

Public Works Department

555 Liberty Street SE / Room 325 • Salem OR 97301-3513 • Phone 503-588-6211 • Fax 503-588-6025

March 14, 2022

Joel Smallwood Salem Keizer School District 24J 3630 State Street Salem OR 97301

SUBJECT: Wetland Land Use Notification: 4000 Deerhaven Drive NE Permit # 21-119953-RP

Tax lot 073W12AC03201 at the above address may contain mapped wetlands or waterways as is indicated on the Salem-Keizer Local Wetland Inventory. *Oregon Revised Statute* 227.350(5) allows the City of Salem to issue development permits and approvals for activities for parcels identified as, or including wetlands on, the Local Wetland Inventory upon the following:

- Providing written notice to the applicant and landowner of the possible presence of wetlands on your property;
- Providing written notice to the applicant and landowner of the potential need for state and federal wetland permits; and
- Providing Department of State Lands (DSL) with a copy of the notification.

All, or a portion of this property has been identified as wetland and/or waterway on the Statewide Wetland Inventory *or in close proximity* to a mapped wetland and/or waterway site. If you have evidence to the contrary, please contact me as soon as possible at 503-588-6211. If the site contains a jurisdictional wetland, this proposal may require a permit from DSL and/or the Army Corps of Engineers. You must obtain any necessary state or federal permits before beginning your project. The City of Salem is not liable for any delays in the processing of state or federal permits. Enclosed is a copy of the wetland land use notice sent to DSL. DSL will contact you if any permits are required, or further information is necessary.

Jason Valyou

Program Coordinator

JP/F:\Common\PAC\DevSvcsLandUse\21-119953-RP_4000 Deerhaven Drive NE\WLUN\WLUN Letter_21-119953-RP.doc.docx

Enclosures: GIS Map; Site Map; Wetland Land Use Notification Form cc: Zachary Diehl, Natural Resource Program Coordinator

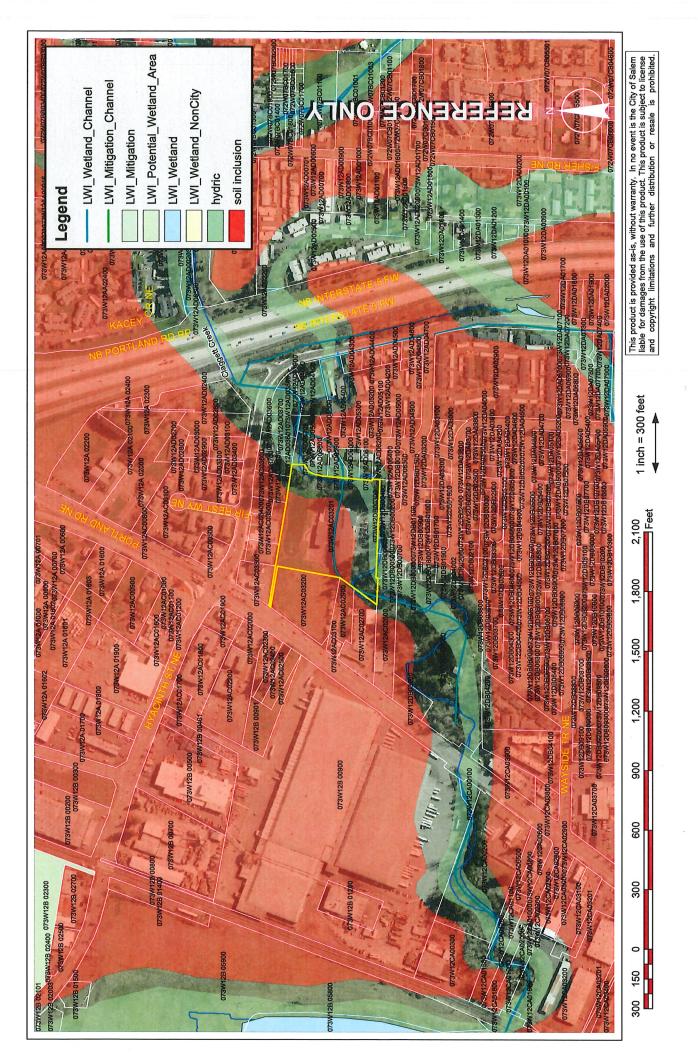
File

Transportation and Utility Operations

1410 20th Street SE/Building 2 Salem OR 97302-1209 Phone 503-588-6063 Fax 503-588-6480 **Parks Operations**

1460 20th Street SE/Building 14 Salem OR 97302-1209 Phone 503-588-6336 Fax 503-588-6305 Willow Lake Water Pollution Control Facility

5915 Windsor Island Road N Kelzer OR 97303-6179 Phone 503-588-6380 Fax 503-588-6387



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Wetland Land Use Notification

OREGON DEPARTMENT OF STATE LANDS

775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Phone: (503) 986-5200

This form is to be completed by planning department staff for mapped wetlands and waterways.

* Required Field (?) Tool Tips

Responsible Jurisdiction

Municipality* Date*

Salem

3/11/2022

Staff Contact

First Name*

Last Name*

Jason

Valyou

Phone*

Email*

5035886211

jvalyou@cityofsalem.net

Applicant

First Name*

Last Name*

Joel

Smallwood

Applicant Organization Name

(if applicable)

Salem Keizer School District 24J

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			i

Mailing Address*

Street Address

3630 State Street

Address Line 2

City

State

Salem

Or

Postal / Zip Code

Country

97301

United States

Phone

Email (?)

5033993095

smallwood_joel@salkeiz.k12.or.us

Is the Property Owner name and address the same as the Applicant?*

O No ⊚ Yes

Activity Location

Township* (?)

Range*(?)

Section*(?)

07S

03W

12

Quarter-quarter Section (?)

Tax Lot(s)*

AC

03200

You can enter multiple tax lot numbers within this field. i.e. 100, 200, 300, etc.

To add additional tax map and lot information, please click the "add" button below.

Address

Street Address

4500 Deerhaven Drive NE

Address Line 2

City

State

Salem

OR

Postal / Zip Code

Country

97301

USA

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County*

Marion

Adjacent Waterbody

Claggett Creek, Wetland Mitigation channel, Hydric soil, soil inclusion

Proposed Activity

Prior to submitting, please ensure proposed activity will involve physical alterations to the land and/or new construction or expansion of footprint of existing structures.

Local Case File #* (?) 21-119953-RP	Zoning CR and RS
Proposed	
☑ Building Permit (new structures)	☐ Conditional use Permit
☑ Grading Permit	☐ Planned Unit Development
☑ Site Plan Approval	Subdivision
☐ Other (please describe)	

Applicant's Project Description and Planner's Comments:*

Class 3 Site Plan Review, Class 2 Adjustments, and Class 1 Design Review for renovations of Hallman Elementary School. The proposal includes a new vehicle use area which will include parking, pick-up and drop-off area, two new classrooms, gym renovation, and other interior improvements. Three Class 2 Adjustments are requested for the following: 1) eliminate the pedestrian connection standard which requires a pedestrian connection between main entrances when a building has more than one primary entrance; 2) adjust bicycles siting standards to allow existing bicycle parking located farther than fifty feet from the main entrance; and 3) increase the maximum off-street parking allowed from 77 to 108. The property is located at 4000 Deerhaven Dr NE and 4130 Portland Rd NE, split-zoned RS (Single Family Residential) and CR (Commercial Retail) and partially within the Portland/Fairgrounds Road Overlay Zone (Marion Co. Tax Lot Nos. 073W12AC/3201 and 073W12AC/3200).

Required attachments with site marked: Tax map and legible, scaled site plan map. (?)

21-119953-RP_LWI Map.pdf

5.26MB

21-119953-RP_Plans.pdf

35.79MB

21-119953-RP Tax Lot Map.pdf

548.21KB

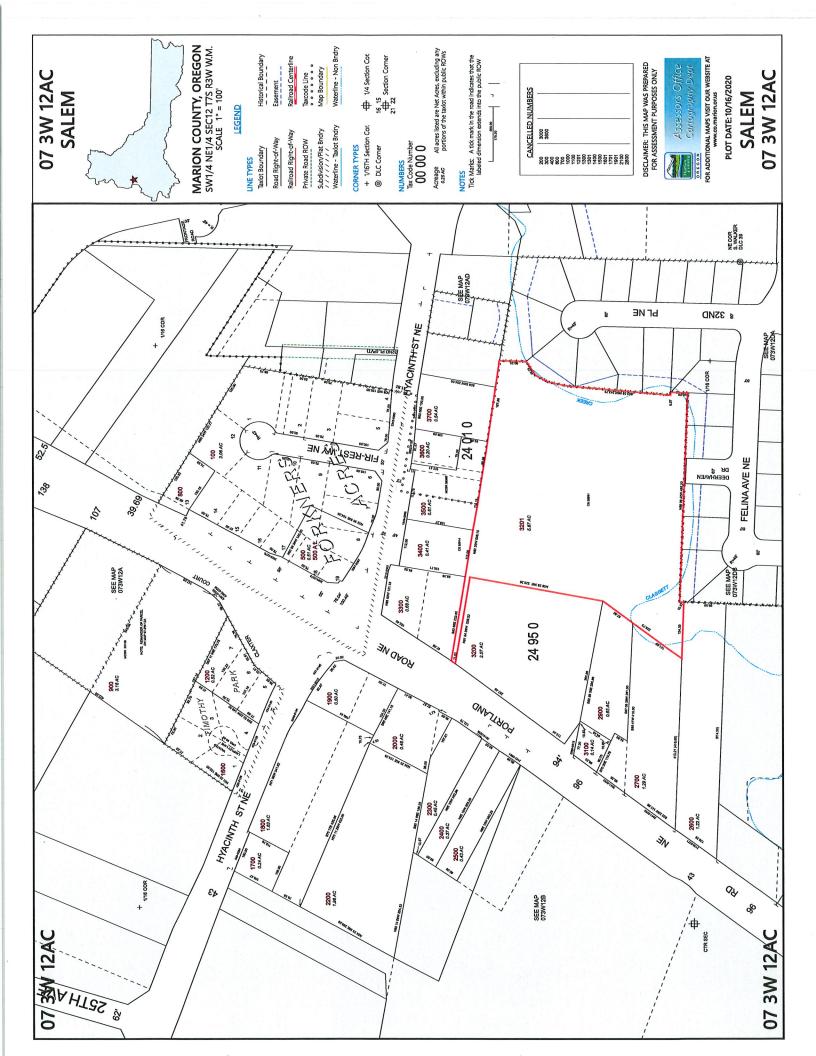
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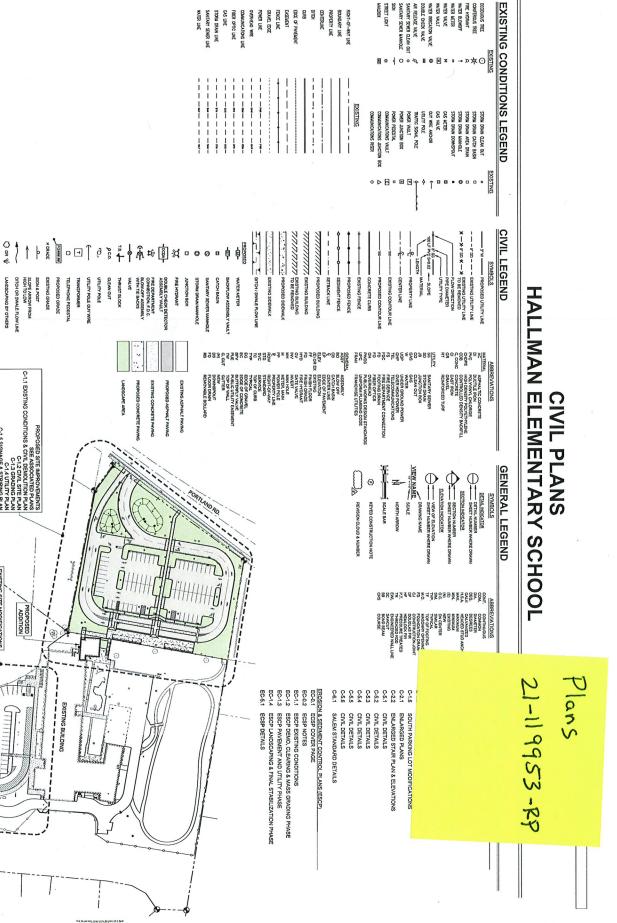
Additional Attachments

Date

3/11/2022

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CIVIL KEY PLAN

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SHEET NO

A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL

DOD DEERHAVEN DR. NE





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ALL PIPED UTILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO 2 TIMES THE DIMMETER OF THE ABANDONED PIPE.

