

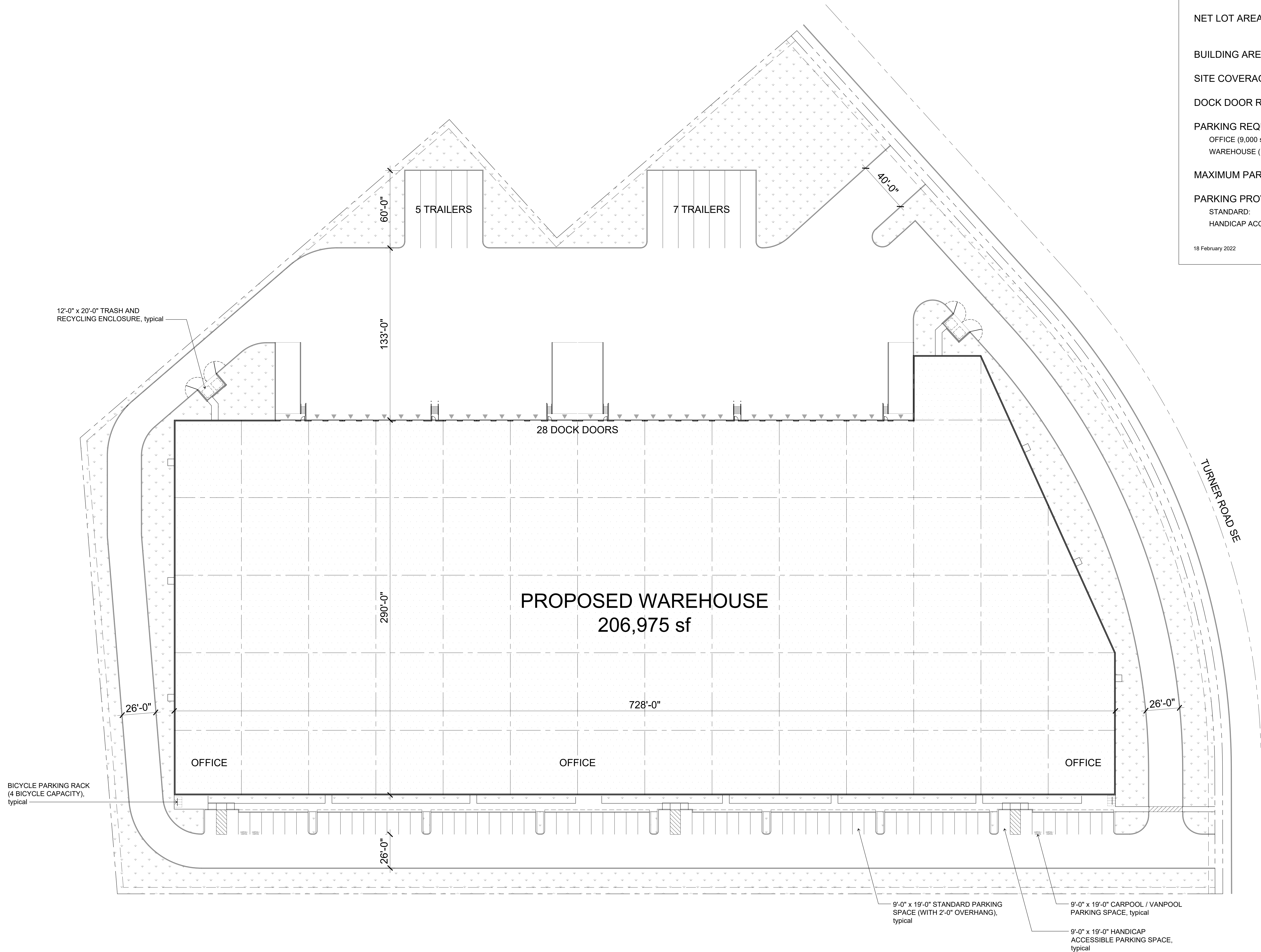
Turner Road Salem, Oregon

18 February 2022

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GROSS LOT AREA:	± 440,696 sf 10.12 acres
NET LOT AREA:	± 436,039 sf 10.01 acres
BUILDING AREA:	206,975 sf
SITE COVERAGE:	47.47 %
DOCK DOOR RATIO:	1 / 7,392 sf
PARKING REQUIRED:	40 spaces
OFFICE (9,000 sf at 1:350 sf)	26 spaces
WAREHOUSE (197,975 sf at 1:15,000 sf)	14 spaces
MAXIMUM PARKING (1.75x REQUIRED):	70 spaces
PARKING PROVIDED:	70 spaces
STANDARD:	64 spaces
HANDICAP ACCESSIBLE:	6 spaces

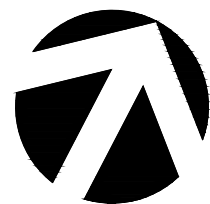
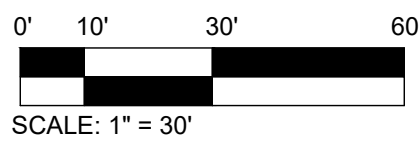
18 February 2022 p:\2021\21500 phelan development\21500.19 pd-turner road, salem, or\21500.19 site plan scheme 2r1.dwg

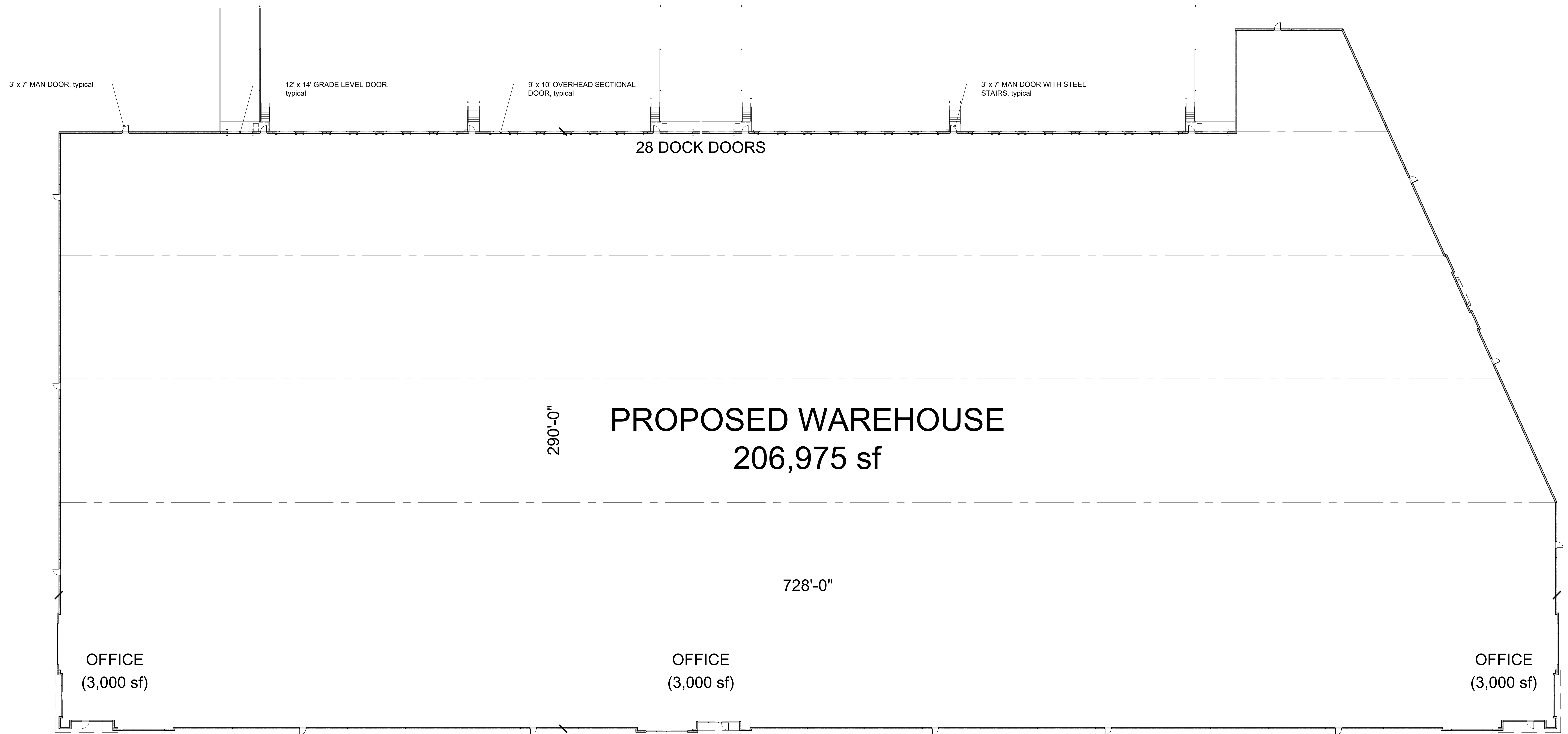


PRELIMINARY SITE PLAN

18 February 2022

Turner Road
Salem, Oregon

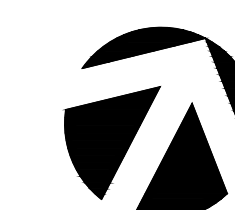
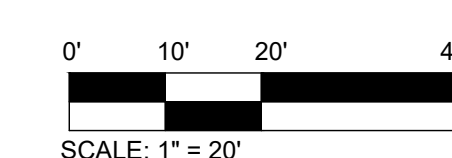


