



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP22-05
PROPERTY LOCATION:	4500 Block of Mill Creek Drive SE, Salem OR 97317
NOTICE MAILING DATE:	February 4, 2022
PROPOSAL SUMMARY:	Proposed development of a new 901,000 square foot dry goods and cold storage distribution building.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m., FRIDAY, FEBRUARY 18, 2022</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Aaron Panko, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: APanko@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Southeast Mill Creek Association (SEMCA), Alan Rasmussen, Land Use Chair; Phone: 503-930-1968; Email: arasmussen@modernbuildingsystems.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	State of Oregon - Department of Administrative Services (DAS)
APPLICANT(S):	Jake Kurth, Scannell Properties LLC
PROPOSAL REQUEST:	A Class 3 Site Plan Review and Class 2 Driveway Approach Permit for development of a new dry goods and cold storage distribution center approximately 901,000 square feet in size, and associated accessory buildings with Class 2 Adjustments to: 1) Eliminate the requirement to provide a pedestrian pathway from the primary building entrance to Mill Creek Drive SE per 800.065(a)(1)(A); 2) Eliminate the requirement to provide a pedestrian pathway between buildings on the same development site per 800.065(a)(2); 3) Reduce the minimum five-foot wide vehicle use area setback adjacent to the exterior wall of a building or structure per 806.035(c)(4) to 0 feet; 4) Increase the distance between required bicycle parking spaces and the primary building entrance from 50 feet per 806.060(a)(1) to approximately 300 feet. For a portion of property approximately 70.48 acres in size, zoned EC (Employment Center), and located at the 4500 Block of Mill Creek Drive SE - 97317 (Marion County Assessors Map and Tax Lot number: 082W07 / 00602).
APPLICATION PROCESS:	Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request. Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.
MORE INFORMATION:	All materials submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports; any materials and comments from public agencies, City departments, neighborhood associations, and the public, are available upon request. You can also find out more information about the status of the proposed application on the City's online Permit Application Center at https://permits.cityofsalem.net. Just enter the permit number listed here: 21 122676

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP22-05

PROJECT ADDRESS: 4500 Block of Mill Creek Drive SE, Salem OR 97317

AMANDA Application No.: 21-122676-RP / 22-101942-ZO / 21-122677-ZO

COMMENT PERIOD ENDS: Friday, February 18, 2022 at 5:00 P.M.

SUMMARY: Proposed development of a new 901,000 square foot dry goods and cold storage distribution building.

REQUEST: A Class 3 Site Plan Review and Class 2 Driveway Approach Permit for development of a new dry goods and cold storage distribution center approximately 901,000 square feet in size, and associated accessory buildings with Class 2 Adjustments to:

- 1) Eliminate the requirement to provide a pedestrian pathway from the primary building entrance to Mill Creek Drive SE per 800.065(a)(1)(A);
- 2) Eliminate the requirement to provide a pedestrian pathway between buildings on the same development site per 800.065(a)(2);
- 3) Reduce the minimum five-foot wide vehicle use area setback adjacent to the exterior wall of a building or structure per 806.035(c)(4) to 0 feet;
- 4) Increase the distance between required bicycle parking spaces and the primary building entrance from 50 feet per 806.060(a)(1) to approximately 300 feet.

For a portion of property approximately 70.48 acres in size, zoned EC (Employment Center), and located at the 4500 Block of Mill Creek Drive SE - 97317 (Marion County Assessors Map and Tax Lot number: 082W07 / 00602).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m., Friday, February 18, 2022, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Aaron Panko, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2356; E-Mail: APanko@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- ☐ 1. I have reviewed the proposal and have no objections to it.
- ☐ 2. I have reviewed the proposal and have the following comments: _____

Name/Agency & Date: _____

Address: _____

Phone: _____

Email: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907

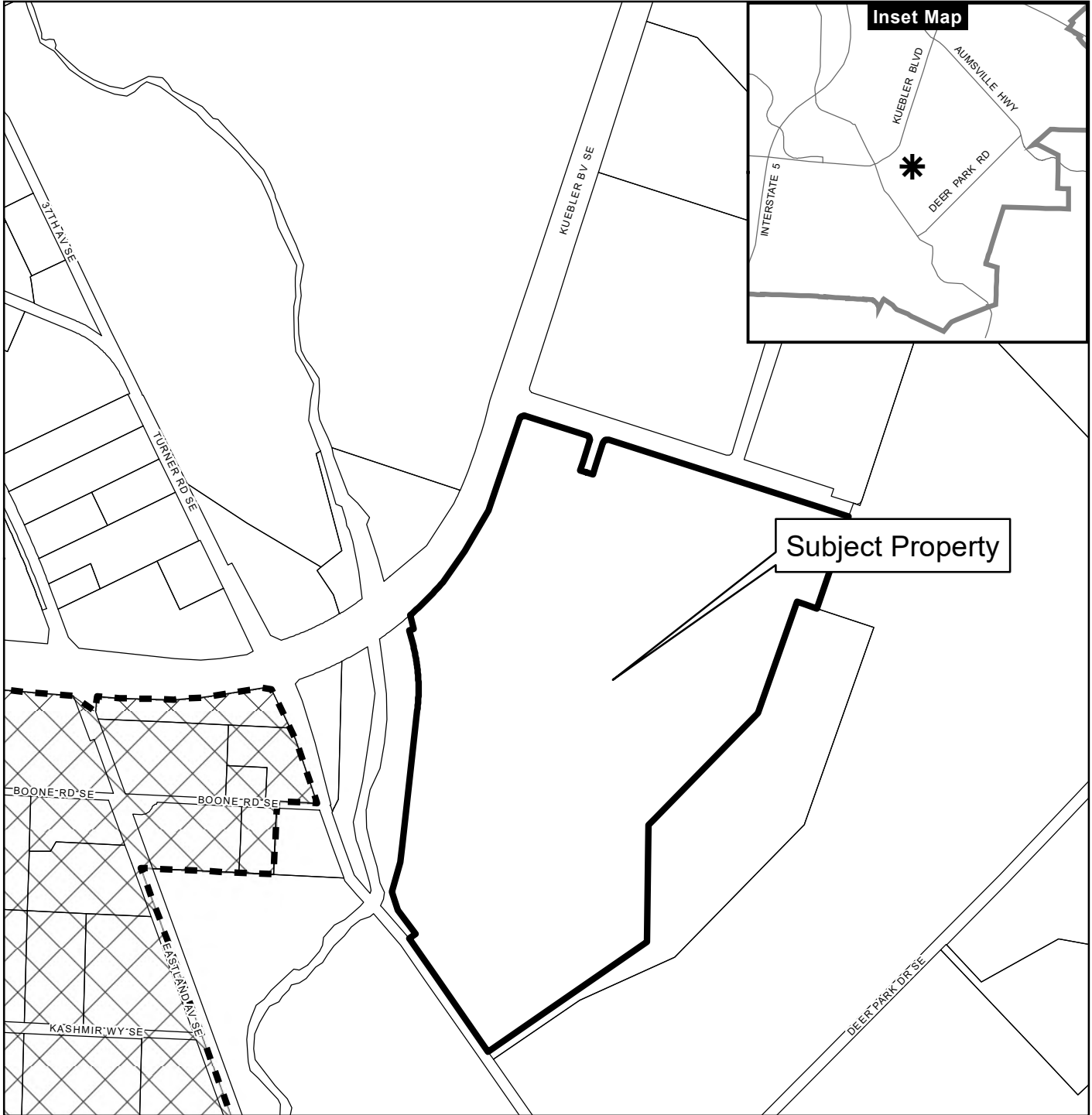


NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES



Vicinity Map

4500 Mill Creek Drive SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks

0 100 200 400 Feet



CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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LOCATION MAP

SCALE: NTS

DRY GOODS / COLD STORAGE DISTRIBUTION CENTER

PROJECT JUSTIFY
SALEM, OREGON

SITE PLAN REVIEW
DECEMBER 6, 2021



VICINITY MAP

SCALE: NTS

PROJECT CONTACTS

DEVELOPER	SCANNELL PROPERTIES 294 GROVE LANE E, SUITE 140 WAYZATA, MN 55391	JAKE KURTH T (612) 260-4088 JAKES@SCANNELLPROPERTIES.COM
CIVIL ENGINEER	ELAN DESIGN LAB, INC. 310 4TH AVENUE S, SUITE 1006 MINNEAPOLIS, MN 55415	MARCIE WESLOCK, PE T (612) 260-7981
LAND SURVEYOR	BARKER SURVEYING 3557 KASHMIR WAY SE SALEM, OR 97317	GREGORY WILSON, PLS T (503) 588-8800
PLANNING DEPARTMENT	PERMIT APPLICATION CENTER CITY HALL 555 LIBERTY STREET SE, ROOM 320 SALEM, OR 97301-3513	T (503) 588-6173 PLANNING@CITYOFSALEM.NET
PUBLIC WORKS DEPARTMENT	PUBLIC WORKS DEPARTMENT 555 LIBERTY STREET SE, ROOM 325 SALEM, OR 97301-3513	T (503) 588-5211 PUBLICWORKS@CITYOFSALEM.NET

SHEET INDEX

SHT NO.	SHEET TITLE	ISSUED FOR REFERENCE ONLY ISSUED
C-000	COVER SHEET	
C-010	EXISTING CONDITIONS AND DEMOLITION PLAN	
C-100	OVERALL SITE PLAN	
C-101	SITE PLAN - AREA 1	
C-102	SITE PLAN - AREA 2	
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C-121	PAVEMENT JOINTING PLAN - AREA 1	
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C-502	SITE DETAILS	
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C-505	UTILITY DETAILS	
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L-501	LANDSCAPE DETAILS	



SCANNELL PROPERTIES
294 GROVE LANE
SUITE 140
WAYZATA, MN 55391

PROJECT JUSTIFY
DISTRIBUTION CENTER

SALEM, OR

ISSUE DATE

SUBMITTAL

SITE PLAN REVIEW
12/06/2021



310 4TH AVENUE S, SUITE 1006
MINNEAPOLIS, MN 55415
p 612.260.7980 f 612.260.7990 www.elanlab.com

