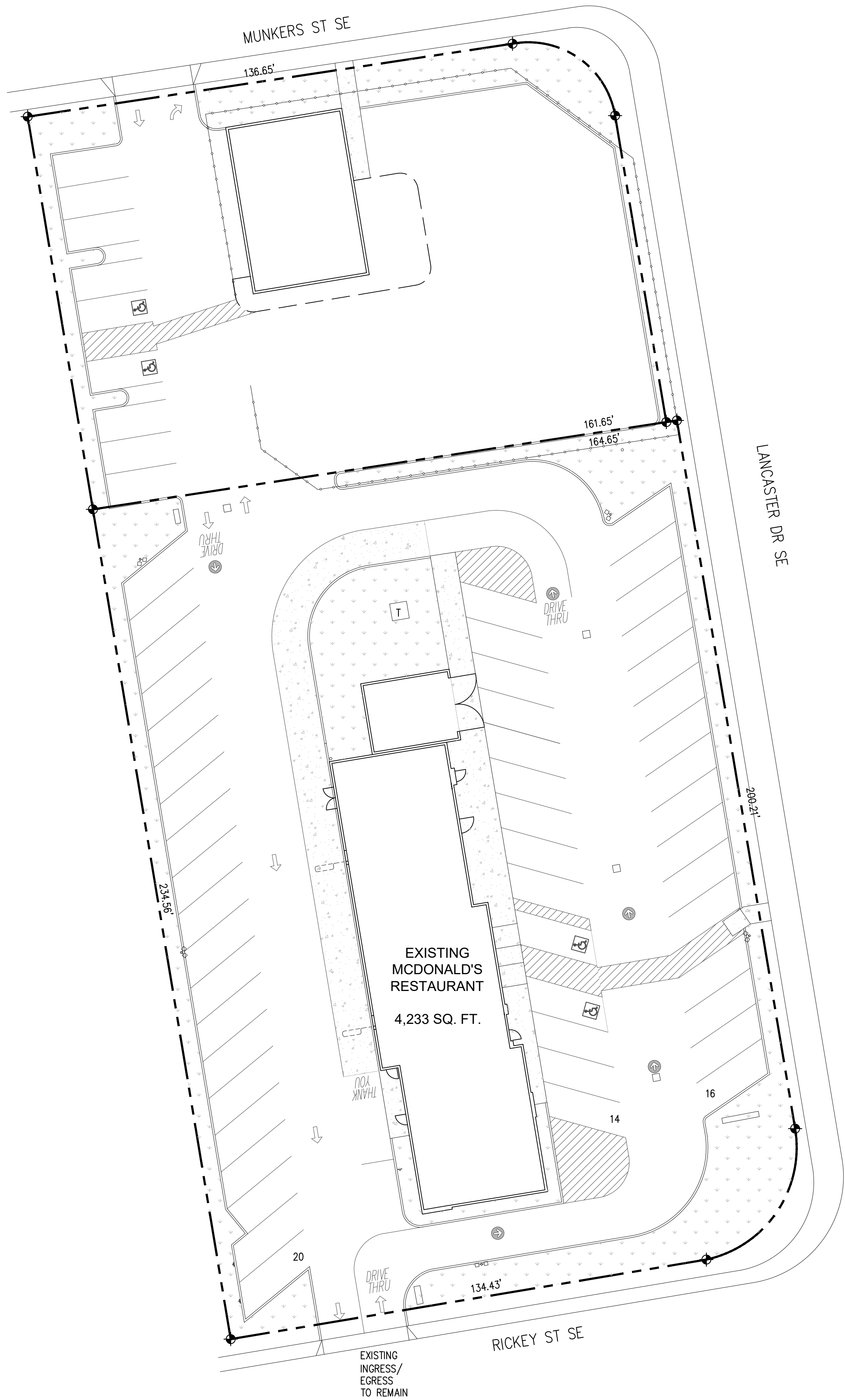


GENERAL NOTES		PROJECT DATA		PROJECT TEAM		SHEET INDEX	
1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 OREGON STRUCTURAL SPECIALTY CODE AS ADOPTED BY CITY OF SALEM, OREGON STATE ACCESSIBILITY CODES, OREGON STATE ENERGY CODES, AND ALL APPLICABLE LOCAL CODES & STANDARDS. 2. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, DETAILS, ETC., AND AS SOON AS DISCOVERED SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. 3. ALL ITEMS MARKED "N.I.C." ARE NOT PART OF THIS CONTRACT. 4. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES. 5. ALL DIMENSIONS ARE FROM FINISH FACE OF WALL TO CENTERLINE OF EXISTING COLUMNS OR FINISH FACE OF EXISTING WALL UNLESS OTHERWISE NOTED. 6. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK. 7. WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK. 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF HIS WORK. 9. THE CONTRACTOR WILL VERIFY AND CONFORM TO ALL REQUIREMENTS OF ALL UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS. 10. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES. 11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES. 12. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION AS WELL AS ALL REVISIONS, ADDENDA, AND CHANGE ORDERS. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES WHICH ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED. 14. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION, UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN CONTRACTOR'S WRITTEN PROPOSAL AND AGREEMENT. ALL REPAIRS, CORRECTIONS, DISCREPANCIES, ETC., MUST BE MADE WITHOUT ANY ADDITIONAL COST TO THE OWNER, AND WITHIN FIVE (5) DAYS AFTER NOTICE IS GIVEN. 15. ALL OPERATIONS CONDUCTED ON THE PREMISES SHALL NOT BE OBJECTIONABLE BEYOND THE PROPERTY BOUNDARY LINES BY REASON OF NOISE, STEAM, ODOR, FUMES, GASES, SMOKE, VIBRATION, HAZARD OR OTHER CAUSES. 16. FLAMMABLE LIQUIDS SHALL NOT BE PLACED, STORED, OR DISPENSED IN THIS OCCUPANCY EXCEPT AS PROVIDED IN N.F.P.A. STANDARD 30 AND THE CURRENT INTERNATIONAL FIRE CODE. PERMIT MAY BE REQUIRED. 17. UPON COMPLETION OF CONSTRUCTION, CLEAN ALL SURFACES. 18. MAINTAIN ALL EXIT PATHWAYS DURING CONSTRUCTION. 19. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN DEMOLITION PERMIT FOR ANY REQUIRED DEMOLITION WORK FROM THE LOCAL JURISDICTION AND TO COMPLY WITH THE FEDERAL REQUIREMENT OF ASBESTOS ABATEMENT. ASBESTOS SURVEY IS REQUIRED BEFORE RENOVATION OR DEMOLITION. IF REQUIRED BY LOCAL JURISDICTION. 20. PATCH AND REPAIR ALL EXISTING SURFACES AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION TO RECEIVE NEW SCHEDULED FINISHES. ALL SURFACES ARE TO HAVE "LIKE-NEW" APPEARANCE. 21. CONTRACTOR SHALL VERIFY ALL ROUGH-IN AND OTHER DIMENSIONS FOR EQUIPMENT FURNISHED BY HIMSELF OR BY OTHERS. 22. REPETITIVE FEATURES ARE DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL. 23. IF HAZARDOUS MATERIALS ARE FOUND TO EXIST ON THIS PROJECT, THE CONTRACTOR SHALL CEASE ALL WORK RELATED TO THE HAZARDOUS MATERIALS & IMMEDIATELY NOTIFY THE OWNER IN WRITING OF THE CIRCUMSTANCES. 24. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS. IF CONFLICTS EXIST, CONTACT THE CONSTRUCTION MANAGER FOR CLARIFICATIONS. 25. IF REQUIRED, A CONSTRUCTION BARRICADE SHALL BE INSTALLED BY THE CONTRACTOR, PAINTED, DETAILED AND ILLUMINATED AS REQUIRED. NO SIGNS OTHER THAN THOSE AUTHORIZED BY THE CONSTRUCTION MANAGER WILL BY PERMITTED ON THIS BARRICADE. 26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL SHORING, BRACING, OR OTHER TEMPORARY STRUCTURAL SUPPORTS AS MAY BE REQUIRED AND SHALL BEAR THE COSTS OF ANY ENGINEERING THAT MAY BY REQUIRED. 27. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL PERFORM WORK THAT DOES NOT INTERFERE WITH NORMAL OPERATING BUSINESS HOURS OF THE STORE. WORK THAT WILL REQUIRE INTERRUPTIONS OF OPERATIONS SHALL BE PERFORMED DURING NON-BUSINESS HOURS & ALL ANTICIPATED OVERTIME REQUIRED SHALL BE INCLUDED IN THE BASE BID. 28. SHOULD A CONFLICT OF INFORMATION EXIST IN THE CONST. DOCUMENTS, THE CONTRACTOR SHALL STOP WORK IN THE AFFECTED AREA AND CONTACT THE ARCHITECT IMMEDIATELY. 29. JOB SITE SAFETY: THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDER-TAKING OF PERIODIC SITE VISITS BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON. 30. CONDITIONS OF USE: THESE DRAWINGS HAVE BEEN PREPARED SOLELY FOR USE IN THE REMODEL OF THE EXISTING STRUCTURE LOCATED AT 3995 RICKY ST. SE, SALEM, OR 97301. THESE DRAWINGS SHALL NOT BE USED IN WHOLE OR IN PART, FOR FABRICATION OR CONSTRUCTION AT ANY OTHER LOCATION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. 31. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO SHALL CONFORM WITH LOCAL, REGIONAL, STATE AND FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING AND/OR REMOVAL OF ASBESTOS OR ASBESTOS-CONTAINING MATERIALS. NOTE SPECIFICALLY THAT FOR PROJECTS IN OREGON STATE THE CONTRACTOR SHALL CONFORM WITH THE REQUIREMENTS OF THE APPROPRIATE AGENCY REGARDING INSPECTION, CERTIFICATION AND NOTIFICATION. 32. UPON COMPLETION OF CONSTRUCTION, CLEAN ALL SURFACES INCLUDING INTERIOR SIDE OF ALL EXTERIOR PERIMETER GLAZING. 