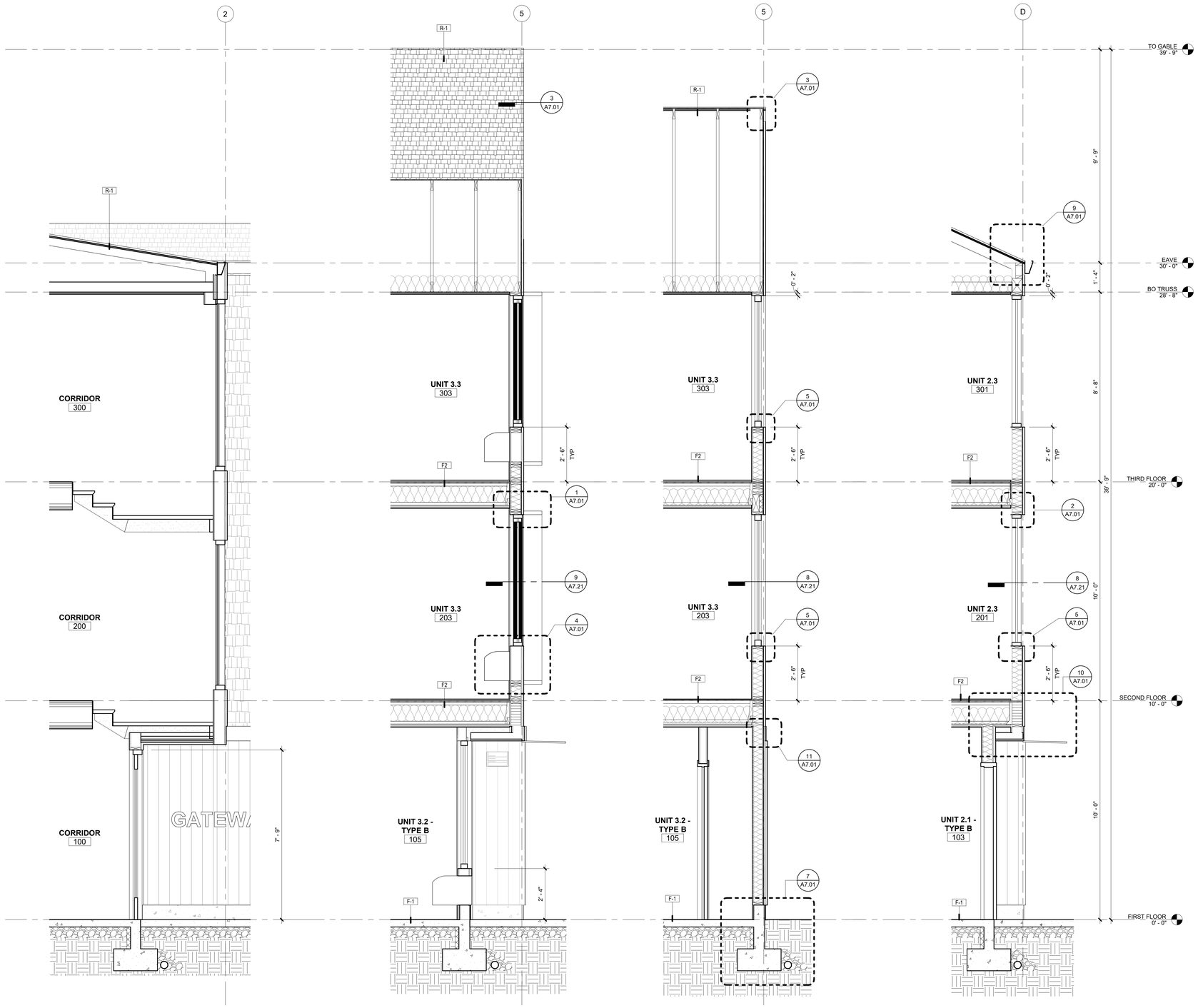

4 **WALL SECTION**
1/2" = 1'-0"

3 **WALL SECTION**
1/2" = 1'-0"

2 **WALL SECTION**
1/2" = 1'-0"

1 **WALL SECTION**
1/2" = 1'-0"