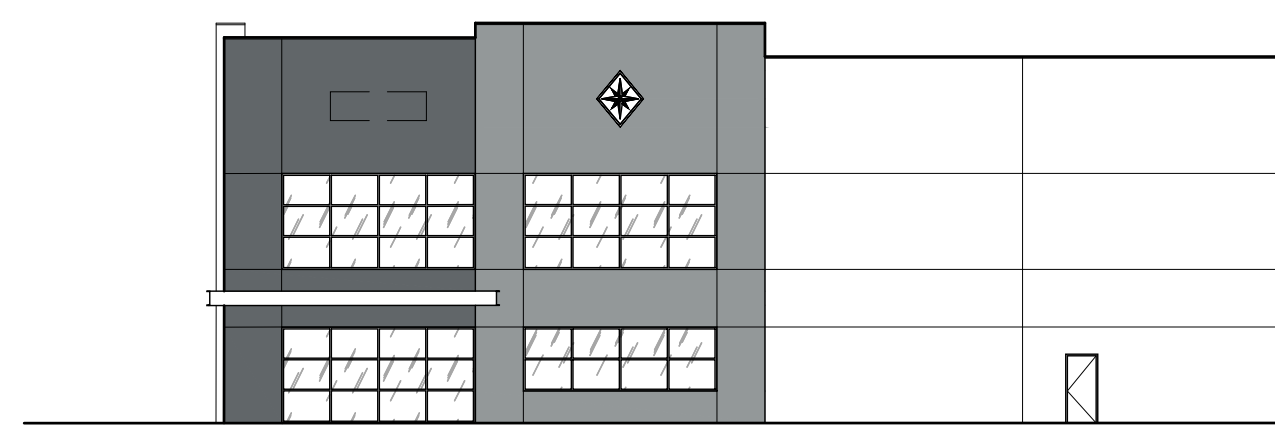


FLOOR PLAN

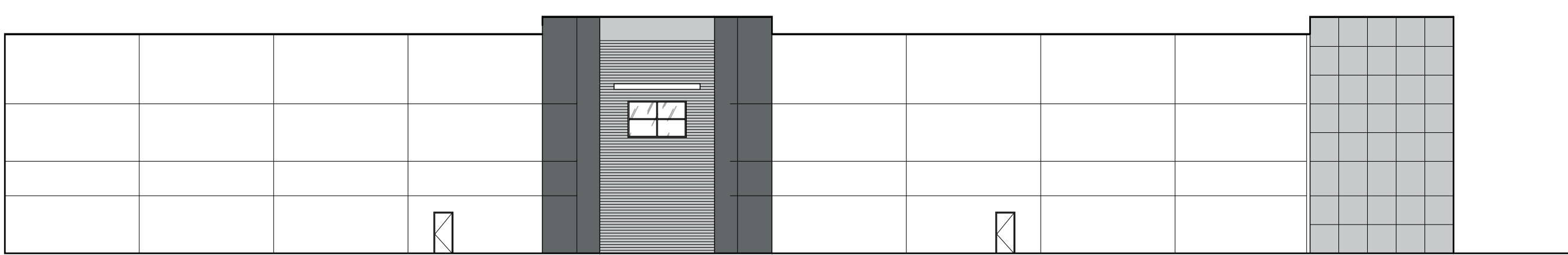
18 February 2022

Turner Road
Salem, Oregon





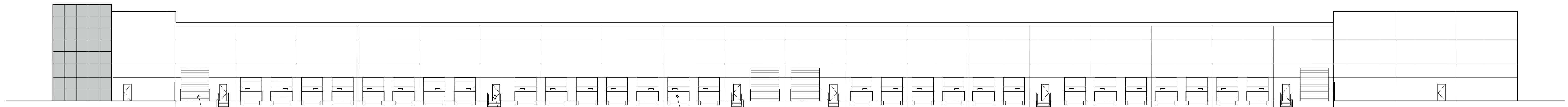
PARTIAL EAST ELEVATION



PARTIAL EAST ELEVATION

		TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7757 - HIGH REFLECTIVE WHITE
		TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7071 - GRAY SCREEN
		TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #9162 - AFRICAN GRAY
		TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #7075 - WEB GRAY
		1" INSULATED DUAL PANE MEDIUM PERFORMANCE PPG VISTACOL PACIFICA GLAZING CLEAR ANODIZED ALUMINUM MULLIONS

LEGEND

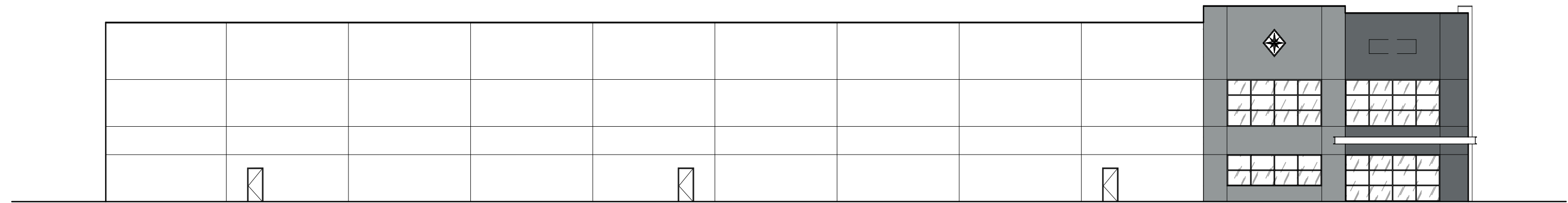


NORTH ELEVATION

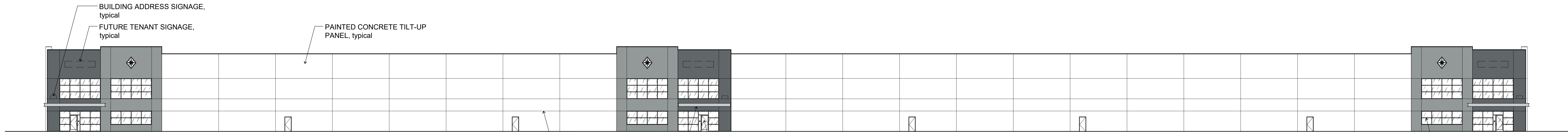
12'-0" x 14'-0" GRADE LEVEL DOOR, typical

3'-0" x 7'-0" MAN DOOR WITH CONCRETE STAIRS, typical

9'-0" x 10'-0" OVERHEAD SECTIONAL DOOR, typical



WEST ELEVATION



SOUTH ELEVATION

BUILDING ADDRESS SIGNAGE, typical
FUTURE TENANT SIGNAGE, typical

PAINTED CONCRETE TILT-UP PANEL, typical

PANEL REVEAL, typical

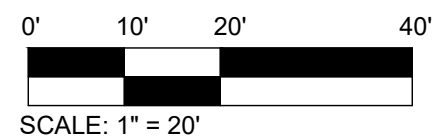
ENTRY, typical
C-CHANNEL CANOPY, typical