CERTIFICATION



RENEWS: 06/30/2022

SHEET

COVER SHEET
C-000

PROJECT NO.
EDL21020

ALEM, OR

[illegible]

TE PLAN REVIEW
12/06/2021



NOT FOR CONSTRUCTION

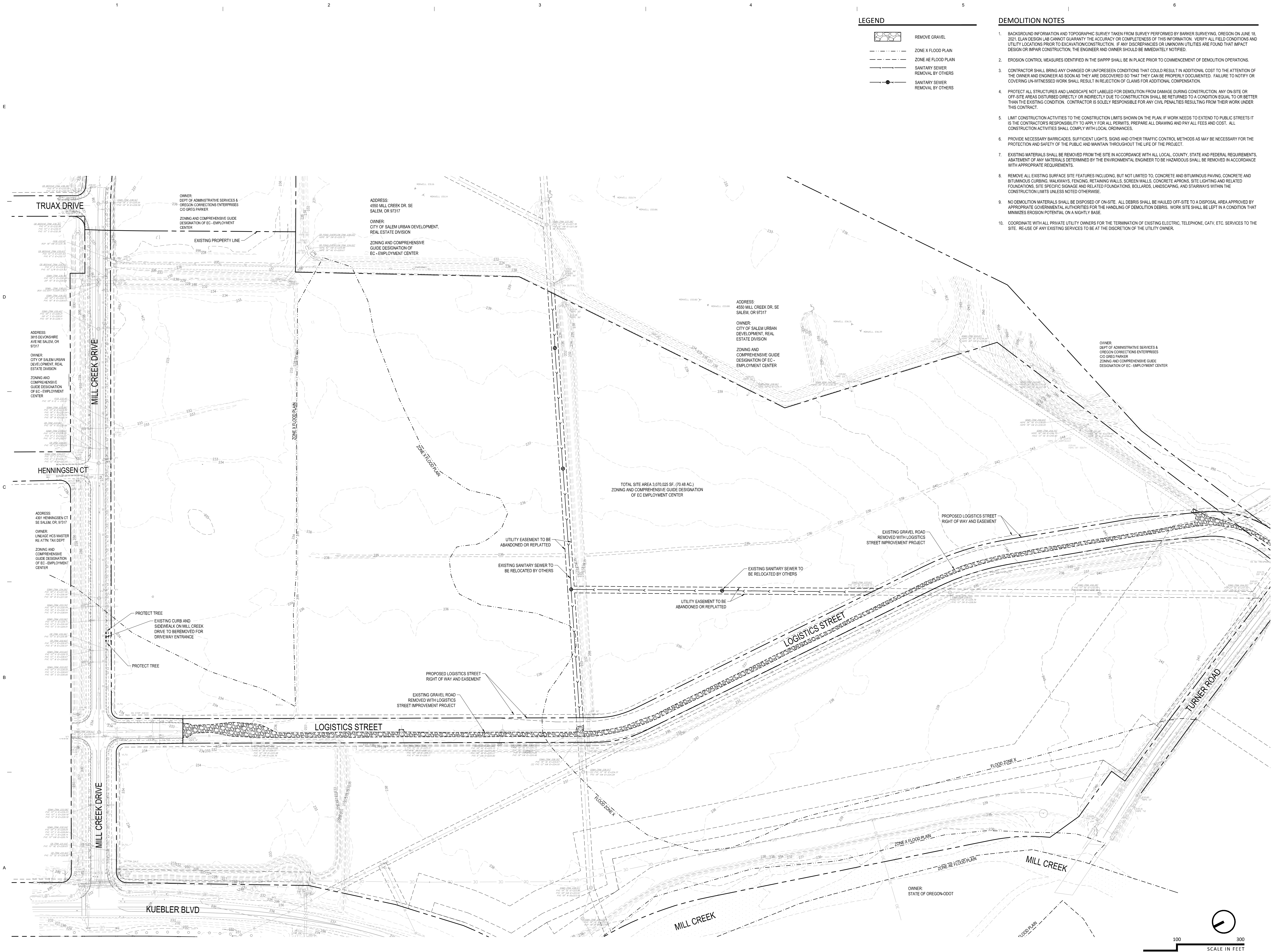
EWS: 06/30/2022

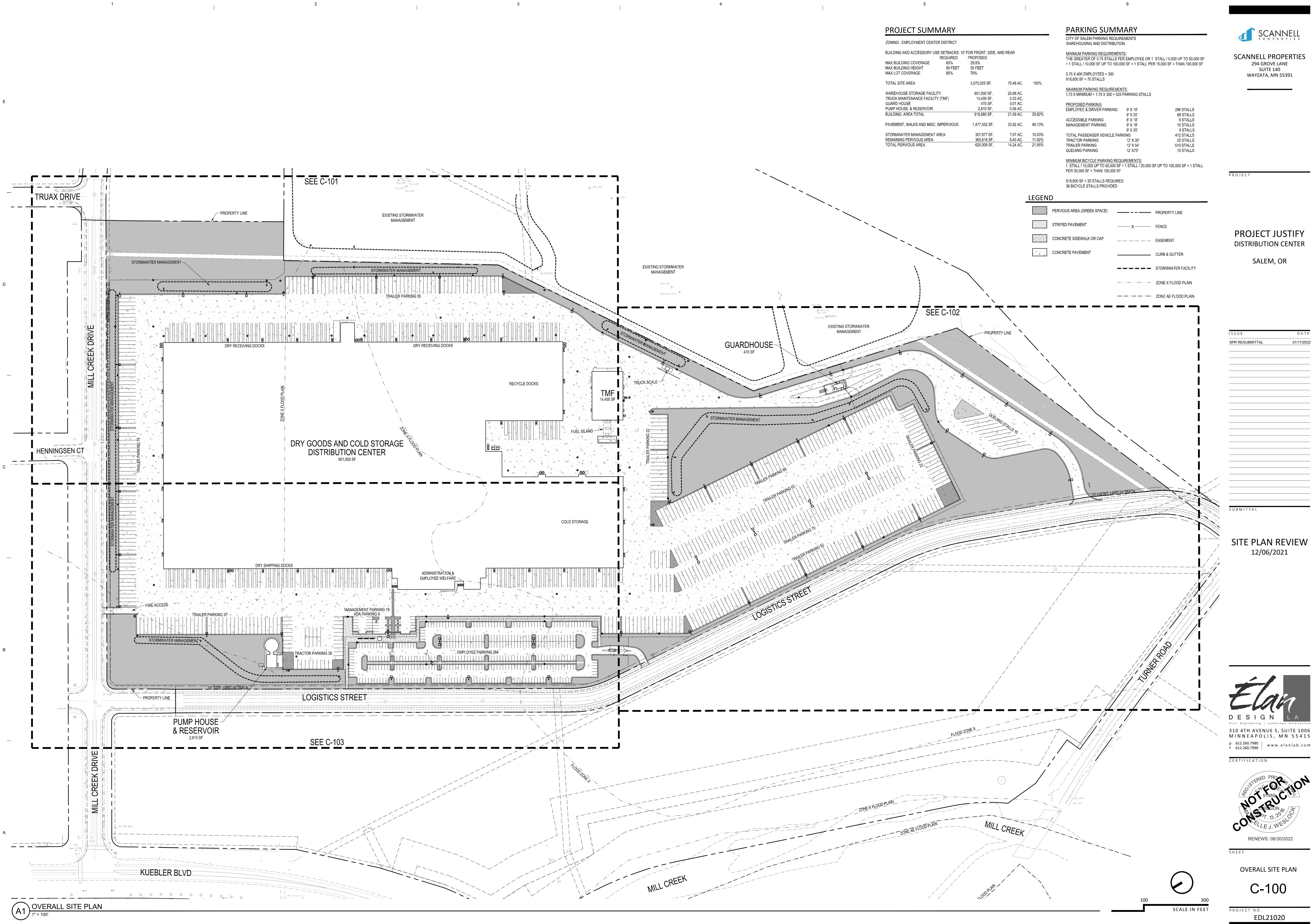
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EXISTING CONDITIONS AND DEMOLITION PLAN

-010

EDL21020





PROJECT SUMMARY

ZONING : EMPLOYMENT CENTER DISTRICT			
BUILDING AND ACCESSORY USE SETBACKS: 10' FOR FRONT, SIDE, AND REAR			
	REQUIRED	PROPOSED	
MAX BUILDING COVERAGE	60%	29.9%	
MAX BUILDING HEIGHT	80 FEET	55 FEET	
MAX LOT COVERAGE	80%	76%	
TOTAL SITE AREA			
	3,070,025 SF.	70.48 AC.	100%
WAREHOUSE STORAGE FACILITY			
	901,000 SF.	20.68 AC.	
TRUCK MAINTENANCE FACILITY (TMF)			
	14,400 SF.	0.33 AC.	
GUARD HOUSE			
	470 SF.	0.01 AC.	
PUMP HOUSE & RESERVOIR			
	2,810 SF.	0.06 AC.	
BUILDING AREA TOTAL			
	918,680 SF.	21.09 AC.	29.92%
PAVEMENT, WALKS AND MISC. IMPERVIOUS			
	1,477,552 SF.	33.92 AC.	48.13%
STORMWATER MANAGEMENT AREA			
	301,877 SF.	7.07 AC.	10.03%
REMAINING PERVIOUS AREA			
	365,816 SF.	8.40 AC.	11.92%
TOTAL PERVIOUS AREA			
	620,008 SF.	14.24 AC.	21.95%

