



Public Works Department

555 Liberty Street SE / Room 325 • Salem OR 97301-3513 • Phone 503-588-6211 • Fax 503-588-6025

March 14, 2022

Joel Smallwood
Salem Keizer School District 24J
3630 State Street
Salem OR 97301

**SUBJECT: Wetland Land Use Notification: 4000 Deerhaven Drive NE
Permit # 21-119953-RP**

Tax lot 073W12AC03201 at the above address may contain mapped wetlands or waterways as is indicated on the Salem-Keizer Local Wetland Inventory. *Oregon Revised Statute 227.350(5)* allows the City of Salem to issue development permits and approvals for activities for parcels identified as, or including wetlands on, the Local Wetland Inventory upon the following:

- Providing written notice to the applicant and landowner of the possible presence of wetlands on your property;
- Providing written notice to the applicant and landowner of the potential need for state and federal wetland permits; and
- Providing Department of State Lands (DSL) with a copy of the notification.

All, or a portion of this property has been identified as wetland and/or waterway on the Statewide Wetland Inventory *or in close proximity* to a mapped wetland and/or waterway site. If you have evidence to the contrary, please contact me as soon as possible at 503-588-6211. If the site contains a jurisdictional wetland, this proposal may require a permit from DSL and/or the Army Corps of Engineers. You must obtain any necessary state or federal permits before beginning your project. The City of Salem is not liable for any delays in the processing of state or federal permits. Enclosed is a copy of the wetland land use notice sent to DSL. DSL will contact you if any permits are required, or further information is necessary.

Jason Valyou
Program Coordinator

JP\F:\Common\PAC\DevSvesLandUse\21-119953-RP_4000 Deerhaven Drive NE\WLUN\WLUN Letter_21-119953-RP.doc.docx

Enclosures: GIS Map; Site Map; Wetland Land Use Notification Form
cc: Zachary Diehl, Natural Resource Program Coordinator
File

**Transportation and Utility
Operations**

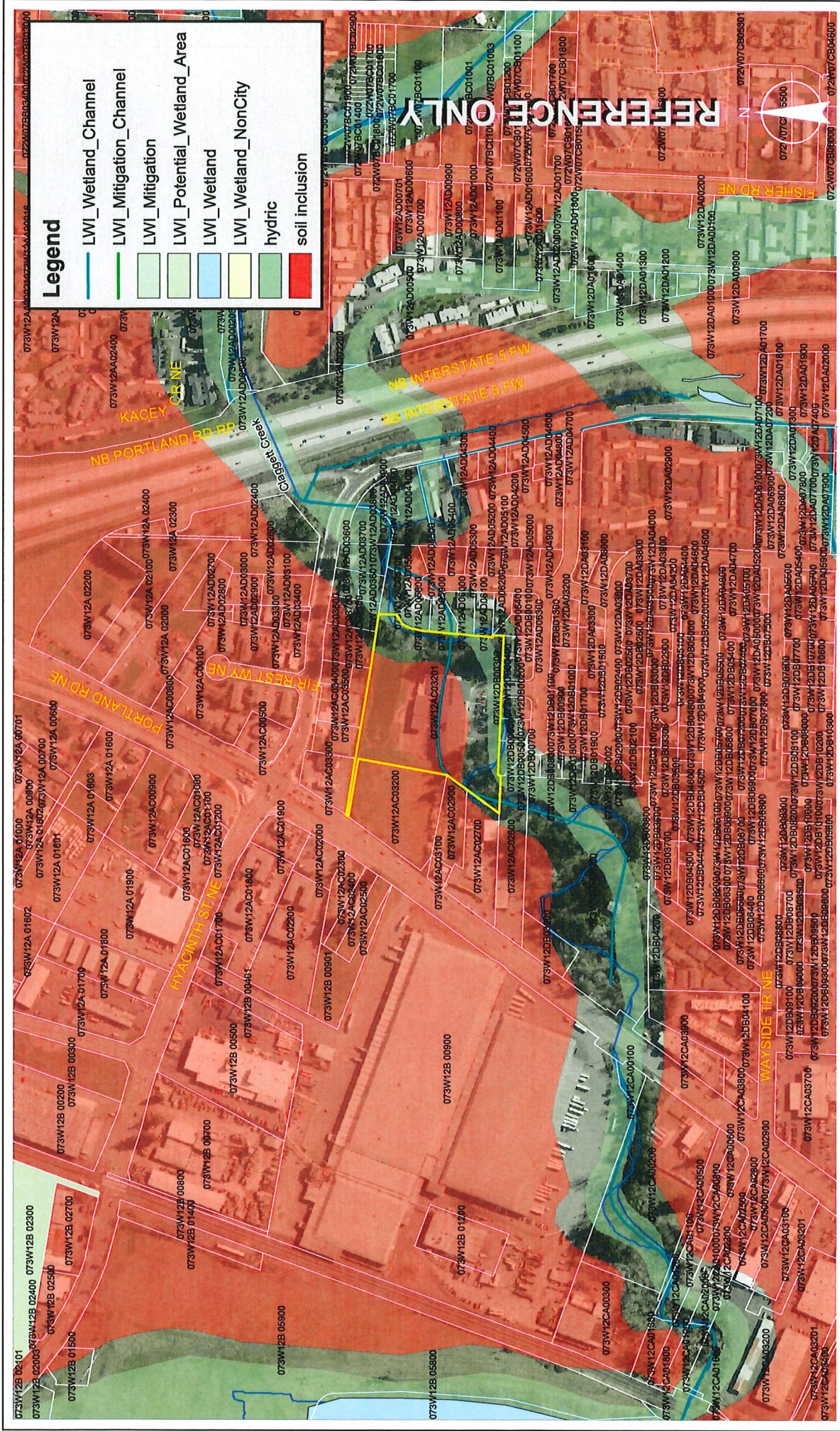
1410 20th Street SE / Building 2
Salem OR 97302-1209
Phone 503-588-6063
Fax 503-588-6480

Parks Operations

1460 20th Street SE / Building 14
Salem OR 97302-1209
Phone 503-588-6336
Fax 503-588-6305

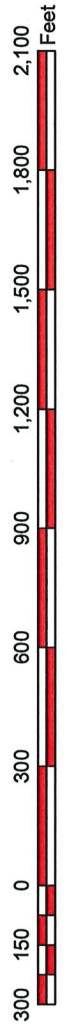
**Willow Lake Water Pollution
Control Facility**

5915 Windsor Island Road N
Kelzer OR 97303-6179
Phone 503-588-6380
Fax 503-588-6387



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1 inch = 300 feet



Wetland Land Use Notification

OREGON DEPARTMENT OF STATE LANDS

775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Phone: (503) 986-5200

This form is to be completed by planning department staff for mapped wetlands and waterways.

* Required Field (?) Tool Tips

Responsible Jurisdiction

*

☒ City of ☐ County of

Municipality *

Salem

Date *

3/11/2022

Staff Contact

First Name *

Jason

Last Name *

Valyou

Phone *

5035886211

Email *

jvalyou@cityofsalem.net

Applicant

First Name *

Joel

Last Name *

Smallwood

Applicant Organization Name

(if applicable)

Salem Keizer School District 24J

Mailing Address *

Street Address

3630 State Street

Address Line 2

City

Salem

Postal / Zip Code

97301

State

Or

Country

United States

Phone

5033993095

Email (?)smallwood_joel@salkeiz.k12.or.us**Is the Property Owner name and address the same as the Applicant? ***☐ No ☒ Yes**Activity Location****Township * (?)**

07S

Range * (?)

03W

Section * (?)

12

Quarter-quarter Section (?)

AC

Tax Lot(s) *

03200

You can enter multiple tax lot numbers within this field. i.e.
100, 200, 300, etc.

To add additional tax map and lot information, please click the "add" button below.

Address

Street Address

4500 Deerhaven Drive NE

Address Line 2

City

Salem

Postal / Zip Code

97301

State

OR

Country

USA

County*

Marion

Adjacent Waterbody

Claggett Creek, Wetland
Mitigation channel,
Hydric soil, soil inclusion

Proposed Activity

Prior to submitting, please ensure proposed activity will involve physical alterations to the land and/or new construction or expansion of footprint of existing structures.

Local Case File #* (?)

21-119953-RP

Zoning

CR and RS

Proposed

- | | |
|--|---|
| <input checked="" type="checkbox"/> Building Permit (new structures) | <input type="checkbox"/> Conditional use Permit |
| <input checked="" type="checkbox"/> Grading Permit | <input type="checkbox"/> Planned Unit Development |
| <input checked="" type="checkbox"/> Site Plan Approval | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Other (please describe) | |

Applicant's Project Description and Planner's Comments: *

Class 3 Site Plan Review, Class 2 Adjustments, and Class 1 Design Review for renovations of Hallman Elementary School. The proposal includes a new vehicle use area which will include parking, pick-up and drop-off area, two new classrooms, gym renovation, and other interior improvements. Three Class 2 Adjustments are requested for the following: 1) eliminate the pedestrian connection standard which requires a pedestrian connection between main entrances when a building has more than one primary entrance; 2) adjust bicycle siting standards to allow existing bicycle parking located farther than fifty feet from the main entrance; and 3) increase the maximum off-street parking allowed from 77 to 108. The property is located at 4000 Deerhaven Dr NE and 4130 Portland Rd NE, split-zoned RS (Single Family Residential) and CR (Commercial Retail) and partially within the Portland/Fairgrounds Road Overlay Zone (Marion Co. Tax Lot Nos. 073W12AC/3201 and 073W12AC/3200).

Required attachments with site marked: Tax map and legible, scaled site plan map. (?)

| | |
|------------------------------|----------|
| 21-119953-RP_LWI Map.pdf | 5.26MB |
| 21-119953-RP_Plans.pdf | 35.79MB |
| 21-119953-RP_Tax Lot Map.pdf | 548.21KB |

Additional Attachments

Date

3/11/2022

07 3W 12AC
SALEM



MARION COUNTY, OREGON
SW 1/4 NE 1/4 SEC 12 T7S R3W W.M.
SCALE 1" = 100'

LEGEND

LINE TYPES

- Historical Boundary
- Taxlot Boundary
- Road Right-of-Way
- Railroad Right-of-Way
- Private Road ROW
- Subdivision Plat Boundary
- Waterline - Taxlot Boundary
- Waterline - Non Boundary
- Easement
- Taxcode Line
- Map Boundary
- Waterline - Non Boundary

CORNER TYPES

- + 1/16th Section Cor.
- ⊕ 1/4 Section Cor.
- ⊙ DLC Corner
- ⊕ 16' 15" Section Corner
- ⊕ 21' 22"

NUMBERS

Tax Code Number
00 00 0

All acres listed are Net Acres, excluding any
portions of the taxlot within public ROWs

NOTES

Tick Marks: A tick mark in the road indicates that the
labeled dimension extends into the public ROW

CANCELLED NUMBERS

| | |
|------|------|
| 200 | 3000 |
| 300 | 3000 |
| 400 | 3000 |
| 500 | 3000 |
| 600 | 3000 |
| 700 | 3000 |
| 800 | 3000 |
| 900 | 3000 |
| 1000 | 3000 |
| 1100 | 3000 |
| 1200 | 3000 |
| 1300 | 3000 |
| 1400 | 3000 |
| 1500 | 3000 |
| 1600 | 3000 |
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| 1800 | 3000 |
| 1900 | 3000 |
| 2000 | 3000 |