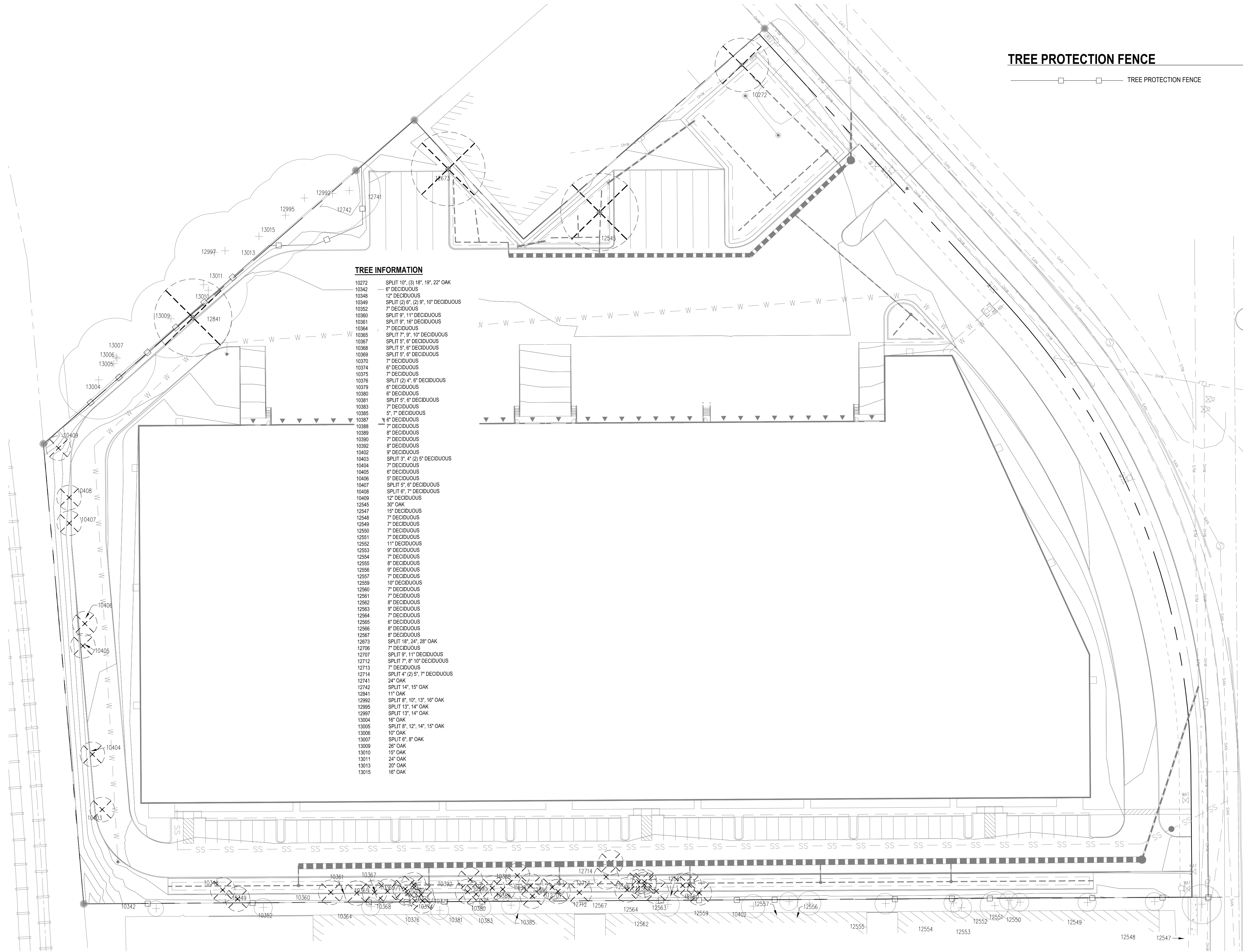
CLEAR ANODIZED STOREFRONT SYSTEM, typical