PARKING SUMMARY

CITY OF SALEM PARKING REQUIREMENTS	
WAREHOUSING AND DISTRIBUTION	
MINIMUM PARKING REQUIREMENTS:	
THE GREATER OF 0.75 STALLS PER EMPLOYEE OR 1 STALL / 5,000 UP TO 50,000 SF	
+ 1 STALL / 10,000 SF UP TO 100,000 SF + 1 STALL PER 15,000 SF > 100,000 SF	
0.75 X 400 EMPLOYEES = 300	
918,680 SF = 70 STALLS	
MAXIMUM PARKING REQUIREMENTS:	
1.75 X MINIMUM = 1.75 X 300 = 525 PARKING STALLS	
PROPOSED PARKING:	
EMPLOYEE & DRIVER PARKING	9' X 18' 296 STALLS
ACCESSIBLE PARKING	9' X 20' 88 STALLS
MANAGEMENT PARKING	9' X 18' 9 STALLS
TOTAL PASSENGER VEHICLE PARKING	9' X 18' 10 STALLS
TRACTOR PARKING	12' X 30' 9 STALLS
TRAILER PARKING	12' X 54' 412 STALLS
QUEUING PARKING	12' X 75' 25 STALLS
MINIMUM BICYCLE PARKING REQUIREMENTS:	
1 STALL / 10,000 UP TO 50,000 SF + 1 STALL / 20,000 SF UP TO 100,000 SF + 1 STALL PER 30,000 SF > 100,000 SF	
918,680 SF = 35 STALLS REQUIRED	
36 BICYCLE STALLS PROVIDED	

LEGEND

	PERVIOUS AREA (GREEN SPACE)		PROPERTY LINE
	STRIPED PAVEMENT		FENCE
	CONCRETE SIDEWALK OR CAP		EASEMENT
	CONCRETE PAVEMENT		CURB & GUTTER
			STORMWATER FACILITY
			ZONE X FLOOD PLAIN
			ZONE AE FLOOD PLAIN



SCANNELL PROPERTIES
294 GROVE LANE
SUITE 140
WAYZATA, MN 55391

PROJECT JUSTIFY DISTRIBUTION

SALEM, OR

ISSUE	DATE
SPR RESUBMITTAL	01/17/2022

SITE PLAN REVIEW

12/06/2021



310 4TH AVENUE S, SUITE 1006
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p 612.260.7990
f 612.260.7990
www.elanlab.com

CERTIFICATION



RENEWS: 08/30/2022

SHEET

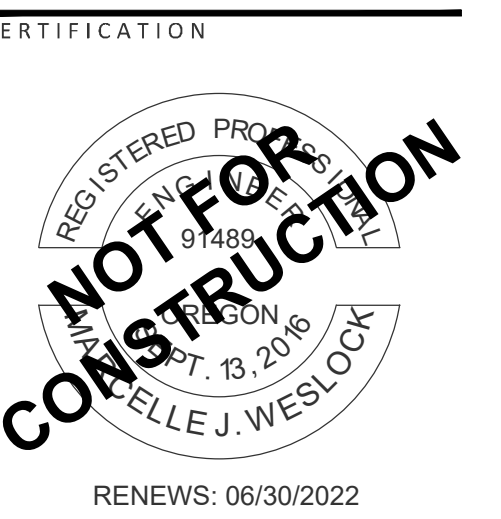
OVERALL SITE PLAN

C-100

PROJECT NO.

EDL21020

SITE PLAN REVIEW
12/06/2021

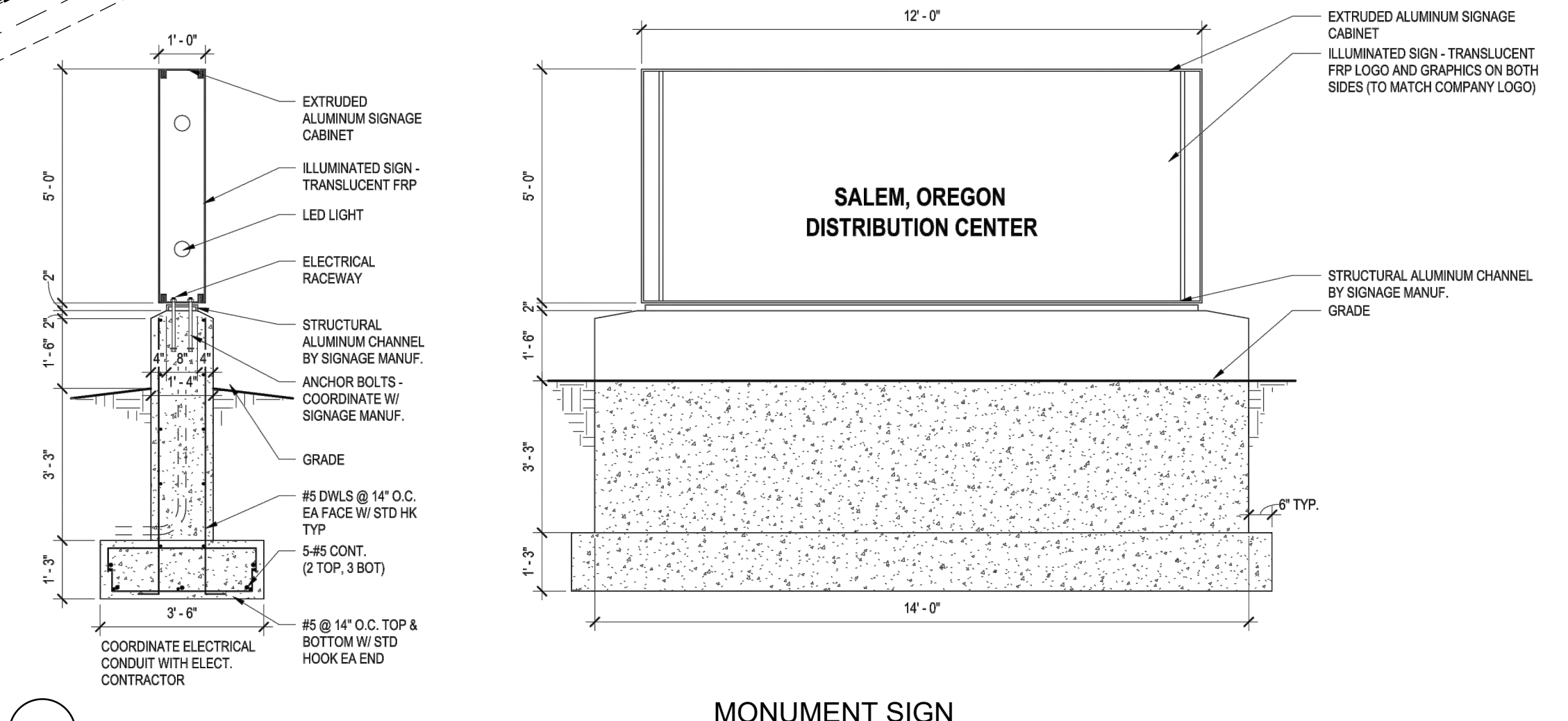


PROJECT NO. EDL21020



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SCALE IN FEET

TE PLAN REVIEW
12/06/2021





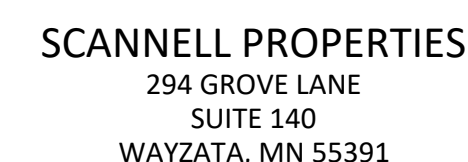
SHEET

SITE PLAN
AREA 3

C-103

PROJECT NO.

EDL21020



SALEM, OR

[illegible]

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DESIGN LAB
Civil Engineering | Landscape Architecture

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MINNEAPOLIS, MN 55411

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f 612.260.7980 | www.elanlab.com