33. ELECTRICAL ROUGH-IN ARE FOR THE GENERAL INFORMATION OF THE CONTRACTOR. EXACT LOCATIONS SHOULD BE VERIFIED. 34. ALL CABLING AND WIRING NOT IN CONDUITS OR FULL SURROUND CABLE TRAYS SHALL HAVE A FLAME SPREAD RATING OF NOT LESS THAN 25 AND A SMOKE DEVELOPMENT RATING OF NOT LESS THAN 50. 35. REVISIONS TO ELECTRICAL SYSTEM SHALL BE BIDDER DESIGN/ BUILD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CORRESPONDING PERMITS FOR WORK. THE PROPOSED SYSTEM DESIGN & METHOD OF OPERATION FOR ALL ROOMS SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO THE START OF ANY WORK. 36. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A THIRD PARTY AS-BUILT & LIMITED RECORD DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY ARCHITECT IN CASE OF DISCREPANCIES AS SOON AS POSSIBLE. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL SYSTEMS, ROOFING SYSTEMS AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION THAT IS TO BE REMOVED PRIOR TO DEMOLITION.		PROJECT ADDRESS: 3995 RICKY ST. SE, SALEM, OR 97301 GOVERNING CODE: 2019 OREGON STRUCTURAL SPECIALTY CODE WITH AS ADOPTED BY CITY OF SALEM OCCUPANCY: A2 (EXISTING) USE: FAST FOOD RESTAURANT (EXISTING) CONSTRUCTION TYPE: EXISTING, NO CHANGE VALUATION: \$50,000 MAP TAX LOT: 072W31C000500 LEGAL DESCRIPTION: ANNEXATION NO 96-004		CLIENT: MCDONALD'S USA LLC PACIFIC NORTHWEST FET 2999 OAK ROAD, SUITE 900 WALNUT CREEK, CA 94597 CONTACT: ALBERT PALACIOS CELL: (312) 485-7551 albert.palacios@us.mcd.com ARCHITECT: MAGELLAN ARCHITECTS 8383 158TH AVE NE, #280 REDMOND, WA 98052 PH: (425) 885-4300 FAX: (425) 885-4303 RECORD ARCH: JAMIE TRENDA CONTACT: JAMIE TRENDA jamie@magellanarchitects.com STRUCTURAL ENGINEER: DIBBLE ENGINEERS INC 1029 MARKET STREET KIRKLAND, WA 98033 CONTACT: JOHN MAYFIELD PH: (425) 828-4200 DIRECT: (406) 530-9035 John@DibbleEngineers.com		ARCHITECTURAL CV COVER SHEET SP-1 EXISTING SITE PLAN SP-2 SITE PLAN SD1 SITE DETAILS DT1.0 ENLARGED DRIVE THRU PLANS DT1.1 DRIVE THRU DETAILS DT1.2 DRIVE THRU DETAILS	
SCOPE OF WORK		WORK TO INCLUDE RECONFIGURATION OF DRIVE THRU TO ADD SECOND ORDER LANE WITH ASSOCIATED ORDER CANOPY AND MENU BOARD.					
TYPICAL ABBREVIATIONS		VICINITY MAP		KEY PLAN			
Ⓢ # AB ACT AFF ALUM BD BLDG BOT BRG CAB CJT C CLG CMU COL CONC CONSTR CONSTR JT CONT CONTRACTOR(OR) CT DET Ø DIM DN DS EA EB ELEC ELEV EQ EQUIP EXIST EXP JT EXT FDN FIN FL FT FTG AT POUND OR NUMBER ANCHOR BOLT ACOUSTICAL CEILING TILE ABOVE FINISH FLOOR ALUMINUM BOARD BUILDING BOTTOM BEARING CABINET CERAMIC FLOOR TILE CONTROL JOINT CENTER LINE CEILING CONCRETE MASONRY UNITS COLUMN CONCRETE CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CERAMIC TILE DETAIL DIAMETER DIMENSION DOWN DOWNSPOUT EACH EXPANSION BOLT ELECTRICAL ELEVATION EQUAL EQUIPMENT EXISTING EXPANSION JOINT EXTERIOR FOUNDATION FINISH(ED) FLOOR FOOT OR FEET FOOTING FUR GA GALV GC GL G.W.A. HC HOWR HM INSUL INT JT MAX MECH MTL MFR MIN NTS OC P PLYWOOD RD REINF RFG RO ROOM ROUGH OPENING SELF ADHERED FLEXIBLE FLASHING SECTION SIM SPEC SQ STL T & B TYP V.I.F. W/ WD W/O WRB/AB WSCT FURRING GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GYPSUM WALLBOARD HOLLOW CORE HARDWARE HOLLOW METAL INSULATION INTERIOR JOINT MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM NOT TO SCALE ON CENTER PROPERTY LINE ROOF DRAIN REINFORCE(D)(ING) ROOFING ROUGH OPENING SELF ADHERED FLEXIBLE FLASHING SECTION SIMILAR SPECIFICATION SQUARE STEEL TOP AND BOTTOM TYPICAL VERIFY IN FIELD WITH WOOD WITHOUT WEATHER RESISTIVE BARRIER/ AIR BARRIER WAINSCOT							
PREPARED BY: © 2020 McDonald's USA, LLC		DRAWN BY: M. McDonald's USA, LLC		PP21-210			
TITLE: SIDE-BY-SIDE DRIVE THRU REMODEL		DESCRIPTION: NEW SBS DRIVE THRU AT EXISTING BUILDING		CV			
SHEET NO. 36-0189		SITE ADDRESS: 3995 Ricky St. SE, Salem, OR 97301		GENERAL INFO			
REGISTERED ARCHITECT SHERRI E. GRUBBS KIRKLAND, WA STATE OF OREGON		MAGELLAN ARCHITECTS 8383 158th Avenue Northeast, Suite 280 Redmond, Washington 98052 Tel (425) 885-4300 Fax (425) 885-4303 www.magellanarchitects.com Copyright © 2019 Magellan Associates PLLC		PLANNING DESIGN PERMIT CONSTRUCTION OCCUPANCY			
1		1		REV			
DATE		DATE		DESCRIPTION			



EXISTING SITE PLAN

SCALE: 1" = 20'-0"
0 5 10 20 40 FT.

LEGEND

- EXISTING CONCRETE CURBING
- EXISTING LANDSCAPING
- EXISTING CONCRETE
- EXISTING LOT LIGHT
- EXISTING STRIPING
- EXISTING CATCH BASIN

PROJECT DATA

SITE AREA: 38,332 SQ. FT.
EXISTING PARKING: 50 STALLS
ACCESSIBLE PROVIDED: 2 STALLS
ZONING: RETAIL COMMERCIAL
BUILDING AREA: 4,233 EXISTING SQ. FT.
OCCUPANCY : A-2 (EXISTING)
TYPE OF CONSTRUCTION: V-B (EXISTING)
LANDSCAPE AREA: 6,723 SQ. FT. (17.5%)

PARKING INFORMATION

TOTAL SPACES	28	9'-0" X 20'-0" SPACES @ 65'
	20	9'-0" X 20'-0" SPACES @ 60'
	2	ADA 9'-0" X 20'-0" SPACES @ 65'
	50	

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	EXISTING		
WATER	EXISTING		
STORM SEWER	EXISTING		
ELECTRIC	EXISTING		
GAS	EXISTING		

SURVEY INFORMATION

PLAN SCALE: 1" = 20'

STREET ADDRESS
3995 RICKEY ST. SE

CITY
SALEM

STATE
OR

COUNTY
MARION

REGIONAL DWG. NO.

36-0189

CORPORATE DWG. NO.