- OREGON LAW REQUIRES THE CONTRACTOR TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, THOSE RULES ARE SET FORTH IN DAR RECORDINGTO THROUGH CARR RECORDINGTO FROM THE SET FORTH RULES ARE AVAILABLE BY CALLING THE OREGON UTILITY NOTIFICATION CENTER AT (802) 222-1887.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISOUTION AND EACH UNDESOROUND TRUTHY AT LEAST 41 INSURENCES AND HOUSE PRING TO EXCHANING BORNIC, OR POTHOLING, ALL UTILITY CROSSINGS SHALL BE POTHOLIED AS RECESSIVE PRIOR TO EXCLAVATING OR IDENIAL TO ALLOW THE CONTRACTOR TO PREVIANT GRADE OR ALLOWART CONCILIES.

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 AND PARAGES SHALL BE ALJUSTED SO WATER FLORES NOT THE STRUCTURE WITHOUT PORDING
 WHEEL.

- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, ALL STORM PIPE INLETS & OUTFALLS SHALL BE BEVELED FLUSH TO MATCH THE SLOPE WHEREN THEY LIE. UNLESS OTHERWISE APPROVED BY THE ENGINEER, ALL STORM DRAIN CONNECTIONS SHALL BE BY MANUFACTURED THES OR SADDLES.
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- DEFORE FINAL ACCEPTANCE, FLUSH AND CLEAN ALL STORM DRAINS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MAINLINES, MANHOLES, CATCH BASINS AND DETENTION STRUCTURES.
- CLEANDUTS ON SANTARY SEVER AND STORM DRAW PIPRIO TO BE SPACED MATHUM OF 100 FEET PARTS. CLEANDUTS ARE REGUIRED FOR EACH AGDREDATE MORIZONTAL CHANGE IN DIRECTION EXCREDING 135 DECREES (0PSG 718).

LEGENOUS WEEKE WATER SANTARY AND TOTAL STORE STORE SHOW SHALL SHAL

CLEANOUT COVER TO BE 16" TALL CAST IRON VALVE BOX AND COVER. INSTALL FLUSH WITH FINISHED GRADE.

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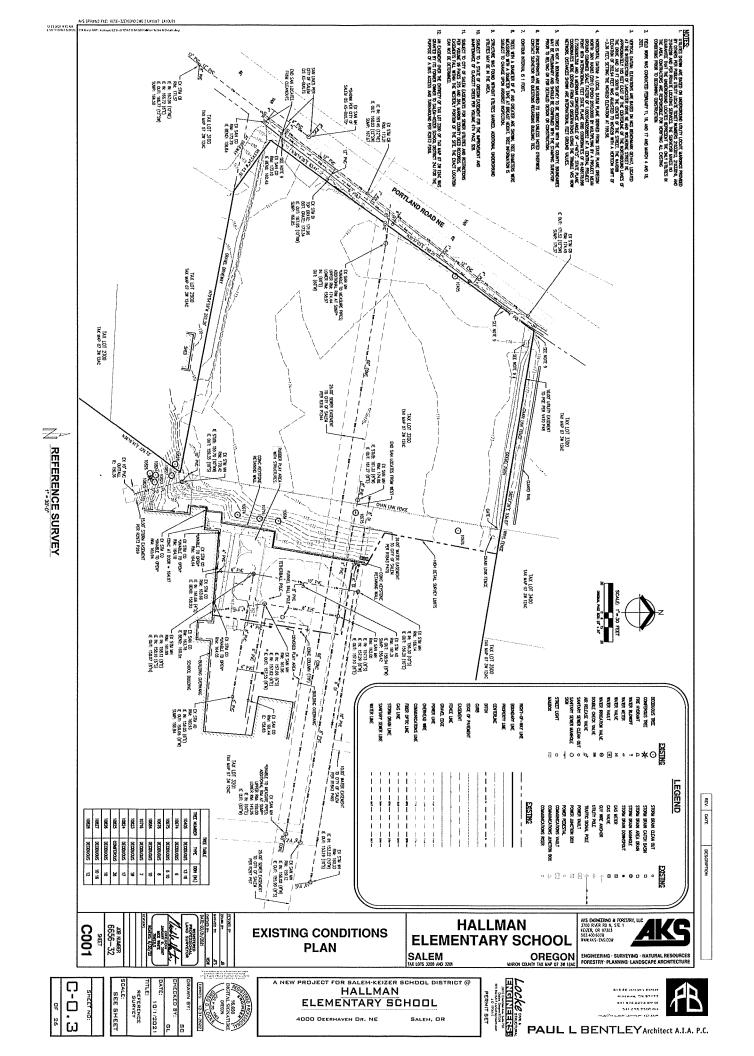
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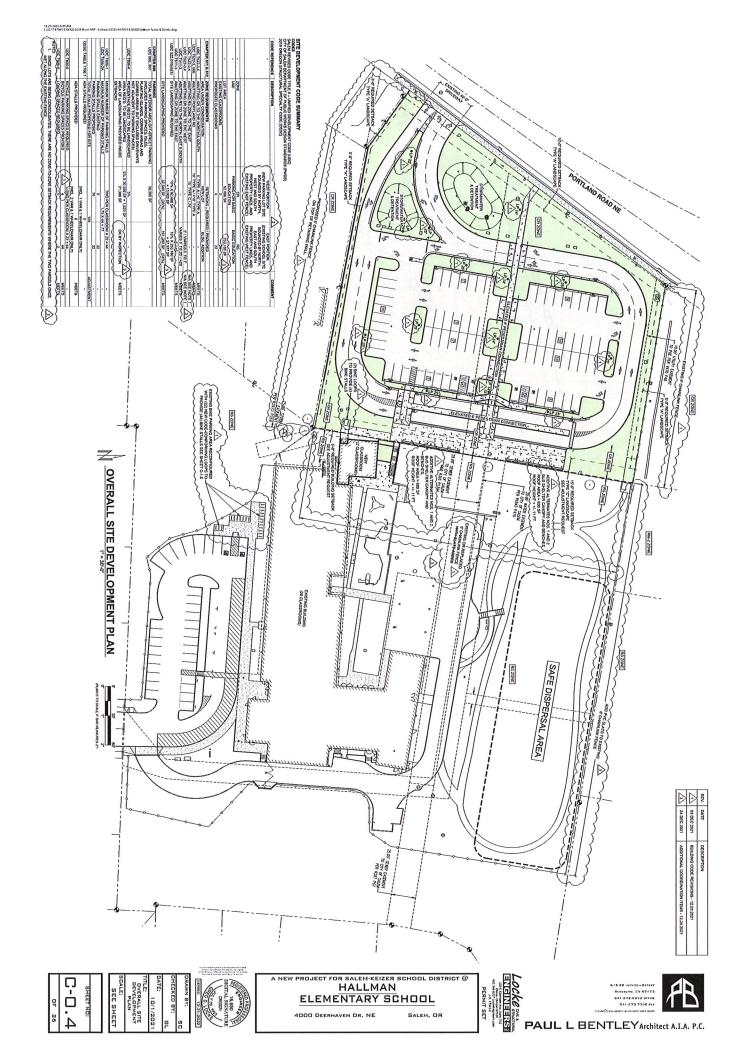
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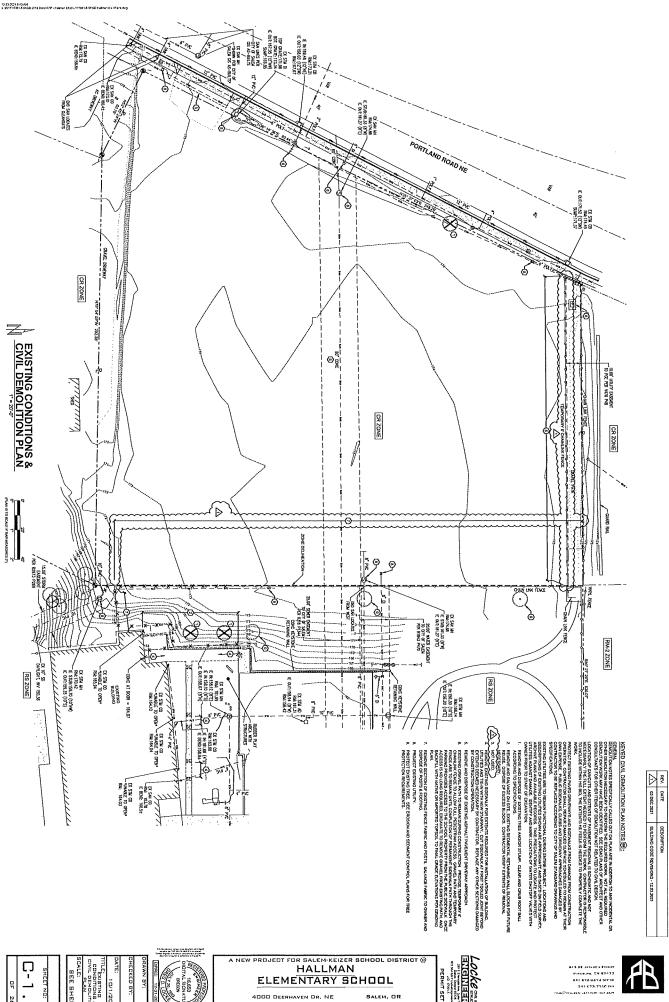
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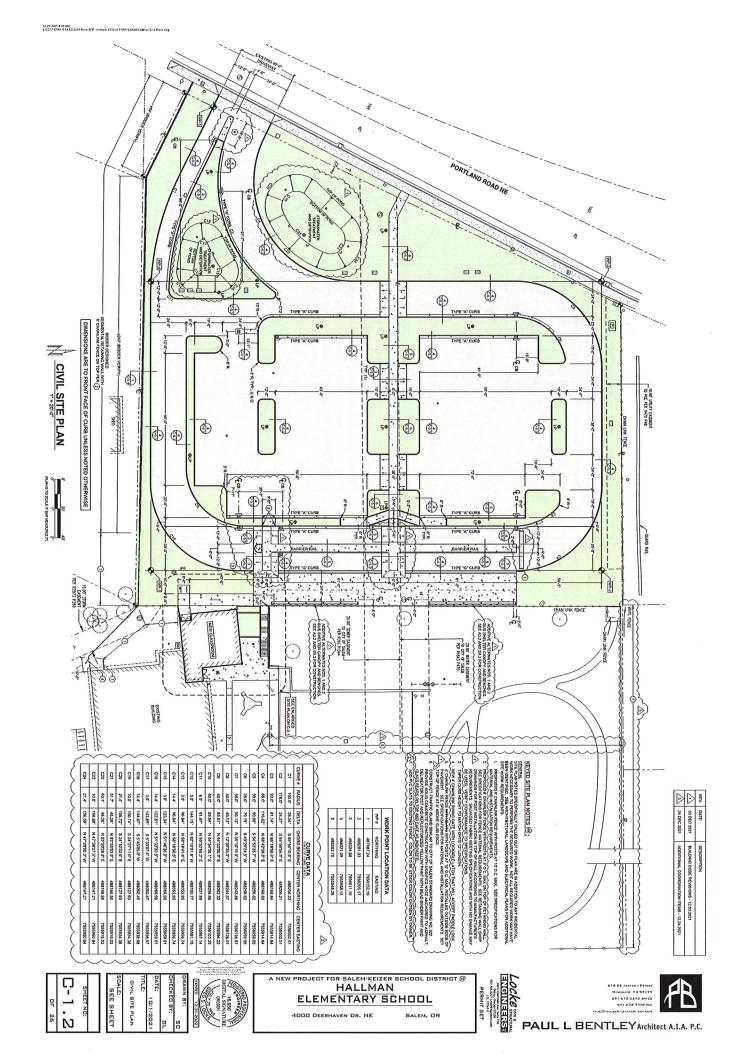
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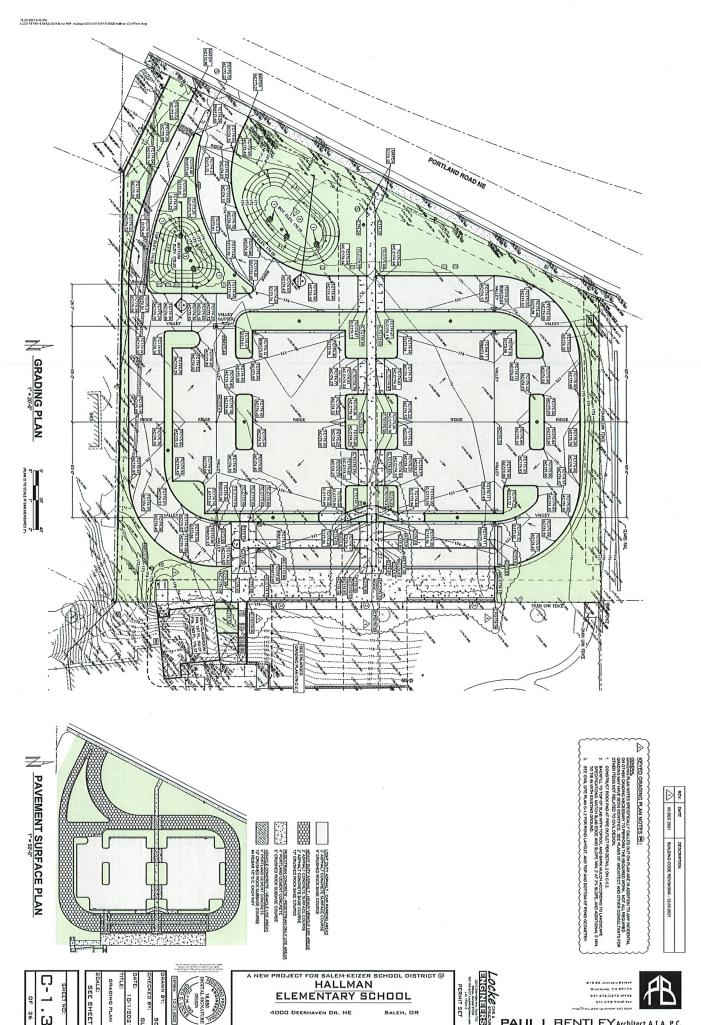