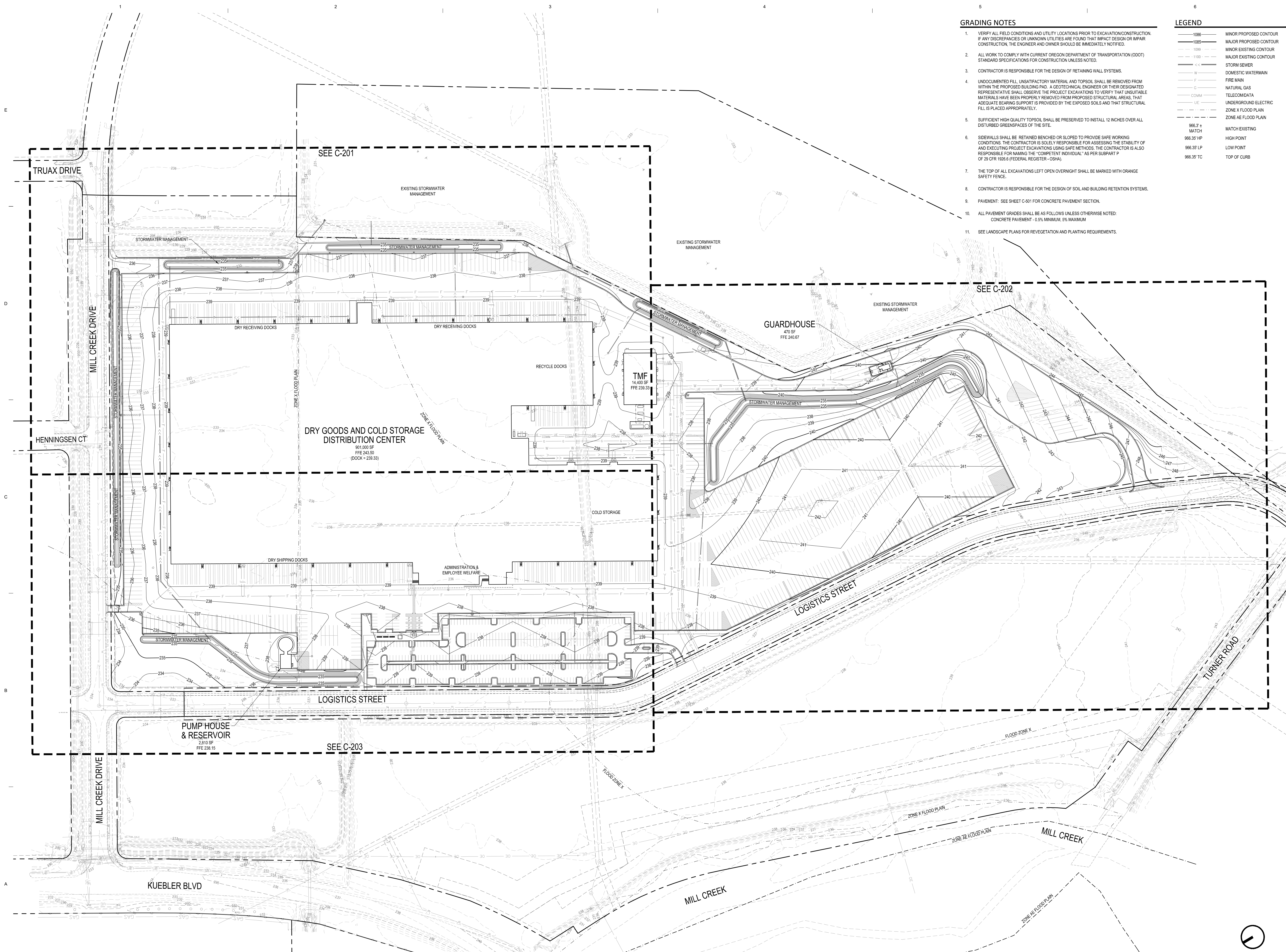
NOT FOR CONSTRUCTION

OVERALL
GRADING PLAN
C-200

PROJECT NO.
EDL21020

1. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION. THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. ALL WORK TO COMPLY WITH CURRENT ORIENTON DEPARTMENT OF TRANSPORTATION (ODOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
3. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF RETAINING WALL SYSTEMS.
4. UNDOCMUMENTED PILL, UNSATISFACTORY MATERIAL, AND TOPSOIL SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING PAD. A GEOTECHNICAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE SHALL OBSERVE THE PROJECT EXCAVATIONS TO VERIFY THAT USABLE MATERIAL HAS BEEN PROPERLY REMOVED FROM PROPOSED STRUCTURAL AREAS. THAT ADEQUATE BEARING SUPPORT IS PROVIDED BY THE EXPOSED SOILS AND THAT STRUCTURAL FILL IS PLACED APPROPRIATELY.
5. SUFFICIENT HIGH QUALITY TOPSOIL SHALL BE PRESERVED TO INSTALL 12 INCHES OVER ALL DISTURBED GREENSPACES OF THE SITE.
6. SIDEWALLS SHALL BE RETAINED BENCHED OR SLOPED TO PROVIDE SAFE WORKING CONDITIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROJECT EXCAVATIONS USING SAFE METHODS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR NAMING THE "COMPETENT INDIVIDUAL" AS PER SUPPORT P OF 29 CFR 1926.6 (FEDERAL REGISTER - OSHA)
7. THE TOP OF ALL EXCAVATIONS LEFT OPEN OVERNIGHT SHALL BE MARKED WITH ORANGE SAFETY FENCE.
8. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SOIL AND BUILDING RETENTION SYSTEMS.
9. PAVEMENT. SEE SHEET C-601 FOR CONCRETE PAVEMENT SECTION.
10. ALL PAVEMENT GRASSES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
CONCRETE PAVEMENT - 0.5% MINIMUM. 5% MAXIMUM
11. SEE LANDSCAPE PLAN FOR REVEGETATION AND PLANTING REQUIREMENTS.

1086	MINOR PROPOSED CONTOUR
1085	MAJOR PROPOSED CONTOUR
1089	MINOR EXISTING CONTOUR
1100	MAJOR EXISTING CONTOUR
<<	STORM SEWER
W	DOMESTIC WATERMAIN
F	FIRE MAIN
G	NATURAL GAS
COMM	TELECOM DATA
UE	UNDERGROUND ELECTRIC
X	ZONE X FLOOD PLAIN
A	ZONE AE FLOOD PLAIN
966.3' ± MATCH	MATCH EXISTING
966.35' HP	HIGH POINT
966.35' LP	LOW POINT
966.35' TC	TOP OF CURB



A1 OVERALL GRADING PLAN
1" = 100'

100 30
SCALE IN FEET

PROJECT

PROJECT JUSTIFY
DISTRIBUTION CENTER

SALEM, OR

ISSUE DATE

SUBMITTAL

SITE PLAN REVIEW
12/06/2021

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310 4TH AVENUE S, SUITE 1006
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p 612.260.7980 f 612.260.7990 www.elanlab.com