14118

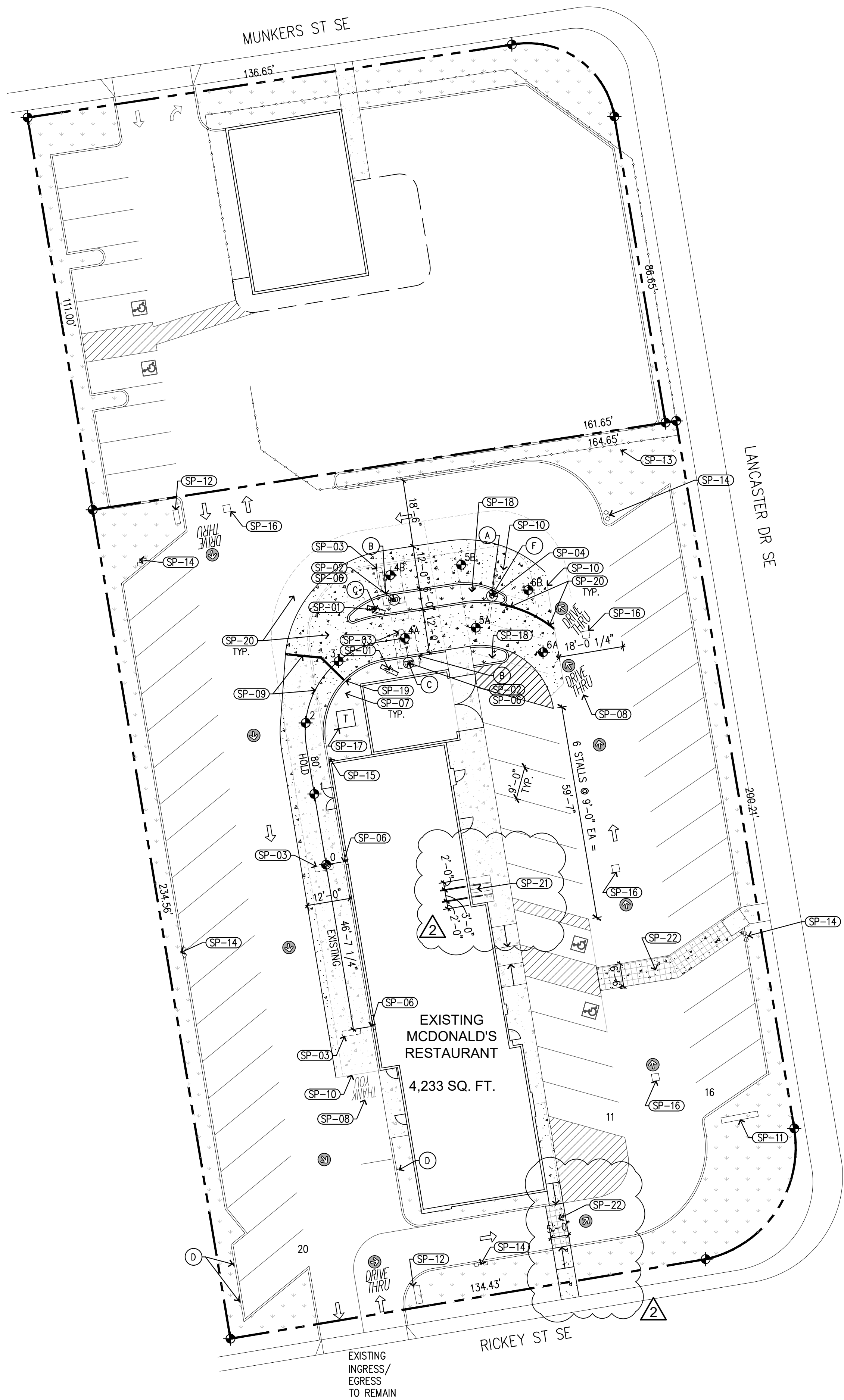
REGISTERED ARCHITECT
SHERRI E. GRUENIS
KIRKLAND, WA
STATE OF OREGON
Magellan
ARCHITECTS
8383 158th Avenue Northeast, Suite 280
Redmond, Washington 98052
Tel (425) 885-4300 Fax (425) 885-4303
www.magellanarchitects.com
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M. McDonald's USA, LLC
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FILE
SIDE-BY-SIDE DRIVE THRU REMODEL
DESCRIPTION
NEW SBS DRIVE THRU AT EXISTING BUILDING
SITE ID
36-0189
3995 Rickey St. SE, Salem, OR 97301

DATE
JUL 2021
REVIEWED BY
SEM
DATE ISSUED
JUL 2021

SHEET NO.
PP21-210
SP-1
SITE PLAN



SITE PLAN
SCALE: 1" = 20'-0"
0 5 10 20 40FT.

PROJECT DATA

SITE AREA:	38,332 SQ. FT.
EXISTING PARKING:	50 STALLS
PARKING REQUIRED:	1 STALL/ 250 SQ. FT. = 17 STALLS (BASED ON 4,233 SQ. FT.)
PARKING PROVIDED:	47 STALLS
ACCESSIBLE REQUIRED:	2 STALLS (BASED ON 47 PROVIDED)
ACCESSIBLE PROVIDED:	2 STALLS
ZONING:	RETAIL COMMERCIAL
BUILDING AREA:	4,233 EXISTING SQ. FT.(NO CHANGE)
OCCUPANCY :	A-2 (EXISTING)
TYPE OF CONSTRUCTION:	V-B (EXISTING)
LANDSCAPE AREA EXISTING:	6,723 SQ. FT.
LANDSCAPE AREA PROPOSED:	5,819 SQ. FT. (15.2%)

SITE PLAN KEYNOTES

- (SP-01) REMOVE EXISTING & INSTALL (2) NEW DIGITAL MENU BOARDS AS SHOWN. SEE DETAIL 2/D11.0 FOR EXACT LOCATIONS AND 10/D11.1. LOCATE EXISTING UTILITIES PRIOR TO EXCAVATING FOOTINGS.
- (SP-02) REMOVE EXISTING CUSTOMER ORDER DISPLAY & INSTALL (2) CUSTOMER ORDER CANOPIES AS SHOWN PER DETAIL 6/D11.2. SEE DETAIL 2/D11.0 FOR EXACT LOCATIONS. OVERALL CANOPY HEIGHT IS 10'-2" ABOVE PAVEMENT WITH CLEARANCE OF 9'-0" FOR VEHICLES BELOW. LOCATE EXISTING UTILITIES PRIOR TO EXCAVATING FOOTINGS.
- (SP-03) INSTALL NEW VEHICLE DETECTOR LOOPS AT NEW ORDER POINTS PER 2/D11.0. (OPTIONAL AT DRIVE THRU BOOTHS). PATCH & REPAIR CONCRETE PAD AT DRIVE THRU AS NECESSARY. SEE 18/D11.1 & 20/D11.1.
- (SP-04) REMOVE EXISTING & INSTALL NEW GATEWAY SIGN PACKAGE AS SHOWN. COORDINATE LOCATION WITH MCDONALD'S CONSTRUCTION MANAGER TO ENSURE BEST VISIBILITY FROM SITE ENTRANCE. SEE DETAIL 8/ D11.2 FOR MORE INFORMATION. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION OF FOOTING.
- (SP-05) NOT USED
- (SP-06) INSTALL SPEECH/HEARING IMPAIRED SIGNAGE ON THE ORDER CANOPY & EACH SERVICE WINDOW. SEE DETAIL 4/SD1 & 5/SD1. PICTURE MENU, CLIPBOARD, AND PENCILS ARE TO BE PROVIDED AT EACH DRIVE-THRU WINDOW.
- (SP-07) EXISTING LANDSCAPE TO REMAIN. IF DAMAGED BY CONSTRUCTION, PATCH AND REPAIR AS NECESSARY TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION. NEW LANDSCAPING TO MATCH EXISTING ADJACENT. ENSURE PLANTINGS DO NOT INHIBIT VIEW TO DRIVE THRU SIGNS.
- (SP-08) STRIPE PARKING STALLS AND SYMBOLS AS SHOWN. PAINTS TO BE TRAFFIC WHITE (2 COATS) AT PARKING AND TRAFFIC YELLOW (2 COATS) AT DRIVE-THRU. SEE DETAILS 1/SD1, 2/SD1, & 3/SD1.
- (SP-09) APPROXIMATE LINE OF NEW CONCRETE WORK TO EXISTING CONCRETE TO REMAIN.
- (SP-10) APPROXIMATE LINE OF CONCRETE PAD TO ASPHALT TRANSITION.
- (SP-11) EXISTING ROAD SIGN TO REMAIN; PROTECT FROM DAMAGE.
- (SP-12) EXISTING DIRECTIONAL SIGN TO REMAIN.
- (SP-13) EXISTING FLAG POLE TO REMAIN.
- (SP-14) EXISTING LOT LIGHTING TO REMAIN.
- (SP-15) EXISTING BOLLARD, PROTECT FROM DAMAGE
- (SP-16) EXISTING CATCH BASIN TO REMAIN.
- (SP-17) RELOCATE TRANSFORMER TO NEW LOCATION SHOWN. VERIFY EXACT LOCATION WITH MCDONALD'S CONSTRUCTION MANAGER & UTILITY COMPANY.
- (SP-18) NEW LANDSCAPING TO MATCH ADJACENT & AS REQUIRED BY LOCAL JURISDICTION REQUIREMENTS. ENSURE PLANTINGS WILL NOT INHIBIT VIEW OF DRIVE THRU & DIRECTIONAL SIGNAGE FROM CUSTOMERS.
- (SP-19) PROVIDE MERGE POINT MONITOR MOUNTED ON POLE WITH FOUNDATION; EXACT LOCATION TO BE COORDINATED WITH MCDONALD'S CONSTRUCTION MANAGER. PROVIDE 2" CONDUIT TO CASH BOOTH JUNCTION BOX. CONNECT TO ELECTRICAL & DATA SYSTEMS.
- (SP-20) REMOVE EXISTING ASPHALT, LANDSCAPING, CONCRETE CURBS, & CONCRETE DRIVE THRU PAD AS NECESSARY TO ACCOMMODATE NEW WORK. INSTALL NEW CONCRETE PAVING & CURBING THROUGHOUT DRIVE THRU LANES AS SHOWN, PER MCDONALD'S SPECIFICATIONS. SLOPE TO DRAIN AS NECESSARY. SEE DETAILS 1/SD1, 2/SD1.
- (SP-21) INSTALL NEW STAPLE, POST & RING, OR LOOP STYLE BICYCLE RACKS PER SRC 806.060 AT LOCATION SHOWN. PROVIDE 4 BICYCLE SPACES MIN.
- (SP-22) REMOVE EXISTING ASPHALT AS NECESSARY TO PROVIDE NEW STAMPED CONCRETE CROSSWALK AS SHOWN. ENSURE 5% MAXIMUM SLOPE IN DIRECTION OF TRAVEL & 1.5% MAXIMUM CROSS SLOPE. ENSURE NO GAPS OR CHANGES IN LEVEL GREATER THAN 1/4" OR 1/2" WITH BEVEL. PROVIDE FLUSH TRANSITION TO ADJACENT ASPHALT.
- (SP-23) REMOVE EXISTING LANDSCAPE & CONCRETE CURBS AS NECESSARY TO PROVIDE NEW BROOM-FINISH CONCRETE SIDEWALK & CURB RAMPS AS SHOWN. AT SIDEWALK, ENSURE 5% MAXIMUM SLOPE IN DIRECTION OF TRAVEL & 1.5% MAXIMUM CROSS SLOPE. SEE DETAILS 6/SD1 & 7/SD1. AT IN-LINE CURB RAMPS, SLOPE IN DIRECTION OF TRAVEL TO BE 8% MAX WITH 1.5% MAX CROSS SLOPE. PROVIDE 5'-0" MIN DEEP X FULL RAMP WIDTH TOP & BOTTOM CURB RAMP LANDINGS WITH 1.5% MAX SLOPE IN ALL DIRECTIONS & 5% MAX SLOPE IN DIRECTION OF TRAVEL AT GUTTER PAN. ENSURE TOP AND BOTTOM CURB RAMP TRANSITIONS ARE FLUSH. SEE DETAIL 8/SD1. ENSURE NO GAPS OR CHANGES IN LEVEL GREATER THAN 1/4" OR 1/2" WITH BEVEL.