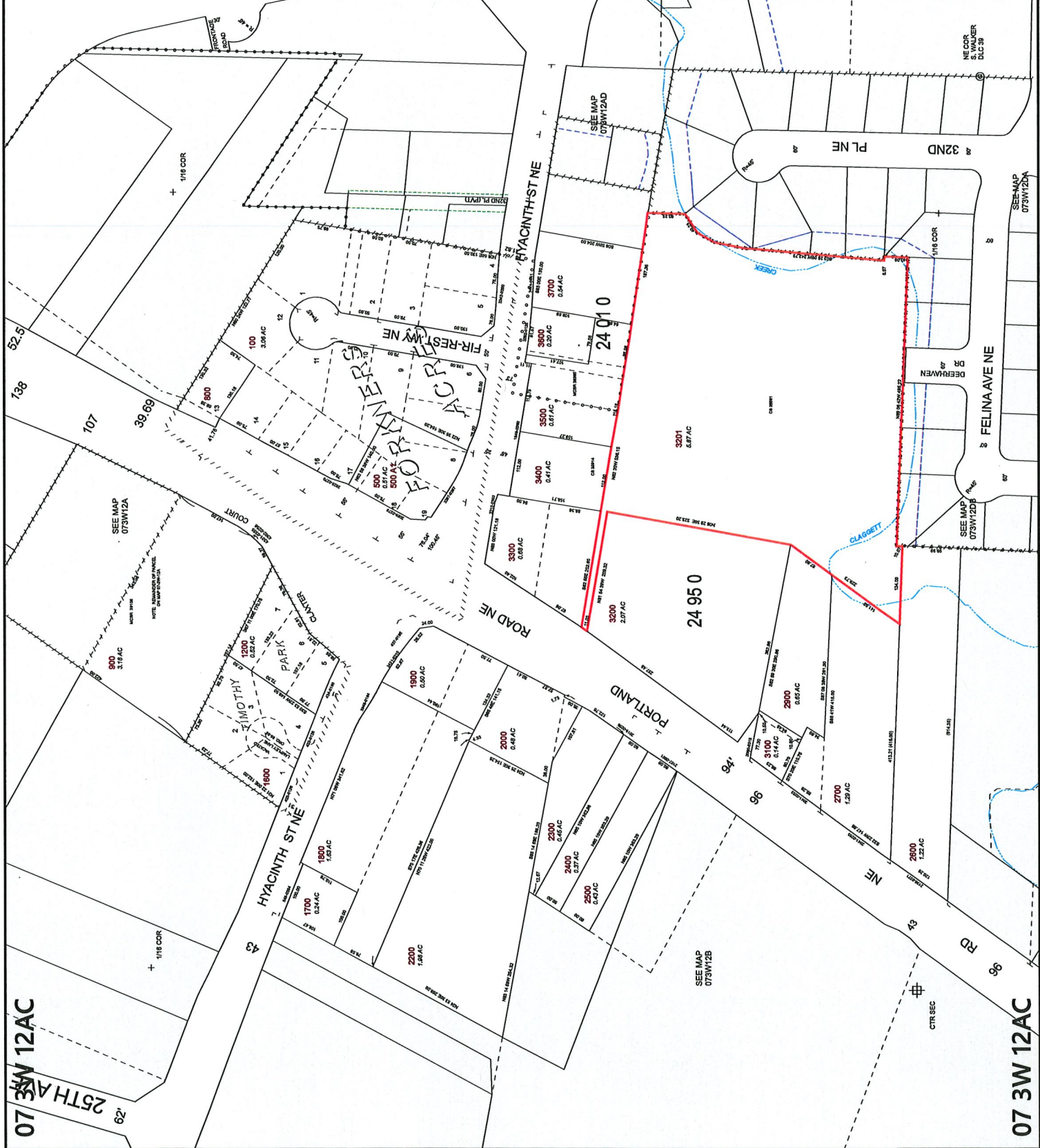
DISCLAIMER: THIS MAP WAS PREPARED
FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.marion.or.us

PLOT DATE: 10/16/2020

07 3W 12AC
SALEM

















CIVIL PLANS

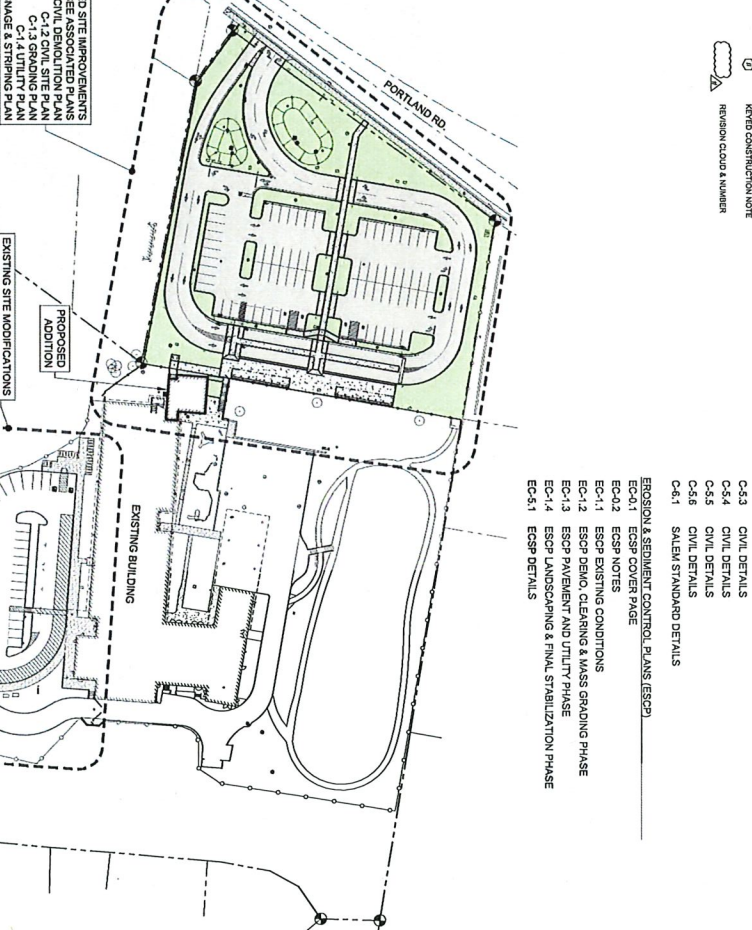
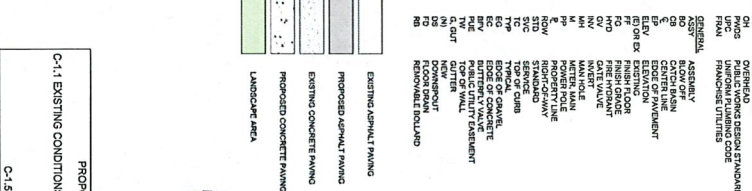
Plans
21-119953-RP

CIVIL LEGEND

GENERAL LEGEND

| | |
|---|---------------------------------|
|  | SYMBOLS |
|  | DETAIL INDICATOR |
|  | DETAIL NUMBER |
|  | SHEET NUMBER WHERE DRAWN |
|  | SECTION INDICATOR |
|  | SECTION NUMBER |
|  | SHEET NUMBER WHERE DRAWN |
|  | ELEVATION INDICATOR |
|  | VIEW OF ELEVATION |
|  | SHEET NUMBER WHERE DRAWN |
|  | DRAWING NAME |
|  | SCALE |
|  | NORTH ARROW |
|  | SCALE BAR |

- C-1.6 SOUTH PARKING LOT MODIFICATIONS
- C-2.1 ENLARGED PLANS
- C-2.2 ENLARGED STAIR PLAN & ELEVATIONS
- C-3.1 CIVIL DETAILS
- C-3.2



[illegible]

- [illegible]

- [illegible]

PAUL L BENTLEYArchitect A.I.A., P.C.

- NOTES:**



NOTES BY: **NS**
DATE 03/07/2001
REGISTERED
PROFESSIONAL
LAND SURVEYOR
Richard A. ...
JOHN COON
JACK WHITE
2001515
EXPIRES 03/07/21
BY: **NS**
JOB NUMBER
6656-32
SHEET
C001

| | |
|----------|---|
| 10/24/77 | 5 |
| 10/24/77 | 5 |

EXIS

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CONCLUSION

POSITION

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REGION
MAR 07 TH 12

AKS ENGINEERING
3700 RIVER 1
WESTER, OR 97146
503.400.6028
WWW.AKS-ENG.COM

**ENGINEER
FORESTRY**

1000 & FORESTRY,
 N. STE 1
 1003
 1004

AK
NATURAL RE
OSCAPE ARCH

S
SOURCES
LECTURE

1

**HALLMAN
ELEMENTARY SCHOOL**

SALEM OREGON
TAX 1 015 3200 AND 3201 MARION COUNTY TAX MAP 07 T6 12

AKS ENGINEERING & FORESTRY, LLC
3700 RIVER RD N, STE 1
KEIZER, OR 97303
503.400.6028
WWW.AKS-ENG.COM

AKS


**ENGINEERING • SURVEYING • NATURAL RESOURCES
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE**

1

| | |
|--------|---------------------|
| DATE: | 10/1/2021 |
| TITLE: | REFERENCE SURVEY |
| SCALE: | SEE SHEET |

DRAWN BY: **SC**
 CHECKED BY:

EXPENSE: 12-31-2022



A NE

PROJECT FOR S
H
ELEMENT
4000 DEERHAVEN

SALEM-KEIZER SCH
ALLMAN
TARY SCH
DR. NE

SCHOOL DISTRICT #2

SCHOOL

SALEM, OR

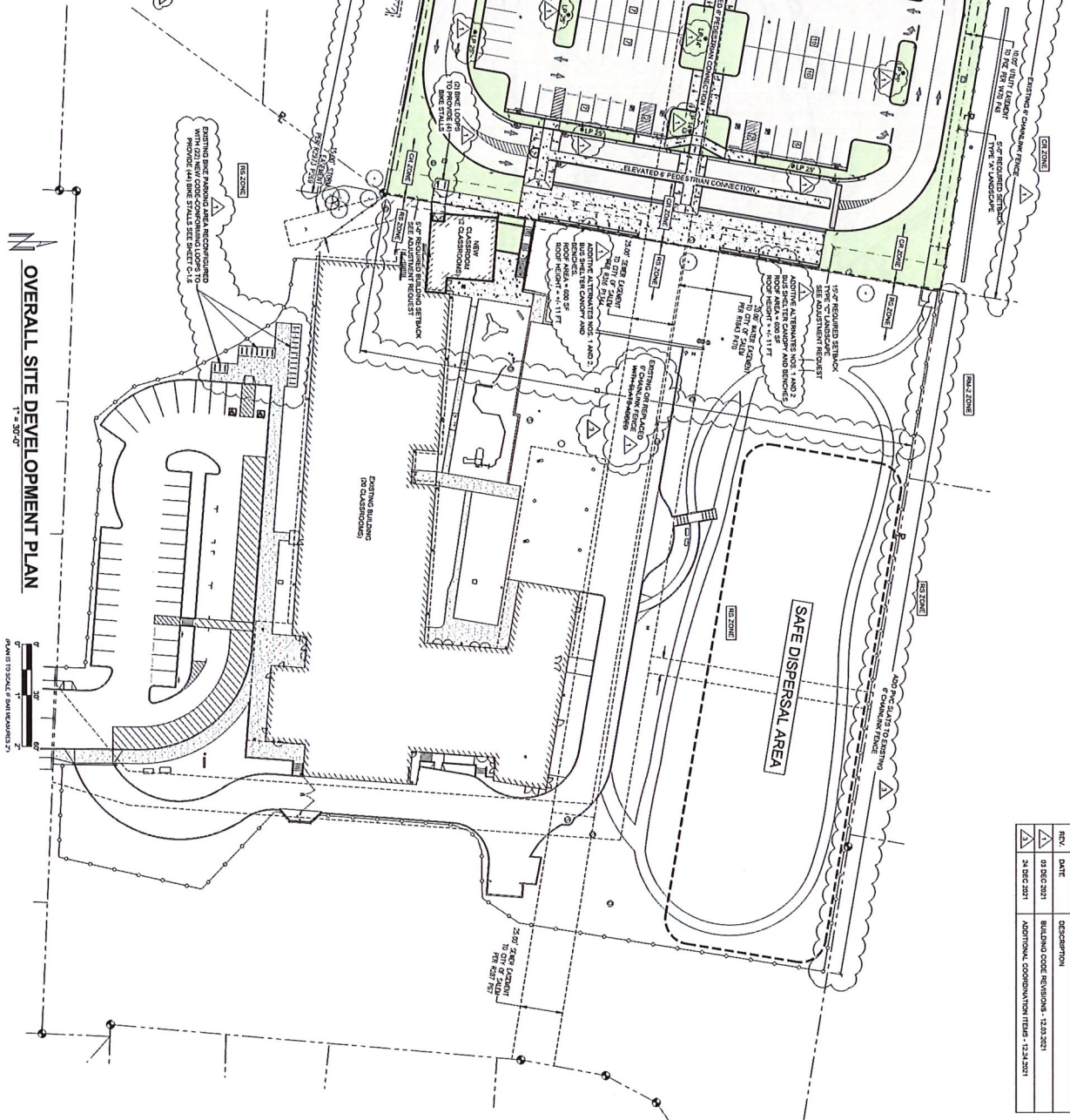
Locke CMAA
STRUCTURAL
ENGINEERS
2901 E. Wendover Ave., Suite 703
Denver, Oregon 97206
973 344-1271 / 1-800-499-9000
JO 1770-1-2
PERMIT SET

PAUL L. BE

NTLEYArch



Architect A.I.A. P.C.

[illegible]

| REV. | DATE | DESCRIPTION |
|------|-------------|--|
| 1 | 03 DEC 2021 | BUILDING CODE REVISIONS - 12.03.2021 |
| 3 | 24 DEC 2021 | ADDITIONAL COORDINATION ITEMS - 12.24.2021 |



615 SE JACKSON STREET
DUNELAND, NJ 07473
941 672.0273 OFFICE
941 673.7360 FAX

PAUL L BENTLEYArchitect A.I.A. P.C.