EXTERIOR ELEVATIONS

18 February 2022

Turner Road
Salem, Oregon



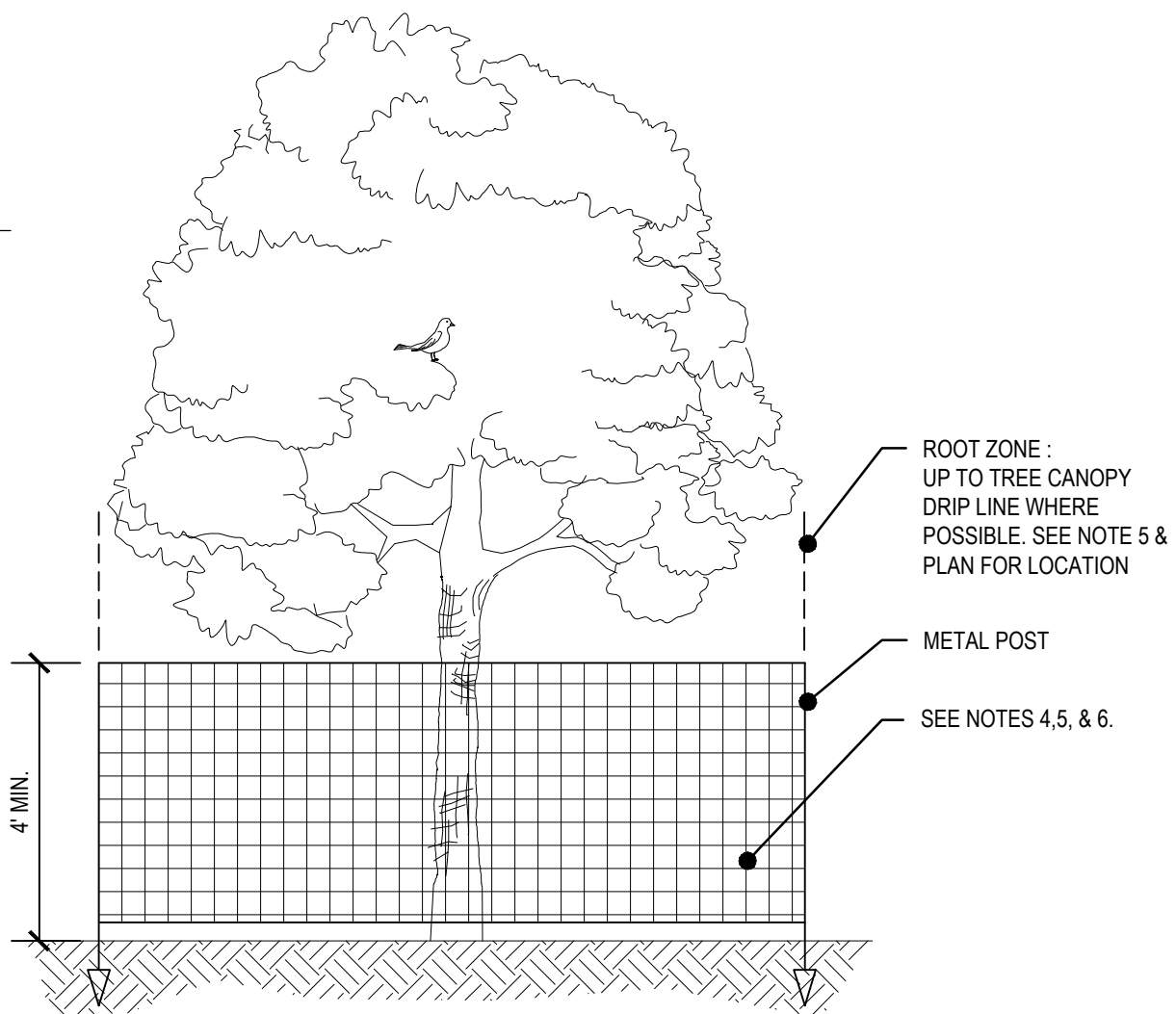


TREE INFORMATION

10272	SPLIT 10", (3) 18", 19", 22" OAK
10342	6" DECIDUOUS
10348	12" DECIDUOUS
10349	SPLIT (2) 8", (2) 9", 10" DECIDUOUS
10352	7" DECIDUOUS
10360	SPLIT 9", 11" DECIDUOUS
10361	SPLIT 9", 10" DECIDUOUS
10364	7" DECIDUOUS
10365	SPLIT 7", 9", 10" DECIDUOUS
10367	SPLIT 5", 6" DECIDUOUS
10368	SPLIT 5", 6" DECIDUOUS
10369	SPLIT 5", 6" DECIDUOUS
10370	7" DECIDUOUS
10374	6" DECIDUOUS
10375	7" DECIDUOUS
10376	SPLIT (2) 4", 6" DECIDUOUS
10379	6" DECIDUOUS
10380	6" DECIDUOUS
10381	SPLIT 5", 6" DECIDUOUS
10383	7" DECIDUOUS
10385	5", 7" DECIDUOUS
10387	9" DECIDUOUS
10388	7" DECIDUOUS
10389	8" DECIDUOUS
10390	7" DECIDUOUS
10392	8" DECIDUOUS
10402	9" DECIDUOUS
10403	SPLIT 3", 4", (2) 5" DECIDUOUS
10404	7" DECIDUOUS
10405	6" DECIDUOUS
10406	5" DECIDUOUS
10407	SPLIT 5", 6" DECIDUOUS
10408	SPLIT 6", 7" DECIDUOUS
10409	12" DECIDUOUS
12545	30" OAK
12547	15" DECIDUOUS
12548	7" DECIDUOUS
12549	7" DECIDUOUS
12550	7" DECIDUOUS
12551	7" DECIDUOUS
12552	11" DECIDUOUS
12553	9" DECIDUOUS
12554	7" DECIDUOUS
12555	8" DECIDUOUS
12556	9" DECIDUOUS
12557	7" DECIDUOUS
12559	10" DECIDUOUS
12560	7" DECIDUOUS
12561	7" DECIDUOUS
12562	8" DECIDUOUS
12563	9" DECIDUOUS
12564	7" DECIDUOUS
12565	8" DECIDUOUS
12566	8" DECIDUOUS
12567	8" DECIDUOUS
12673	SPLIT 18", 24", 28" OAK
12706	7" DECIDUOUS
12707	SPLIT 9", 11" DECIDUOUS
12712	SPLIT 7", 8", 10" DECIDUOUS
12713	7" DECIDUOUS
12714	SPLIT 4", (2) 5", 7" DECIDUOUS
12741	24" OAK
12742	SPLIT 14", 15" OAK
12841	11" OAK
12892	SPLIT 8", 10", 13", 16" OAK
12985	SPLIT 13", 14" OAK
12987	SPLIT 13", 14" OAK
13004	16" OAK
13005	SPLIT 8", 12", 14", 15" OAK
13006	10" OAK
13007	SPLIT 6", 8" OAK
13009	26" OAK
13010	15" OAK
13011	24" OAK
13013	20" OAK
13015	16" OAK

TREE PROTECTION FENCE

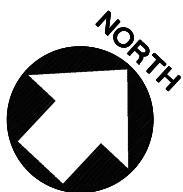
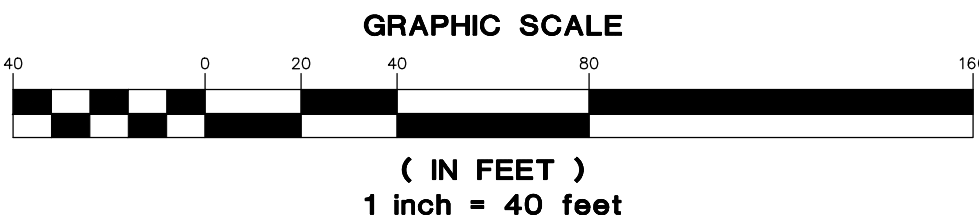
TREE PROTECTION FENCE



1 TREE PROTECTION FENCING DETAIL
N.T.S.

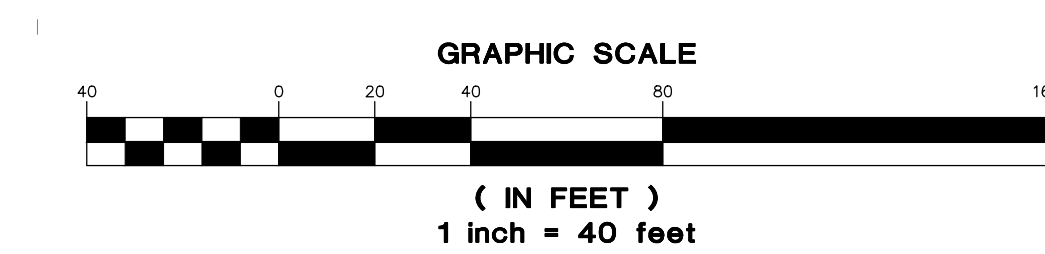
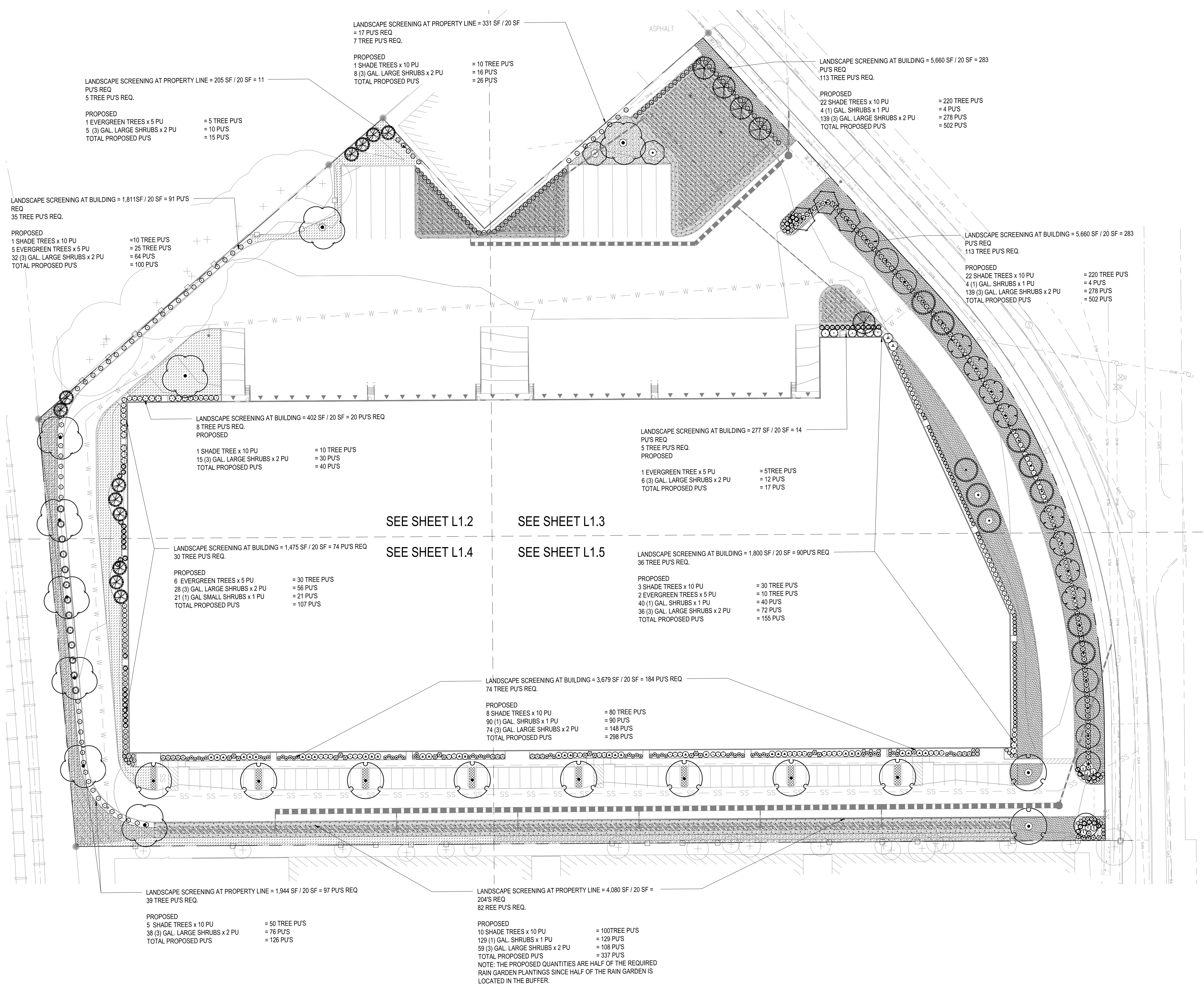
TREE PROTECTION NOTES:

- BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT ARBORIST FOR ASSISTANCE.
- NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
- INSTALL FENCE ON TREE SIDE OF EXISTING CURB FOR ALL TREES TO BE PRESERVED. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
- FENCING SHALL BE 4-FOOT HIGH ORANGE CONSTRUCTION FENCE WITH METAL POSTS AND BE SECURED TO THE GROUND WITH 6-FOOT METAL POSTS. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
- NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
- WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
- DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY THE PROJECT LANDSCAPE ARCHITECT.
- AFTER CONSTRUCTION IS COMPLETE, PROJECT LANDSCAPE ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.