LEGEND

	EXISTING CONCRETE CURBING TO REMAIN/ REPAIR
	NEW CONCRETE CURBING
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW STRIPING
	EXISTING LANDSCAPING TO REMAIN
	NEW LANDSCAPING
	EXISTING CONCRETE TO REMAIN
	NEW CONCRETE
	EXISTING LOT LIGHT
	EXISTING STRIPING
	EXISTING CATCH BASIN

GENERAL NOTES

1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
3. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

PAVING SPECIFICATION
(MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

EXISTING LOT LIGHTS TO REMAIN. VERIFY WITH MCDONALD'S CONSTRUCTION MANAGER IF CLEAN/RELAMP OR NO WORK DURING THIS PROJECT.

PARKING INFORMATIION

TOTAL SPACES	25	9'-0" X 20'-0" SPACES @ 65'
	20	9'-0" X 20'-0" SPACES @ 60'
	2	ADA 9'-0" X 20'-0" SPACES @ 65'
47		

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER		EXISTING	
WATER		EXISTING	
STORM SEWER		EXISTING	
ELECTRIC		EXISTING	
GAS		EXISTING	

SURVEY INFORMATION

PLAN SCALE: 1" = 20'

STREET ADDRESS
3995 RICKEY ST. SE

CITY
SALEM

STATE
OR

COUNTY
MARION

REGIONAL DWG. NO

36-0189

CORPORATE DWG. NO.

14118

REGISTERED ARCHITECT
SHERRI E. GRIFFITHS
KIRKLAND, WA

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McDonald's USA, LLC

PREPARED FOR:

TITLE
SIDE-BY-SIDE DRIVE THRU REMODEL

DESCRIPTION
NEW SBS DRIVE THRU AT EXISTING BUILDING

SITE ID
36-0189

DATE
JUL 2021

DATE
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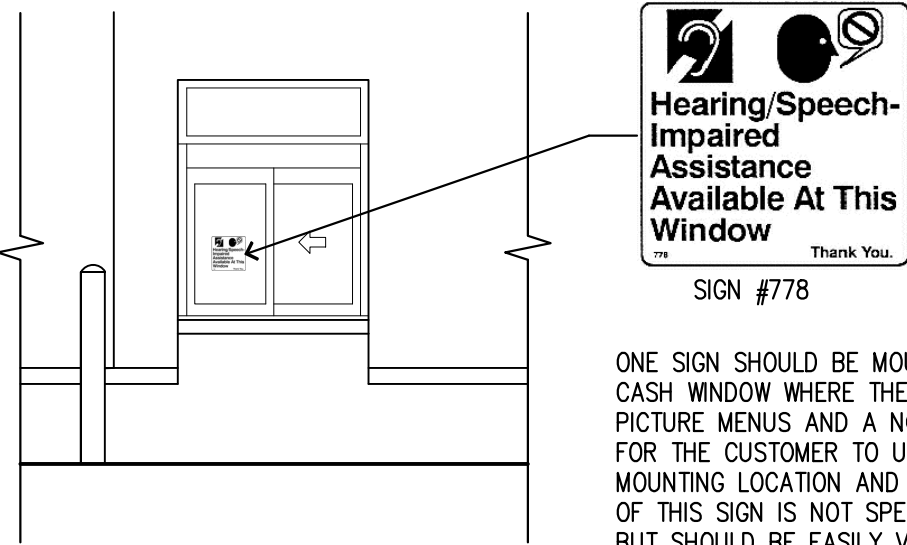
STD ISSUE DATE
JUL 2021