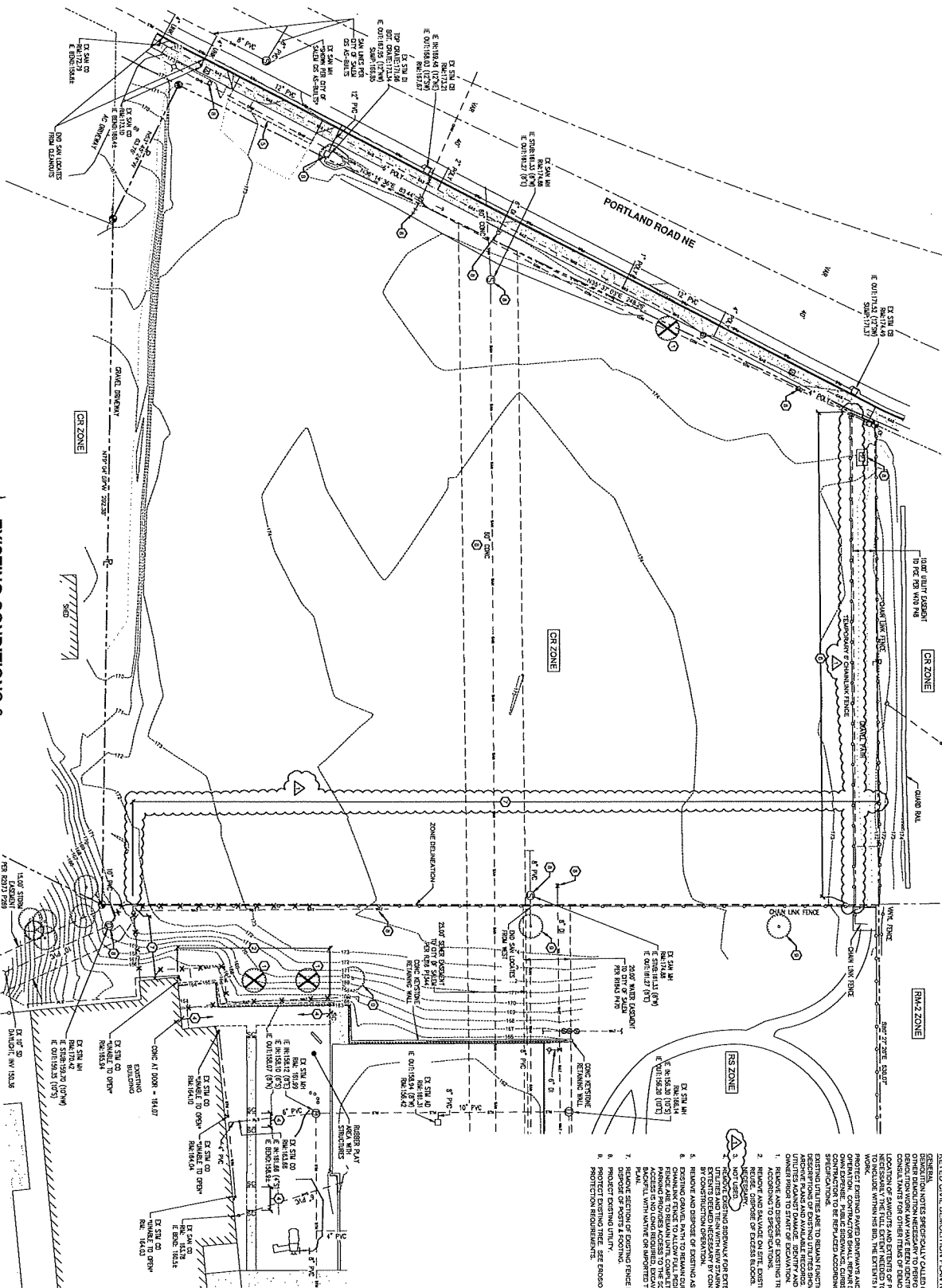
Locke CIVIL &
STRUCTURAL
ENGINEERS
2229 E. Elmhurst Ave., Suite 7102
Desha, Oregon 97228
602.394.8237 Locke@lockeengineers.com
J.O. 1736-1-2
PERMIT SET

A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL
 4000 DEERHAVEN DR. NE SALEM, OR



| | |
|-------------|-------------------------------------|
| DRAWN BY: | SC |
| CHECKED BY: | GL |
| DATE: | 10/1/2021 |
| TITLE: | OVERALL SITE DEVELOPMENT PLAN |
| SCALE: | SEE SHEET |

SHEET NO:
C-0.4
OF 26



KEYED CIVIL DEMOLITION PLAN NOTES

| REV. | DATE | DESCRIPTION |
|------|-------------|--------------------------------------|
| 1 | 03 DEC 2021 | BUILDING CODE REVISIONS - 12.01.2021 |

- [illegible]

LOCKE CIVIL & STRUCTURAL
ENGINEERS
280 E. Exchange Ave., Suite 703
Orlando, Florida 32801

PERMIT SET

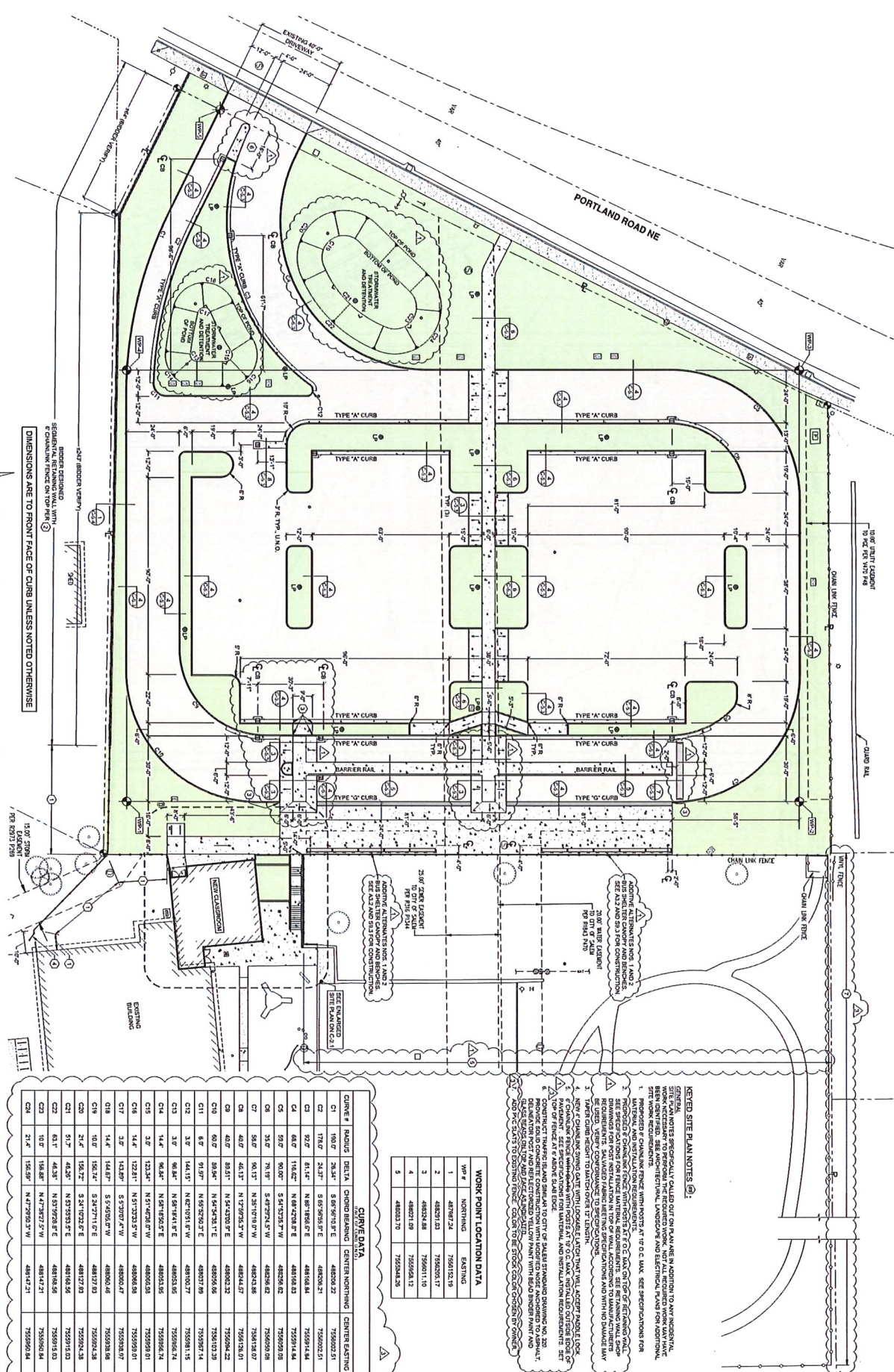
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
**HALLMAN
 ELEMENTARY SCHOOL**
 4000 DEERHAVEN DR. NE SALEM, OR

| | |
|-------------|--|
| DRAWN BY: | SC |
| CHECKED BY: | GL |
| DATE: | 10/1/2021 |
| TITLE: | EXISTING CONDITIONS & CIVIL DEMOLITION PLAN |
| SCALE: | |
| SEE SHEET | |

SHEET NO:
G-1.1
OF 26

615 DE JEROME STREET
SPRINGFIELD, OR 97473
541.876.0273 OFFICE
541.433.7550 FAX
FAX 541.876.0273 FAX 541.433.7550

ENTLEY Architect A.I.A. P.C.



| REV. | DATE | DESCRIPTION |
|------|-------------|--|
| 1 | 03 DEC 2021 | BUILDING CODE REVISIONS - 12.03.2021 |
| 2 | 24 DEC 2021 | ADDITIONAL COORDINATION ITEMS - 12.24.2021 |

| WORK POINT LOCATION DATA | | |
|--------------------------|-----------|------------|
| WP # | NORTHING | EASTING |
| 1 | 487987.24 | 7566152.19 |
| 2 | 488291.03 | 7556205.17 |
| 3 | 486324.88 | 7566011.10 |
| 4 | 488021.09 | 7565958.12 |
| 5 | 488033.70 | 7565848.26 |

[illegible][illegible]

KEYED SITE PLAN NOTES (E8):

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| 3 | 24 DEC 2021 | ADDITIONAL COORDINATION ITEMS - 12.24.2021 |
|---|-------------|--|

| | |
|--------------------------------------|---|
| 03 DEC 2021 | |
| BUILDING CODE REVISIONS - 12.03.2021 | |

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| 1 | | |

| | |
|--|-----------------------|
| 1. Name of the person(s) who prepared the report | 2. Date of the report |
|--|-----------------------|

| | |
|-------------|-----------------|
| DRAWN BY: | SC |
| CHECKED BY: | GL |
| DATE: | 10/1/2021 |
| TITLE: | CIVIL SITE PLAN |
| SCALE: | SEE SHEET |
| SHEET NO: | C-1.2 |
| OF | 26 |

REGISTERED PROFESSIONAL ENGINEER
16,650
DIGITAL SIGNATURE
OREGON
GREG D. LOCKE
Jul 1 2022
EXPIRES: 12-31-2022

A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @

HALLMAN

ELEMENTARY SCHOOL

4000 DEERHAVEN DR. NE SALEM, OR

Locke CIVIL &
STRUCTURAL
ENGINEERS
2201 E. Elmwood Ave., Suite 700
Desha, Oregon 97026
602.364.8027 info@lockeengineers.com
J.O. 17361-2
PERMIT SET