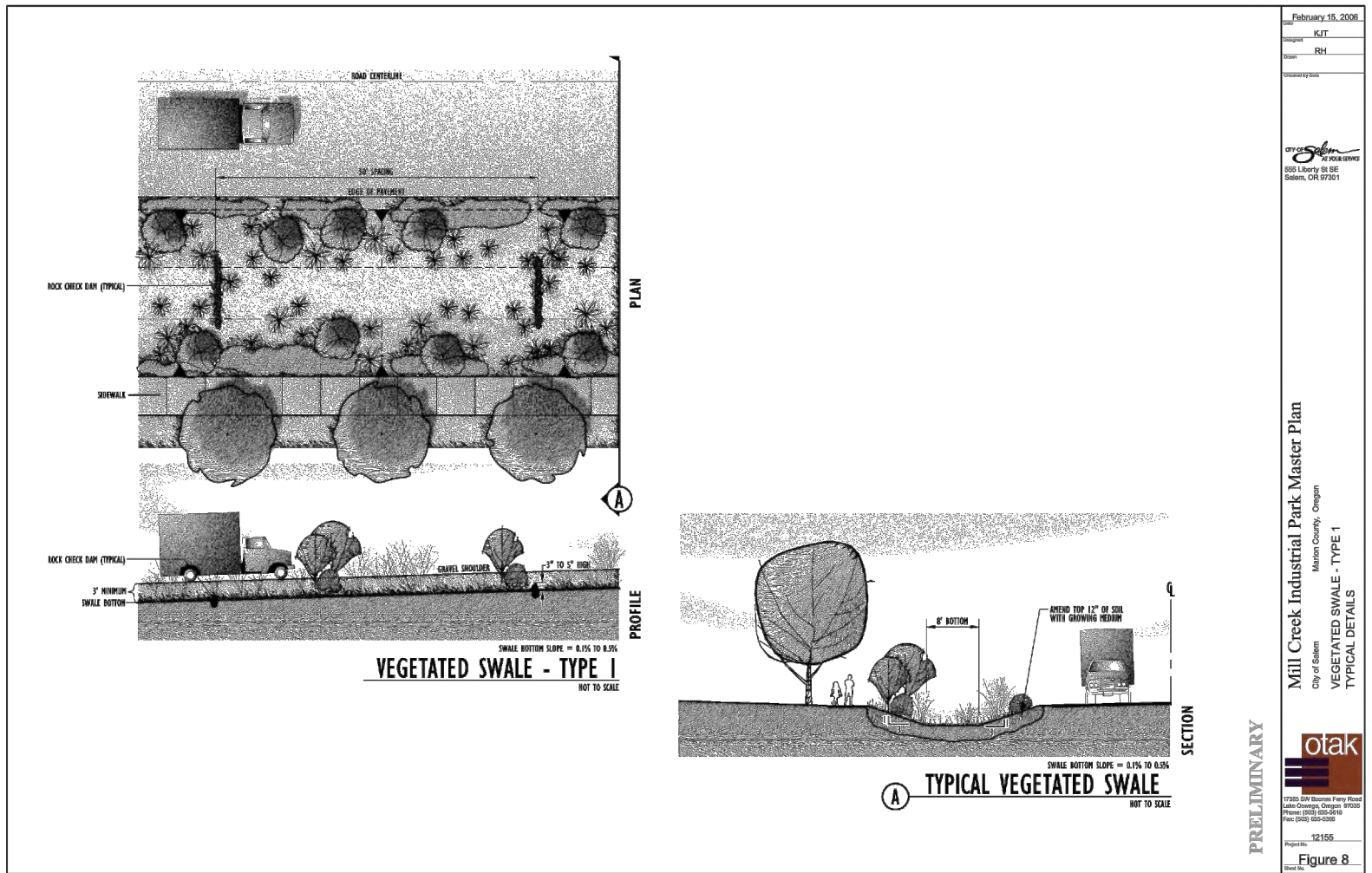
CERTIFICATION

REGISTERED PROFESSIONAL
LANDSCAPE ARCHITECT
STATE OF MINNESOTA
JULY 1, 2016
ELLE J. WESLOCK
RENEWS: 06/30/2022

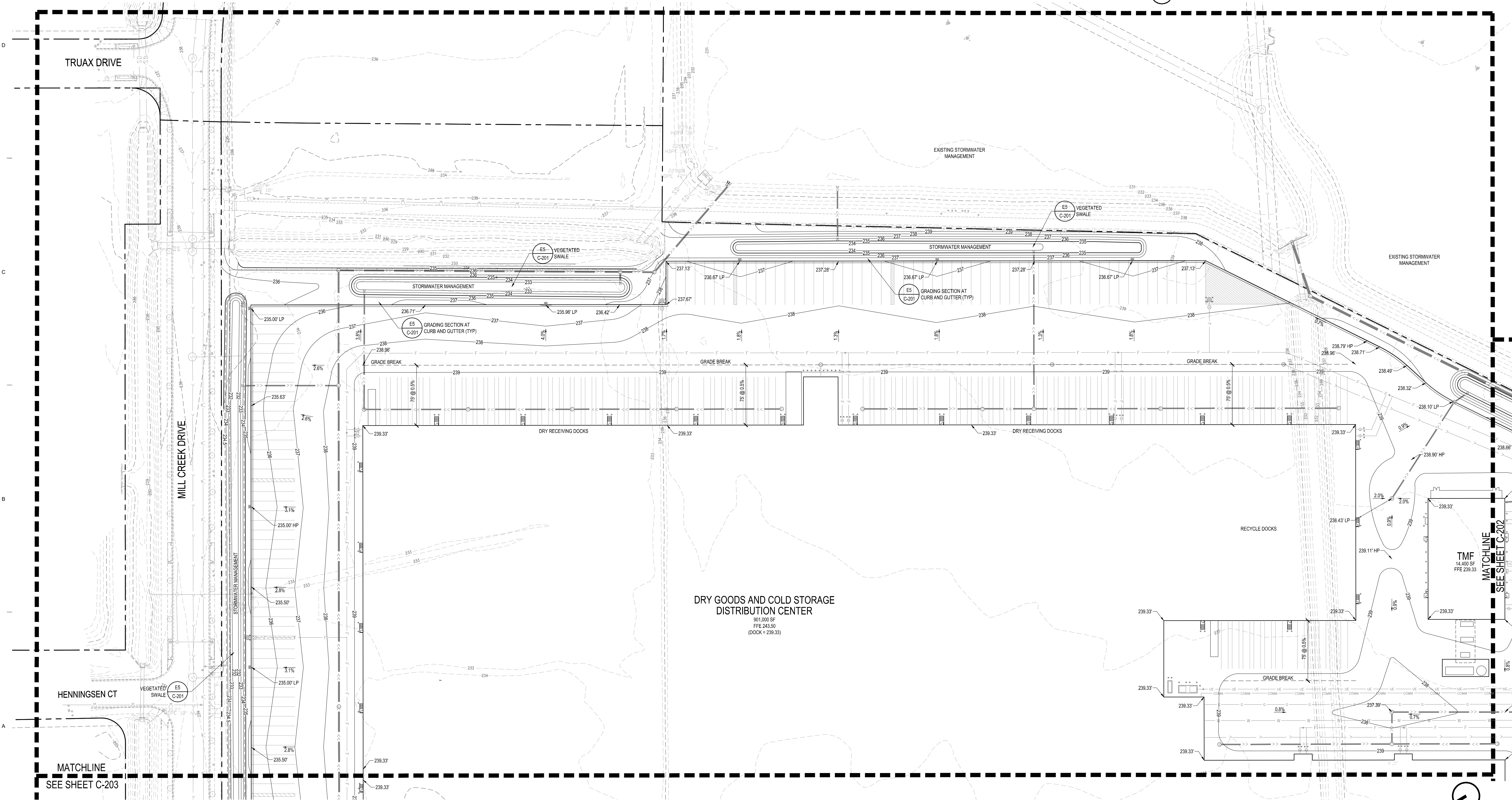
SHEET

GRADING PLAN
AREA 1
C-201

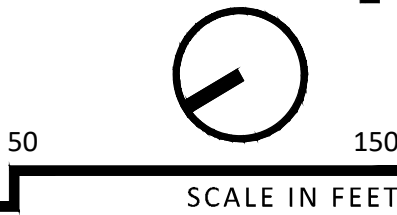
PROJECT NO.
EDL21020



E5 VEGETATED SWALE DETAIL
1" = 100'



A1 GRADING PLAN - AREA 1
1" = 50'





SCANNELL PROPERTIES
294 GROVE LANE
SUITE 140
WAYZATA, MN 55391

PROJECT

PROJECT JUSTIFY
DISTRIBUTION CENTER

SALEM, OR

ISSUE DATE

SUBMITTAL

SITE PLAN REVIEW
12/06/2021



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f 612.260.7990 www.elanlab.com

CERTIFICATION



RENEWS: 06/30/2022

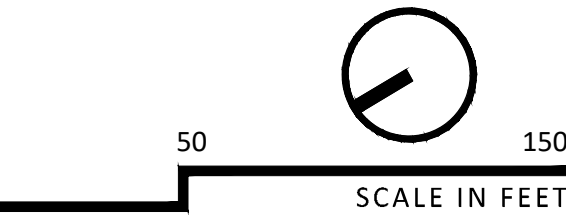
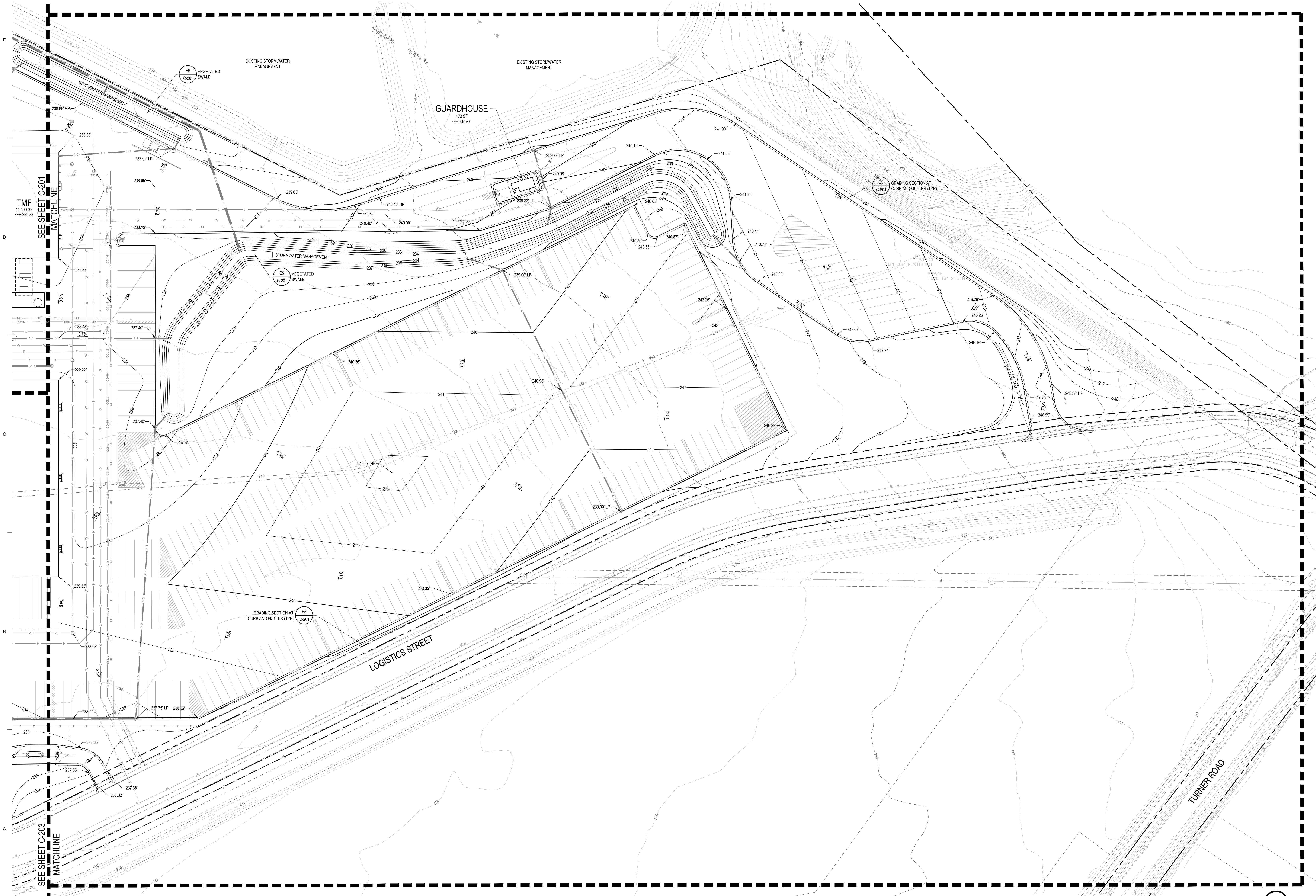
SHEET

GRADING PLAN
AREA 2

C-202

PROJECT NO.

EDL21020



PROJECT

PROJECT JUSTIFY
DISTRIBUTION CENTER

SALEM, OR

ISSUE DATE

SUBMITTAL

SITE PLAN REVIEW
12/06/2021

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310 4TH AVENUE S, SUITE 1006
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CERTIFICATION