REVIEWED BY
SEM

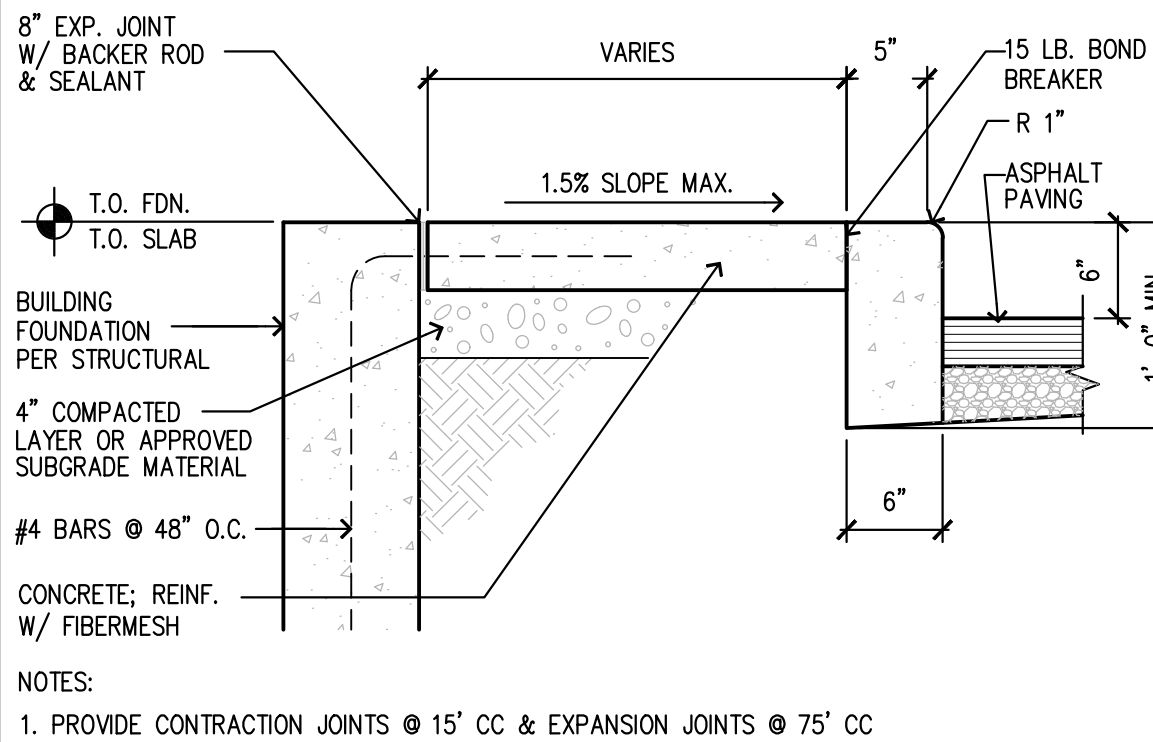
DATE ISSUED
JUL 2021

SHEET NO.
PP21-210
SP-2
SITE PLAN

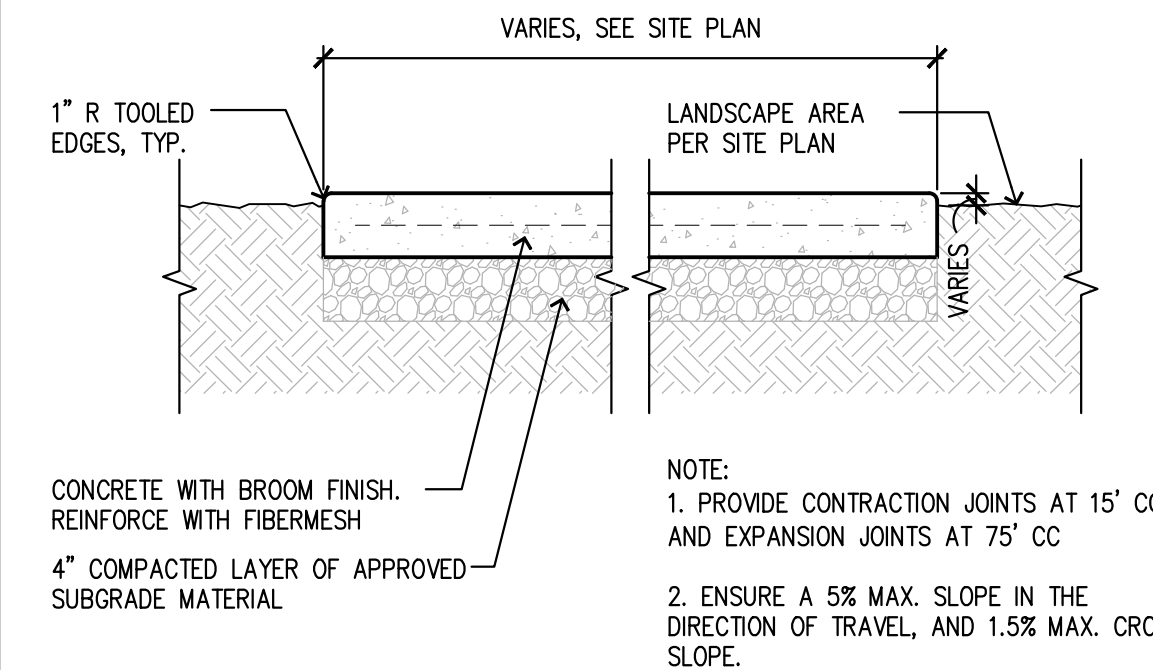
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BY
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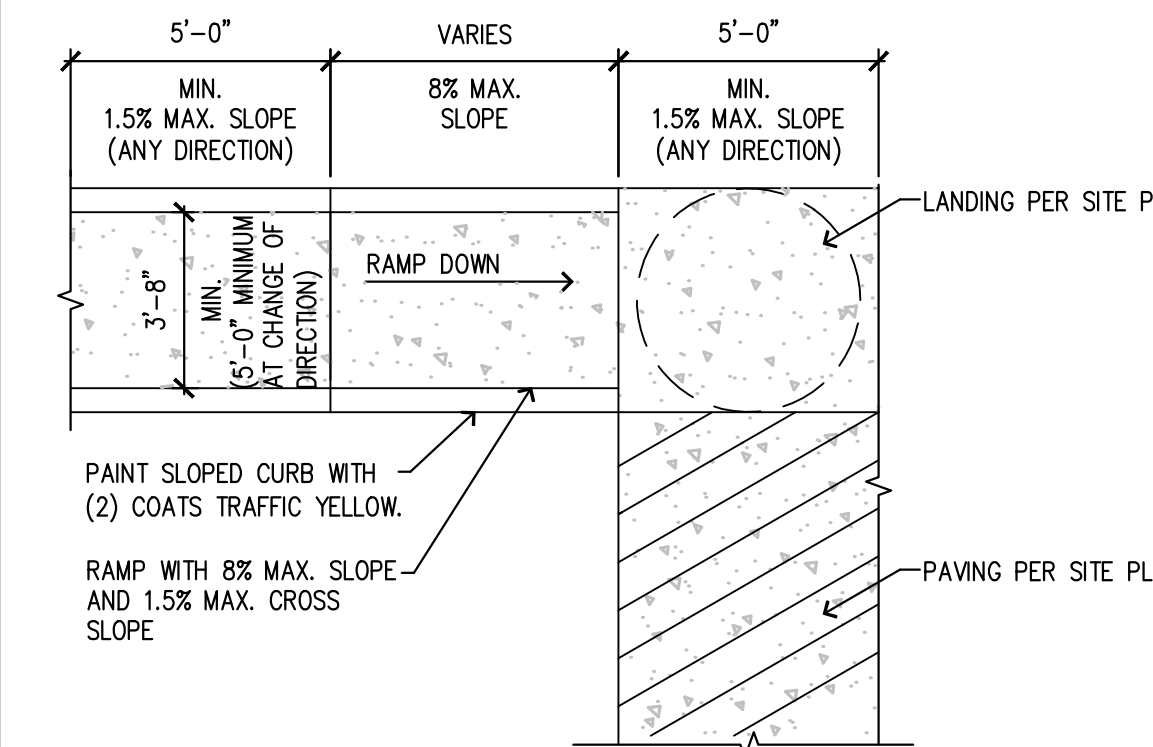
5 SD1 SPEECH/ HEARING IMPAIRED SIGN @ D.T.
SCALE: NOT TO SCALE



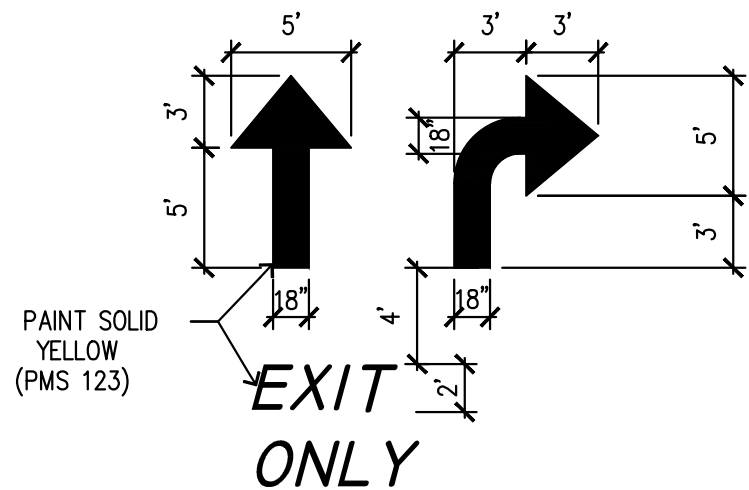
6 SD1 BUILDING SIDEWALK
SCALE: 1" = 1'-0"



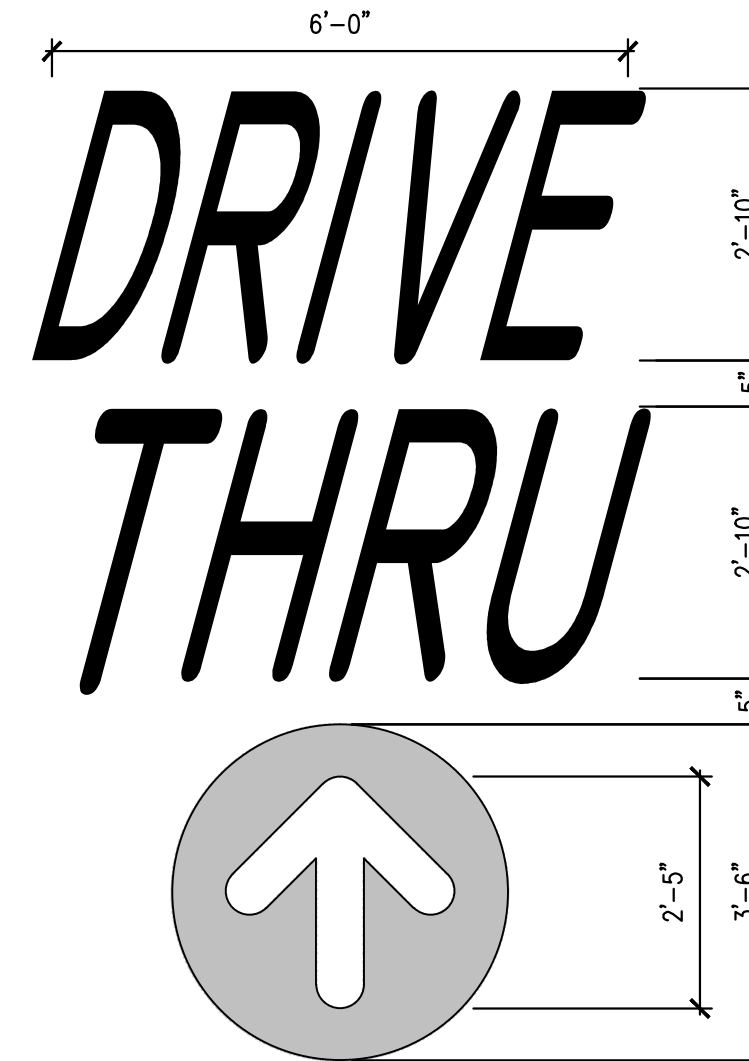
7 SD1 SIDEWALK AT LANDSCAPE
SCALE: 1" = 1'-0"