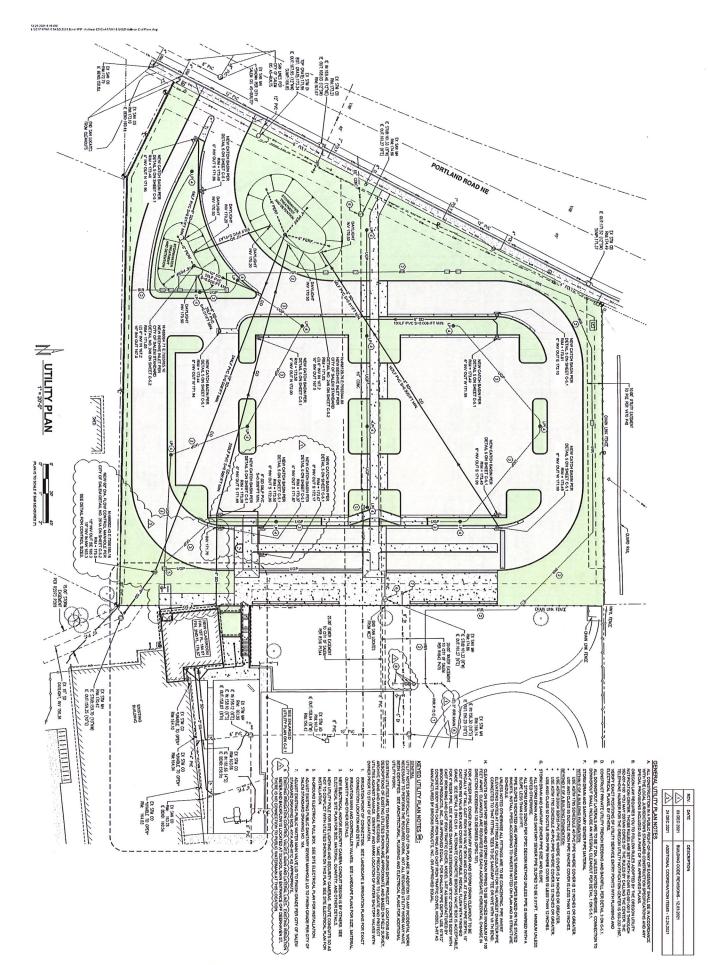
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @ HALLMAN ELEMENTARY SCHOOL













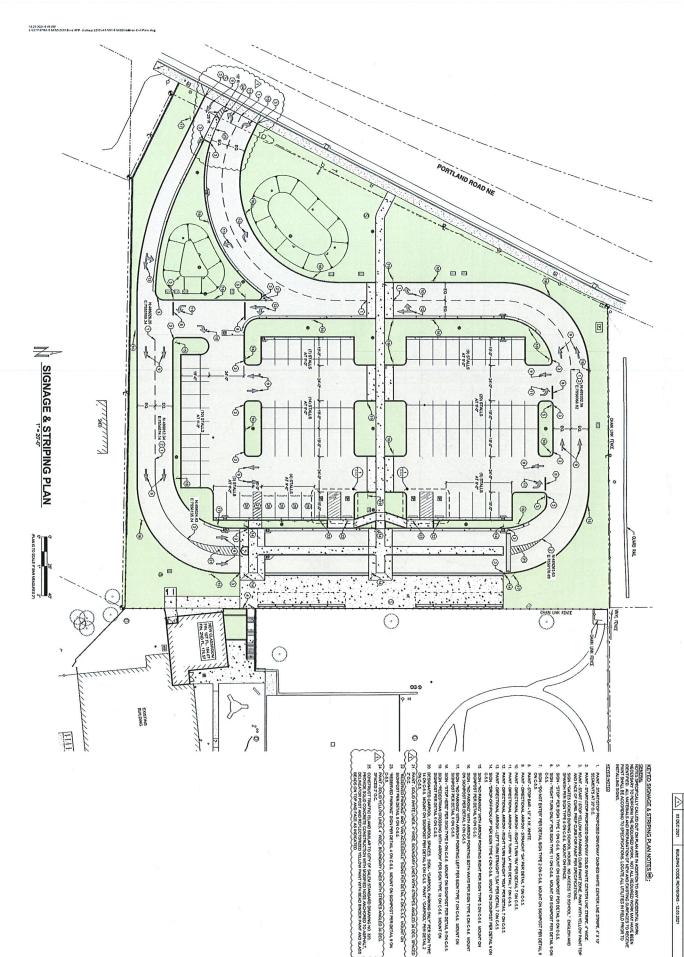




4000 DEERHAVEN DR. NE









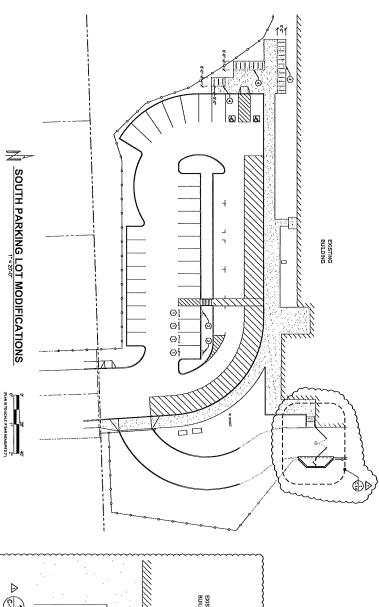
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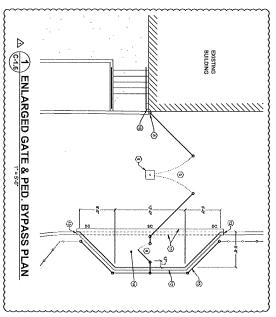
STRIPING PLAN

HALLMAN ELEMENTARY SCHOOL









HECKED BY:

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REV. DATE DESCRIPTION

OD DEC 2021 BUILDING CODE REVISIONS - 12-03 2021

KEYED SOUTH PARKING LOT NOTES :

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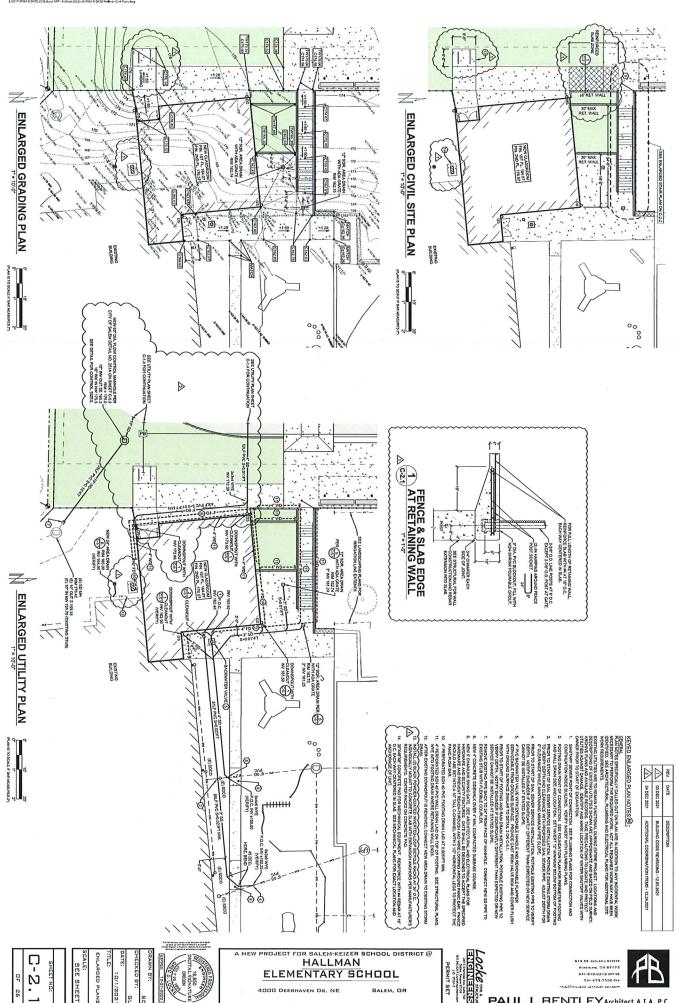
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PAUL L BENTLEY Architect A.I.A. P.C.

