# LAND USE SUBMISSION

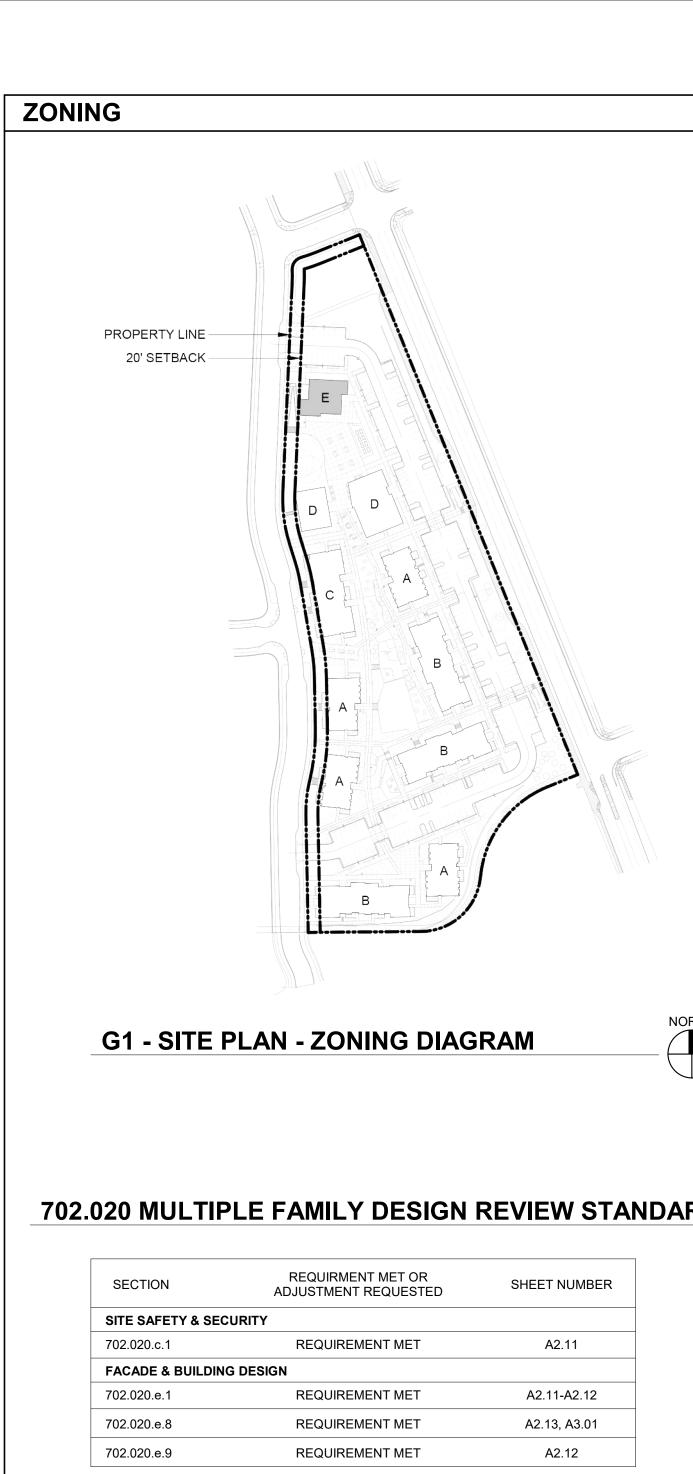
1.11.2022



# CDP SALEM - BUILDING E

5205 BATTLE CREEK RD SE SALEM, OR 97306





#### 702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

SECTION	REQUIRMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER		
SITE SAFETY & SECURITY				
702.020.c.1	REQUIREMENT MET	A2.11		
FACADE & BUILDING DESIGN				
702.020.e.1	REQUIREMENT MET	A2.11-A2.12		
702.020.e.8	REQUIREMENT MET	A2.13, A3.01		
702.020.e.9	REQUIREMENT MET	A2.12		

REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.

**GENERAL PROJECT NOTES** 

DISCREPANCY PRIOR TO CONTINUING WITH WORK.

GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS: DO NOT SCALE DRAWINGS TO

DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY

- GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY
- THE ARCHITECT. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE
- INSPECTIONS FOR REFERENCE DURING CONSTRUCTION. D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION. 1. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
- 12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE
- WORK UNDER THIS CONTRACT. 14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC. 15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL
- 16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY
- OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY. 17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.