REGISTERED PROFESSIONAL
DATE: 12/06/2021
BY: ELLE J. WESLOCK
PE, STATE OF MINN. #094283

RENEWS: 06/30/2022

SHEET

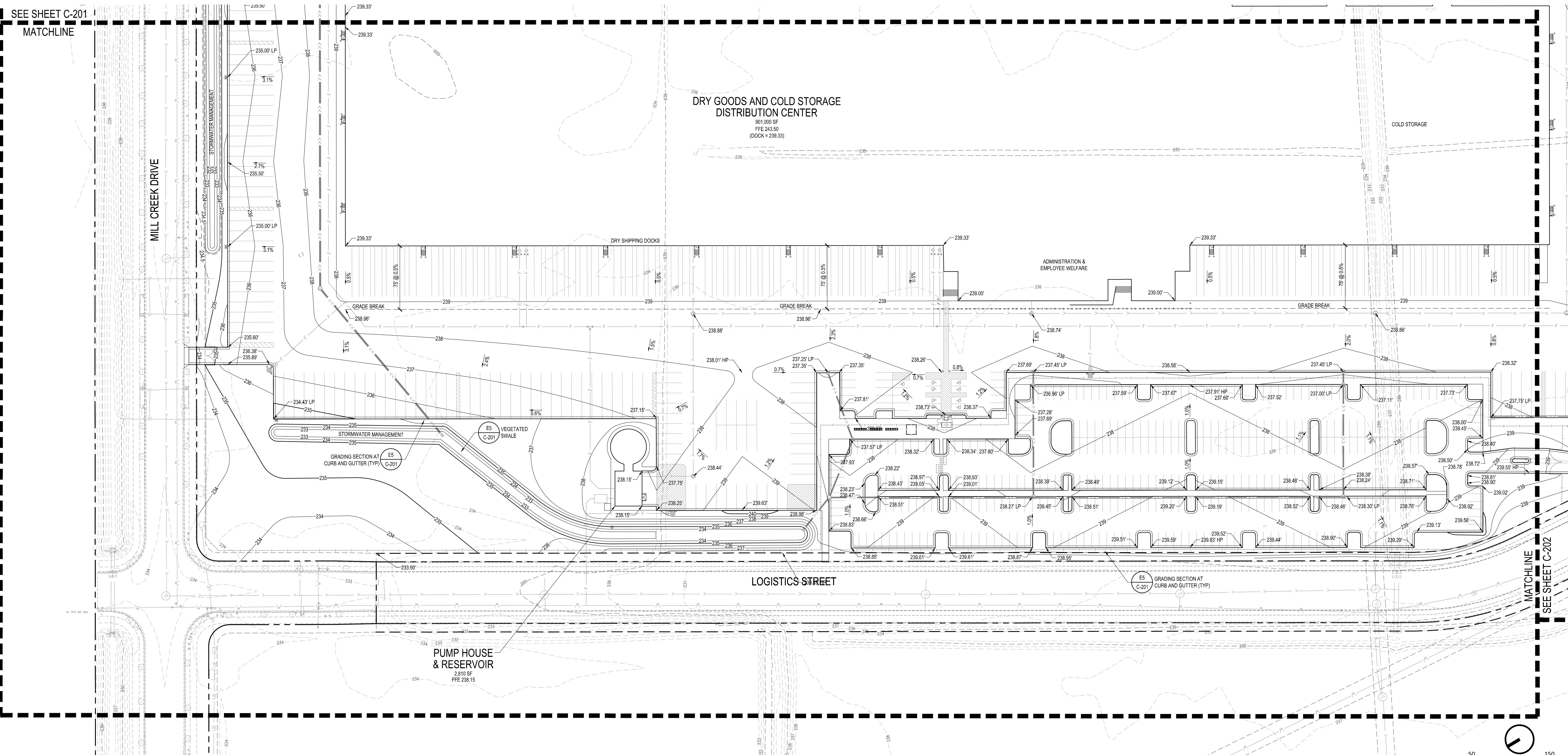
GRADING PLAN

AREA 3

C-203

PROJECT NO.

EDL21020





SALEM, OR



IDENTIFICATION

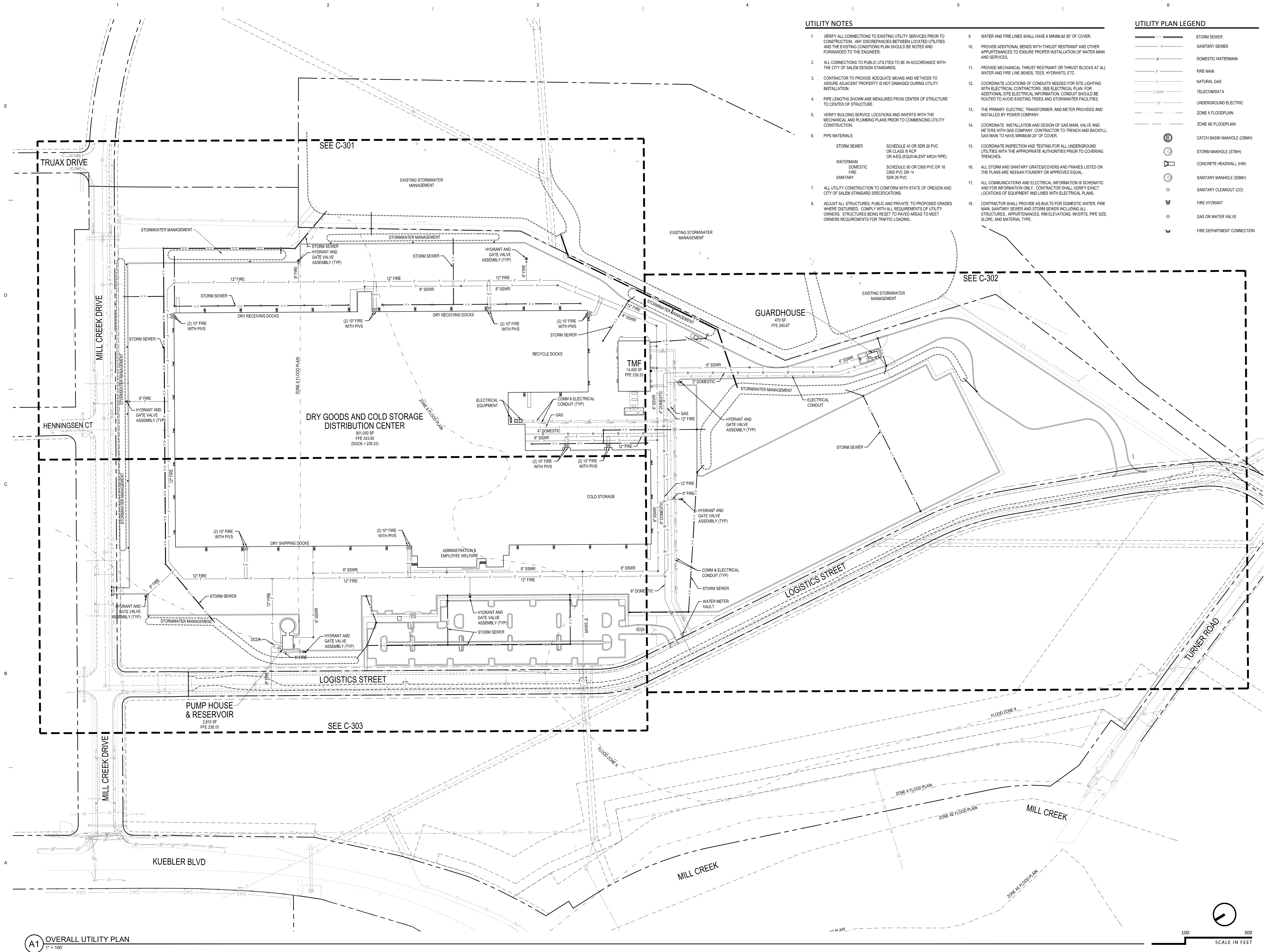


OVERALL

OVERALL

-300

EDL21020



A1 OVERALL UTILITY PLAN
1" = 100'