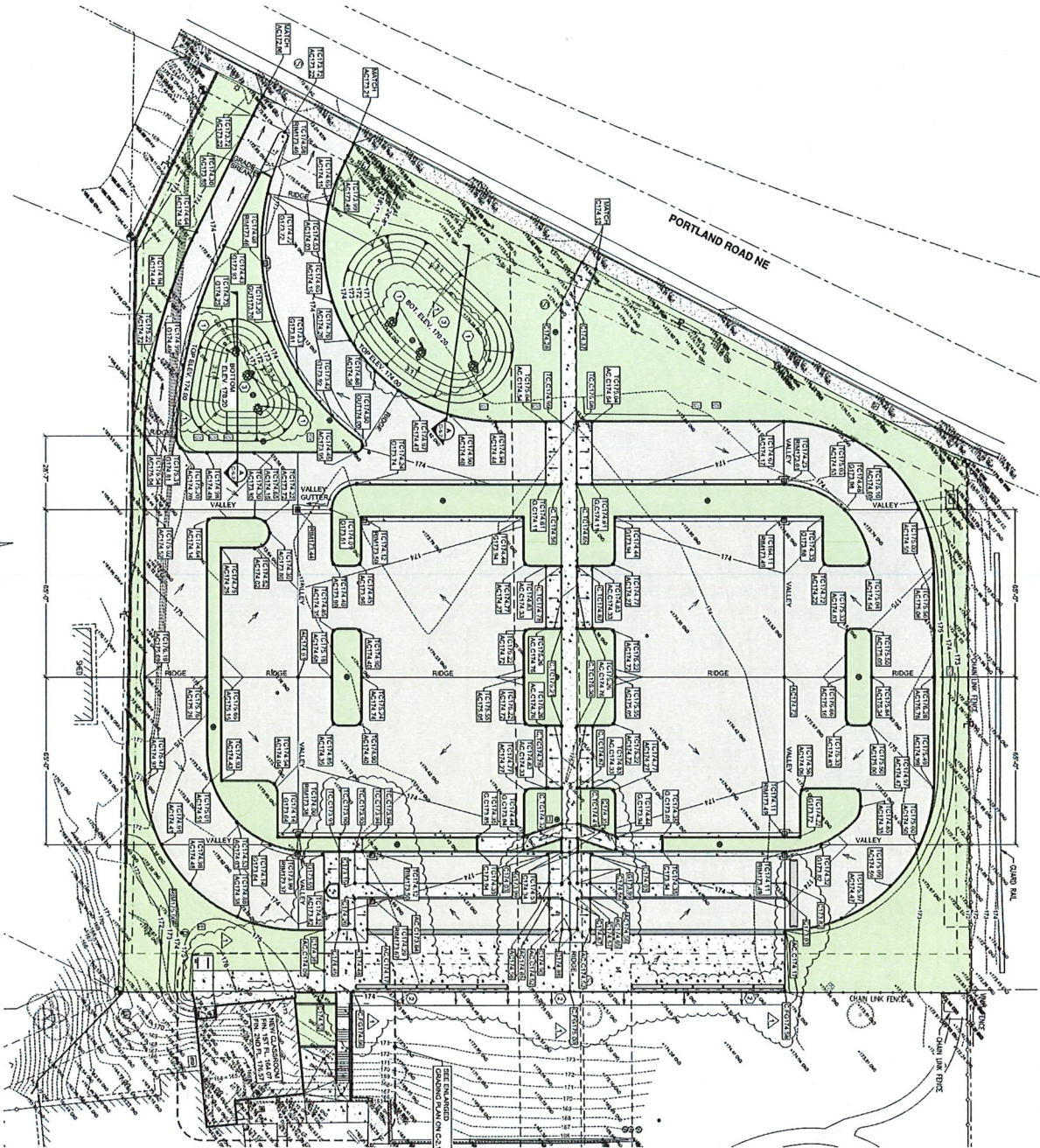
615 SE JACKSON STREET
DUNEDIN, CA 97473
941 672-0273 OFFICE
941 673-7350 FAX
PAUL@PAULBENTLEYARCHT.COM



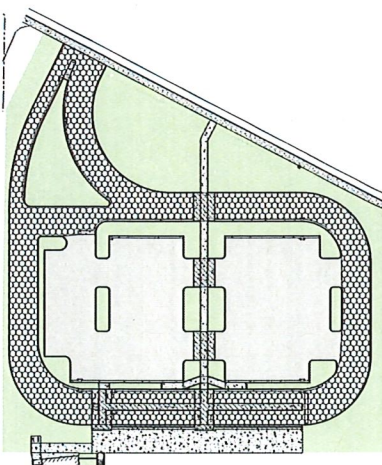
PAUL L BENTLEY Architect A.I.A. P.C.

GRADING PLAN 1" = 20'-0"

5' 20' 40'
 0' 10' 20' 30' 40' 50'
 1" = 20'-0"



PAVEMENT SURFACE PLAN 1" = 50'-0"



- 1" CRUSHED ROCK BASE COURSE
- 2" CRUSHED ROCK SUBBASE COURSE
- 3" CRUSHED ROCK SUBBASE COURSE
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- 98" CRUSHED ROCK SUBBASE COURSE
- 99" CRUSHED ROCK SUBBASE COURSE
- 100" CRUSHED ROCK SUBBASE COURSE

KEYED GRADING PLAN NOTES:

1. GRADING PLAN NOTES SPECIFICALLY CALLED OUT ON PLAN ARE IN ADDITION TO ANY GENERAL GRADING PLAN NOTES. GRADING PLAN NOTES SPECIFICALLY CALLED OUT ON PLAN ARE IN ADDITION TO ANY GENERAL GRADING PLAN NOTES. GRADING PLAN NOTES SPECIFICALLY CALLED OUT ON PLAN ARE IN ADDITION TO ANY GENERAL GRADING PLAN NOTES.
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| REV | DATE | DESCRIPTION |
|-----|-------------|--------------------------------------|
| 1 | 01 DEC 2021 | BUILDING CODE REVISIONS - 12/01/2021 |

SHEET NO:
C-1.3
 OF 26

CHECKED BY: SC
 DATE: 10/1/2021
 TITLE: GRADING PLAN
 SCALE: SEE SHEET

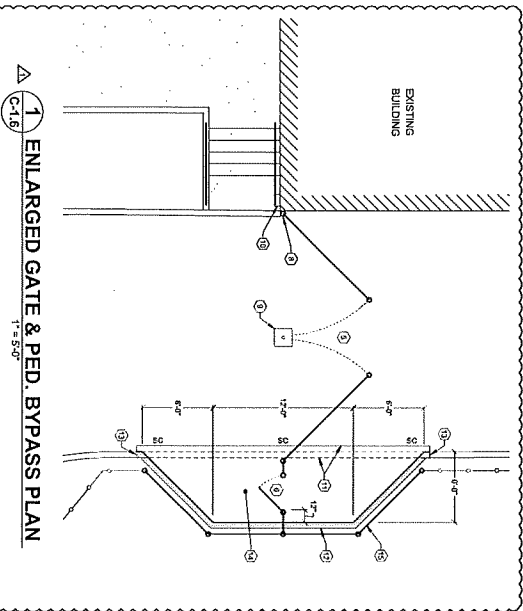
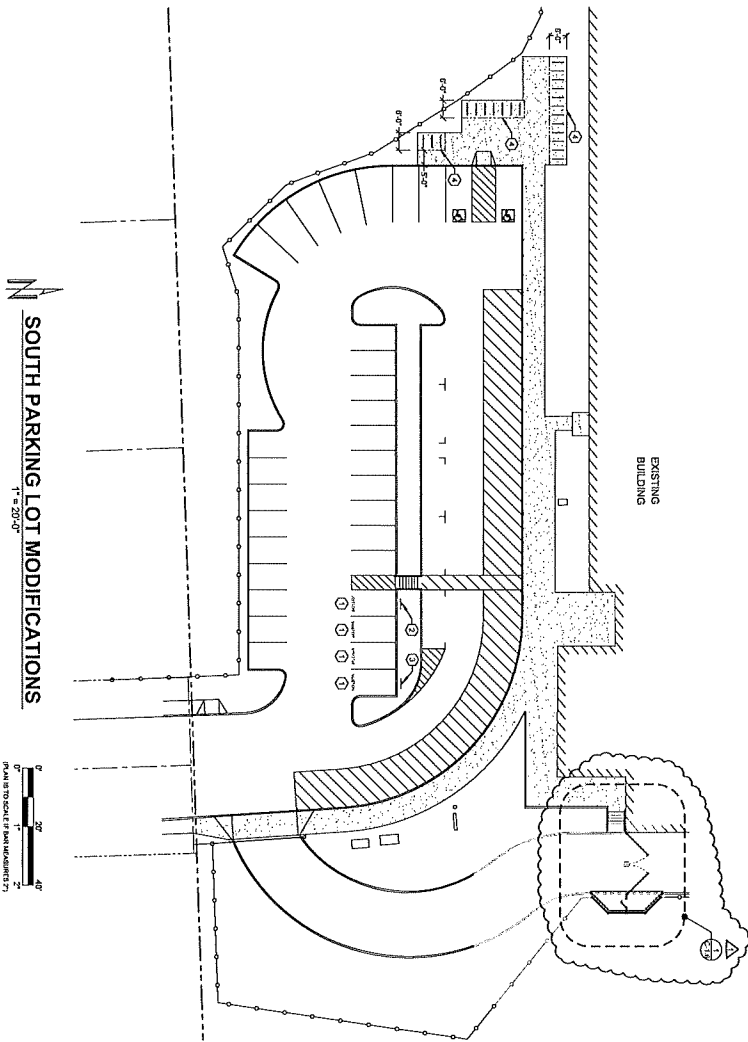


A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN ELEMENTARY SCHOOL
 4000 DEERHAVEN DR. NE SALEM, OR

Locke ENGINEERS
 2000 N. DEERHAVEN DR. NE
 SALEM, OR 97305
 503.585.1234
 PERMIT SET

PAUL L. BENTLEY Architect A.I.A. P.C.

SHEET NO:
C-1.5
OF 26



| REV. | DATE | DESCRIPTION |
|------|-------------|--------------------------------------|
| 1 | 03 DEC 2021 | REVISION CODE REVISIONS - 12/23/2021 |

KEYED SOUTH PARKING LOT NOTES:

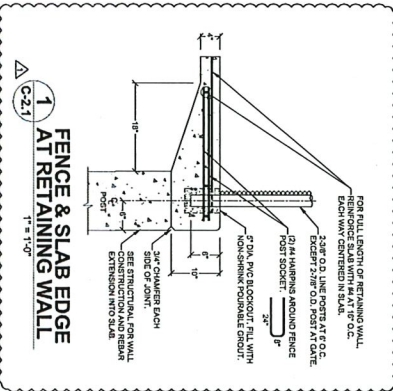
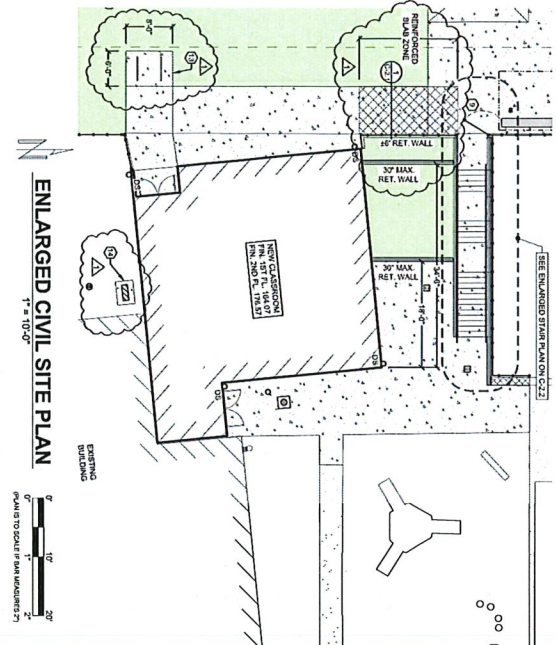
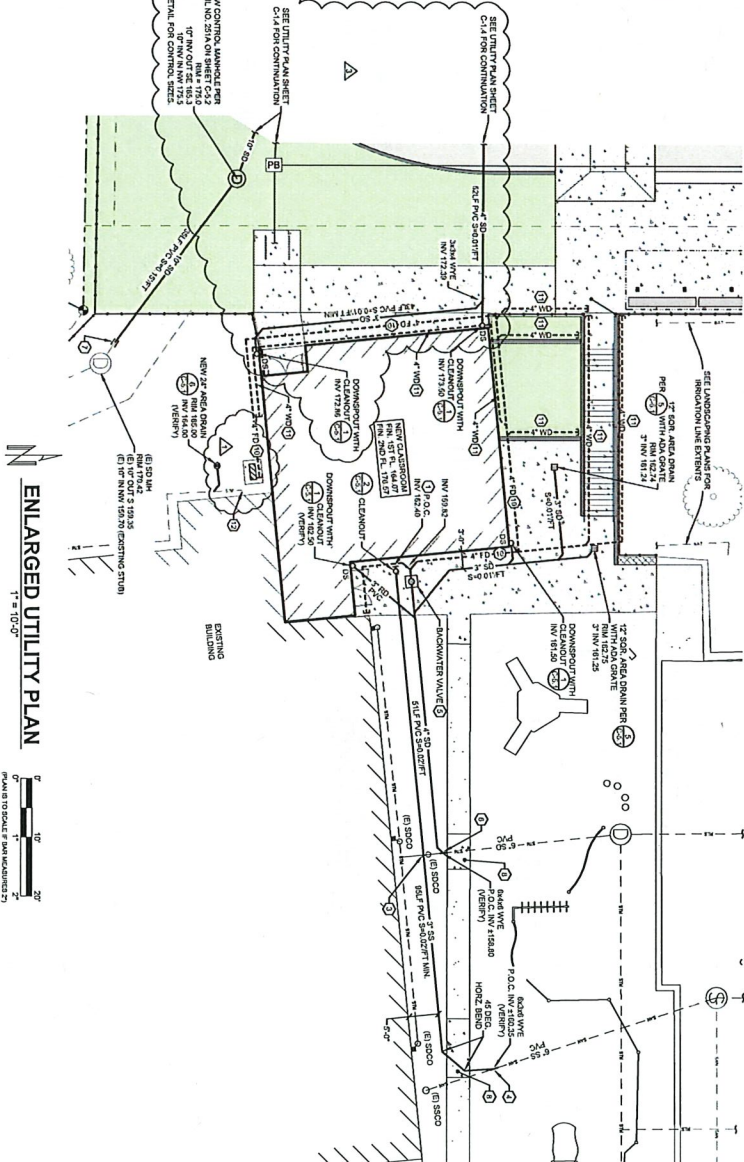
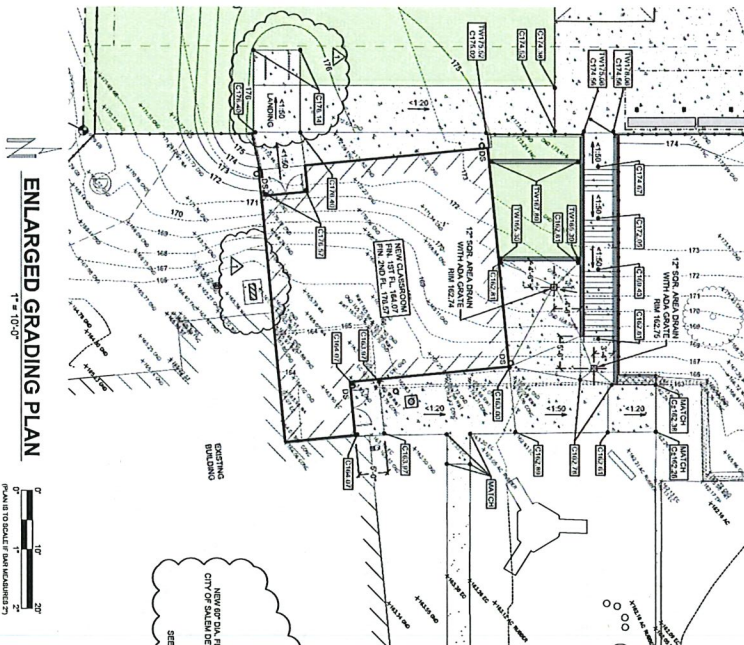
- GENERAL NOTES SPECIFICALLY CALLED OUT ON PLANS ARE IN ACCORD TO ANY RELEVANT CITY ORDINANCES, STATE AND FEDERAL REQUIREMENTS, AND ALL APPLICABLE STANDARDS. ANY NOTES NOT SPECIFICALLY CALLED OUT ON PLANS ARE IN ACCORD TO ANY RELEVANT CITY ORDINANCES, STATE AND FEDERAL REQUIREMENTS, AND ALL APPLICABLE STANDARDS.
1. PAINT - VARIOUS IN DETAIL PER DETAIL 2 ON C-1.5.
2. BOLD - VARIOUS ONLY (PREF) PER DETAIL 2 ON C-1.5.
3. BOLD - VARIOUS ONLY (PREF) PER DETAIL 2 ON C-1.5.
4. REPAIR EXISTING DRIVE IN PLACE WITH (2) BLACK POWDER COATED INTERLOCK CONCRETE SLAB WITH REINFORCING ANCHORS PER MANUFACTURER'S REQUIREMENTS. CLEAR FROM DRIVE OF SLAB TO END OF DRIVE.
5. INSTALL PAIR OF 18" CHAINLINK FENCE GATES. PROVIDE PROPER HOOD AND LOCKING.
6. INSTALL CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
7. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
8. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
9. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
10. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
11. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
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13. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
14. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.
15. PROVIDE 18" CHAINLINK FENCE GATE. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR HARDWARE AND SECURITY FEATURES. GATE SHALL BE DESIGNED TO ACCEPT THE SPECIFIED INTERIOR HANDLE SHOULD BE SET INTO A STEEL BOX WITH 3/4" HORIZONTAL LEGS TO PROTECT THE HANDLE.