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WALL SECTIONS

Sheet No:
Building A -

A5.01

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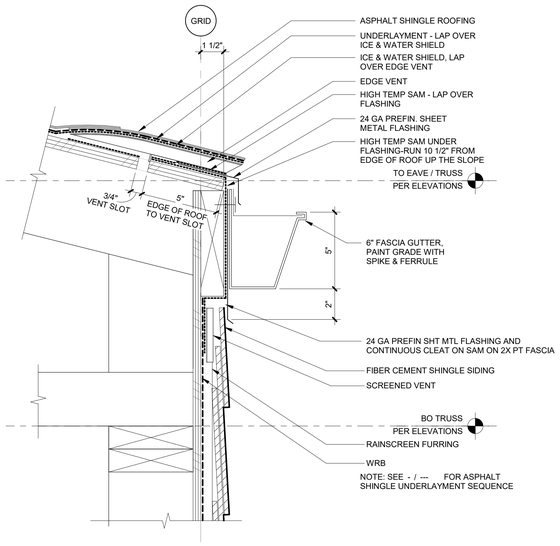
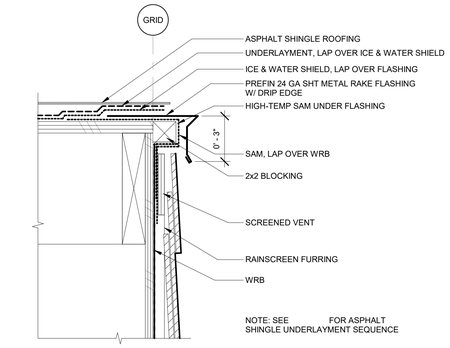
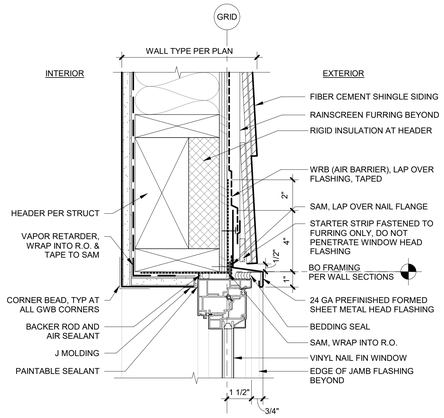


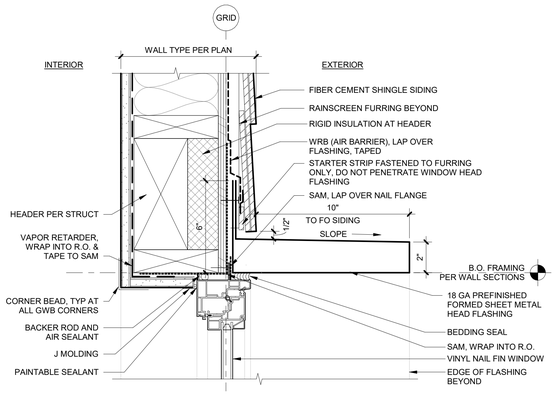
9 TYPICAL EAVE
3" = 1'-0"



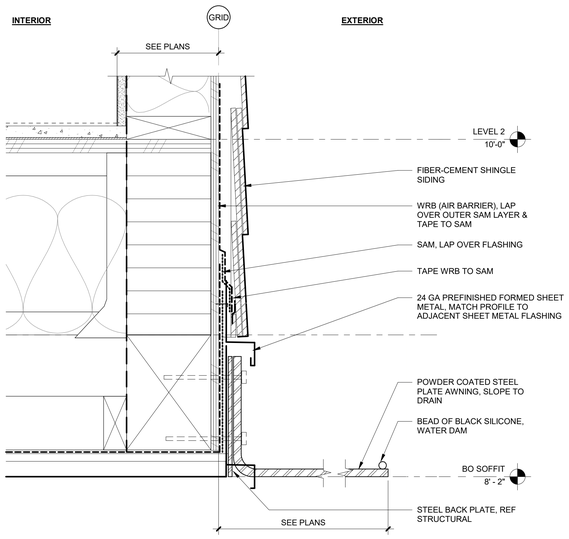
3 TYPICAL RAKE
3" = 1'-0"



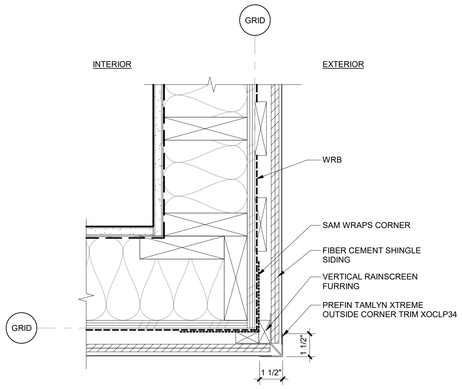
2 WINDOW HEAD @ FIBER-CEMENT SIDING
3" = 1'-0"



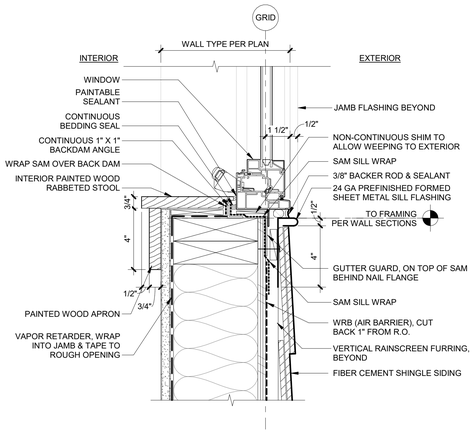
1 WINDOW HEAD @ FIBER-CEMENT SIDING W/ TRIM SURROUND
3" = 1'-0"