LANDSCAPE REQUIREMENTS

TOTAL SITE AREA	= 436,039 SF
SETBACK AREA ABUTTING STREET TYPE 'A' LANDSCAPE: SEE PLAN FOR AREA SQUARE FOOTAGE, PU REQUIREMENTS, AND PROPOSED PU'S.	
SETBACK AREA ABUTTING SIDE & REAR PROPERTY LINES TYPE 'A' LANDSCAPE: SEE PLAN FOR AREA SQUARE FOOTAGE, PU REQUIREMENTS, AND PROPOSED PU'S.	
SETBACK AREA ADJACENT TO BUILDING: SEE PLAN FOR AREA SQUARE FOOTAGE AND PROPOSED PU'S.	
INTERIOR PKG. LOT LANDSCAPING REQ. 5%	
INTERIOR PKG. LOT AREA = 12,505 sf	= 625 SF REQ.
INTERIOR PKG. LOT LANDSCAPE PROPOSED	= 765 SF
INTERIOR PKG. LOT TREES REQ. 1 PER 12 SPACES	
PKG. SPACES PROPOSED .70 SPACES	= 6 TREES REQ.
INTERIOR PKG. LOT TREES PROPOSED	= 9 TREES



TREE PROTECTION FENCE

TREE PROTECTION FENCE

SEE SHEET L1.6 FOR PLANTING LEGEND

PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF SALEM STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.
- SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS SPECIFICALLY ACCEPTED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF SALEM STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- COORDINATE INSTALLATION PLANTING MATERIALS WITH IRRIGATION. PLANT ONLY IN AREAS WHERE THE IRRIGATION SYSTEM IS COMPLETE AND FULLY OPERATIONAL.

PLANT HEALTH AND REPLACEMENT

- PROVIDE PLANT MATERIAL THAT IS HEALTHY NURSERY STOCK, WELL BRANCHED, AND FULL FOLIATED WHEN IN LEAF; AND FREE FROM DISEASE, INJURY, INSECTS, WEEDS AND WEED ROOTS.
- PLANT MATERIALS NOT MEETING SPECIFICATION REQUIREMENTS WILL BE REJECTED.

INITIAL INSPECTION OF PLANT MATERIAL

- ASSEMBLE ALL PLANTS FOR EACH INSPECTION AT ONE LOCATION FOR INSPECTION TO BE COMPLETED IN ONE VISIT. ANY FURTHER INSPECTION REQUIRED DUE TO PLANTS BEING UNAVAILABLE, REJECTED, AND OR NOT MEETING SPECIFICATIONS SHALL BE CHARGED TO THE CONTRACTOR AT THE CURRENT HOURLY RATE FOR THE LANDSCAPE ARCHITECT PERFORMING THE INSPECTION.
- OWNER RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
- REMOVE REJECTED TREES OR SHRUBS FROM PROJECT SITE WITHIN 24 HOURS.
- REPLACE PLANT MATERIALS REJECTED BY OWNER AT NO ADDITIONAL EXPENSE TO OWNER.

PLANT LAYOUT AND INSPECTION

- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- LAYOUT OF MAJOR PLANTING AREAS AS INDICATED IN THE DRAWINGS ARE APPROXIMATE ONLY. OUTLINE IN THE FIELD LOCATIONS AND IDENTITY OF ALL TREES, SHRUBS AND GROUND COVERS, SUBJECT TO REVIEW AND APPROVAL.
- INSPECTION: NOTIFY THE OWNER 48 HOURS PRIOR TO BEGINNING PLANTING. THE OWNER MAY ADJUST PLANT MATERIAL LOCATION TO MEET FIELD CONDITIONS.
- DO NOT COMMENCE WITH PLANTING UNTIL OWNER HAS APPROVED THE LOCATION AND LAYOUT OF ALL PLANT BEDS.
- IF WORK IS NOT PROMPTLY OR PROPERLY PERFORMED BY THE CONTRACTOR, THE OWNER WILL, AT THEIR DISCRETION, HAVE THE WORK PERFORMED BY OTHERS. THE COST OF THE WORK BY OTHERS WILL BE DEDUCTED FROM THE CONTRACT AMOUNT.
- MULCH ALL SHRUBS AND GROUND COVER PLANTING BEDS WITH A 2 INCH LAYER OF IMPORTED MULCH MATERIAL WITHIN 2 DAYS AFTER PLANTING.
- COVER ENTIRE BED AREAS; APPLY EVENLY.

EDGING INSTALLATION

- SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS, CURBS, AND PAVING WITH A 45 DEGREE, 4 TO 6 INCH DEEP, SHOVEL-CUT EDGE.

MAINTENANCE

- 1.MAINTAIN LANDSCAPE PLANTINGS FROM INSTALLATION UNTIL FINAL ACCEPTANCE.
- MAINTAIN TREES, SHRUBS, AND GROUND COVER BY TRIMMING, PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- WATER TREES BY DEEP ROOT WATERING METHOD.

WEEDING AND CLEANUP

- KEEP ALL LANDSCAPE AREAS CLEAN AND WEED FREE. KEEP ALL BUILDINGS, PAVEMENTS, AND OTHER EXTERIOR IMPROVEMENTS CLEAN AND FREE OF SOIL AND DEBRIS.
- WEED ALL BEDS WEEKLY.
- APPLY A 2 INCH LAYER OF MULCH MATERIAL TO SAUCER AREAS OF TREES AND SHRUBS LOCATED OUTSIDE OF PLANTING BEDS. PLACE MULCH NO CLOSER THAN 4 INCHES FROM TRUNKS OF WOODY PLANT MATERIAL AND AWAY FROM THE CROWNS OF HERBACEOUS PLANTS.

GRAPHIC SCALE



(IN FEET)
1 inch = 40 feet



02/22/2022 – DESIGN REVIEW SET

REGISTERED
552

Teresa Katherine Long
OREGON
5-14-04
LANDSCAPE ARCHITECT

AAI
aai engineering
4875 SW Griffith Drive | Suite 100 | Beaverton, OR 97005
503.620.3030 tel | 503.620.5539 fax | www.aaieng.com

TURNER ROAD

SALEM, OR

SHEET TITLE

ENLARGED
LANDSCAPE
PLAN

DATE: 02/11/22

DRAWN: KPM

CHECKED: CNH

REVISIONS:

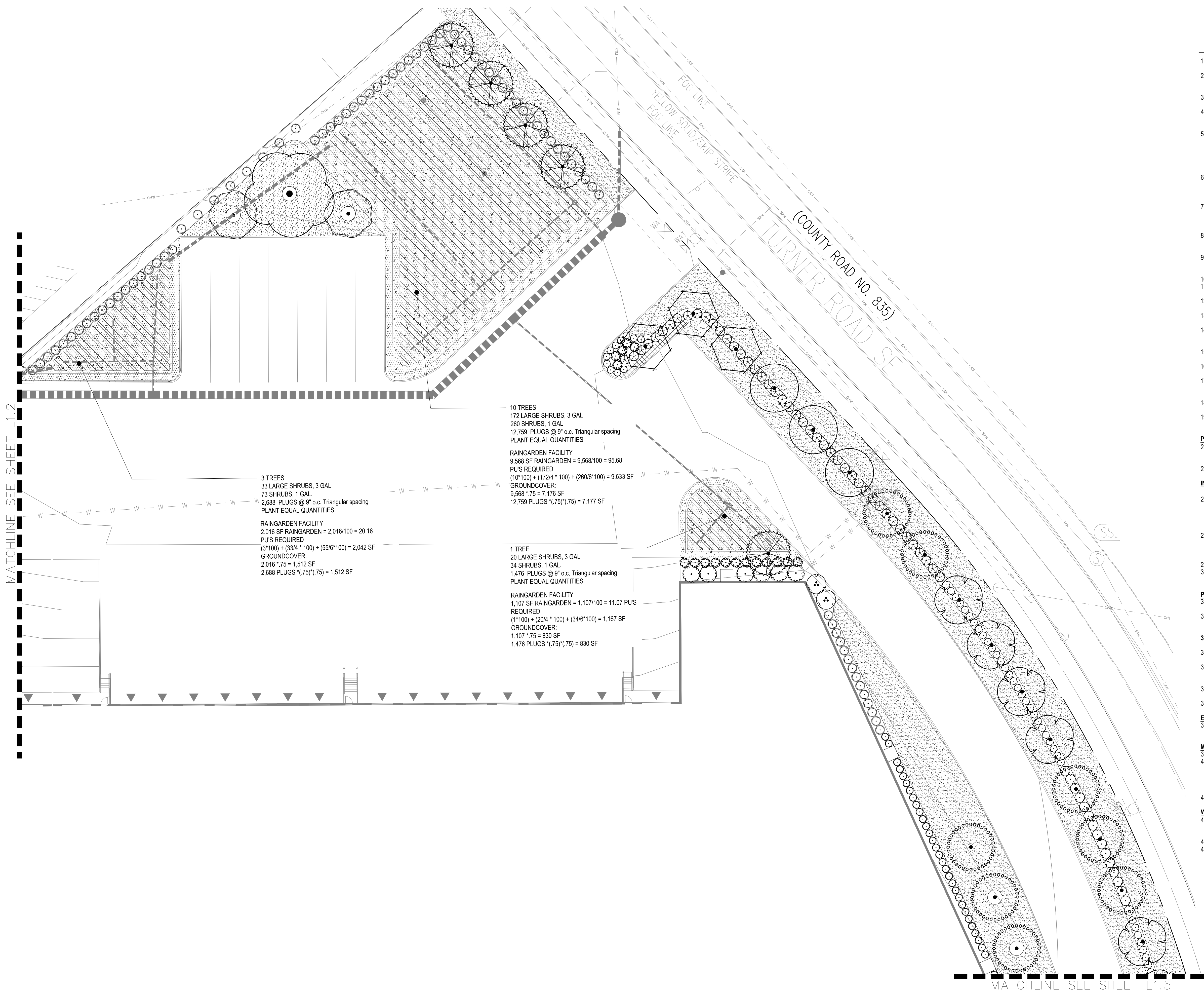
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SHEET NUMBER