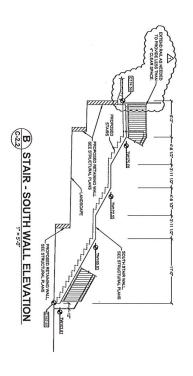
PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL

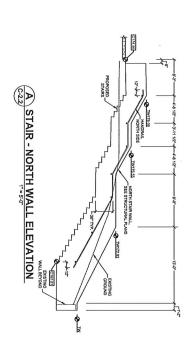
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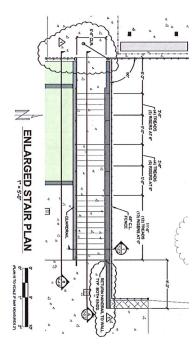
SPECIFICATIONS FOR MATERIAL AND INSTALLATION REQUIREMENTS.

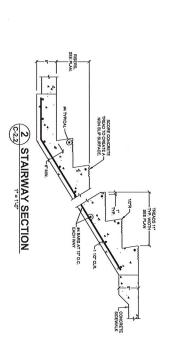


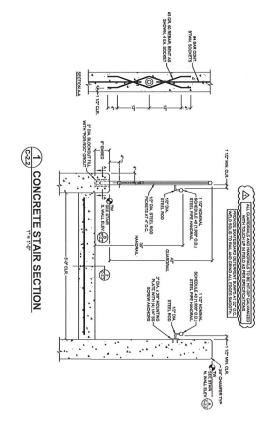
12-23 2021-6-49 AM L-V217-17051-5 SVSD 2016 Bond RFP - Halman ES-Cu-h17061-6 SVSD Halman Cu-i Part dec











REV.	DATE	DESCRIPTION
D	03 DEC 2021	BUILDING CODE REVISIONS - 12.03.2021

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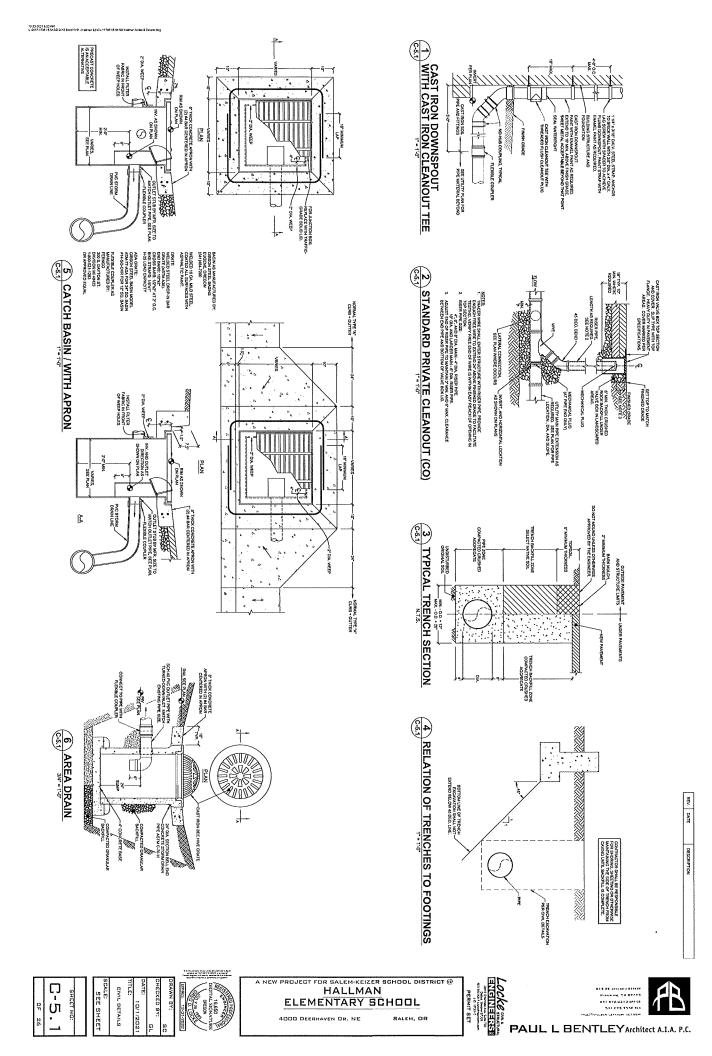


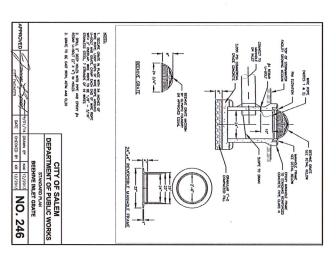
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL

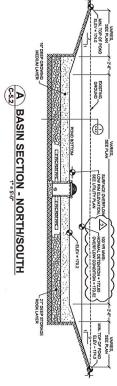
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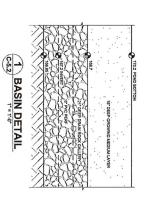


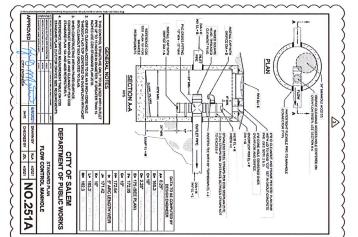


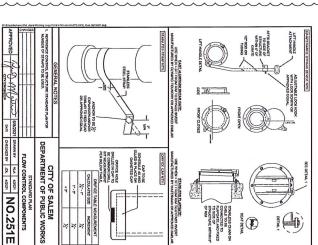


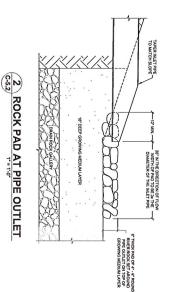












REV.	DATE	DESCRIPTION
D	22 DEC 2021	REVISIONS PER COS PRC_1 STORM WATER REVIEW

SEE SHEET NO:

SHEET NO:

OF 26

DRAWN BY: SC
GHECKED BY: GL
DATE: 10/1/2021
TITLE:
GIVIL DETAILS



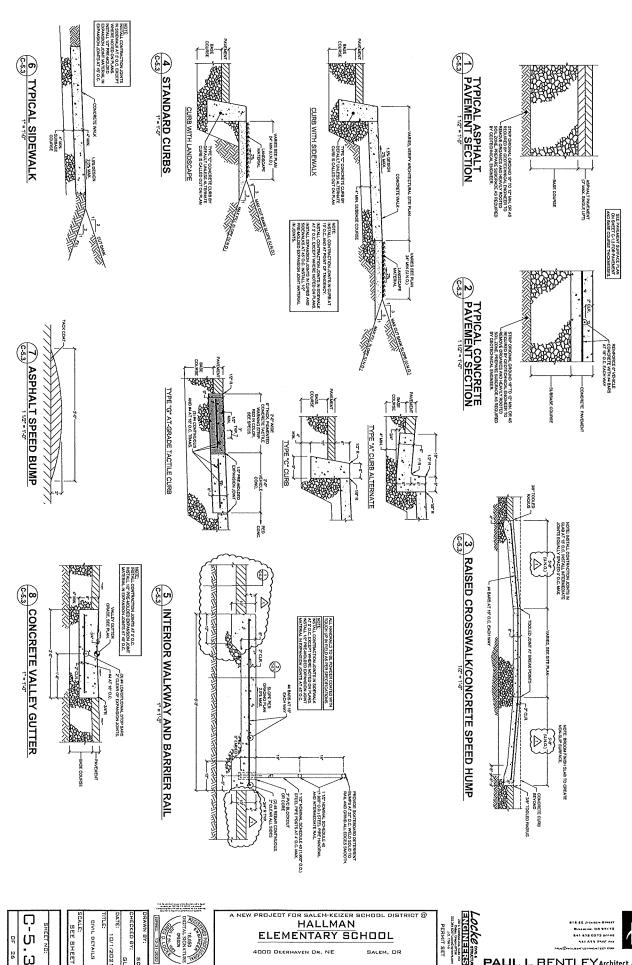
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT ®
HALLMAN
ELEMENTARY SCHOOL

4000 DEERHAVEN DR. NE





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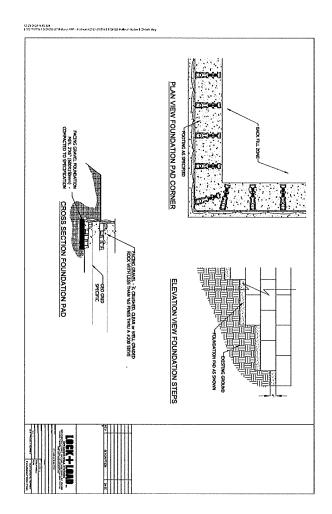


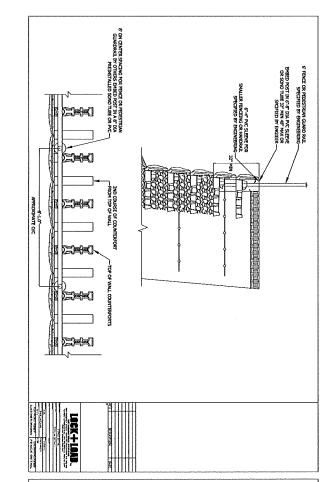
ELEMENTARY SCHOOL

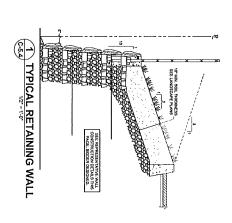
AUL L BENTLEY Architect A.I.A. P.C.