## **PROJECT TEAM**

OWNER	CDP OREGON LLC 126 NE ALBERTA ST #202 PORTLAND, OR 97211 TEL: 971.533.7466 FAX: N/A CONTACT: THOMAS ELDRIDGE EMAIL: THOMAS@COMMUNITYDEVPARTNER
CONTRACTOR	LMC CONSTRUCTION 19200 SW TETON AVE TUALATIN, OR 97062 TEL: 503.646.0521 FAX: 503.646.6823 CONTACT: CHRIS DUFFIN EMAIL: CHRISD@IMCCONSTRUCTION.COM
ARCHITECT	SCOTT   EDWARDS ARCHITECTS, LLP 2525 E. BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: DAVE MOJICA EMAIL: DMOJICA@SEALLP.COM
CIVIL ENGINEER	WES TECH ENGINEERING 3841 FAIRVIEW INDUSTRIAL DR SE #100

IERS.COM

SALEM, OR 97302 TEL: 503.585.2474 FAX: N/A

CONTACT: STEVE WARD EMAIL: SWARD@WESTECH-ENG.COM LANDSCAPE PLACE
ARCHITECT 735 NW 18TH AVENUE

PORTLAND, OR 97209

TEL: 503 334 2080 FAX: N/A CONTACT: MAURICIO VILLARREAL EMAIL: MAURICIO.VILLARREAL@PLACE.LA

STRUCTURAL STONEWOOD STRUCTURAL ENGINEERS, INC 2001 NW 19TH SUITE 103A PORTLAND, OR 97209 TEL: 360.216.1704 FAX: N/A CONTACT: D. SCOTT NYSETH

EMAIL: SCOTT.NYSETH@STONEWOODSTRUCTURAL.COM INTERFACE 100 SW MAIN STREET, SUITE 1600 PORTLAND, OR 97204 TEL: 503.382.2266 FAX: 503.382.2262

EMAIL: KIMW@INTERFACEENG.COM

CONTACT: KIM WALL

TWO STORY GLULAM COMMUNITY BUILDING FEATURING TWO PROJECT DESCRIPTION: LARGE MEETING SPACES AND SEVERAL OFFICES. GROSS AREA: 4,730 SF 5205 BATTLE CREEK RD SE PROJECT ADDRESS: SALEM, OR 97306 LEGAL DESCRIPTION: 083W14/ 118 AND 300

SHEET INDEX

GENERAL

G0.01

ARCHITECTURAL

A0.20

A2.11

A2.12

A2.13

A3.01

A3.02

A3.10

SHEET # SHEET NAME

**ASSEMBLIES** 

**ROOF PLAN** 

RENDERS

BASEMENT PLAN

GROUND FLOOR PLAN

**EXTERIOR ELEVATIONS** 

**EXTERIOR ELEVATIONS** 

**BUILDING SECTIONS** 

GENERAL PROJECT INFORMATION

ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

# SEPARATE PERMITS AND DEFERRED SUBMITTAL **BIDDER DESIGN ITEMS**

CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.

UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

#### SEPARATE PERMITS:

**DEMOLITION PERMIT** 2. SIGNAGE PERMIT

. ELEVATOR

**DEFERRED SUBMITTALS:** 

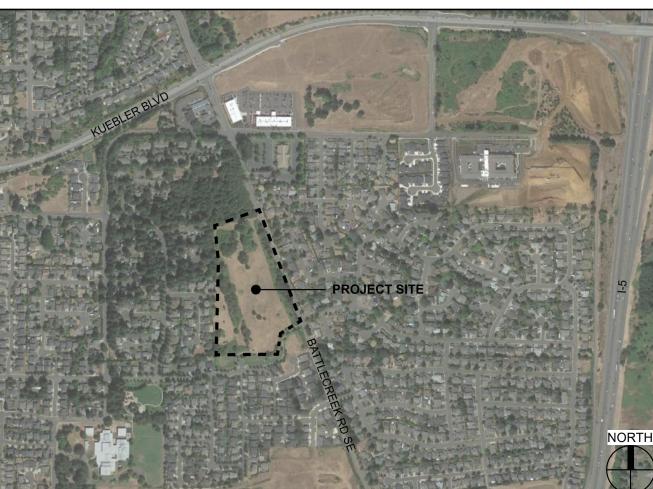
PROJECT SUMMARY

ZONING:

- 2. FIRE SPRINKLER SYSTEM FIRE DETECTION AND ALARM SYSTEM
- . FIRE DEPARTMENT ACCESS KEY BOX HANGERS AND SUPPORT FOR HVAC
- VIBRATION AND SEISMIC CONTROLS FOR HVAC LATERAL BRACING AND ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT WEIGHING MORE THAN 75 LBS (EXCEPTIONS PER ASCE 7, SECTION 13.1.4) 8. PRE-ENGINEERED MANUFACTURED TRUSSES
- 9. WOOD CHORD METAL WEB TRUSSES 10. STAIR FRAMING
- 11. CURTAINWALL SYSTEMS 12. PHOTO VOLTAIC PANEL ATTACHMENT AND BALLAST

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.

**VICINITY MAP** 



2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com



**CDP SALEM -BUILDING E** 

Job Number: 5205 BATTLE CREEK RD SE **SALEM, OR 97306** 

**LAND USE** 

Drawing:

**GENERAL PROJECT INFORMATION** 

1.11.2022

DATE

ALCOVE: PARALLEL APPROACH

TURNING SPACE: CIRCULAR

TURNING SPACE: T-SHAPED

48" MIN

+-----i

REQUIRED FLOOR AREA

12" 36" MIN

MIN

60" MIN

REQUIRED CLEAR FLOOR AREAS

(c) HINGE APPROACH PULL SIDE

(e) HINGE APPROACH PUSH SIDE

(g) LATCH APPROACH PUSH SIDE

\* 48" MIN IF CLOSER IS

FIRE EXTINGUISHER

COAT HOOK

¦ □>

\_\_\_\_

\* IF BOTH CLOSER AND

LATCH ARE PROVIDED

\*\* 48" MIN IF BOTH CLOSER AND LATCH ARE PROVIDED

A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICATION. B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND \* IF BOTH CLOSER PROPOSED WORK.

42" MIN.

(d) HINGE APPROACH PULL SIDE

\* 54" MIN IF CLOSER IS PROVIDED

(f) LATCH APPROACH PULL SIDE

- UNIVERSAL HC SYMBOL PAINTED HIGHWAY WHITE (TWO COATS) - BACKGROUND PAINTED BLUE TO MATCH COLOR #15090 IN FED. STD. 595A GRID SHOWN FOR

REFERENCE ONLY

SIGNAGE

STANDARD MOUNTING HEIGHTS AND CLEARANCE REQUIREMENTS DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY - MIRROR 18" - INSULATED 8" MIN KNEE HIGH 6" MIN. + + PIPE WRAP TOILET ROOM ACCESSORIES ACCESSIBLE TOILET AND GRAB BARS LAVATORY 8" TYP. @ DOORS 5" MAX FIRE STROBE SIGNAGE 