| | |
|-------------|-----------------------------|
| SHEET NO.: | C-1.6 |
| DATE: | 10/1/2021 |
| CHECKED BY: | GL |
| DRAWN BY: | SC |
| TITLE: | SOUTH PARKING MODIFICATIONS |
| SCALE: | SEE SHEET |



A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
**HALLMAN
ELEMENTARY SCHOOL**
4000 DEERHAVEN DR. NE SALEM, OR

Locke ENGINEERS
PAUL L BENTLEY Architect A.I.A. P.C.



- KEYED ENLARGED PLAN NOTES:**
1. SEE ENLARGED CIVIL SITE PLAN FOR OVERALL LAYOUT AND DIMENSIONS.
 2. SEE ENLARGED GRADING PLAN FOR ELEVATIONS AND SLOPES.
 3. SEE ENLARGED UTILITY PLAN FOR UTILITY LAYOUT AND DEPTHS.
 4. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR REINFORCEMENT DETAILS.
 5. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR CONSTRUCTION DETAILS.
 6. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR FINISHES.
 7. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR MATERIALS.
 8. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR INSTALLATION.
 9. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR MAINTENANCE.
 10. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR REPLACEMENT.
 11. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR DEMOLITION.
 12. SEE ENLARGED FENCE & SLAB EDGE DETAIL FOR DISPOSAL.

| REV. | DATE | DESCRIPTION |
|------|------------|---|
| 1 | 02.08.2021 | BUILDING CODE REVISIONS - 12.23.2021 |
| 2 | 04.02.2021 | ADDITIONAL CORRECTIONS (REVISIONS) - 12.23.2021 |

REVISIONS

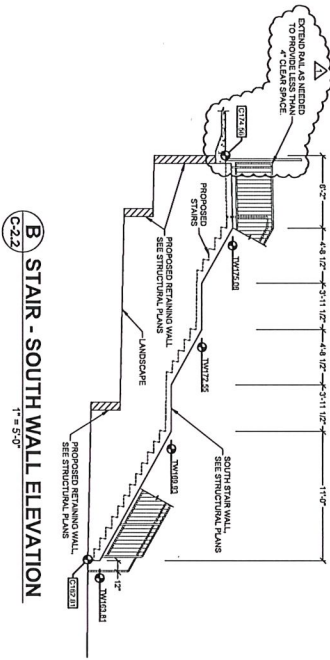
| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------|
| 1 | 12/23/2021 | ISSUED FOR PERMIT |

DESIGNER: SC
CHECKED BY: SL
DATE: 12/1/2021
TITLE: ENLARGED PLANS
SCALE: SEE SHEET
SHEET NO: C-2.1
OF: 26

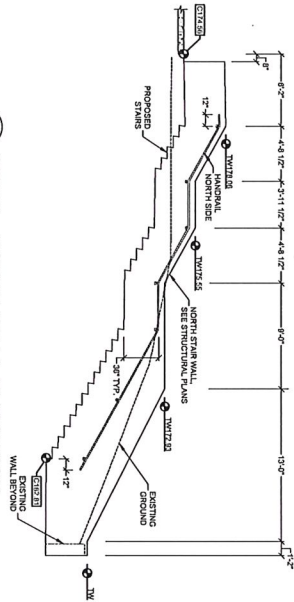
A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN ELEMENTARY SCHOOL
4000 DEERHAVEN DR. NE SALEM, OR

Locke ENGINEERS
16500 Hallman Elementary School
4000 Deerhaven Dr. NE
Salem, OR 97331
503.585.1234
www.locke-engineers.com

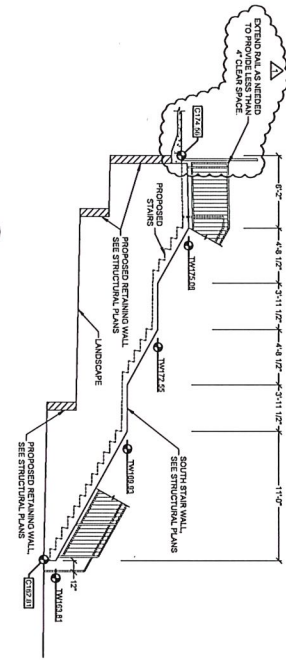
PAUL L BENTLEY Architect A.I.A. P.C.



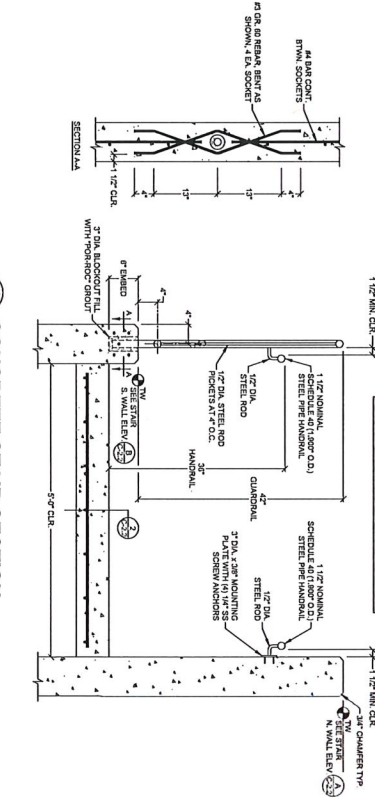
A STAIR - NORTH WALL ELEVATION
1" = 5'-0"



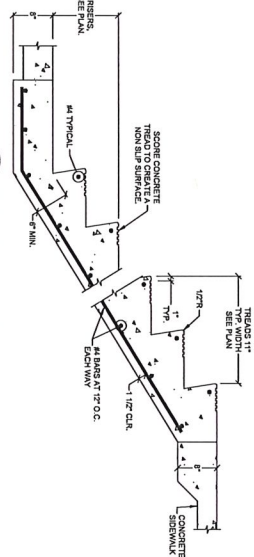
B STAIR - SOUTH WALL ELEVATION
1" = 5'-0"



1 CONCRETE STAIR SECTION
1" = 1'-0"



2 STAIRWAY SECTION
1" = 1'-0"



| REV. | DATE | DESCRIPTION |
|------|-------------|--------------------------------------|
| 1 | 03 DEC 2017 | BUILDING CODE REVISIONS - 12.03.2017 |

| | |
|-----------|-------|
| SHEET NO: | C-2.2 |
| OF 26 | |

| | |
|-------------|---------------------------|
| DRAWN BY: | SC |
| CHECKED BY: | GL |
| DATE: | 10/1/2021 |
| TITLE: | ENLARGED STAIR ELEVATIONS |
| SCALE: | SEE SHEET |



A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN ELEMENTARY SCHOOL
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Locke ENGINEERS
200 S. Main Street, Suite 100
Salem, OR 97301
503.586.1234
PERMIT SET

PAUL L BENTLEY Architect A.I.A. P.C.
615 SE JACKSON STREET
SUITE 200, SALEM, OR 97302
503.475.0212 OFFICE
503.475.7550 FAX
paul@paulbentleyarchitect.com



PAUL L BENTLEYArchitect A.I.A. P.C.

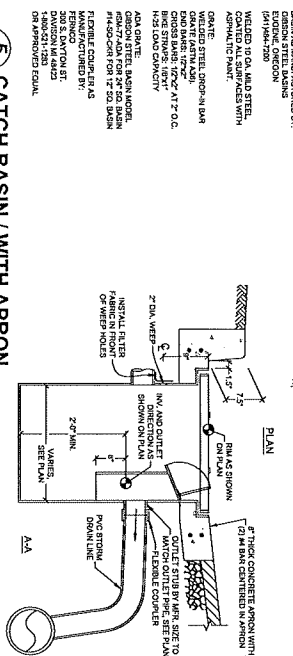
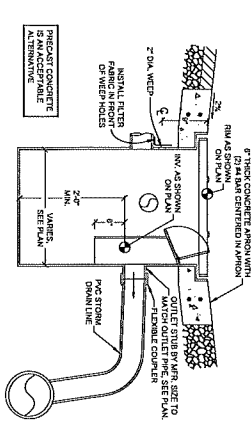
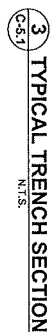


The expiration date of the document is 12-31-2022.
 The document is valid for use in the United States.
 The document is valid for use in the United States.
 The document is valid for use in the United States.