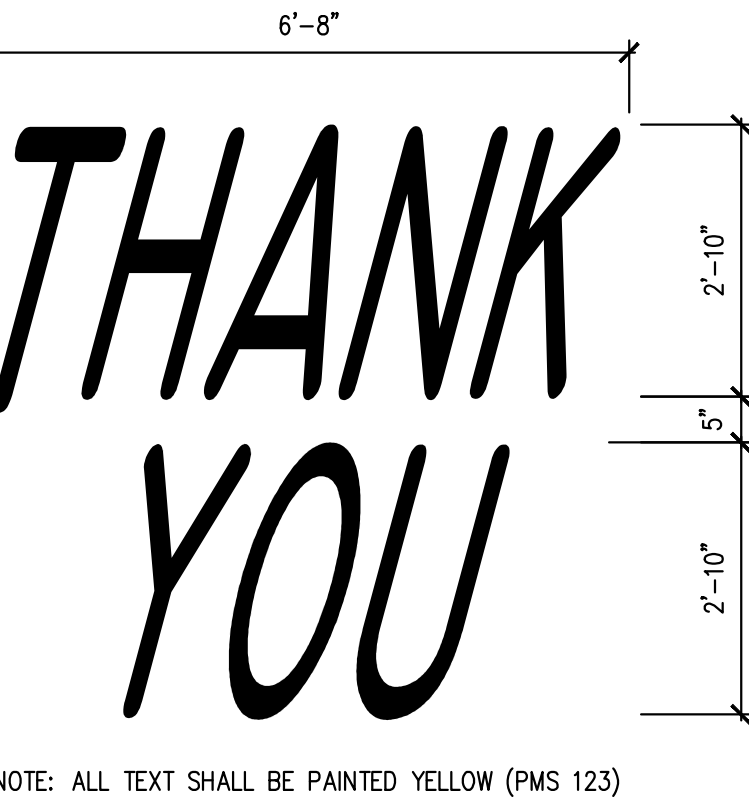
8 SD1 IN-LINE CURB RAMP DETAIL
SCALE: NOT TO SCALE



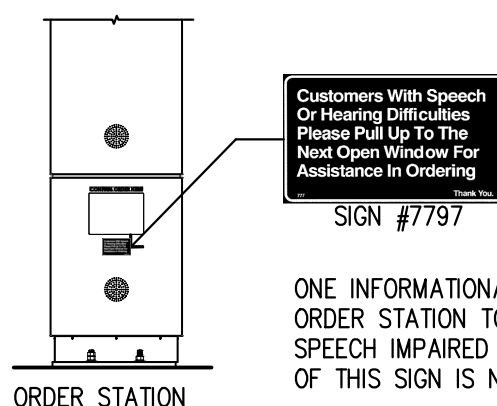
1 SD1 TYPICAL PAVEMENT MARKINGS
SCALE: NOT TO SCALE



2 SD1 PAINTED "DRIVE-THRU" WITH ARROW
SCALE: NOT TO SCALE



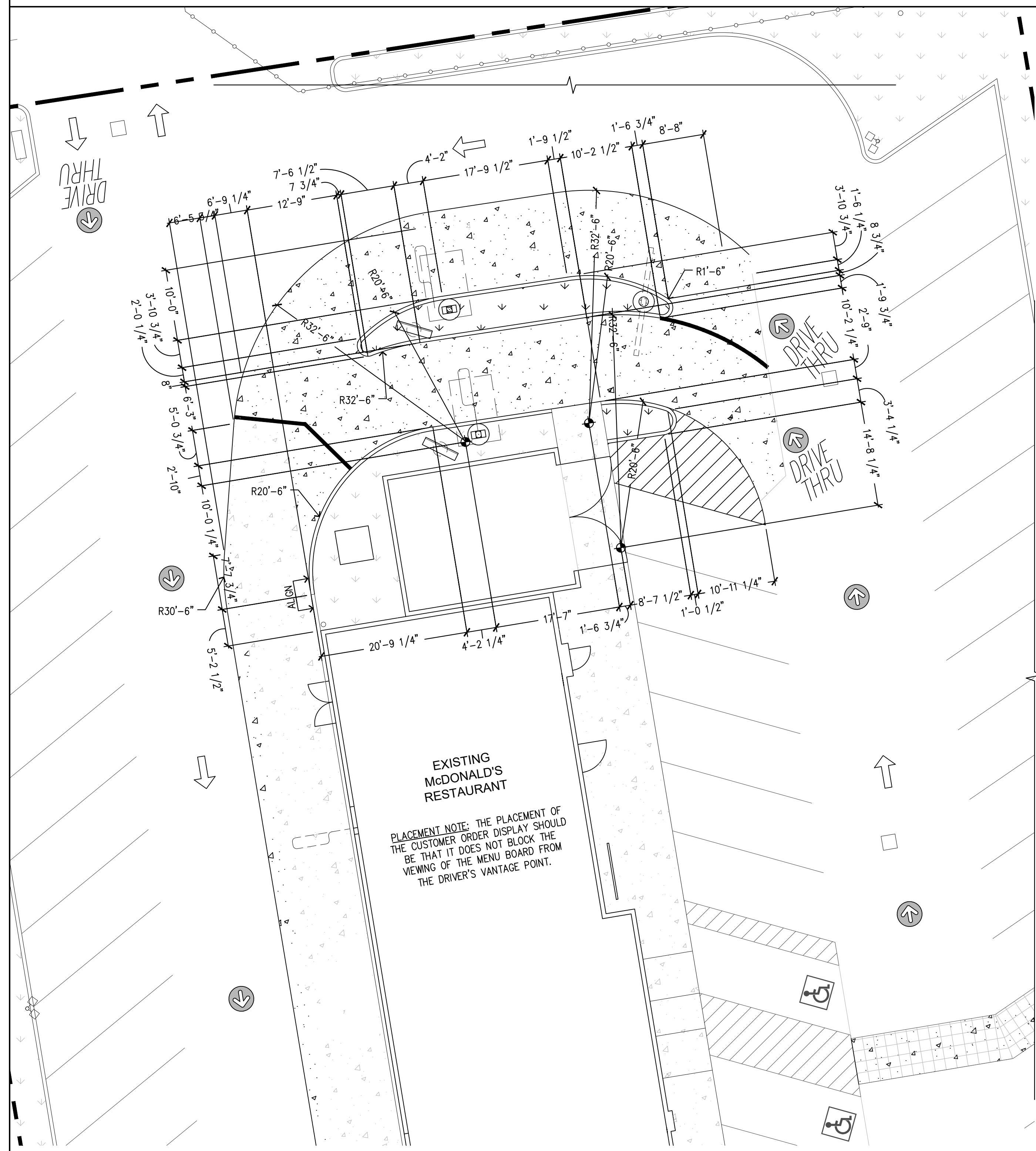
3 SD1 PAINTED "THANK YOU"
SCALE: NOT TO SCALE



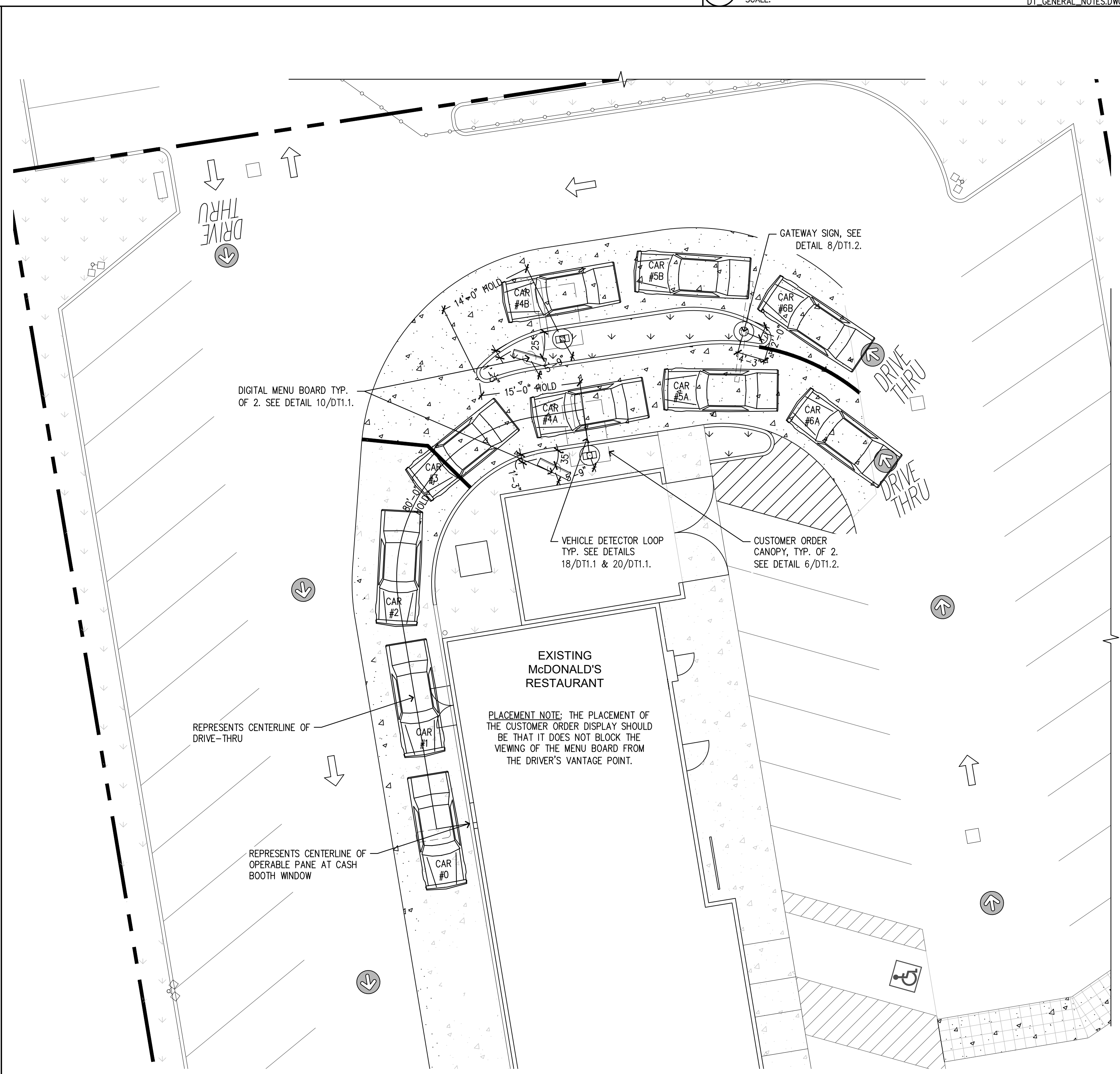
4 SD1 SPEECH/ HEARING IMPAIRED SIGN @ C.O.D.
SCALE: NOT TO SCALE

TITLE	SIDE-BY-SIDE DRIVE THRU REMODEL	DRWN BY	PP21-210
DESCRIPTION	NEW SBS DRIVE THRU AT EXISTING BUILDING	STD ISSUE DATE	JUL 2021
SHEET NO.	SD1	REVIEWED BY	SEM
SITE ID	36-0189	DATE ISSUED	JUL 2021
SITE ADDRESS	3995 Richey St. SE Salem, OR 97301		
PREPARED BY	Magellan Architects		
ARCHITECTS	8333 158th Avenue Northeast, Suite 280 Redmond, Washington 98052 Tel (425) 885-4300 Fax (425) 885-4303 www.magellanarchitects.com		
REGISTERED ARCHITECT	ASHLEY E. GRUBBS KIRKLAND, WA		
STATE OF OREGON			
REV	DATE	DESCRIPTION	BY
1	07/31/22	PLAN REVIEW COMMENTS	MA
2	02/01/22	PLAN REVIEW COMMENTS	MA
-		PERMIT SUBMITAL	MA
			BY

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 DRIVE THRU APPROACH - DIMENSIONS
SCALE: 1" = 10'-0"



DRIVE THRU APPROACH - SIGNAGE

GENERAL NOTES:

1. THE LOCATION AND ORIENTATION OF MENU BOARDS AND PRE-SELLS WERE DETERMINED BY THE SIGHT LINES OF THE CARS SHOWN. THE CARS WERE POSITIONED ACCORDING TO THE MAX. AMOUNT OF CARS DURING A PEAK PERIOD. ALL DIMENSIONS SHOWN ARE BASED UPON PROTOTYPICAL LAYOUTS SHOWN. ACTUAL DIMENSIONS TO BE BASED ON SITE SPECIFIC CONFIGURATIONS AND THE REQUIREMENTS OF NOTES 2, 3 & 4.
2. MENU BOARDS ARE ORIENTATED FOR VIEWING BY CARS 4A & 4B (PRIMARY USERS) & CARS 5A & 5B (SECONDARY USERS).
3. PRE-BROWSE MENU BOARDS ARE ORIENTED FOR VIEWING BY CARS 5A & 5B.
4. PROVIDE TWO CIRCUITS PER MENU BOARD. ONE CIRCUIT FOR LIGHTS AND ONE ONE CIRCUIT WITH LOCK FOR MOTOR AND CONTROLLER.
5. ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
6. CONTRACTOR & SIGN INSTALLER TO INSTALL ALL SIGNS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

1 DRIVE-THRU GENERAL NOTES

DT1.0 SCALE: - DT_GENERAL_NOTES.DWG

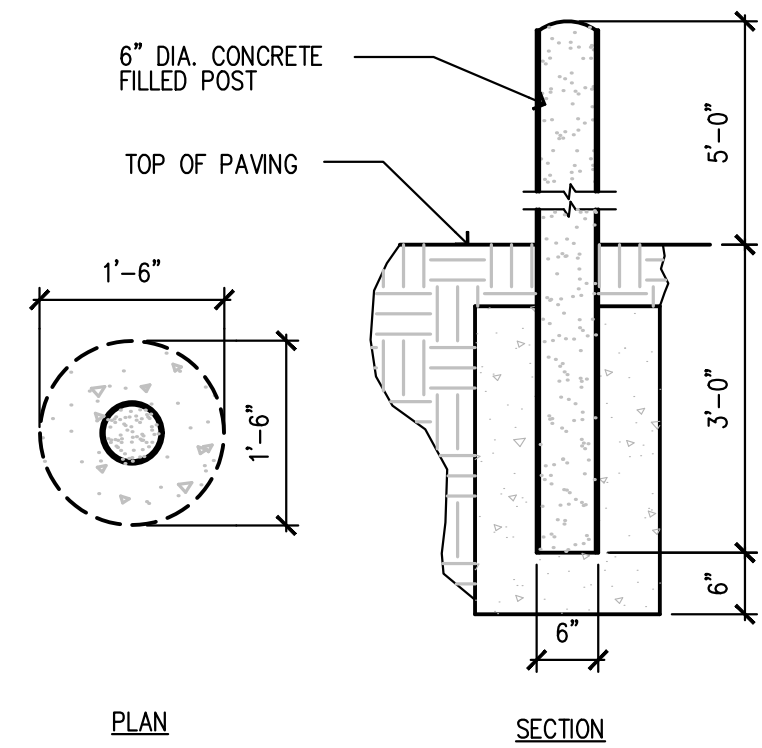
REGISTERED ARCHITECT
SHERRI E. GRUENEIS
KIRKLAND, WA
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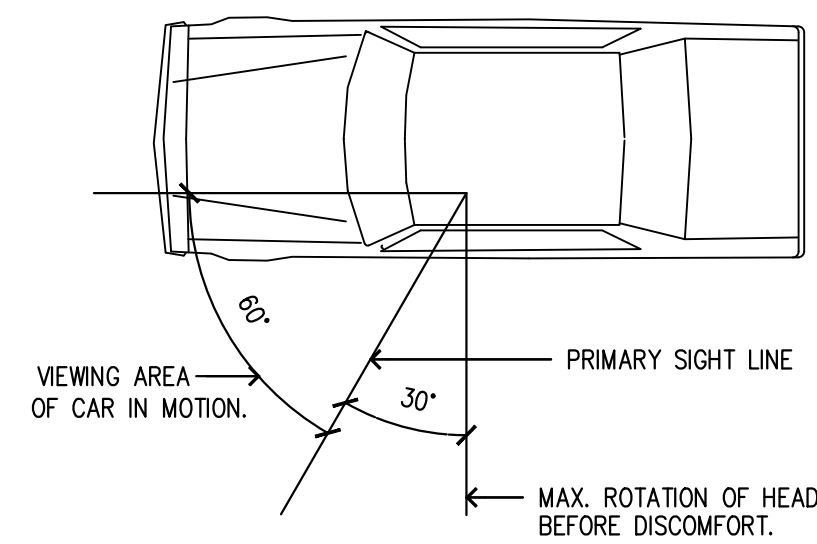
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DATE	DESCRIPTION	DATE ISSUED	DATE REVIEWED	DATE
07/01/2021	NEW SBS DRIVE THRU AT EXISTING BUILDING	07/01/2021	07/01/2021	07/01/2021



D/T POST DETAIL

SCALE: NOT TO SCALE

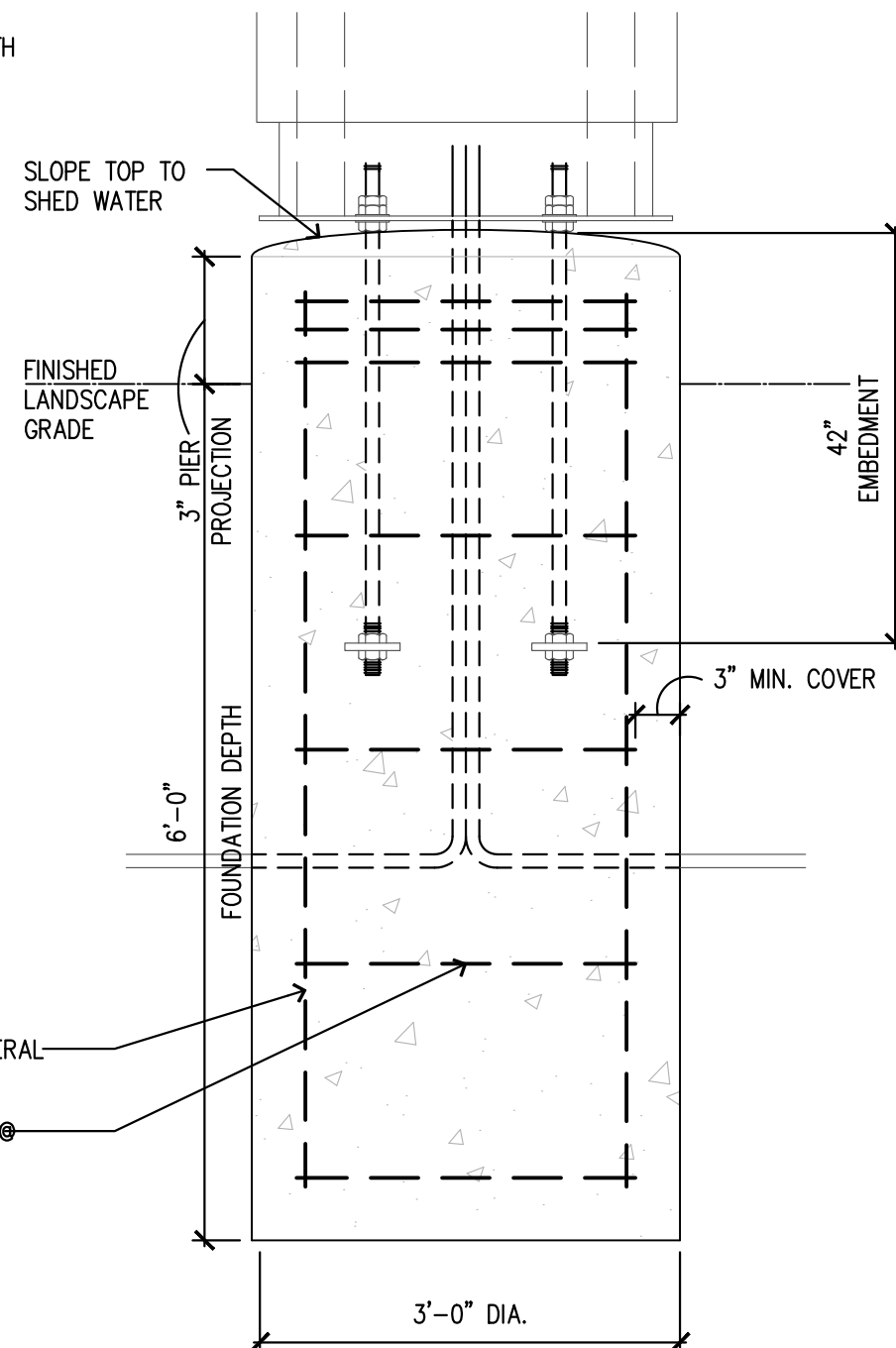


VEHICLE SIGHT LINES

SCALE: NOT TO SCALE

NOTE:

- USE 3000 PSI CONCRETE COMPRESSIVE STRENGTH (f'c)
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)
- PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL
- ALL REINFORCING BY GENERAL CONTRACTOR



(8) #6 VERTICALS SUPPLIED BY GENERAL-
CONTRACTOR

#3 TIES @ 12" O.C. W/ (3) #3 TIES @
TOP 5" SUPPLIED BY GENERAL
CONTRACTOR

NOTE:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/ LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