100 300
SCALE IN FEET

SITE PLAN REVIEW
12/06/2021

CERTIFICATION



UTILITY PLAN
AREA 1
C-301

PROJECT NO. EDL21020



NOTES
1. SEE SHEET C-300 FOR UTILITY PLAN NOTES & LEGEND



SCANNELL PROPERTIES
294 GROVE LANE
SUITE 140
WAYZATA, MN 55391

PROJECT JUSTIFY
DISTRIBUTION CENTER

SALEM, OR

ISSUE DATE

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SITE PLAN REVIEW
12/06/2021



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CERTIFICATION

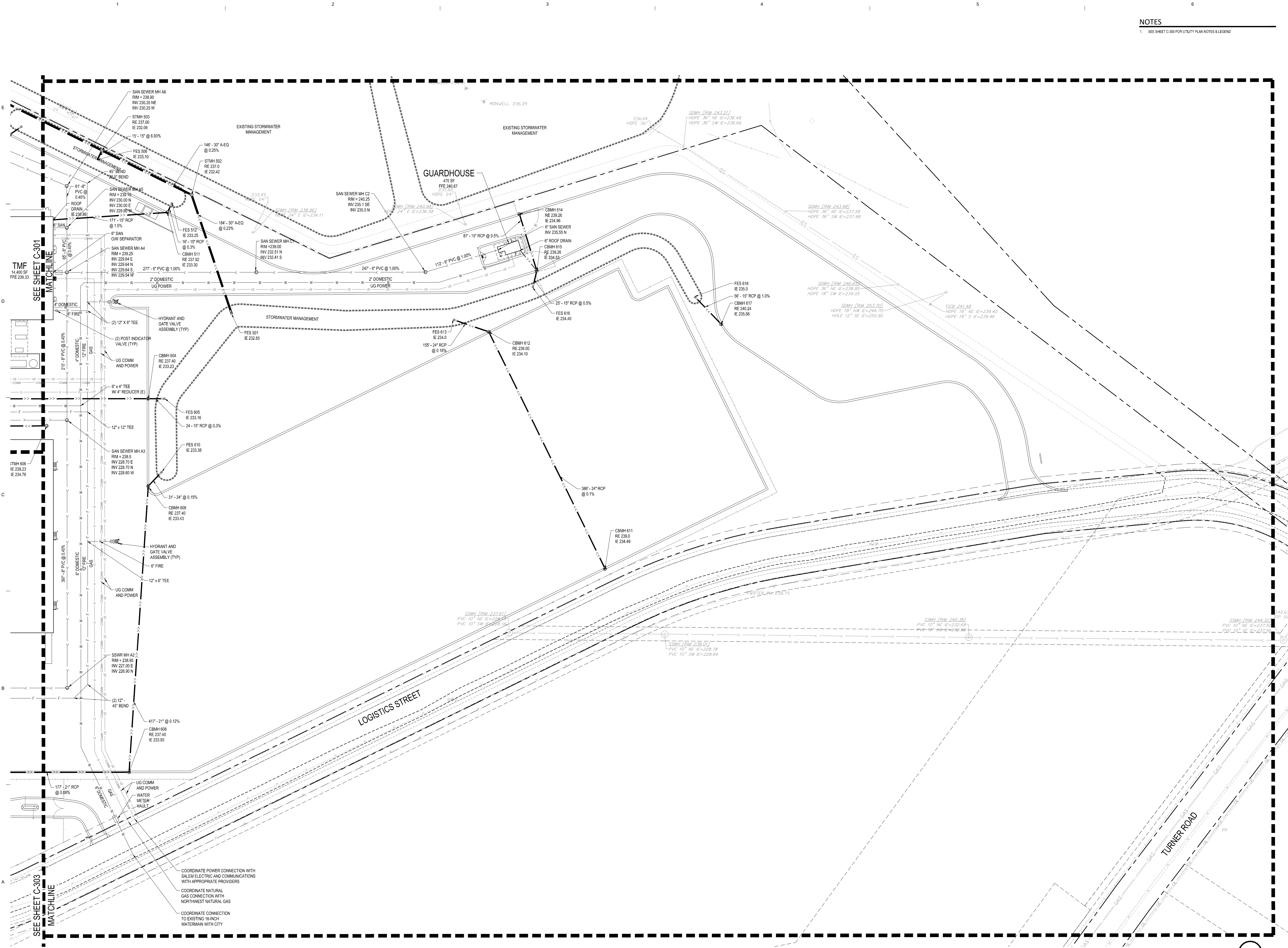


RENEWALS: 06/30/2022

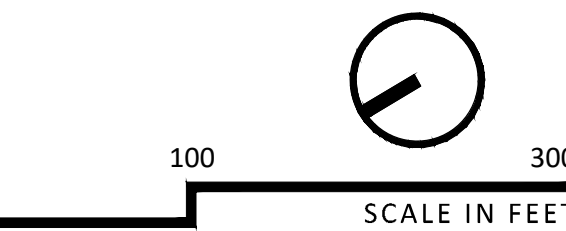
SHEET

UTILITY PLAN
AREA 2
C-302

PROJECT NO.
EDL21020



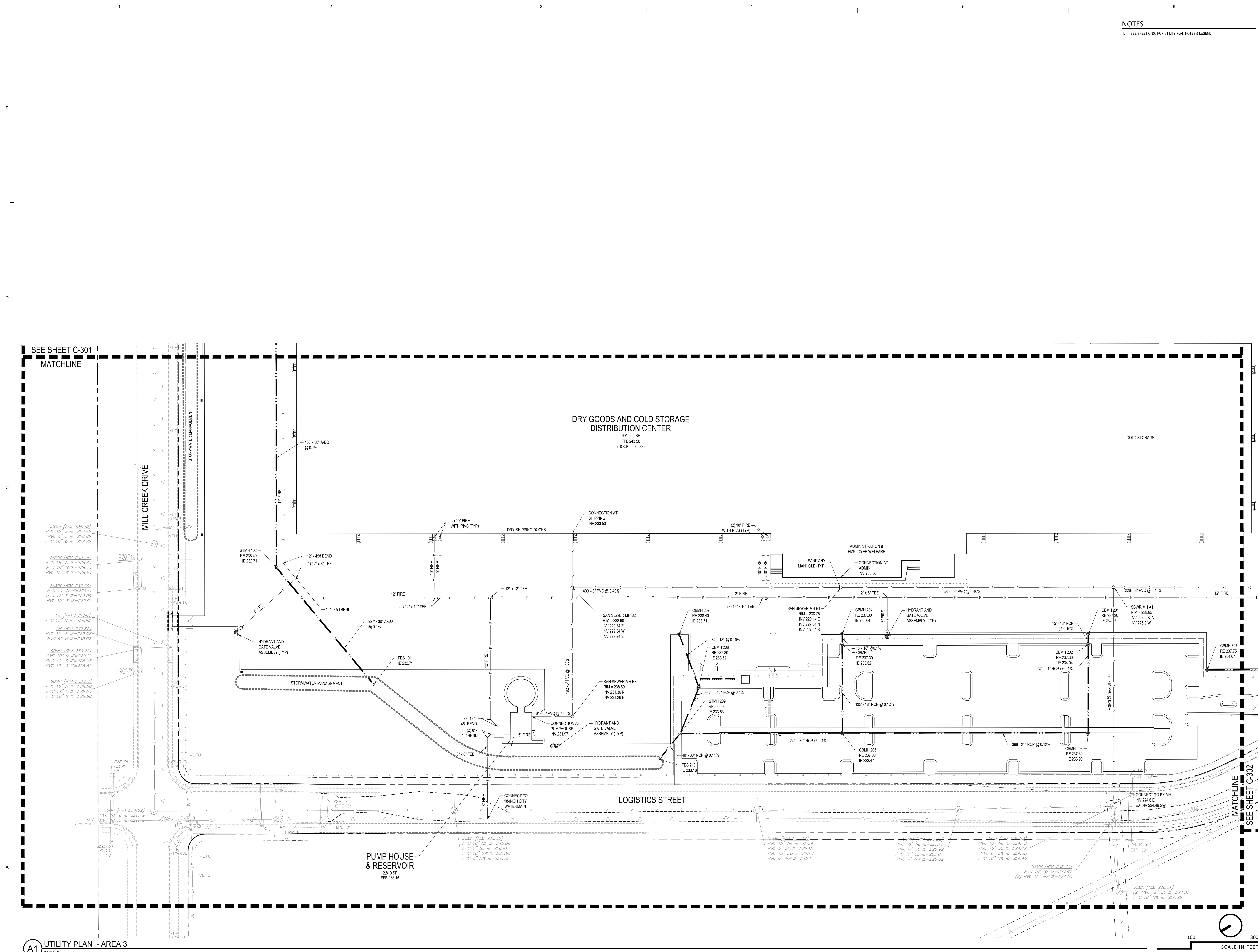
A1 UTILITY PLAN - AREA 2
1" = 50'

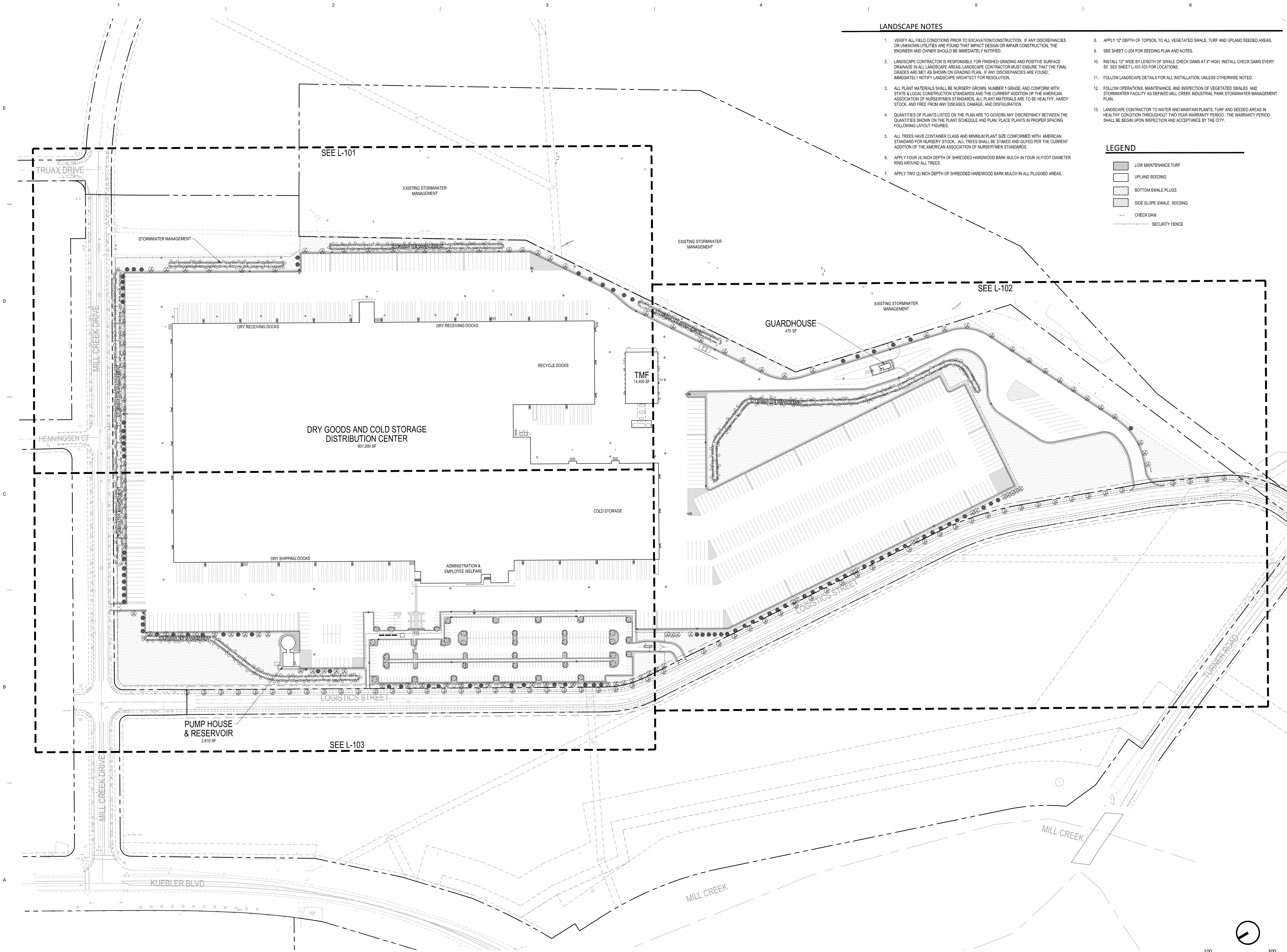


SITE PLAN REVIEW
12/06/2021

RENEWS: 06/30/2021

PROJECT NO. EDL21020





LANDSCAPE NOTES

1. VERIFY ALL FIELD CONDITIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, NUMBER 1 GRADE, AND CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
4. QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
5. ALL TREES HAVE CONTAINER CLASS AND MINIMUM PLANT SIZE CONFORMED WITH AMERICAN STANDARD FOR NURSERY STOCK. ALL TREES SHALL BE STAKED AND GUYPED PER THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
6. APPLY FOUR (4) INCH DEPTH OF SHREDDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES.
7. APPLY TWO (2) INCH DEPTH OF SHREDDDED HARDWOOD BARK MULCH IN ALL PLUGGED AREAS.
8. APPLY 12" DEPTH OF TOPSOIL TO ALL VEGETATED SWALE, TURF AND UPLAND SEEDED AREAS.
9. SEE SHEET C-204 FOR SEEDING PLAN AND NOTES.
10. INSTALL 12" WIDE BY LENGTH OF SWALE CHECK DAMS AT 8' HIGH. INSTALL CHECK DAMS EVERY 50'. SEE SHEET L-101-103 FOR LOCATIONS.
11. FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
12. FOLLOW OPERATIONS, MAINTENANCE, AND INSPECTION OF VEGETATED SWALES AND STORMWATER FACILITY AS DEFINED MILL CREEK INDUSTRIAL PARK STORMWATER MANAGEMENT PLAN.
13. LANDSCAPE CONTRACTOR TO WATER AND MAINTAIN PLANTS, TURF AND SEEDED AREAS IN HEALTHY CONDITION THROUGHOUT TWO YEAR WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE BEGIN UPON INSPECTION AND ACCEPTANCE BY THE CITY.