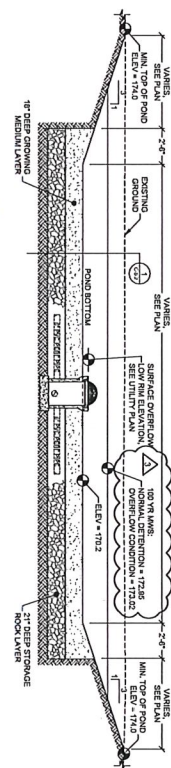
REGISTERED PROFESSIONAL ENGINEER
 16,650
 DIGITAL SIGNATURE
 GREG D. LOCKE
 JUL 20 1993
 OREGON

EXPIRES: 12-31-2022

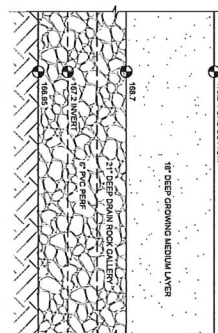
SHEET NO:
C-5.1
OF 26



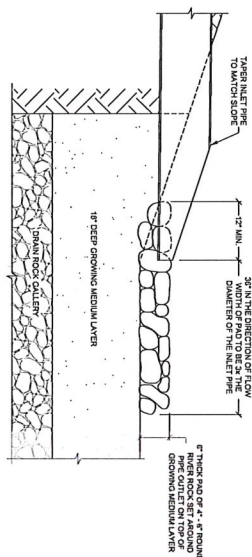
| REV. | DATE | DESCRIPTION |
|------|-------------|--|
| 3 | 22 DEC 2021 | REVISIONS PER COS_PRC_1 STORM WATER REVIEW |



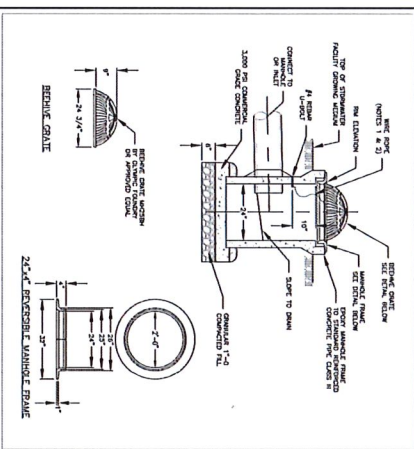
A BASIN SECTION - NORTH/SOUTH
1" = 5'-0"




1 BASIN DETAIL
1" = 1'-0"

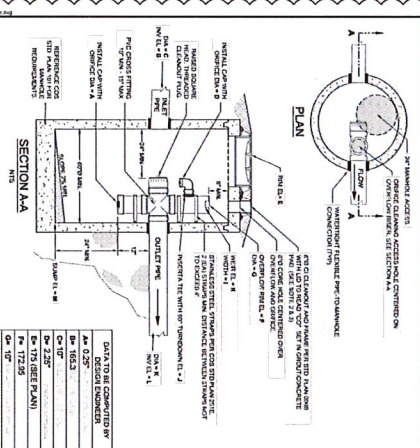


2 ROCK PAD AT PIPE OUTLET
1' = 1'-0"



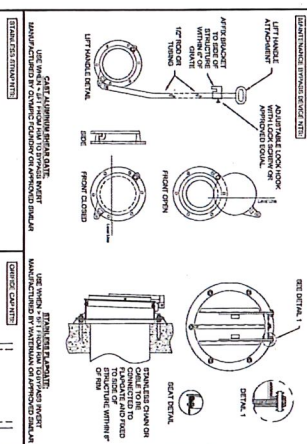
CITY OF SALEM
DEPARTMENT OF PUBLIC WORKS

| | |
|---|--------|
| CITY OF SALEM | |
| DEPARTMENT OF PUBLIC WORKS | |
| STANDARD PLAN | |
| BEEHIVE INLET GRATE | |
| APPROVED | DATE |
|  | 7/7/14 |
| DESIGN BY | DATE |
| CHKD BY | DATE |
| NO. 246 | |



CITY OF SALEM
DEPARTMENT OF PUBLIC WORKS

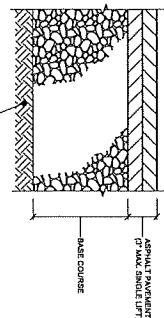
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|--------------------|--|---------|--|--------------|--|-------------|--|
| APPROVED | | DATE | | DRAWN BY | | TUL. DESIG. | |
| <i>[Signature]</i> | | 6/25/21 | | JUL. 4/25/21 | | NO. 251A | |



CITY OF SALEM
DEPARTMENT OF PUBLIC WORKS

| | | | |
|---|--|--|--|
| 1. REFERENCE CONSULTING/PLANNING STANDARD PLAN FOR NUMBER OF STAIRS TO BE USED. | | STANDARD PLAN | |
| CHANGES APPROVED STR NUMBER | | DEPARTMENT DATE CHECKED BY JOK. 4/20/21 | |
| NO.251E | | NO.251E | |

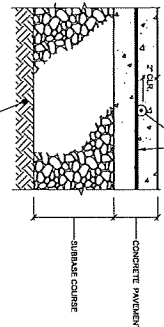
| REV. | DATE | DESCRIPTION |
|-------------|------|--------------------------------------|
| 03 DEC 2021 | | BUILDING CODE REVISIONS - 12.03.2021 |



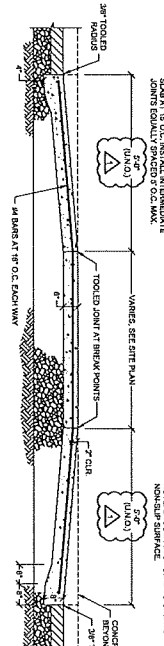
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C-5.3

**TYPICAL ASPHALT
PAVEMENT SECTION**

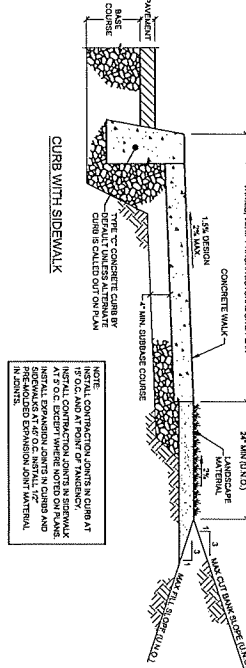
1 1/2" = 1'-0"



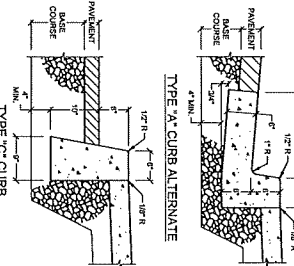
2
C-5.3
TYPICAL CONCRETE PAVEMENT SECTION
1 1/2" = 1'-0"



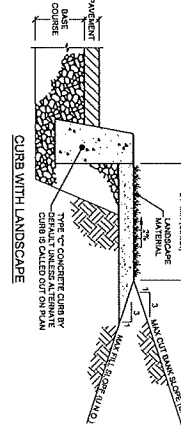
3 RAISED CROSSWALK/CONCRETE SPEED HUMP
C-5.3
 $1/2" = 1'-0"$



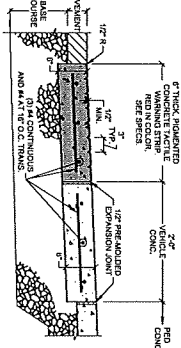
CURB WITH SIDEWALK



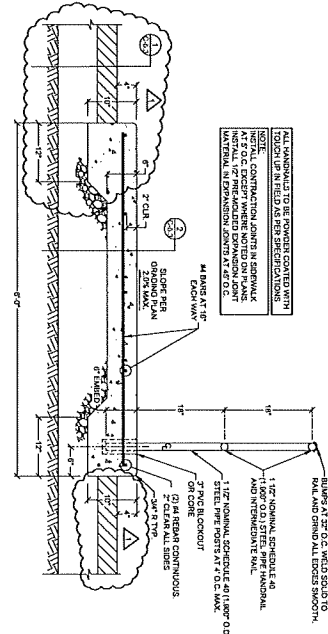
TYPE "A" CURB ALTERNATE



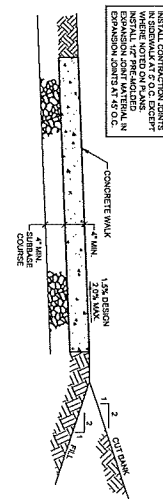
CURB WITH LANDSCAPE



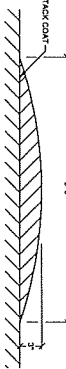
TYPE "G" AT-GRADE TACTILE CURB



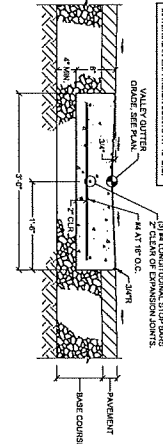
5 INTERIOR WALKWAY AND BARRIER RAIL



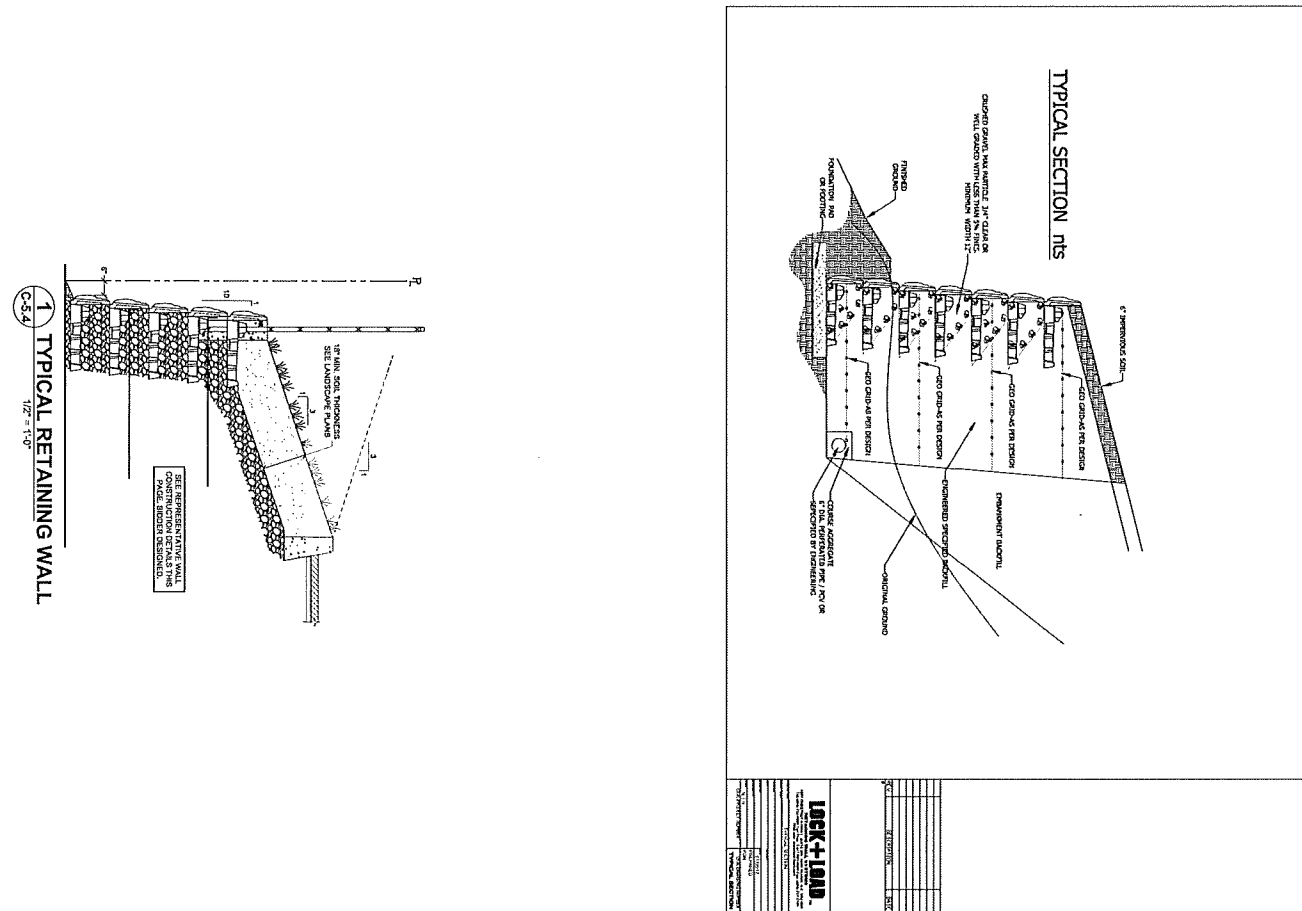
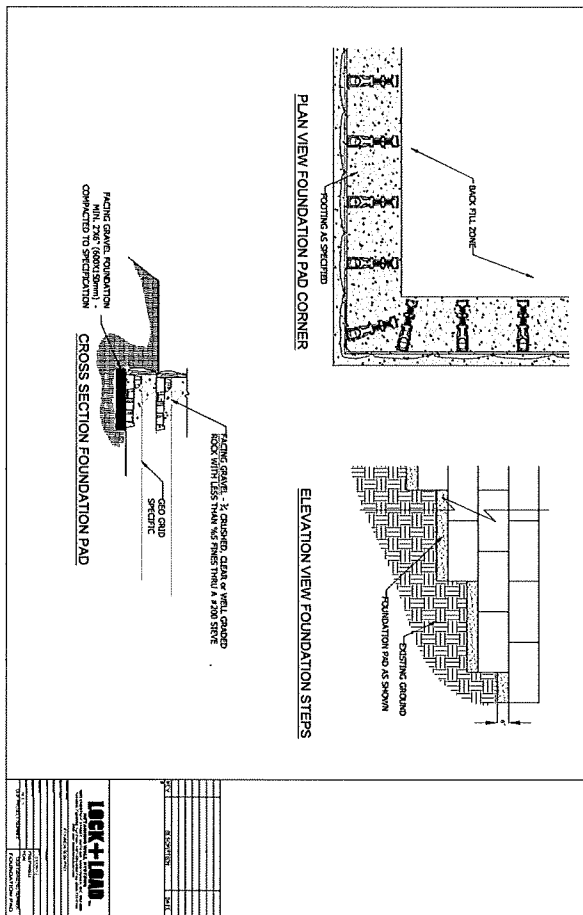
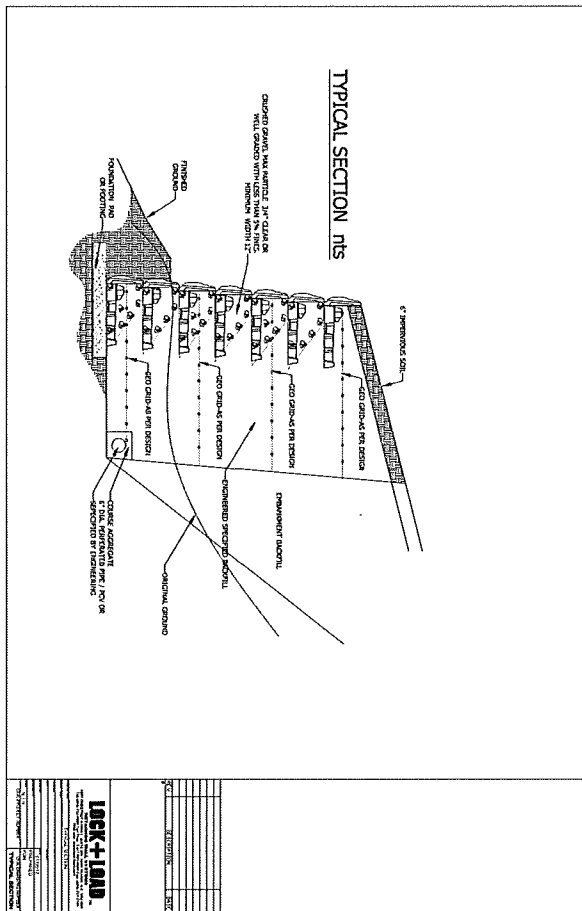
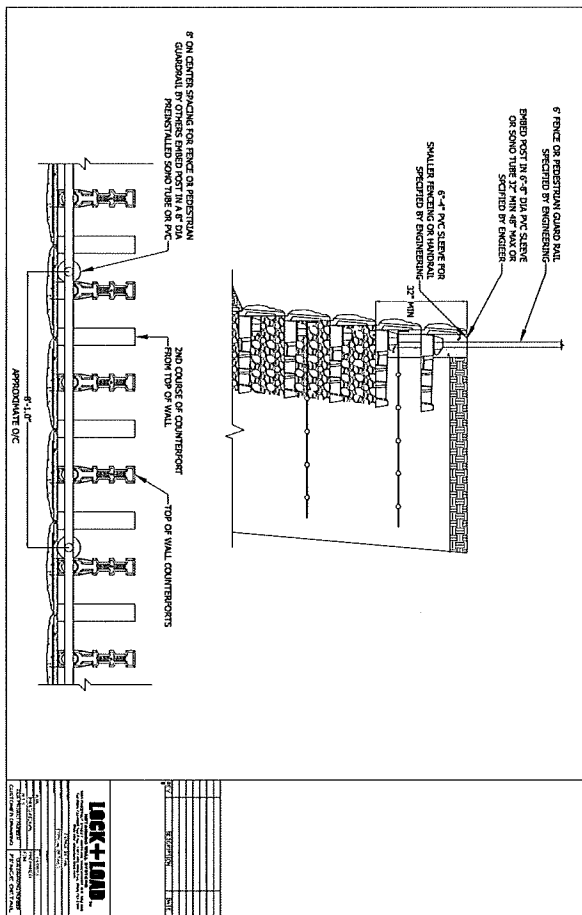
0 TYPICAL SIDEWALK
C-5.3
1" = 1'-0"