L1.2

JOB NUMBER: A21166.10



SEE SHEET L1.6 FOR PLANTING LEGEND

PLANTING NOTES

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PLANT LAYOUT AND INSPECTION

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- IF WORK IS NOT PROMPTLY OR PROPERLY PERFORMED BY THE CONTRACTOR, THE OWNER WILL, AT THEIR DISCRETION, HAVE THE WORK PERFORMED BY OTHERS. THE COST OF THE WORK BY OTHERS WILL BE DEDUCTED FROM THE CONTRACT AMOUNT.
- MULCH ALL SHRUBS AND GROUND COVER PLANTING BEDS WITH A 2 INCH LAYER OF IMPORTED MULCH MATERIAL WITHIN 2 DAYS AFTER PLANTING.
- COVER ENTIRE BED AREAS; APPLY EVENLY.

EDGING INSTALLATION

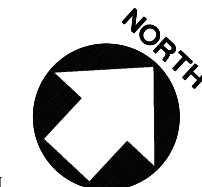
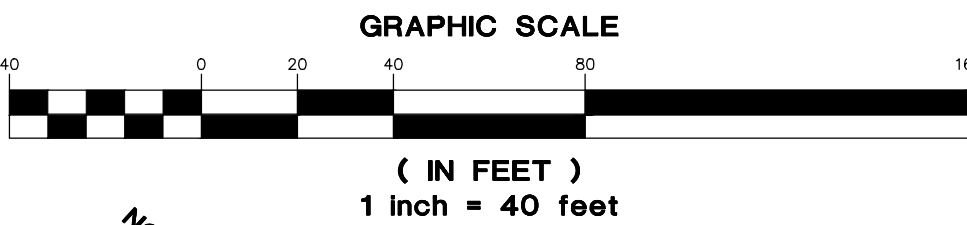
- SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS, CURBS, AND PAVING WITH A 45 DEGREE, 4 TO 6 INCH DEEP, SHOVEL-CUT EDGE.

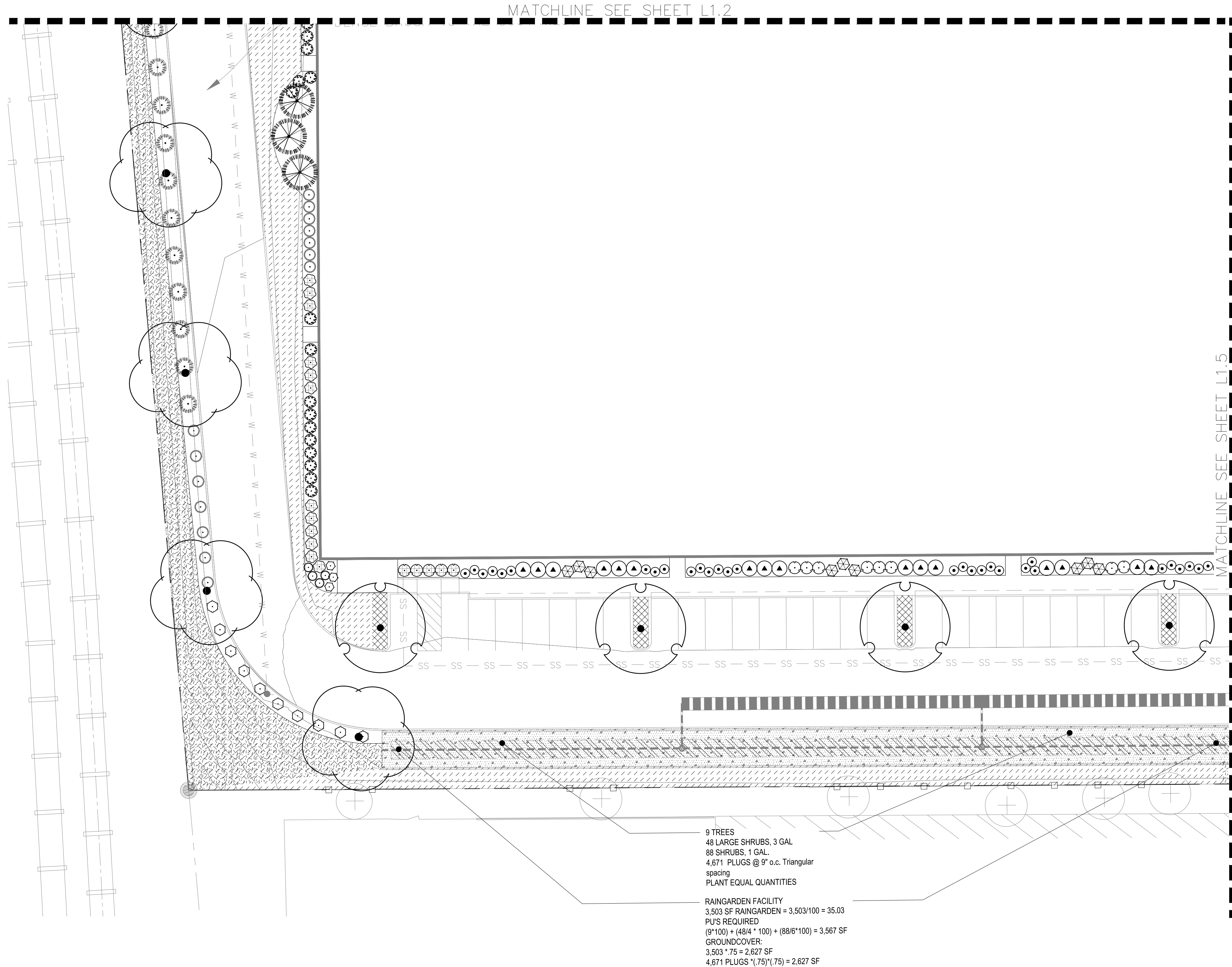
MAINTENANCE

- MAINTAIN LANDSCAPE PLANTINGS FROM INSTALLATION UNTIL FINAL ACCEPTANCE.
- MAINTAIN TREES, SHRUBS, AND GROUND COVER BY TRIMMING, PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- WATER TREES BY DEEP ROOT WATERING METHOD.

WEEDING AND CLEANUP

- KEEP ALL LANDSCAPE AREAS CLEAN AND WEED FREE. KEEP ALL BUILDINGS, PAVEMENTS, AND OTHER EXTERIOR IMPROVEMENTS CLEAN AND FREE OF SOIL AND DEBRIS.
- WEED ALL BEDS WEEKLY.
- APPLY A 2 INCH LAYER OF MULCH MATERIAL TO SAUCER AREAS OF TREES AND SHRUBS LOCATED OUTSIDE OF PLANTING BEDS. PLACE MULCH NO CLOSER THAN 4 INCHES FROM TRUNKS OF WOODY PLANT MATERIAL AND AWAY FROM THE CROWNS OF HERBACEOUS PLANTS.