LEGEND

- LOW MAINTENANCE TURF
- UPLAND SEEDING
- BOTTOM SWALE PLUGS
- SIDE SLOPE SWALE SEEDING
- CHECK DAM
- SECURITY FENCE



SCANNELL PROPERTIES
294 GROVE LANE
SUITE 140
WAYZATA, MN 55391

PROJECT JUSTIFY
DISTRIBUTION CENTER

SALEM, OR

ISSUE DATE

SUBMITTAL

SITE PLAN REVIEW
12/06/2021



310 4TH AVENUE S, SUITE 1006
MINNEAPOLIS, MN 55415
p 612.260.7980
f 612.260.7990 | www.elanlab.com

CERTIFICATION



RENEWS: 06/30/2022

SHEET

OVERALL
LANDSCAPE PLAN
L-100

PROJECT NO.

EDL21020

1 OVERALL LANDSCAPE PLAN
1" = 100'

100 300
SCALE IN FEET

NOTES

1. SEE SHEET L-100 FOR LANDSCAPE NOTES & LEGEND.
2. SEE SHEET L-104 FOR LANDSCAPE SUMMARY & SCHEDULE.



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CERTIFICATION



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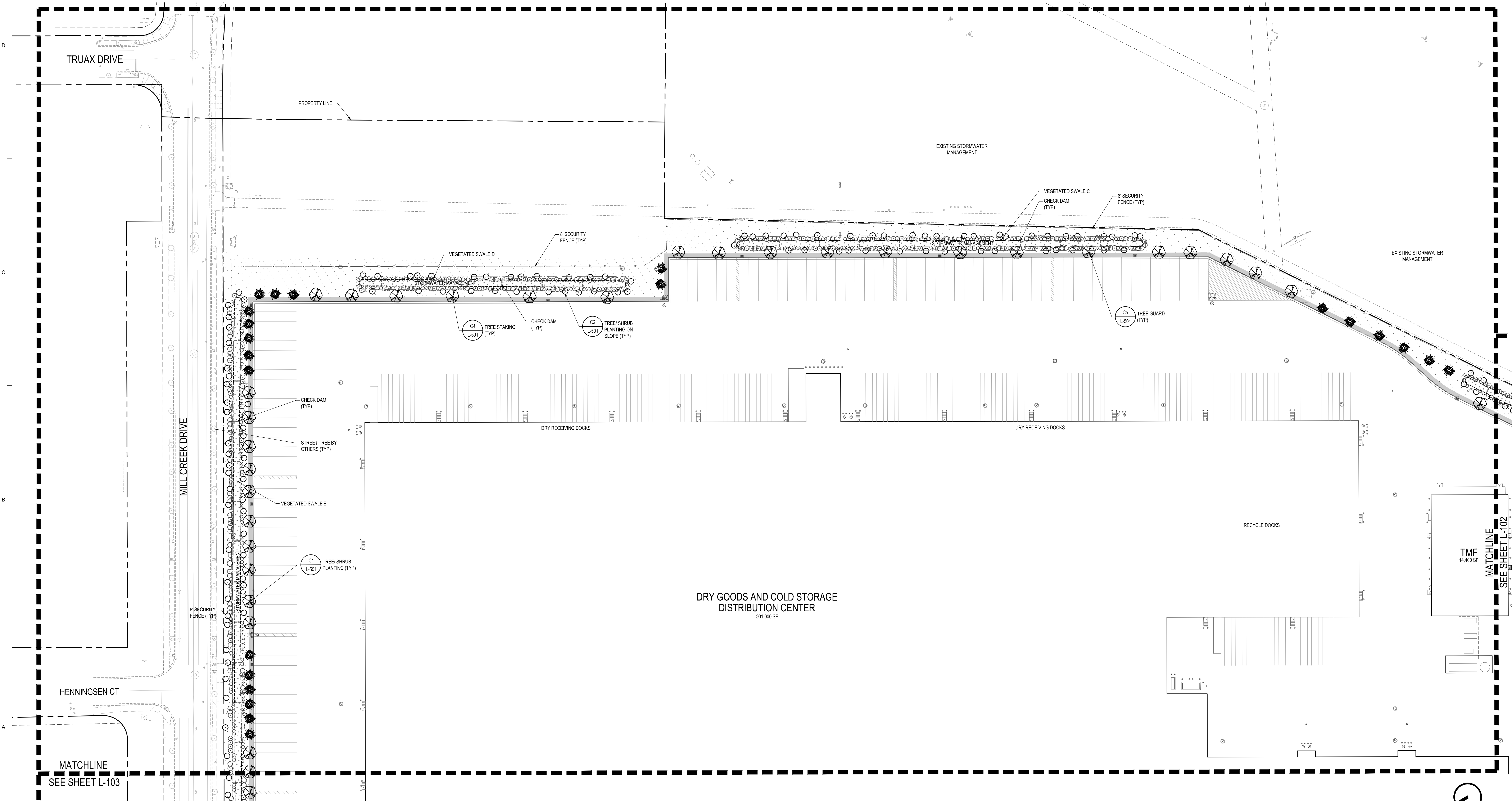
SHEET

LANDSCAPE PLAN
AREA 1

L-101

PROJECT NO.

EDL21020



A1 LANDSCAPE PLAN - AREA 1
1" = 50'

50 150
SCALE IN FEET

1. SEE SHEET L-100 FOR LANDSCAPE NOTES & LEGEND.
2. SEE SHEET L-104 FOR LANDSCAPE SUMMARY & SCHEDULE.

PROJECT

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SITE PLAN REVIEW
12/06/2021

Elan
DESIGN LAB

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612.260.7990

CERTIFICATION



RENEWS: 06/30/2022

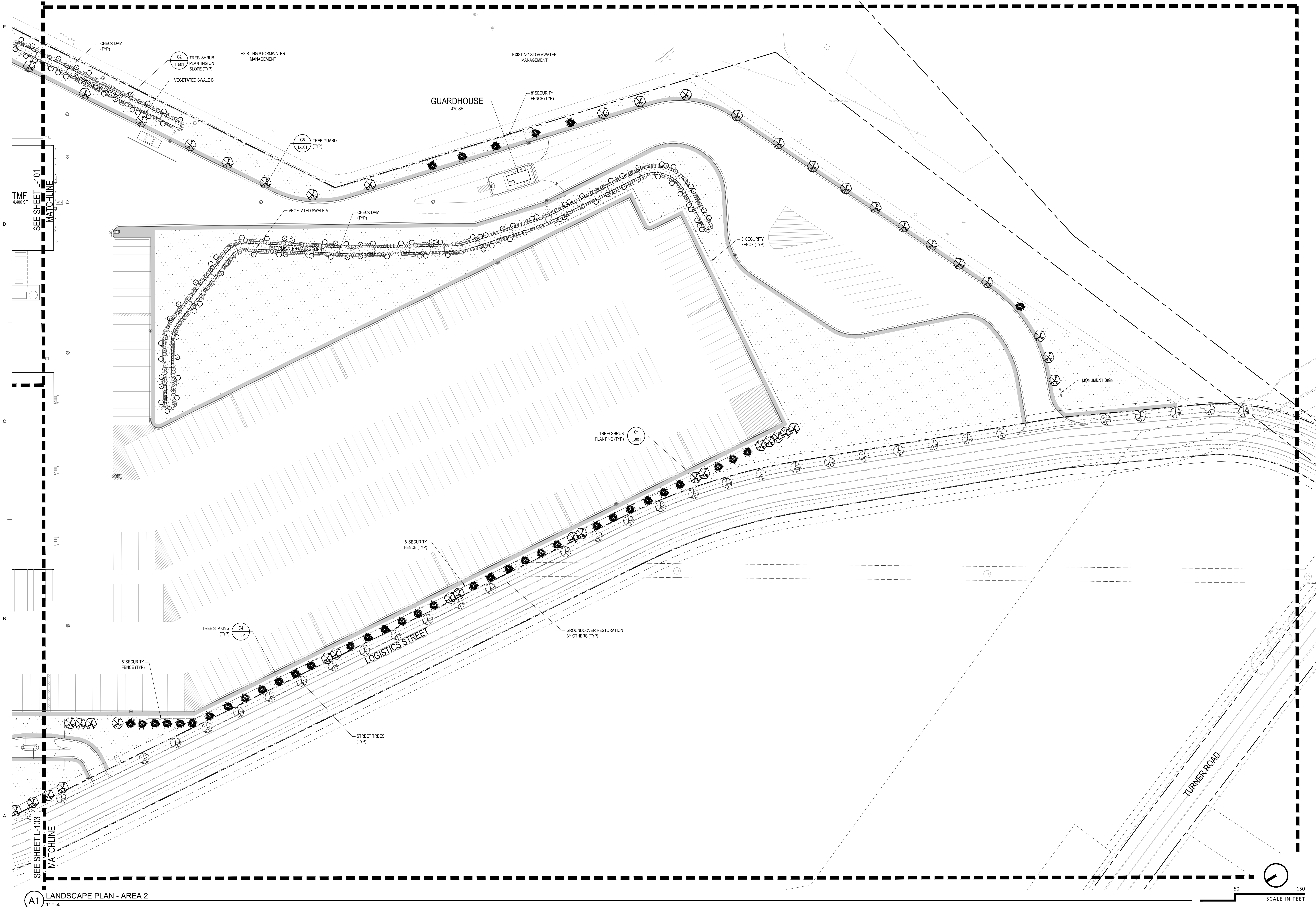
SHEET

LANDSCAPE PLAN
AREA 2

L-102

PROJECT NO.

EDL21020



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REGISTERED PROFESSIONAL
ENGINEER
917489
STATE OF OREGON
EXPIRATION DATE: OCT. 13, 2016
KIMBERLY J. WESLOCK
RENEWALS: 06/30/2022

-103

PROJECT NO. EDL21020