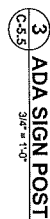
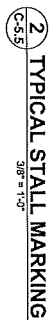


1 ASPHALT SPEED BOMBS

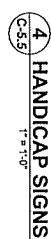


0 CONCRETE VALLEY GUILLER
C-5.3
1" = 1'-0"





| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|



618 BT JACKSON STREET
MUSKOGEE, OK 74471
641 672-0272 OFFICE
641 673-7942 FAX
PAID@FAMWREN.ETAPEN-TEST.USD

PAUL L BENTLEYArchitect A.I.A. P.C.



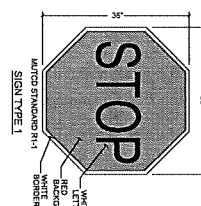
PERMIT SET

A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL
 4000 DEERHAVEN DR. NE SALEM, OR

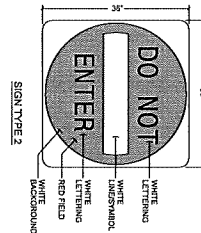


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| DRAWN BY: | SC |
| CHECKED BY: | GL |
| DATE: | 10/1/2021 |
| TITLE: | CIVIL DETAILS |
| SCALE: | SEE SHEET |

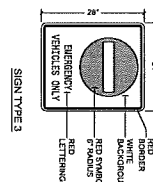
SHEET NO:
C-5.6
OF 26



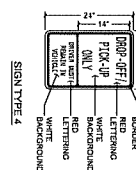
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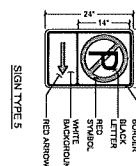
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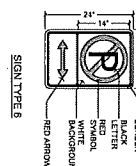
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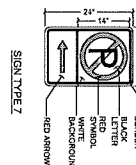
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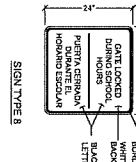
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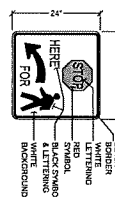
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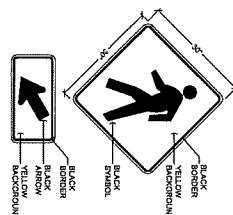
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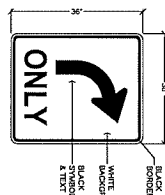
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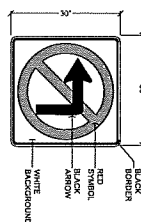
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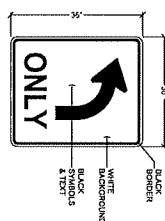
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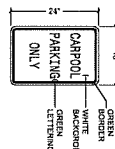
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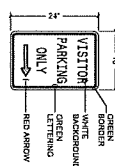
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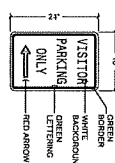
SIGN TYPE 1



SIGN TYPE 1



SIGN TYPE



SIGN TYPE :

SIGN TYPE DETAILS

$$3/4 = 1 - 0$$

April 2022 through Sept 2022

| CONSTRUCTION PERIOD | | Phase of Construction: Sep 2022 | | | Language Translation |
|--|----------|---------------------------------|------------------|-----------------------|----------------------|
| Items | CLAIMING | MASS CLAIMING | PARENTAL CONSENT | EMERGENCY TRANSLATION | |
| REVIEW CONTROLS | | | | | |
| New Child Protection | X | X | X | | |
| Existing Child Protection | X | X | X | | |
| Energy Disasters | | | X | | |
| EMERGENCY INTERVENTION | | | | | |
| Dist. Control | X | X | | | |
| Parent Sharing | X | X | X | | |
| Passive Emission Reduction | X | X | X | | |
| Protection of trees and vegetation | X | X | X | | |
| Temporary Control and Planning | X | X | X | | |
| Permanent Control and Planning | X | X | X | | |
| Building Control to ensure with safety | X | X | X | | X |
| Control Emission | X | X | X | | |
| Control Emission and Control Emission | X | X | X | | |
| REVIEW CONTROLS | | | | | |
| Parental Consent | X | X | X | | |
| New Child Protection | X | X | X | | |
| Existing Child Protection | X | X | X | | |
| Energy Disasters | X | X | X | | |
| Emergency Intervention | X | X | X | | |
| Dist. Control | X | X | X | | |
| Parent Sharing | X | X | X | | |
| Passive Emission Reduction | X | X | X | | |
| Protection of trees and vegetation | X | X | X | | |
| Temporary Control and Planning | X | X | X | | |
| Permanent Control and Planning | X | X | X | | |
| Building Control to ensure with safety | X | X | X | | |
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| Building Control to ensure with safety | X | X | X | | |
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1. INCLUDE A LIST OF ALL PERSONNEL (BY NAME AND POSITION) THAT ARE RESPONSIBLE FOR THE

- 1 INSTALLATION AND MAINTENANCE OF DRAINAGE CONTROL, INCLUDING THE E-SPRAYER, OR, IF
- 2 AVAILABLE, THE E-SPRAYER WITH A REMOTE CONTROL, SHALL BE USED TO APPLY THE E-SPRAYER
- 3 SOLUTION. SECTION 6.5
- 4 INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DOTS 100-00 PERMIT REQUIREMENTS. SECTION
- 5 6.6
- 6 A COPY OF THE E-SPRAYER AND ALL RECORDS ON LOGS AND MAINT. RECORDS ON REQUEST TO D.O.
- 7 AGENT OF THE LOCAL MUNICIPALITY. SECTION 4.75
- 8 THE PERMIT RECIPIENT MUST MAINTAIN THE E-SPRAYER TO PREVENT ANY OF THE FOLLOWING:
- 9 THE E-SPRAYER MUST BE ACCURATE AND REFLECT THE CONDITIONS. SECTION 4.8
- 10 BLENDING OF THE E-SPRAYER IS NOT REQUIRED. SECTIONS 4.8 AND 4.9
- 11 THE E-SPRAYER MUST BE MAINTAINED TO PREVENT THE E-SPRAYER FROM BEING USED FOR
- 12 OTHER PURPOSES. SECTION 4.8
- 13 THE E-SPRAYER MUST BE MAINTAINED TO PREVENT THE E-SPRAYER FROM BEING USED FOR
- 14 OTHER PURPOSES. SECTION 4.8
- 15 THE E-SPRAYER MUST BE MAINTAINED TO PREVENT THE E-SPRAYER FROM BEING USED FOR
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- 100 OTHER PURPOSES. SECTION 4.8

(Per City of Salem Department of Public Works Administrative Rules 7A.1—Standard Notes)

1. Prior to any land disturbing activities, the boundaries of the clearing and grading in

- [illegible]

- [illegible]

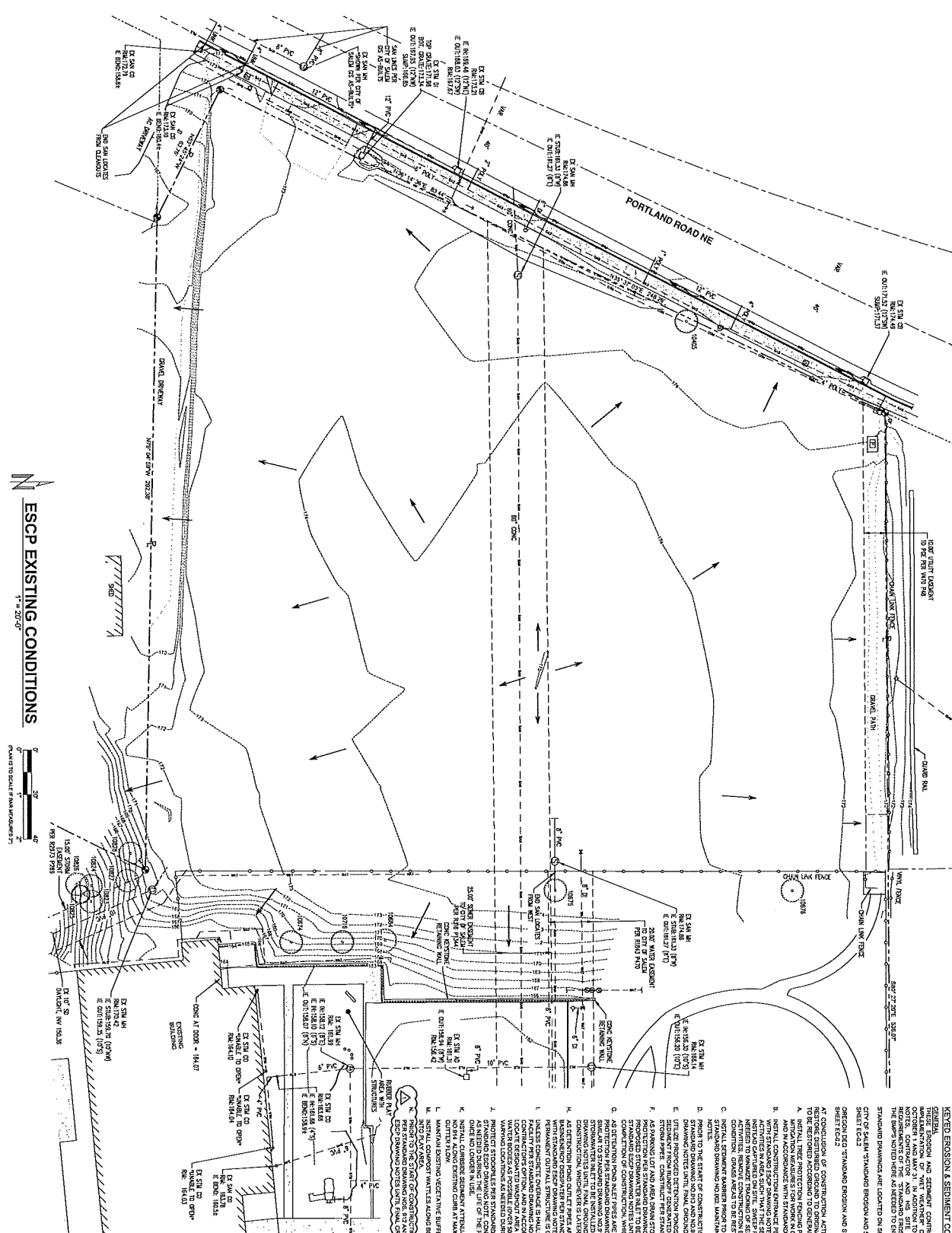
- (b) Potentially Safe Waters and Hazardous Materials Management**
1. Any use of dross or other hazardous materials in steel must be proper, accurate, application, and disposal.
 2. The contractor is solely responsible for properly managing pollutants, hazardous wastes, used oil, contaminated soils, asbestos, waste, asbestos waste, spent acids, or other toxic waste and substances in generated during construction.
 3. Contractor shall develop a proper schedule, written spill prevention and response procedure that includes employee training on spill prevention and proper spillage procedure, regular maintenance schedule for vehicles and machinery equipment. The spill spill prevention and response procedure, and spill prevention and response schedule shall be available on site at all times.
- Wet Weather Period (October 15 through April 30)**
1. The contractor shall ensure that no erosion or discharge of disturbed areas.