TREE PROTECTION FENCE

TREE PROTECTION FENCE

SEE SHEET L1.6 FOR PLANTING LEGEND

PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF SALEM STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.
- SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS SPECIFICALLY ACCEPTED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE. PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF SALEM STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- COORDINATE INSTALLATION PLANTING MATERIALS WITH IRRIGATION. PLANT ONLY IN AREAS WHERE THE IRRIGATION SYSTEM IS COMPLETE AND FULLY OPERATIONAL.

PLANT HEALTH AND REPLACEMENT

- PROVIDE PLANT MATERIAL THAT IS HEALTHY NURSERY STOCK, WELL BRANCHED, AND FULL FOLIATED WHEN IN LEAF, AND FREE FROM DISEASE, INJURY, INSECTS, WEEDS AND WEED ROOTS.
- PLANT MATERIALS NOT MEETING SPECIFICATION REQUIREMENTS WILL BE REJECTED.

INITIAL INSPECTION OF PLANT MATERIAL

- ASSEMBLE ALL PLANTS FOR EACH INSPECTION AT ONE LOCATION FOR INSPECTION TO BE COMPLETED IN ONE VISIT. ANY FURTHER INSPECTION REQUIRED DUE TO PLANTS BEING UNAVAILABLE, REJECTED, AND OR NOT MEETING SPECIFICATIONS SHALL BE CHARGED TO THE CONTRACTOR AT THE CURRENT HOURLY RATE FOR THE LANDSCAPE ARCHITECT PERFORMING THE INSPECTION.
- OWNER RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
- REMOVE REJECTED TREES OR SHRUBS FROM PROJECT SITE WITHIN 24 HOURS.
- REPLACE PLANT MATERIALS REJECTED BY OWNER AT NO ADDITIONAL EXPENSE TO OWNER.

PLANT LAYOUT AND INSPECTION

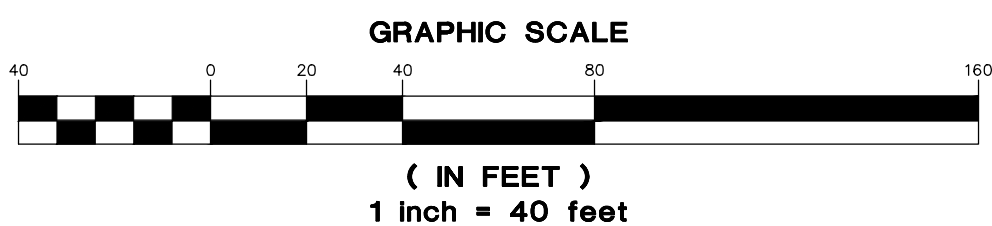
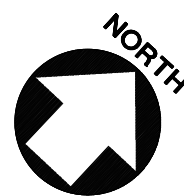
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- LAYOUT OF MAJOR PLANTING AREAS AS INDICATED IN THE DRAWINGS ARE APPROXIMATE ONLY; OUTLINE IN THE FIELD LOCATIONS AND IDENTITY OF ALL TREES, SHRUBS AND GROUND COVERS, SUBJECT TO REVIEW AND APPROVAL.
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EDGING INSTALLATION

- SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS, CURBS, AND PAVING WITH A 45 DEGREE, 4 TO 6 INCH DEEP, SHOVEL-CUT EDGE.

MAINTENANCE

- MAINTAIN LANDSCAPE PLANTINGS FROM INSTALLATION UNTIL FINAL ACCEPTANCE.
- MAINTAIN TREES, SHRUBS, AND GROUND COVER BY TRIMMING, PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- WATER TREES BY DEEP ROOT WATERING METHOD.
- WEEDING AND CLEANUP
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- WEED ALL BEDS WEEKLY.
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SHEET TITLE

ENLARGED
LANDSCAPE
PLAN

DATE: 02/11/22

DRAWN: KPM

CHECKED: CNH

REVISIONS:

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SHEET NUMBER

L1.4

JOB NUMBER: A21166.10

MATCHLINE SEE SHEET L1.4

MATCHLINE SEE SHEET L1.3

SEE SHEET L1.6 FOR PLANTING LEGEND

PLANTING NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF SALEM STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
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PLANT LAYOUT AND INSPECTION

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EDGING INSTALLATION

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MAINTENANCE

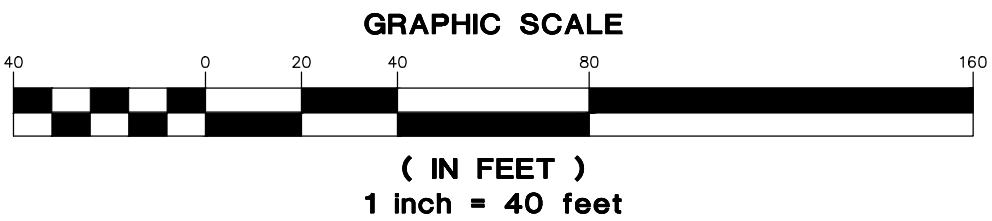
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41. WATER TREES BY DEEP ROOT WATERING METHOD.

WEEDING AND CLEANUP

42. KEEP ALL LANDSCAPE AREAS CLEAN AND WEED FREE. KEEP ALL BUILDINGS, PAVEMENTS, AND OTHER EXTERIOR IMPROVEMENTS CLEAN AND FREE OF SOIL AND DEBRIS.
43. WEED ALL BEDS WEEKLY.
44. APPLY A 2 INCH LAYER OF MULCH MATERIAL TO SAUCER AREAS OF TREES AND SHRUBS LOCATED OUTSIDE OF PLANTING BEDS. PLACE MULCH NO CLOSER THAN 4 INCHES FROM TRUNKS OF WOODY PLANT MATERIAL AND AWAY FROM THE CROWNS OF HERBACEOUS PLANTS.

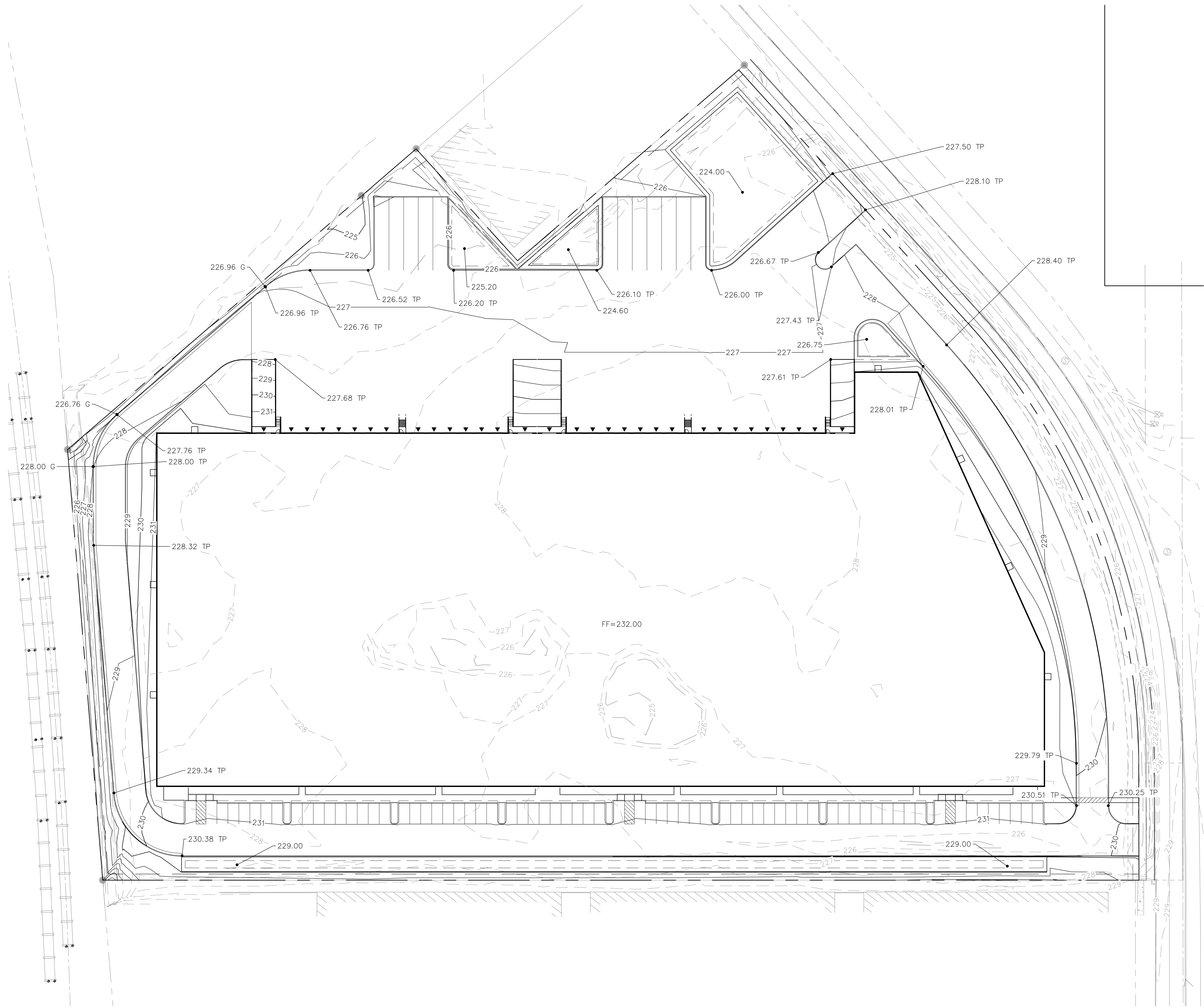
12 TREES
60 LARGE SHRUBS, 3 GAL
162 SHRUBS, 1 GAL
7,148 PLUGS @ 9" o.c. Triangular spacing
PLANT EQUAL QUANTITIES