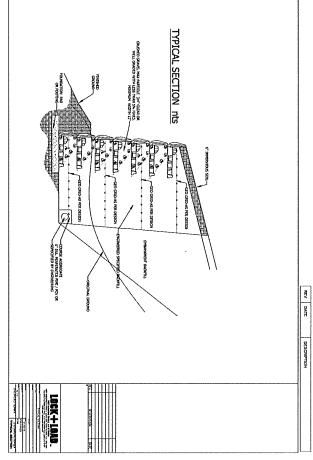
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4000 DEERHAVEN DR. NE

SALEM, DR





DO ENTER: NOT WHITE LETTERING RED FIELD SIGN, TYPE 11 SIGN TYPE DETAILS SIGN TYPE 5 SIGN TYPE 13 BACKGROUND SIGN TYPE 14 VISITOR PARKING ONLY SIGN TYPE 15 PARKING ONLY

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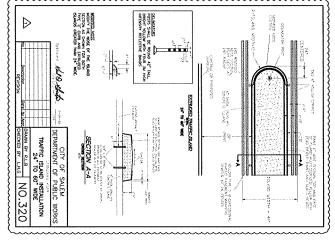
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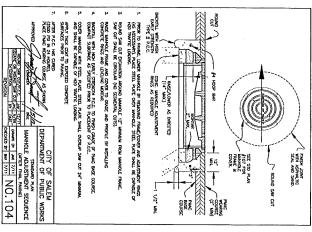
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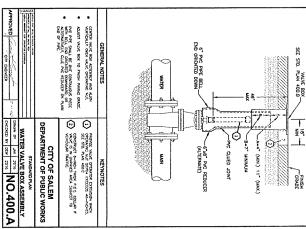


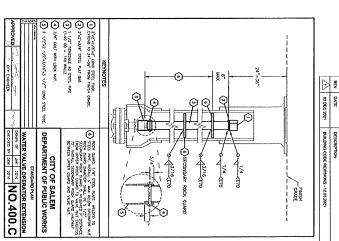


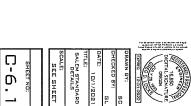
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A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT (9)
HALLMAN
ELEMENTARY SCHOOL

4000 DEERHAVEN DR. NE



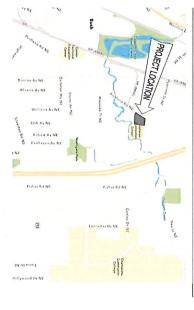


 STORM DRAIN LINE
 SANITARY SEWER LINE
 WATER LINE FIBER OPTIC LINE CAS LINE

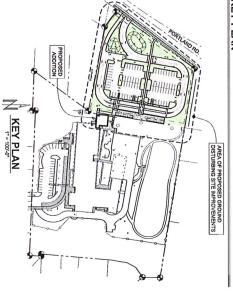
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CIVIL LEGEND SYMBOLS VIEW NAME STATE STATE VIEW NAME S	PROPOSED	WATER METER BACKFLOW ASSEMBLY VAULT	ABBF MATERIAL AC PVC PVC CHOPF	ABBREVIATIONS TRIMI BUCTLE FROM DUCTLE FROM POLYNAMY, CHARGE POLYNAMY, CHARGE
NORTH ARROW	9 0	SANITARY SEWER MANHOLE STORM DRAIN MANHOLE	A B C CONC	CONCRETE CONCRETE CAST IRON GRAVEL REINFORCED TURF
KEYED CONSTRUCTION NOTE	¾ •	JUNCTION BOX FIRE HYDRANT	Į	SANITARY SEWER STORM DRAIN
WORKPOINT	ھی	BLOW-OFF ASSEMBLY	En O	CLEAN OUT GAS WATER
REVISION CLOUD & NUMBER	\	VALVE	DI PWR	UNDER GROUND POWER
3*W PROPOSED UTILITY LINE	-	THRUST BLOCK	교현당	TELECOMMUNICATIONS FIRE SERVICE
	pco.	CLEAN OUT	888	FIRE DEPARTMENT CONNECTION FOOTING DRAIN
X — X 5° SD X — X EXISTING UTILITY LINE TO BE REMOVED	д	UTILITY POLE	PWDS	FIBER OPTICS OVERHEAD PUBLIC WORKS DESIGN STANDARDS
PIPE DIAMETER	1	UTILITY POLE GUY WIRE	FRAN	UNIFORM PLUMBING CODE FRANCHISE UTILITIES
עזוווזא זאףנ	4	TRANSFORMER	GENERAL	
100 LF PVC S-0.02 SLOPE	0	TELEPHONE PEDESTAL	BOST	BLOW OFF
LENGTH MATERIAL	FORME, ME	PROPOSED GRADE	គ្និក <u>ព</u> ួ	CENTER LINE
PROPERTY LINE	×GRADE	EXISTING GRADE	8 2 2	EXISTING
	þ	SIGN & POST	77	FINISH FLOOR FINISH GRADE
EXISTING CONTOUR LINE	1	SLOPE ARROW FROM HIGH TO LOW	동오폴	GATE VALVE
PROPOSED CONTOUR LINE	7	DITCH OR SWALE FLOW LINE	Y.	MAN HOLE
CONCRETE CURB	O 9 ★	LANDSCAPING BY OTHERS	는 A	PROPERTY LINE
-O		EXISTING ASPHALT PAVING	STD	STANDARD STRVICE
-O		BBOBOGED AGBLAIT BANKS	김국리왕	TOP OF CURB
EASEMENT LINE	V	TROPOSED ASTRACT PAVING	566	BUTTERFLY VALVE
77777777777 PROPOSED BUILDING		EXISTING CONCRETE PAVING	이 교육 이 기계	PUBLIC UTILITY EASEMENT TOP OF WALL GUTTER
////////// EXISTING BUILDING		PROPOSED CONCRETE PAVING		DOWNSPOUT
77777777777777777777777777777777777777		PROPOSED LANDSCAPE AREA	8 2	REMOVABLE BOLLARD
POND FLOW LINE				



KEY PLAN



EXISTING CONDITIONS LEGEND

RICHT-OF-WAY LINE

BOANDARY LIKE

REPARTY LIKE

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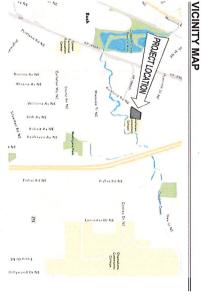
O WATHER SORTH WAY

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ESCP NARRATIVE

EXISTING STITE CONDITIONS: EXISTING ELEMENTARY SCHOOL ON THE EAST HALF OF THE SITE TO WHICH A SMALL CLASSROOM ADDITION WILL BE CONSTRUCTED.

NDEVELOPED OROUND ON THE WEST HALF OF THE SITE UPON WHICH A NEW PARKING LOT WILL ONSTRUCTED.

NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIMELINES: SPRING 2022 - FALL 2022 CONSTRUCTION OF A DRIVEWAY OFF AN EXISTING DRIVEWAY DROP WITH PERIMETER VEHICLE IRIVE LOOP AND A NEW PARKING LOT WITH FULL LANDSCAPE & IRRIGATION.

RECEIVING BODY OF WATER - EXISTING PRIVATE STORM SEWER SYSTEM OUTLETTING TO ELAGGETT CREEK ROUGHLY BY TO THE SOUTH. MAJDRITY OF SITE SOILS - 8" TO 10" OF TOPSOIL, UNDERLAIN BY 20" TO 40" OF UNDOCUMENTED SANDIGRAVEL FILL UNDERLAIN BY SILT WITH SAND NATIVE SOILS.

CONTRACTOR'S EROSION CONTROL REQUIREMENTS

W PROJECT HAY REQUISES A YOOK PREMIT, AS MAY OF THE CONTRACTION THE MAN CONTRACTION THE SOURCESSEE FOR PROYOGO A CENTRIED ENGISMAN OS EDUBERT ON REPERTING A CENTRE AND AND ANTIFER AND A PROYOGO AND AND ANTIFER AND AND ANTIFER AND AND ANTIFER AND AND ANTIFER AND ANTIFER AND ANTIFER

PRIOR TO ISSUANCE OF NOTICE TO PROCEED, CONTRACTOR SHALL.

REPOVIDE THE NAME OF THERE OWN CERTIFIED EROSION AND SEDIMENT CONTROL SITE
INSPECTOR WHICH WILL REPLACE THAT CURRENTLY SHOWN ON THE PLANS,

PROVIDE A COMPLETED AND SIGNED DEQ 1200C PERMIT TRANSFER FORM NAMING CONTRACTOR AS LEGALLY RESPONSIBLE 1200C PERMITTEE.

HECKED BY:

10/1/2021

EC-O.

SHEET NO

SEE SHEET ECSP COVER PAGE

PROJECT DATA

REV. DATE

DESCRIPTION

ESCP PREPARER
LOCKE ENGINEERS, INC.
CONTACT GREE LOCKE. PE, CESCL IDF: 81800
PRINCIPAL
PHONE: (303)-304-8207
EMAIL: GREEGNCOKEENGINEERS. COM

SHEET INDEX

JURISDICTION CITY OF SALEM

_	_	Z Ø
ECSB NOTES	ECSP COVER PAGE	SEDIMENT CONTROL PLANS

ESCP DATALES

ESCP DATANG CONDITIONS

ESCP DEMO, CLEARING & MASS GRADING PHASE

ESCP PAVENETY AND UTILITY PHASE

ESCP LANDSCAPING & FINAL STABILIZATION PHASE

ECSP DETAILS

PROPOSED CONDITIONS:

CONSTRUCTION OF A TWO STORY, TWO CLASSROOM ADDITION TO THE WEST END OF THE EXISTING DEVICTION OF A TWO STORY, TWO CLASSROOM ADDITION TO THE WEDT END OF THE EXISTING DEVICTION OF THE WED PARKING LOT AND PERIMETER LANDSCLEING.

VERMITTEE'S SITE INSPECTOR: - GREG LOCKE, PE, CERTIFIED EROSION AND SEDIMENT CONTROL EAD 10#: 81906, EXPIRES 8/2/2022

2. PROVIDE ANY ADDITIONAL BMP'S RECOMMENDED OR DEEMED NECESSARY BY THEIR OWN CERTIFIED EROSION AND SEDIMENT CONTROL SITE INSPECTOR PRIOR. THIS TO START OF ANY GROUND DISTURBING ACTIVITY, CONTRACTOR SHALL:

1. MEET ALL REQUIREMENTS OF THE APPROVED 1200C PERMIT,

FINTED DURANTON DE CONSTRUCTION, CONTRACTOR SMALL:
ROYNDE DIVORNO MANTENANCE OR ENHANCEURTS OF THE BMPS REQUIRED BY THEIR
ROYND ENTRIED ROYDON, AND SEDIMENT CONTROL, STE REPECTOR,
REPERIONAL INSPECTIONS AND PREPARE INSPECTION LOGS IN ACCORDINGE WITH DEO 12000



HALLMAN





ELEMENTARY SCHOOL

4000 DEERHAVEN DR. NE

PERIODS DURING WHICH CONSTRUCTIO ACTIVITIES ARE SUSPENDED AND RUNDIFF IS UNLIKELY DUE TO FROZEN CONDITIONS

VISUAL MONITORING INSPECTIONS MAY BE TEMPORARILY SUSPENDED, IMMEDIATELY RESUME MONITORING UPON THAWING, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

PERIODS DURING WHICH CONSTRUCTIC ACTIVITIES ARE CONDUCTED AND RUNOFF IS UNLIKELY DURING FROZEN CONDITIONS

AL MONITORING INSPECTIONS MAY BE IDED TO ONCE A MONITH, IMMEDIATELY OR ME MONITORING UPON THAWING, OR N WEATHER CONDITIONS MAKE HARDES LIKELY.

PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER

IF SAFE, ACCESSIBLE AND PRACTICAL, INSPECTIONS MUST OCCUR DALLY AT A RELEVANT DISCHARGE POINT OR DOWNSTREAM LOCATION OF THE RECEIVING WATERBODY.

INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS

THE INSPECTION MAY REDUCE THE
PROJUBENT OF MESSECTIONS MAY AREA
OF THE STEET WHERE THE TIMBLIZATION
STEPS IN SECTION AND ASSECTION
COMPLETED TO TWOCE PER MONTH FOR
THE FREST MOSTIN, NO LESS THAN 14
ALEMAR DAVIS APART, THEN ONCE PER
MONTH.

AT LEAST ONCE EVERY 14 DAYS. REGARDLESS OF WHETHER STORMWATER RUNDFF IS OCCURRING. WITHIN 24 HOURS OF ANY STORM EVENT, INCLUDING RUNOFF FROM SNOW MELT, THAT RESULTS IN DISCHARGE FROM THE SITE. ON INITIAL DATE THAT LAND DISTURBANCE ACTIVITIES COMMENCE.

ACTIVE PERIOD

SITE CONDITION

MINIMUM FREQUENCY

INSPECTION FREQUENCY:

				П	7		F	Γ-
	Energy Dissipations	Existing Inlet Protection	New Outlet Protection			8473		CONSTRUCTION PERIOD
		x				CLEARING		
57		×		2		MASS	PHAS	April
EROSION PREVENTION	×	×	×	RUNOFF CONTROLS		PAVEMENT & UTILITY CONST.	PHASE OF CONSTRUCTION	April 2022 through Sept 2022
NOTINE				ROLS		AUTILITY VERTICAL CONST. CONST.	RUCTION	Sept 2022
						LANDSCAPE A FRAL STABILIZATION		
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on distinct and a poly or design, passes the constraint, accessablely to the site, and effect related conditions, including a local conditions, topolypiphic constraints, accessablely to the site, and effect related conditions. As the project progresses and there is a need to revise the ESCP, an Action Plan will be submitted.	And the state of t	BMPs to Provent Regul Discharge	BMPs to Prevent lifest Connection	Downtoning and Ponded Water Management	Paving Operations Controls	Concrete Management		Sediment Trap	Rock Outlet Protection	Fiber Rolls/Shraw Wattles	Compost Berm/Compost Sock	Sediment Fencing (Interior)	Sediment Fencing (Porimeter)	New Inlet Protection	Gravel Construction Entrance		Erosion Control Blankets and Geotextile Malis	Compost Blankets	Klutching (compost or straw with teckiller)	Permanent Seeding and Planting	Yemporary Seeding and Planting	Protection of trees with construction fances	Preservo Existing Vegilation	Plastic Sheeting	Dust Control
ns, topographi	Best Manage stance Docum the above lists									×			×	×	×							×	×		×
is a need to	ment Practice sent has been of BMPs were	×		×			POL	×		×			×	×	×	36	×	×	×		×	×	×		×
acconsibility I	is (BMP) opio	×	×	×	×	×	POLLUTION PREVENTION	×	×	×	×	×	×	×	×	SEDIMENT CONTROL	×	×	×		×		×	×	
o the site, and P. an Action	ompiote the to cause they		×	×		×	MORTHE		×				×			ALBOT			×					×	
other rolated Plan will be	DEQ's 1200-C rosion and one determined																			×					
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re determined n specific site ather related lan will be	population of the property of the site, and of the property of the site, and of the property o	nd chosen by initial for this p accessibility is exise the ESC	ed BMPs were ad sediment or to constraints, to constraints, to a need to r	he above lish provention of s, topograph see and then	Southerd Control Peru, Some of the above liaded LIMP were not chosen because they were determined to not electrately immanys excellent prevention and sediment control for the project celes on specific date conditions, including but controllors, topographic contribution, accessability to the site, and other include conditions, including but controllers, and other included conditions, the project progresses and there is a need to revise the ESCP; an Action Plan will be use minuted.
C's 1200-C	e based on DE	(BMP) optor	ment Practices	Best Manage tance Docum	A comprehensive list of available Best Management Practices (BMP) options based on DEQ's 1200-C Permit Application and ESCP Cludanos Document has been reviewed to controlle this Erosion and
		×	×		BMPs to Provest Illegul Discharge
	×	×			BMPs to Prevent litest Connection
	x	×	×		Dewatering and Ponded Water Management
		×			Paving Operations Controls
	×	×			Concrete Management
	NOTINE	МОНТИВАВНЫ МОПЛУТНОМ	POL		
		×	×		Sediment Trap
	×	×			Rock Outlet Protection
		×	×	×	Fiber Rolls/Sinne Wattles
		×			Compost Berm/Compost Sock
		×			Sediment Fencing (Interior)
	×	×	×	×	Sedment Fencing (Porimeter)
		×	×	×	New Inlet Protection
		×	×	×	Gravel Construction Entrance
	TROL	SEDIMENT CONTROL	36		
		×	×		Erosion Control Blankets and Geotextile Malis
		×	×		Compost Blankets
	×	×	×		Mulching (compost or atraw with techniler)
×					Permanent Seeding and Planting
		×	×		Yemporary Seeding and Planting
			×	×	Protection of trees with construction fances
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	×	×			Plastic Sheeting

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	CALUNE A, LIST OF ALL PERSONNEL, 187 NAME AND POSITION) THAT ARE RESPONSIBLE FOR SSTALLATION AND MANTELMACE OF STORMWATER CONTROL MEASURES (E.G. ESCP DEVI SSTALLER (SEE SECTION 4. 10), AS WEEL AS THEM RODVIDUAL RESPONSIBILITIES, (SECTION	
	二四年	H
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- LATORADO MANTENACE O ETORIAMA TREA DESTROATIVAL ASE RESPONSISE FOR THE ESCOLU-LATORADO MANTENACE O ETORIAMA TREA CONTROL MEJASTRE ELE ESES DESCRICTORIES DE LE RESE ESETUDAL SO, LA VIELLA D'ESE RECONOLA ESES DESSILITES, SECTION 4.4.C. D) MANTENEN RESECTION REPORTS MUST SE MADE IN ACCOMDANCE WITH DED 1204-C PERMIT VAUNTE, SECTION 6.3)

- NETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEC. NOBNT, OR THE LOCAL MUNICIPALITY, (SECTION 4.7)

- DEMOTY, MARK, AND RROTHET (IN CONSTRUCTION TRICKING OR OTHER HEAMS) BRITCAL RIPMENIA MERSA NO Y KETLATION HICLIDING HAPOTIANT TREES AND ASSOCIATED ROOTHOJ ZOMES, AND VEGETATION HEAMS TO BE PRESENCEL DEMTRY VEGETANTE BUFFER ADMES BETWEED THE SITE AND SUSHITIKE, AREAS B.C., WETLANDS), AND OTHER MEEKS TO BE PRESERVED, ESPECIALLY IN PERIMETER MEEKS, (SECTION 22.1)
- COMTROL BOTH PEAK FLOW PLATES AND TOTAL STORMANTER VOLUME, TO MINIMIZE EROSION AT OUTLETS WID DOWNSTREAM CHANNELS AND STREAMBANKS (SECTIONS 2.11, AND 2.2-18)

- . SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL DEBATIONAL INTERNAL STORM ETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY. \$224 AND 22.10]

- NSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DECYS 1200-C PERMIT REQUIREMENTS. (SECTION 15.0)
- THE ERROR MAY DESTRUCTED THE ERROR THE ERROR FAULURE TO MAKE LIGHT, ANY OF THE CONTROL.
 MAKE ARRIVED ON PRACTICAL DESCRIPTION ON PRESENT OF ANY LIGHT ON A VIOLATION OF THE PERMIT, DECTIONS 4 AND 4.11)
 THE ERROR MAST BE ACCUMANTE AND REPLECT SITE CONDITIONS. (SECTION 4.8)
- REMANDANO NY ALE CES PRINCONDE ISON'I REQUERE JORNATIA. OTTHE CEST PREVIOUS IS COALVANDER BETCHT CONDITIONS. GUBBER ALL, NECESSAMP PRISONO TO BECO ANEXT WITHIN 10 NOVEL, BEETION AL 30 SCRUBERT ELEMENTO. AND GUADANT OT TOTHE MANUAU EXTENSIVE TO TO PREVENIT DEPOCED MATTER MEAST ARROW BECOME ALL STREET OF TOTHE MANUAU EXTENSIVE TO TO PREVENIT DEPOCED MATTER MEAST ALL STREET STREET AND THE ALL STREET SOLD, MEASTER, AND ERGODO AND SERVENIT CONTROLE TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCEAN, CECTURA ALL SIZE IN ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCEMEN, CECTURA ALL SIZE IN ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCEMENT, CECTURA ALL SIZE IN ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL ALL SIZE IN ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL ALL SIZE IN ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL ALL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL TO PREVENIT TROMANUEL SHAUL PRINCIPLOS CONTROLA AND DEPOCHACING THE TOTAL TO PRINCIPLOS THE TOTAL TO THE TOTA
- REGISTRE ENGITING VEGETATION WHEN PRACTICAL AND REVEGETATE OPEN ANEAS, REVIGEETATE OPEN REAS WHEN PRACTICALE, BEFORE MAD AFTER GRADING OR CONSTRUCTION, IDENTIFY THE TYPE OF EGETATIVE SEED MIX USED, (SECTION 2.2.2)
- ISTALL PERMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL EDIMENT BASING, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SECTIONS 2.1.3) WHITHIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FEET OF WATERS OF THE STATE. SECTION 2.2.4)
- LISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING HETE WORK, (SECTION 2.2.4)

- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE (SECTION $2.27.F_{\parallel}$
- JUNGT OT REPEAT OR MUNIZE STORMWITTER DEPOCURE TO POLITITANTE FICAL SPILE, VENICE AND PREMET RELEVAL MUNIFICACIÓN DE LA CENTRA CAN LA MUNIFICACIÓN DE TE MANCINA CATIVITES, THESE POLITIFANTS INCLIDE FEIG. MYTRAUL EF LUI, AND OTRES COM FROM CLES AND MICHIEFE, VARIEL AND REPEAT REFINIZET, REFINIZED, AND RESIDES, PANTS, CLES AND MICHIEFE AND AND ADHEBNED FROM CONSTRUCTION OFFENTIONS, (RECTIONS 2.2.15)
- . PROVIDE PLANS FOR SEDMENTATION BIGINS THAT MATE BEEN DESIGNED PER SECTION 2.217 AND STAMPED BY AN ORDICAL PROFESSIONAL BROWSERS, CRES SECTION 2.217 A).
 IF ENAMERSED DILLS ARE USED ON SITE, A SEDMENTATION BIGINUMPOUNDMENT AUST BE INSTALLED. (SEE SECTIONS 2.217 AND 2.2.18).
- PROVIDE A DEWATERING PLAN FOR ACCUMULATED WATER FROM PRECIPITATION AND UNCONTAMINATED GROUNDWATER SEEPAGE DUE TO SHALLOW EXCAVATION ACTIVITIES. (SEE SECTION 2.4)