- [illegible]

- [illegible]

- [illegible]

- [illegible]



KEYED EROSION & SEDIMENT CONTROL NOTES

STANDARD DRAWINGS ARE LOCATED ON SHEET EC-1.

| REV. | DATE | DESCRIPTION |
|------|-------------|--------------------------------------|
| 1 | 03 DEC 2021 | BUILDING CODE REVISIONS - 12.03.2021 |

| TREE TABLE | | |
|-------------|------------|-----------|
| TREE NUMBER | TYPE | DBH (IN.) |
| 10405 | DECIDUOUS | 13.16 |
| 10674 | DECIDUOUS | 6 |
| 10873 | DECIDUOUS | 8.10 |
| 10978 | DECIDUOUS | 6 |
| 10884 | DECIDUOUS | 10 |
| 10716 | DECIDUOUS | 7 |
| 10823 | DECIDUOUS | 18 |
| 10854 | DECIDUOUS | 17 |
| 10825 | CONIFEROUS | 38 |
| 10826 | DECIDUOUS | 10 |
| 10827 | DECIDUOUS | 10.16 |
| 10828 | DECIDUOUS | 12 |

DRAWN BY:

DATE:

ESCP EXISTING
CONDITIONS

SEE SHEET

SHEET NO:

| | | | |
|---|---|---|---|
| 1 | 0 | - | - |
|---|---|---|---|

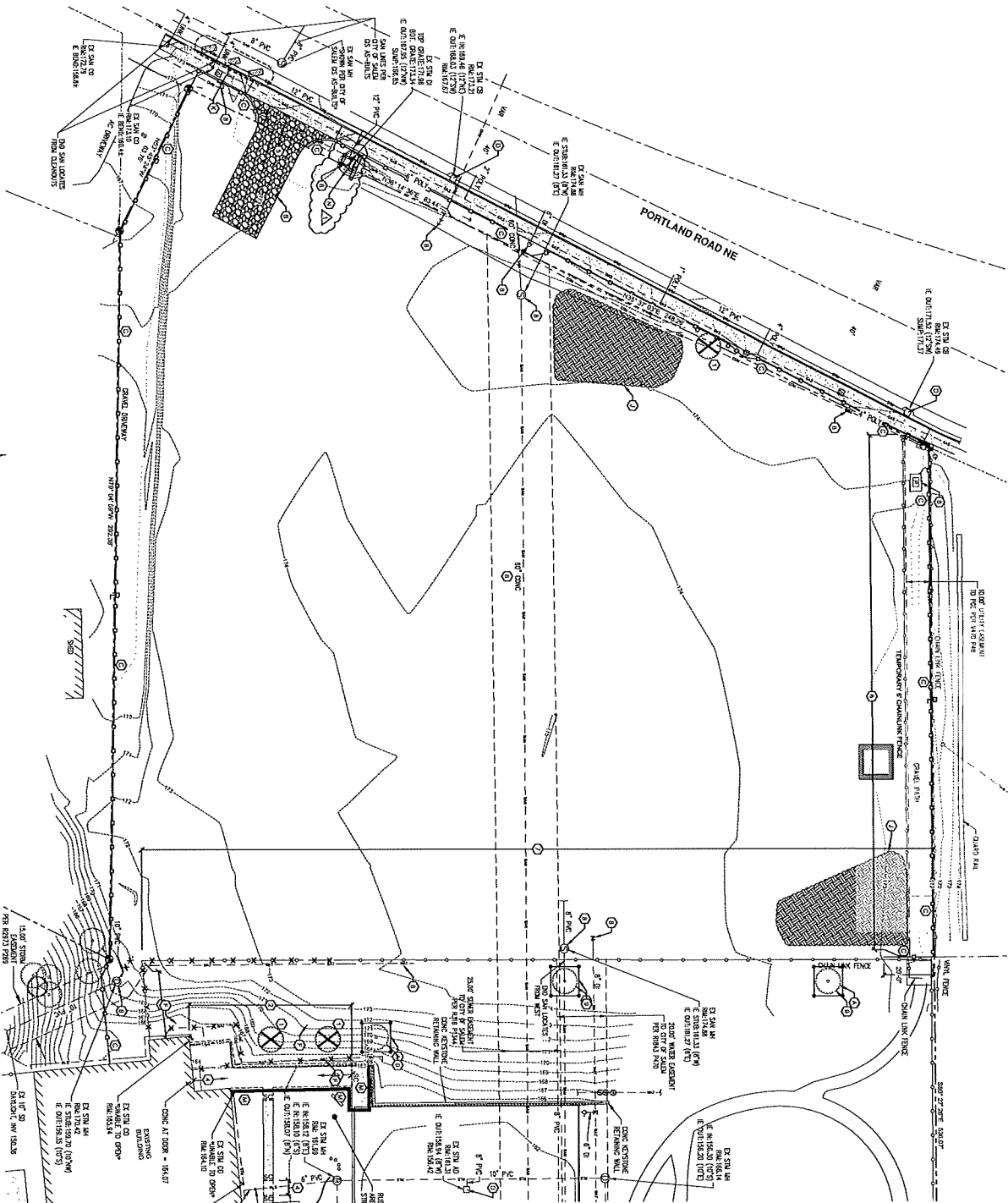
OF 26

A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
HALLMAN
ELEMENTARY SCHOOL
 4000 DEERHAVEN DR. NE SALEM, OR

Locke CIVIL & STRUCTURAL
ENGINEERS
207 E. Commercial Ave., Suite 770
Chicago, Chicago 60628
913.341.2017 info@locke-engineers.com
40.770345

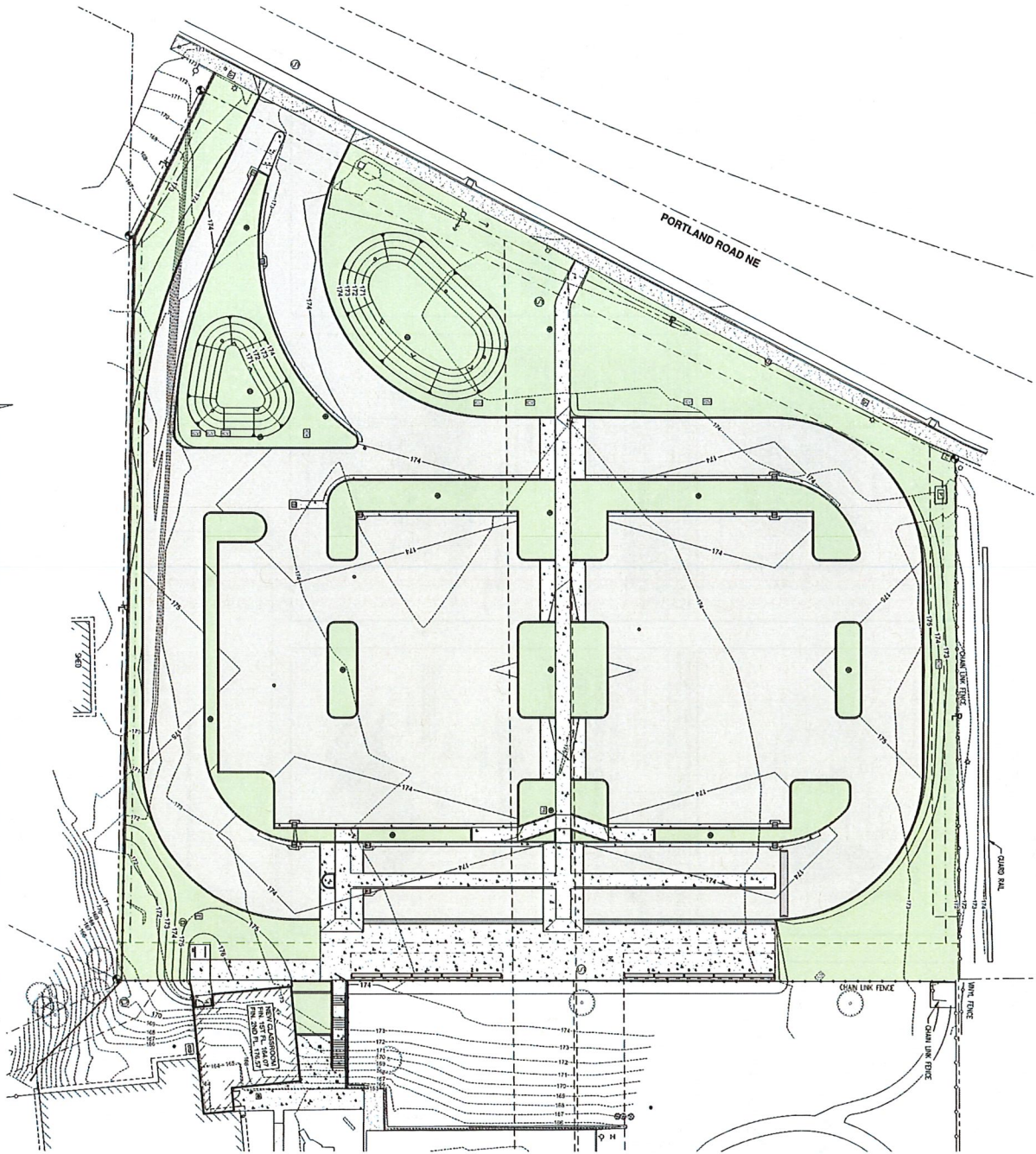
PAUL L BENTLEY Architect A.I.A., P.C.





ESCP LANDSCAPING & FINAL STABILIZATION PHASE
1" = 20'-0"

0' 20' 40'
PLAN TO SCALE & DIMENSIONS



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|

- SEE SHEET EC-1.1 FOR RETAINED EROSION & SEDIMENT CONTROL NOTES SHOWN ON THIS PLAN
- LANDSCAPING & FINAL STABILIZATION PHASE INFORMATION AND NOTES
1. PHASE 1: EROSION & SEDIMENT CONTROL NOTES SHOWN ON THIS PLAN
 2. DETENTION POND TO HAVE TEMPORARY SEDIMENT CONTROL DEVICES AND PERMANENT UNDER DRAINAGE AND PLANTING SOILS INSTALLED. SEE LANDSCAPE PLAN.
 3. INSTALL PERMANENT ROCK SPALLS AND PERMANENT CURB. SEE LANDSCAPE PLAN.
 4. PROTECTION UPON COMPLETION OF THIS PHASE.

SHEET NO:
EC-1.4
OF 26

DRAWN BY:
SC

CHECKED BY:
GL

DATE:
10/1/2021

TITLE:
ESCP LANDSCAPING
STABILIZATION
SCALE: PHASE
SEE SHEET



A NEW PROJECT FOR SALEM-KEIZER SCHOOL DISTRICT @
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PAUL L BENTLEY Architect A.I.A. P.C.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|



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| | |
|------------------|----------------------|
| DRAWN BY: SC | CHECKED BY: GL |
| DATE: 10/1/2021 | SCALE: ECOMP DETAILS |
| SHEET NO: EC-5.1 | |
| OF 26 | |