RAINGARDEN FACILITY
5,360 SF RAINGARDEN = 5,360/100 = 53.60
PUS REQUIRED
(12"100) + (60/4" 100) + (162/6"100) = 5,400 SF
GROUND COVER:
5,360 * .75 = 4,020 SF
7,148 PLUGS * (.75) * (.75) = 4,020 SF



NATIVE WETLAND MIX 23,345 S

TOTAL PU'S 2,078 PU'S



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ENGINEERING
4875 SW Griffith Drive | Suite 100 | Beaverton, OR 97005
503.620.3030 tel | 503.620.5539 fax | www.aaieng.com

TURNER ROAD

SALEM, OR

SHEET TITLE GRADING PLAN

DATE: 02/11/22
DRAWN: KPM
CHECKED: CNH
REVISIONS:

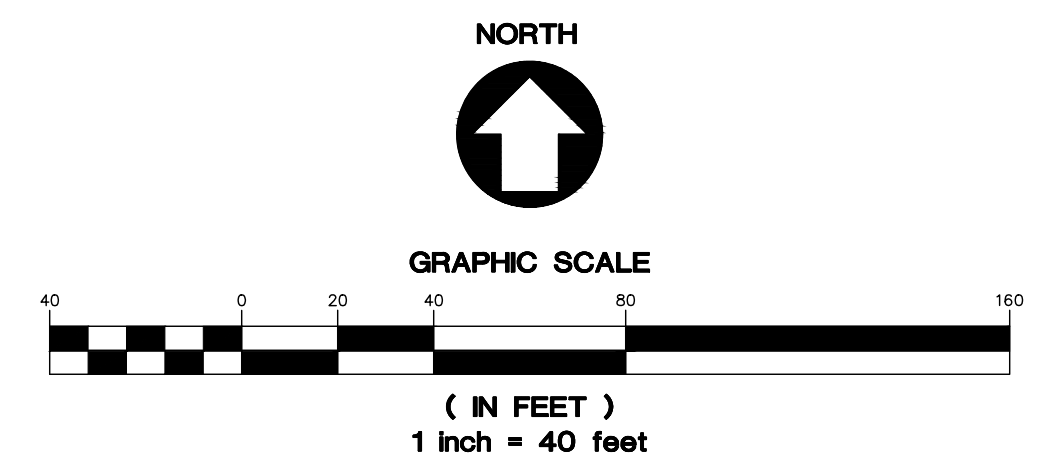
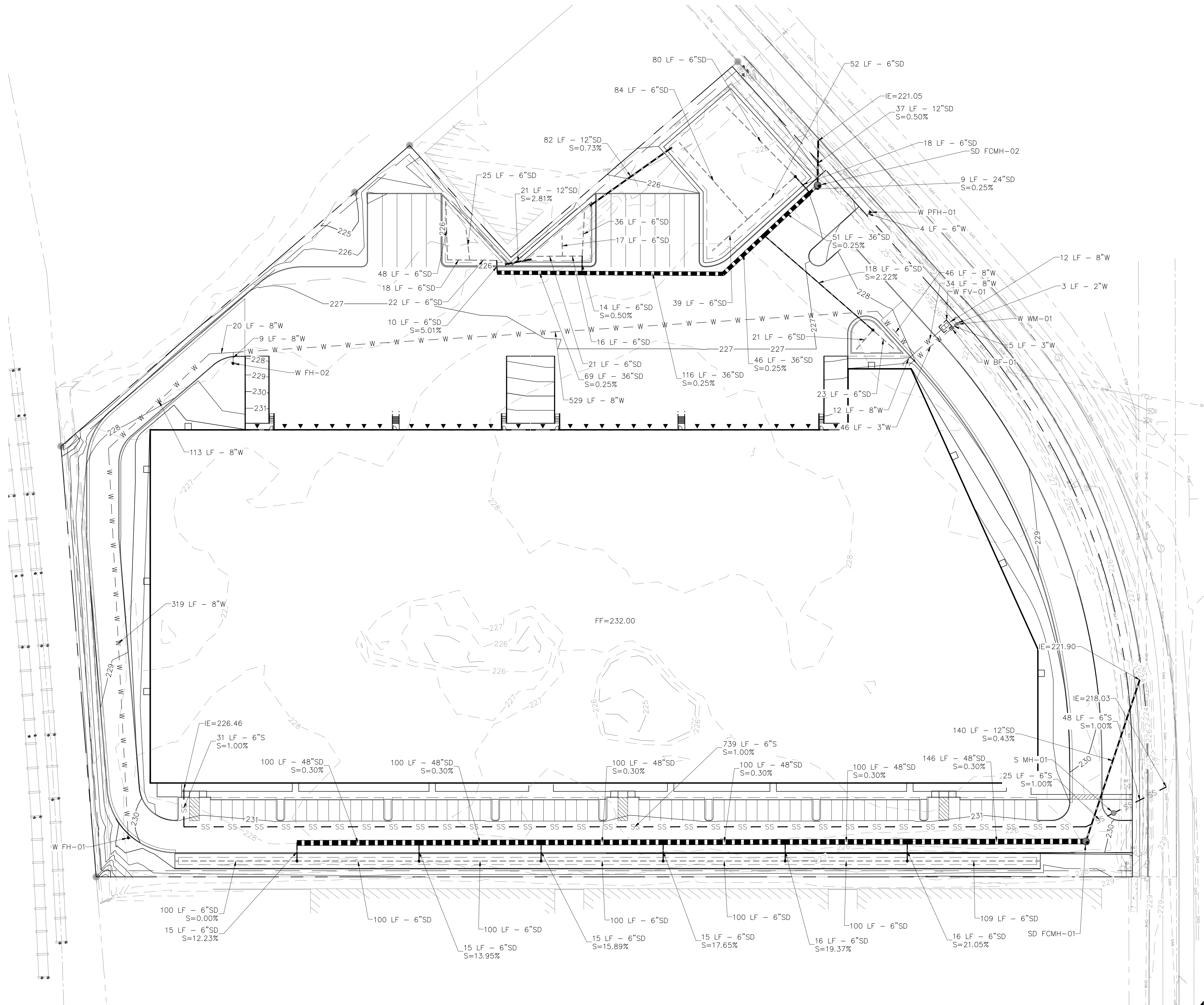
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SHEET NUMBER

C2.0

JOB NUMBER: A21166.10



AAI aaleng associates, inc.
ENGINEERING
4875 SW Griffith Drive | Suite 100 | Beaverton, OR 97005
503.620.3030 tel | 503.620.5539 fax | www.aaleng.com

TURNER ROAD

SALEM, OR

UTILITY PLAN

DATE: 02/11/22
DRAWN: KPM
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C3.0

JOB NUMBER: A21166.10