- ESTALES MATTERAL AND WATE TOPOCH AREA, AND OTHER MON-TOPOMANTER CONTROL SECTION 12.1

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 MET WATER CHANNER LUSS CLOSED WHISH FOR THE AND CLOSE LUGAT HITE GOO OF THE GROSSES AND THE AND THE GOO OF THE CONTROL THE CHANNER CHANNER THE AND THE AND
- PREVENT PROCESSE OF SEGMENT ONTO PUBLIC ON PRIVATE ROCKS USEAS BAPS SUCH AS: CONSTRUCTION ENTENDED, CHANGE CHANGES FOR PAUSED OFFER AND PRIVATO ANDEA, CHANGE AND USEAN EST LICENSED ONSITE, OR USEAN EST THE WASH. THESE BAPS MAST BE IN PAUSE PRIOR TO LAND DISTURBING ACTIVITIES, (SECTION 22.7)

- ENT 301L COMPACTION IN AREAS WHERE POST-CONSTRUCTION INFILTRATION FACILITIES ARE TO DE ILLEO, (SECTION 2.2-12)

- CONTROL PROMBITED DISCHARGES FROM LEWING THE CONSTRUCTION SITE, LE, CONCRETE WASHOUT, WASTEWNER FROM CERNACH OF STUCCO, PART AND CURNO COMPOUNDS, RECTIONS 1.5 AND 2.1.9; ENSURE THAT STEEP SUPER AND FAREN WHERE CONSTRUCTION ACTIVITES ARE NOT OCCURRING ARE NOT DISTURBED, (RECTION 2.2.10)

- LIPERING THE FELLOWING MEN WAY APPLICE, WHITE MEN THE RECEIVED AS A PROCEDURES, MAN THE PROCEDURES, MAN THE RECEIVED AND RESPONSE PROCEDURES, SEND CHEET THAN SHOW OF SHIPE THE PREVIOUS AND FELLOWING WAS THE PROCEDURED. WHITE THAN THE PREVIOUS AND CHEET WAS THE PROCEDURED. WHITE THAN THE PROCEDURES, SEND CHEET SHOWN OF SHOWER CHEET CHEET, THAN MAN AND SHOWER, AND CHEET SHOWER WAS TO CHEET CHEET

IF AN AFTIRE TREATMENT STITLE (FOR EXAMPLE, BEETING COORDIANTION, I COCCILANTION, I CHANTON, ITELLIFE AND EXAMPLE, INC. TO SERVICE AND EXAMPLE AND EXA

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- AS HEEDER BASED ON WEATHER CONSTITIONS, AT THE BIAD OF EACH WOORDAY SOIL STOCKHESS MAST BE STABILIZED OR COMERED, OR OTHER BURSS BURSS HE MAPLEMENTED TO PREVENT DISCOMECES TO SURFACT WALTES OR CONVEYNACE SYSTEMS LEADING TO SUBFACE WATERS, (SECTION 22.8) TEMPORARIAY STARILIZE SOLS AT THE END OF THE SHIFT BEFORE (HOLDAYS AND WEISTEND, IF WEIDED THE RECISTIONING IN EXPONENTIAL FOR ENSURING THAT SOLLS ANE STARLE DURING PAIN ENGLYS AT ALL TIMES OF THE YEAR, ERECTION 2.2)
- 33. SEDMENT FENCE REMOVE TRAVEED SEDMENT BEFORE IT REMOVES ONE THIRD OF THE MOUNT DROWN PRICE VERSIT AND DEFORE FENCE REMOVAL, (SECTION 2.5.5).
 3. OTHER SEDMENT REMOVERSERS (SECTION 800-0045): REMOVE SEDMENT BEFORE IT REMOVES TWO INCHES THE DEPTH ABOVE DROWN HEIDIT AND BEFORE BUT REMOVAL (SECTION 2.1.5.0).
- OATCH BUSINS: CLEAN REPORT RETENTION CHARGETY HAS BEEN REDUCED IN PETY PERCENT. SEDIMENT DASINS, AND SEDIMENT TRAYS REPORT TRAYED REDUCED TRAYED FOR DEBINANT BADACTY HAS BEEN REDUCED BY FETY PERCENT AND AT COMPLETION OF PROJECT. (SECTION 2.1.5.D.)
- THE INTENTIONAL MASHING OF SEDIMENT INTO STORM SEMPERS OR DRAINAGE WAY'S MUST NOT OCCUR. VACUIMINIO OR DRY SWEEPINO AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS (SECTION 2.2.18)
- DOCUMENT ANY PORTION(S) OF THE SITE WHERE LAND DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED OR WILL BE TEMPORARILY INACTIVE FOR 14 OR MORE CALENDAR DAYS. (SECTION 6.5 F.)

(a) Polibitanits, Solid Waste and Hazardous Materials Management
 Any use of toxic or other hazardous materials must include proper storage, application, and disposal.

- TY OF SALEM STYMDIARD EROSION AND SEDIMENT CONTROL NOTES

 **TY OF SALEM STYMDIARD EROSION AND SEDIMENT CONTROL NOTES

 **TY-CAMPAGE TO THE CONTROL NOT A CONTROL NOTE AND THE A Hold a pro-construction conference to review the EPSCP and with the City's Project Manager and Inspector.
- Accessmental explained to stary on this Substrand amounts greater than Youther food which there the alle must be cleared by making 24 hours and placed below the team of all patients of properly discounting of the greater of the property discounting of the greater of the property discounting of the greater of the greater

(a) Wet Weather Period (October 15 through April 30)
1. Construction activities must avoid or minimize the duration of distuities areas.

Temporary stabilization of the site including covering of bere sole with exproved BMPs, must be installed at the end of the wind todore a holder of wookend, or at the end of each workday if minists is forcess in the next 24 hours.

- Continution, mathematics, replacement, and upgrading of enables prevention and sediment control facilities is the sole responsibility of the Continution vit of its orbitation is constructed in content of properties and permanent enotion control (i.e., reposition/sendocaping) is established on all disturbed areas.
- All recommended ensisten prevention and societies in control procedures are adoptedent or construction methods, stagning sich conditiones, weather, and description During the construction portion constant control facilities shall be ovivided, largeraded, replaced, or actional, to comply with SPKC and State and Federal Impulsably requirements.
- The Commator is usinly responsible for protection of all extends properly and downstream facilities from exclan each state on during project construction. Any damage resulting from such exciton and sitarion shall be contracted at the exit expense of the Contractor.
- Whos submided so it presently with-origin tructure must be used to trespect estumed so its from the construction site. So it may be channed on the at at a despirated location, using appropriate GMPs. Soil must be draited sufficiently to driv less than one policion per flour place to issuing the site.
- All molecule spilled, dropped, or weaked into atom drains must be removed immediately, and the Contractor shall provide policition of Committeem (vide) and calch basins to ensure sectional calcer value took rat critic this star drain fresh section.
- In areas subject to wind erosion, appropriate BMPs must be used which may include the application of the water spraying, plastic sheeting, multiling, or other approved measures. All discharge of sediment-leden water must be treated with an appropriate BMP to melowe sediment from discharge waters and to comply with SRC and State and Federal Regulatory Permits.
- The EPSC researce and BMPs shown on this joint are the miximum requirements for articipated allo conditions. During the constriction period, these measures shall be upgrated as needed to natinitate compliance with all replactions.
- The contractor shall provide onsite water or other appropriate SMPs to prevent dust and wind erosion of fine grain solts
- Distribed areas must be stabilized star 14 days of inactivity, or immediately if rain is forecasted. See Subsection 7A.1(d)—Wet Westiver Period. Ouring the wet weather work period or when rain is forecasted, all active and inactive sail stock plos must be covered with appropriate plastic sheeting. Plastic sheeting must cover the orders stock plus and be sufficiently anchored.

- - - Written EPSC trapaction logs shall be maintained onsite and evaluable to City inspectors upon request.

Cleaning of all structures, inlet protection BMPs, and sump pumps must be completed regularly and as required to ensure structures and intels function properly and low freely.

Removal of Impood sodiment in a sodiment basin or sodiment trap or catch basins must occur when the sodiment relantion capacity has been reduced by 50 percent, to not functioning properly and/or at the completion of project,

Sediment must be removed from behind all sediment control measures when it has reached a height of ½ the barrier height, and prior to the control measures immoval. Iterance
Evaluation caritis' modulmes shall be maintained in such a manner as to enture that erotaten is prevented and sealment-taden water does not enter a drainage system, madesty, or violate applicable water quality standards. Temporary stabilization or covering of soil stockplies and protection of stockplies located sway from construction activity must occur at the end of each workday.

Sediment shall not be washed or swept into storm sowers, drainage ways, or water bodies.

- finishedien? (2007) mugit be hegi dewaba el al firese. All messaures abben de file plan must be installed proporty to ensure 1. The DEFORM with 500 Cont State and finished permits, and that sectioned date not ensure a unifican ester system. Outdoors, or other proporties.

- a commune peripet passes vertise pal preventer el response procedera fra include employee training on pal preventer an opper diseau planedante, require manimona a chacida fra marida and analyze as entanded abherty and diseape contra, a-prany, maridal una, and una of commune diseape acesa fre versit and outpies. The plan shall comply with SIGC and fracest and State requirements, and and the metablish or also at all times. Transports protes cover measures must be they established by October 15 or other cover measures (i.e., excellent behinds with surchors, overland of size much, as an IV/DPE place beek, etc.) also to pipcow over did distinct door lot man and IV/DPE place beek. It is not pipcow over did distinct door lot measures (IV/DPE S), for establish an disequate prises stand for computing exoson by October 15, it in recommended that seeding over much official prices of much official prices and much official prices of personnels. All temporary erasion provention and sediment control factities shall be removed by the contractor within 30 days after permanent landscaping/vegolution is established and the shreat of proston and sediment transport has been miligated
- Specifications.