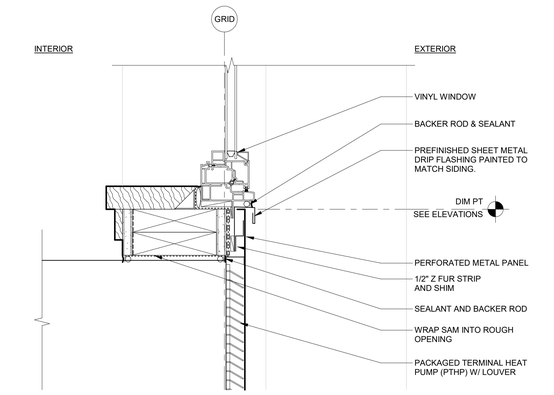
10 METAL BLADE CANOPY
3" = 1'-0"



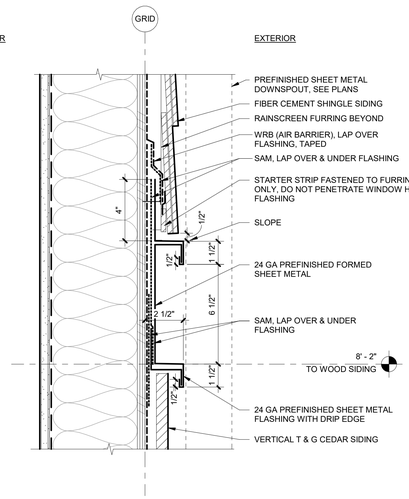
6 FIBER CEMENT SHINGLE OUTSIDE CORNER
3" = 1'-0"



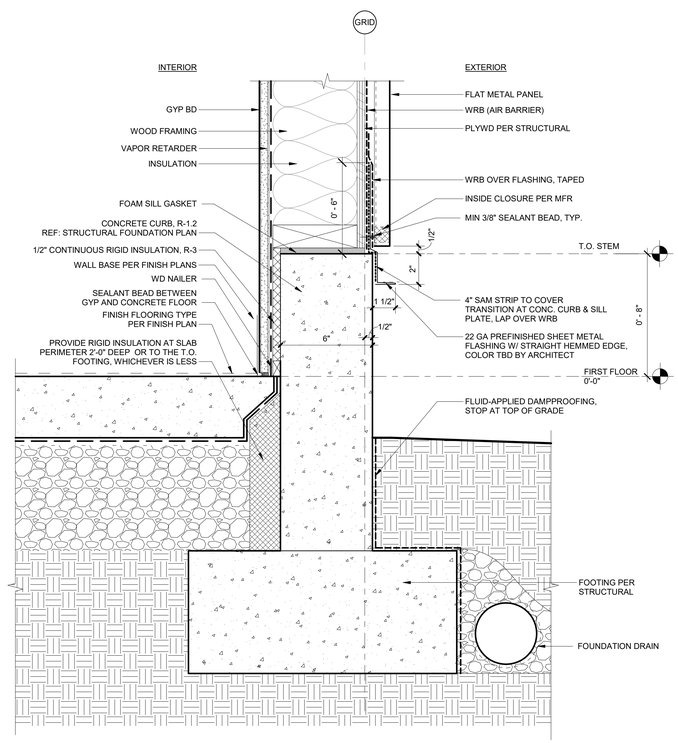
5 WINDOW SILL @ FIBER-CEMENT SIDING
3" = 1'-0"



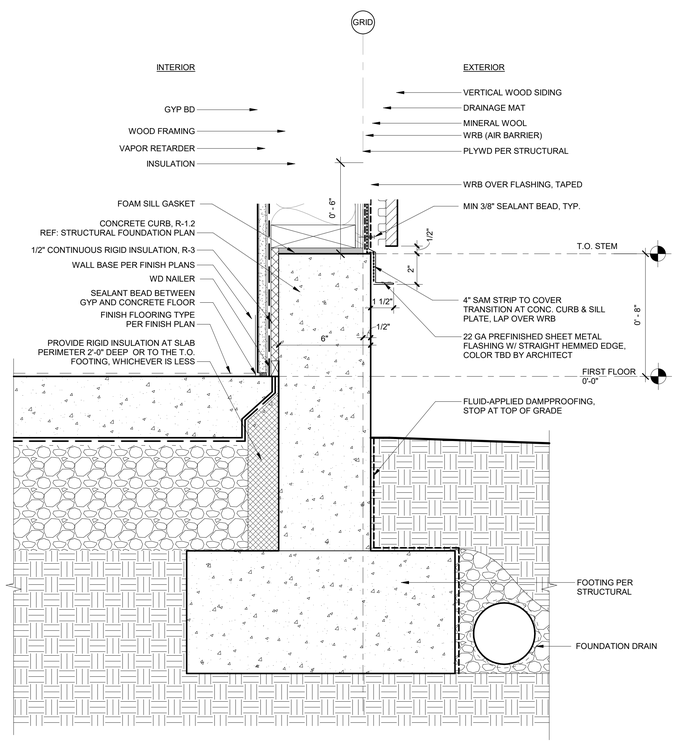
4 WINDOW SILL @ PTHP LEVELS 2-3
3" = 1'-0"



11 WOOD SIDING TO FIBER CEMENT SHINGLE
3" = 1'-0"



8 CURB AT METAL WALL PANEL
3" = 1'-0"



7 CURB AT WOOD SIDING
3" = 1'-0"

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EXTERIOR DETAILS

Sheet No:

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