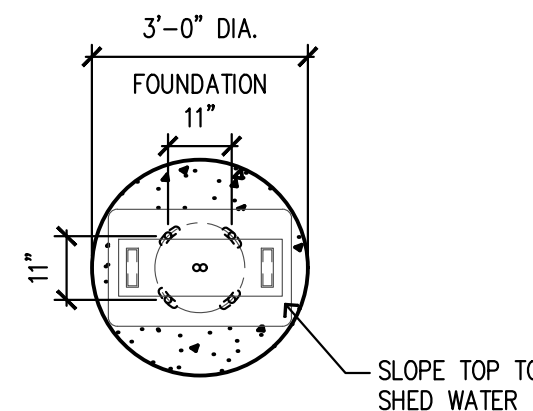


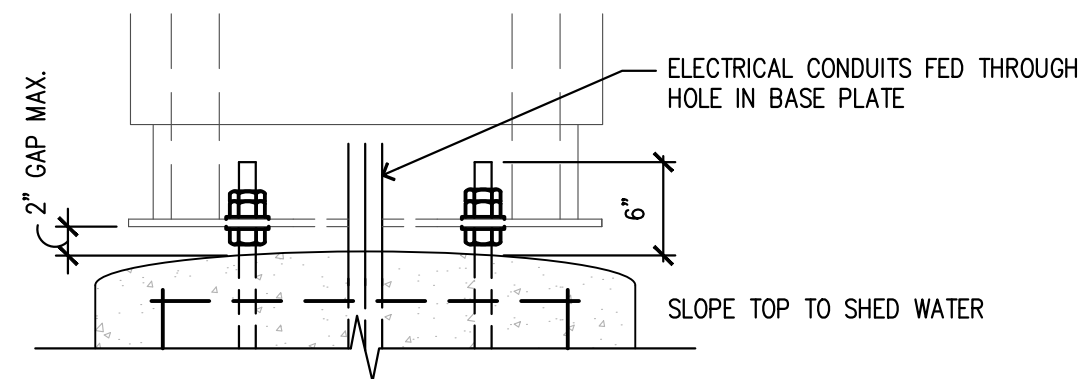
Diagram illustrating the assembly components for the leveling nut:

- 1/2 HEIGHT LOCK NUT (GALVANIZED)
- HEAVY HEX NUT (GALVANIZED)
- PLATE WASHERS (GALVANIZED)
- HEAVY HEX LEVELING NUT (GALVANIZED)
- PER MFR.

ANCHOR BOLT

NOTE:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/ LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



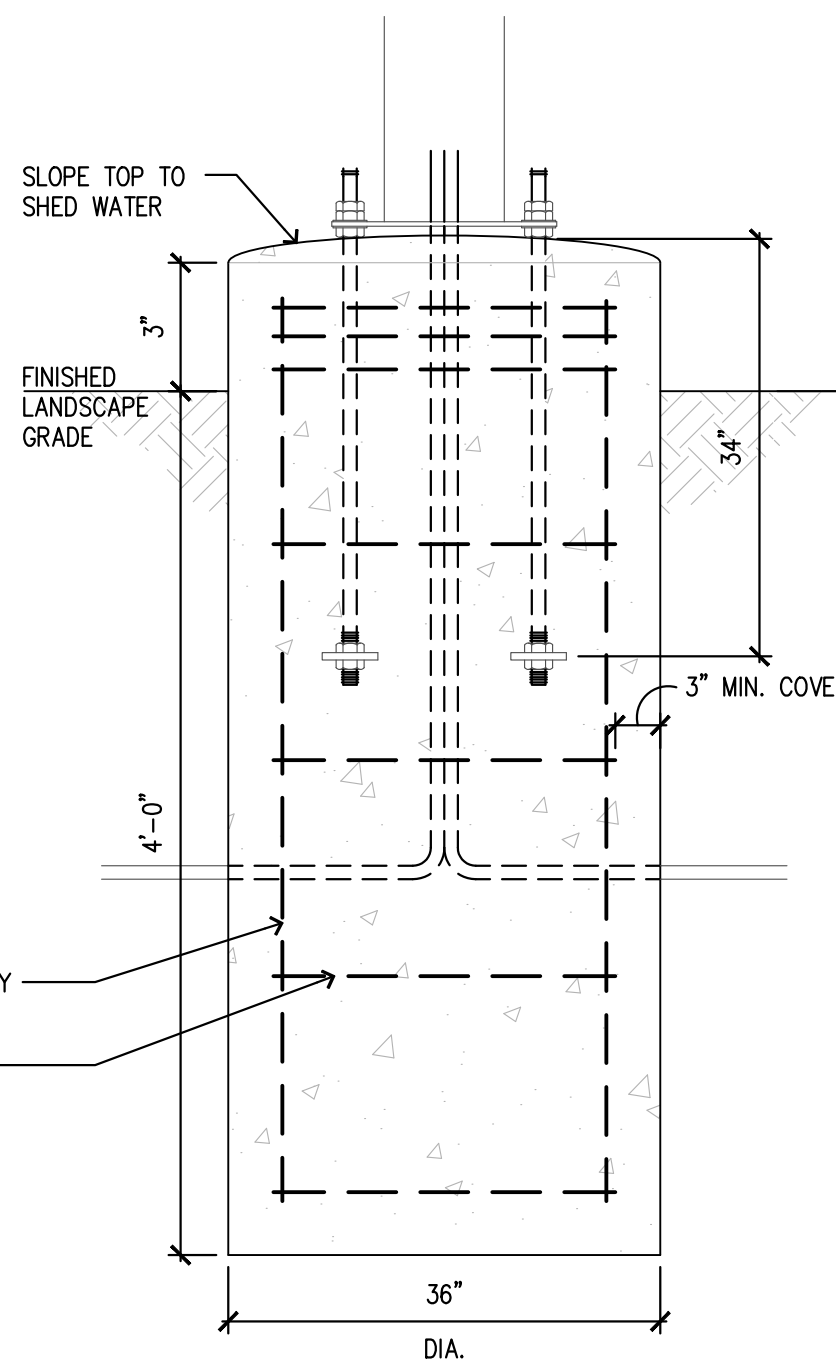
CONNECTION DETAIL

6

- DT1.2 SCALE: NOT TO SCALE

NOTE:

- USE 3000 PSI CONCRETE COMPRESSIVE STRENGTH (f_c)
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2).
- 3" MIN. CONCRETE COVER FOR REINFORCEMENT
- ALL REINFORCING BY GENERAL CONTRACTOR

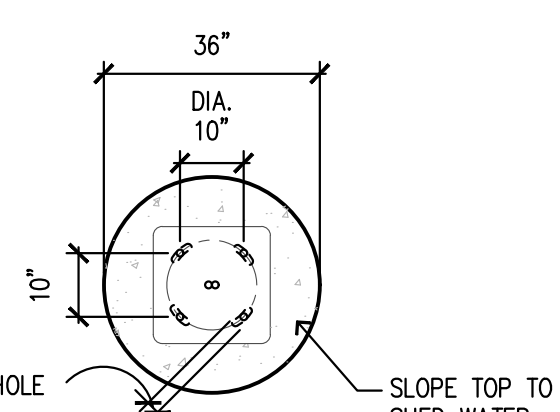


(12) 6'-10" #6 VERTICALS SUPPLIED BY
GENERAL CONTRACTOR

#3 TIES @ 12" O.C. W/ (3) #3 TIES @
TOP 5" SUPPLIED BY GENERAL
CONTRACTOR

NOTE:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- HOT DIPPED GALVANIZED BOLTS
- F1554 GRADE 36 ANCHOR BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/ LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



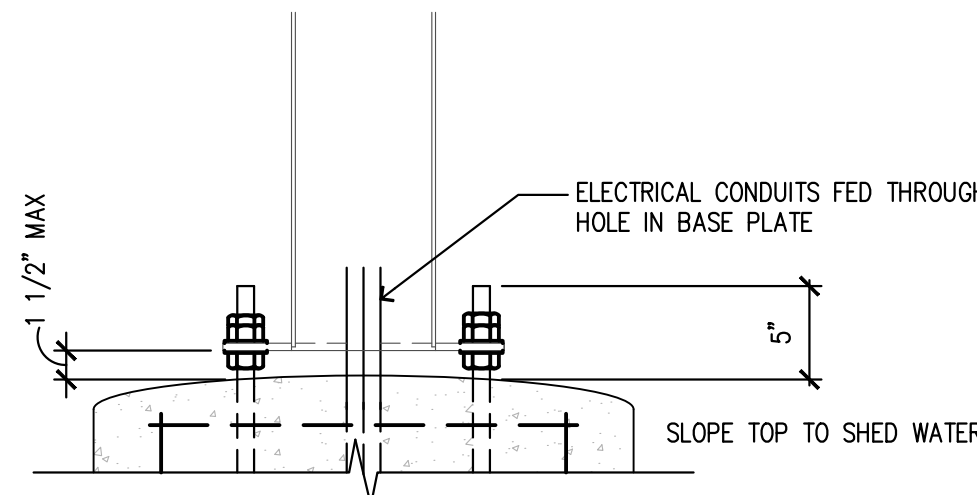
1/2" HEIGHT LOCK NUT (GALVANIZED)
 HEAVY HEX NUT (GALVANIZED)
 GALVANIZED WASHERS (SUPPLIED BY MFR.)
 HEAVY HEX LEVELING NUT (GALVANIZED)

3/4" DIA. GRADE 55 HOT
DIPPED GALVANIZED
ANCHOR BOLT

ANCHOR BOL

NOTE:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/ LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAIL

- DT1.2) SCALE: NOT TO SCALE

1

[illegible]

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SHEET NO.	TITLE	DRAWN BY
DT1.2	SIDE-BY-SIDE DRIVE THRU REMODEL NEW SBS DRIVE THRU AT EXISTING BUILDING	REVIEWED BY SEM
		DATE ISSUED JUL 2021
PP21-210		
DRIVE-THRU DETAILS	SITE ID	SITE ADDRESS 3995 Riskey St. SE Salem, OR 97301
	36-0189	