 1. Coll proposation Topodal should be propried according to the institution plants, if exclusive, are excent exclusion of the contract property of the short property of the contract property of the contra
- Swilling. Exemising control great seed risk shall be an inthews: Dreaf greats mix (few halph, Lew ministrance) consisting of dwelling teamen's progress (80 percent by weight), creeping red feacuse (20 percent by weight). Application rate shall be 100 pounds por som minimum.
- Cless seed shall be fertilized at a rate of ten pounds per 1,000 square feet with 10-10-10 slow minute type fertilizer. Disturbed areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.
- The application rate of infiltens used to reseabtish vegatation posit folio-manufacture's recommendations, Nutreet reference from Infiltens to suffice vessers shall be revised. The release leafurer such the used, Care shall be made in the application of fertilizers within any vestorway riparian zone to prevent eaching into the vestories?
- When used, hydronizin shall be opplied with grass seed all a rate of 2,000 pounds per acre between April 30 and Janw (i.c. debreen's Spekment i and October 1. On loopes bleeper than lan percent, hydrossed and ratich shall be opplied with a booking open (straller). Application take and methodology shall be in accordance with seed supplier recommendations.
- When cased in lead of hydrocreatich, dry Loose, werethere strong used as a strain which to explice of an are of 4,000 pounds to the case of 4,000 pounds are strong used to the strain of 4,000 pounds are strong used to the strain of 4,000 pounds are strong used to the strain of 4,000 pounds are strong used to the strain of 4,000 pounds are strong used to 4,000 pounds are strong us

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- When conditions are not feverable to germination and establishment of the gross eved, the Contractor shall impass the sociod and mulched areas as inquired to establish the grass cover.
- Obstantial forces shall be constructed of continuous float fabric to avoid use of joints. When joints are excessery, float cook shall be spilled together only at a support post, with a minimum shr-lech overlap, and both ends securely fastened to a post.
- The absolut strength filter fabric shall be blasened securely to stitzmed loops frostand on the upsidope dels of the posts end ski inches of the shallone shall be extended frien the strench. The slovic shall not extend more than 30 inches abowe th original ground surface. Filter fabric shall not be applied to existing three.
- Bio-Ribir bagis shall be clean 100 percont wood product waste. Bags shall be 18-inch x 18-inch x 30-inch, woigh approximately 45 pounds, and be contained in a bag made of 1/2 inch plastic mesh.

EC-0.2

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SHEET NO:

SEE SHEET ECSP NOTES 10/1/202

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Inative construction Periods and Past-Construction
 Should seed cases in any rese for I days, the nestries one must be subfitted with appropriate set substitution BUPs. If all construction activity cases the online site must be temporarly abbituate using vegotions, nearly much layer, temporary seading, or other nestron.

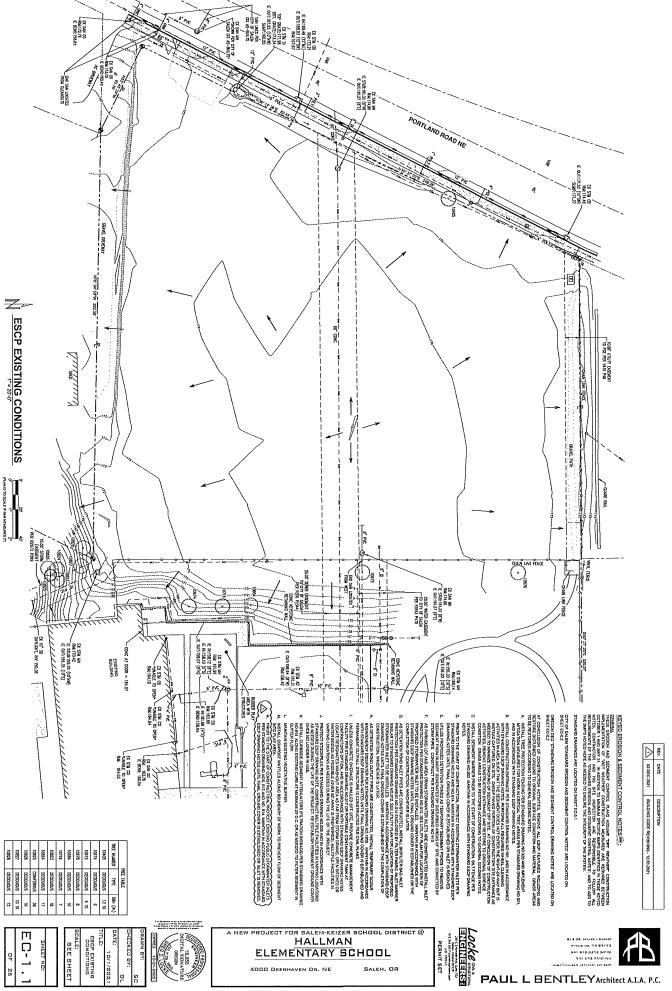
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT HALLMAN ELEMENTARY SCHOOL





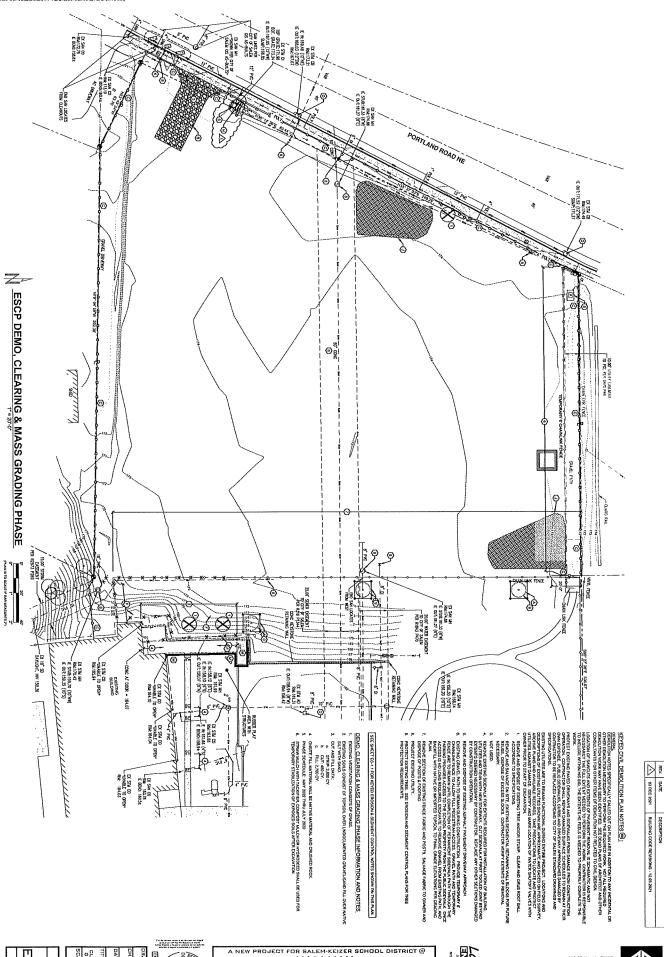


ECKED BY: 10/1/2021



ELEMENTARY SCHOOL

4000 DEERHAVEN DR. NE



SHEET NO:
EC-1.2

DRAWN BY:

GHECKEO BY:

GL

DATE:

10/1/2021

THES:

CESCO DEMO.

CESCO DEMO.

CEARING PHASE

GRADING PHASE

SEE SHEET



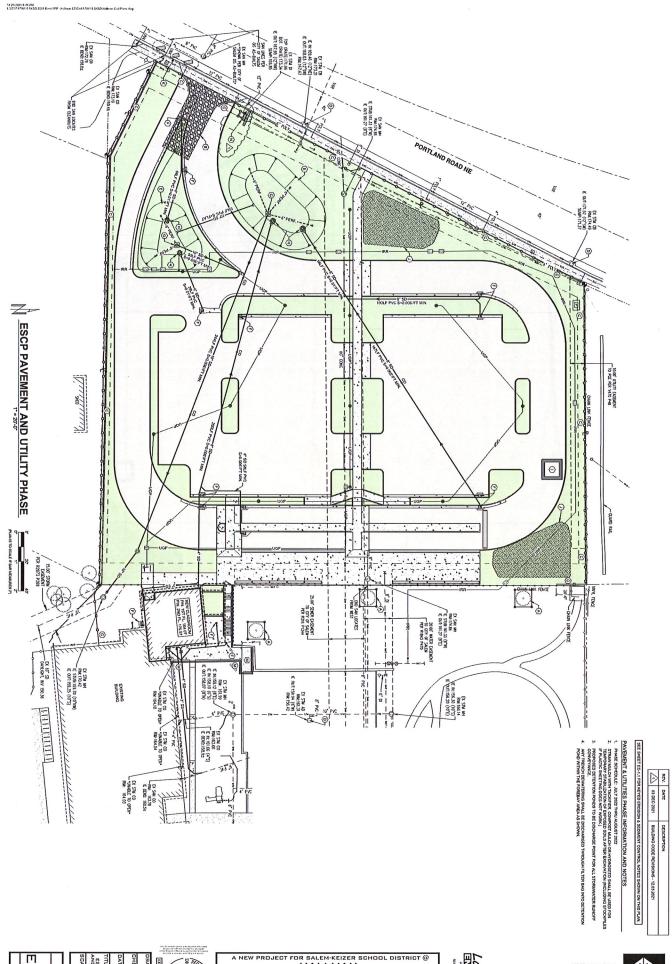
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HALLMAN
ELEMENTARY SCHOOL

4000 DEERHAVEN DR. NE

SALEM, DR







SHEET NO:
EC-1.3

DRAWN BY: SC
CHECKED BY: GL
DATE:
TITLE: 10/1/2021
TITLE: AND UTILITY PHASE
SDALE:
SDEE SHEET



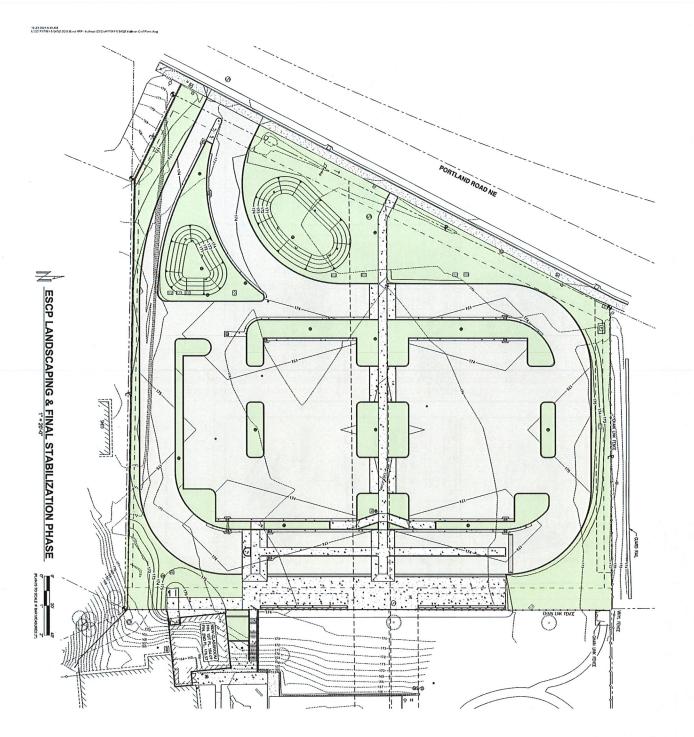
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL

1000 DEERHAVEN DR. NE









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LANDSCAPING & FINAL STABILIZATION PHASE INFORMATION AND NOTES

1. PAMES REVENUE AUGUST ZEZ THAU OCTOBER AZEZ

2. DETERMINIPHOST ON MET TEMPORAN SEINMENT COMPRUS REVIVED AND PREMANENT

1. DETERMINIPHOST ON DESTRUCTURE SEE LANGCAPE FLANS.

3. REVIOLE, REVIANGET ROUS PLANS ON SEIN AL PAMS.

4. REVIOLE, LE PRIMETER SEZUNCT TREVIOLE ONT PHASEN NEBTS AND OTHER NETT

PROTECTION UPON COMPLETION OF THE MANUEL NEBTS AND OTHER NETT

SHEET NO: EC-1.4





A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL

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