DRINKING FOUNTAIN SPOUT

ELECTRICAL DEVICES AND CONTROLS

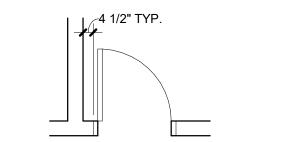
**ABBREVIATIONS** POUND OR NUMBER ΑT **GAUGE** RADIUS OR RISER CENTERLINE GALV GALVANIZED RETURN AIR ANGLE GENERAL CONTRACTOR RESILIENT BASE DIAMETER OR ROUND **ROOF DRAIN** GALVANIZED IRON REC RECOMMENDATION GLULAM **ANCHOR BOLT** GND GROUND REF REFERENCE AC ASPHALTIC CONCRETE GRADE REFR REFRIGERATOR ACT GYPSUM BOARD ACOUSTIC CEILING TILE GWB REINF REINFORCE(MENT) GYP REQ'D AREA DRAIN GYPSUM REQUIRED ADJ ADJUSTABLE GYP BD GYPSUM BOARD RESIL RESILIENT AFF ABOVE FINISH FLOOR REVISIONS AFG ABOVE FINISH GRADE HOSE BIB RESILIENT FLOOR ALT RIGHT HAND ALTERNATE HC **HOLLOW CORE** ALUM ALUMINUM HDR ROOM HEADER ANOD HDWD RO **ROUGH OPENING** ANODIZED HARDWOOD APPROX APPROXIMATE / HDWR ROW RIGHT OF WAY HARDWARE APPROXIMATELY HM **HOLLOW METAL** RAIN WATER LEADER ARCH ARCHITECTURAL / HNDCP HANDICAP ARCHITECT HORIZ HORIZONTAL SOUTH ASPH ASPHALT SUPPLY AIR HORSE POWER SAM HPL HIGH PRESSURE LAMINATE SELF ADHERED MEMBRANE BOTTOM OF CURB HR SOLID CORE BD BOARD HSS SCHEDULE HOLLOW STRUCTURAL STEEL SCHED BITUM BITUMINOUS HEIGHT SECTION BLDG BUILDING HEATING VENTILATING AIR SQUARE FOOT BLK BLOCK CONDITIONING SHEET BLKG BLOCKING HOT WATER SHTHG SHEATHING BLW BELOW SHOWER во **BOTTOM OF** INSIDE DIAMETER SIM SIMILAR BOT BOTTOM INVERT ELEVATION SHEET METAL BRG **BEARING** INCHES SOLID PIPE BTWN BETWEEN INSUL INSULATION **SPECIFICATIONS** SPEC BUR **BUILT UP ROOF** INT INTERIOR SPK SPEAKER SQ SQUARE CAB CABINET JUNCTION BOX SS STAINLESS STEEL CB CATCH BASIN JOIST HANGER SSK SERVICE SINK CFM **CUBIC FEET PER MINUTE** JOIST SSM SOLID SURFACE MATERIAL CAST IRON JOINT STA STATION CIP CAST IN PLACE STD STANDARD CJ CONTROL JOINT KILN DRIED STEEL STL CENTERLINE KIT KITCHEN STN STAIN CLG CEILING KILOWATT STR STRUCTURAL CLR CLEAR STRUCT STRUCTURAL CMU CONCRETE MASONRY UNIT LAMINATED SUSP SUSPENDED CO CLEAN OUT LAV LAVATORY SYM SYMMETRICAL CO CLEAN OUT LEADER BOX COL COLUMN LEFT HAND TREAD OR TILE CONC CONCRETE LKR LOCKER T&G TONGUE AND GROOVE CONN CONNECTION LT LIGHT T/M TO MATCH CONT CONTINUOUS LTWT LIGHTWEIGHT TOP OF CURB CPT CARPET TELEPHONE TEL CSMT CASEMENT MATERIAL TEMP **TEMPERATURE** CERAMIC TILE MAX MAXIMUM TER TERRAZZO CTSK COUNTERSUNK MB MACHINE BOLT THK THICK / THICKNESS CW COLD WATER MEDICINE CABINET MC TOOL JOINT CWD CLAD WOOD MECH MECHANICAL TLT TOILET MFR MANUFACTURER TO TOP OF DOUBLE MANHOLE TOC TOP OF CONCRETE DEG DEGREE MINIMUM TOP TOP OF PARAPET DEPT DEPARTMENT MIRROR TOS TOP OF STEEL DET DETAIL MISCELLANEOUS MISC TOSF TOP OF SUB-FLOOR DOUGLAS FIR DF TOP OF WALL MASONRY OPENING TOW DOUBLE HUNG DIA DIAMETER MTD MOUNTED TUBE STEEL DIAG DIAGONAL MTL METAL **TELEVISION** DIM DIMENSION MULL MULLION **TYPICAL** TYP DISP GARBAGE DISPOSAL DN DOWN NEW UNDERWRITER'S DO DOOR OPENING NORTH LABORATORY DAMP PROOF NOT IN CONCRACT UNF UNFINISHED DOOR UNO UNLESS NOTED OTHERWISE NO NUMBER DOWNSPOUT NOM NOMINAL URINAL DSP DRY STANDPIPE NTS NOT TO SCALE DTL DETAIL VAPOR BARRIER DW DISHWASHER VCT OBS OBSCURE VINYL COMPOSITION TILE DWG DRAWING ON CENTER VERT VERTICAL DWR DRAWER VERIFY OUTSIDE DIAMETER OFCI OWNER FURNISHED VERTICAL GRAIN **EXISTING** CONTRACTOR INSTALLED VERIFY IN FIELD EAST OFOI OWNER FURNISHED OWNER VENT PIPE INSTALLED EACH VAPOR RETARDER OPENING **EXPANSION JOINT** OPP OPPOSITE ELEC ELECTRICAL WEST OTS OPEN TO STRUCTURE ELEV **ELEVATION** WATT **EMER EMERGENCY** WITH PANTRY **ENCL ENCLOSURE** W/O WITHOUT PRECAST EQ **EQUAL** WATER CLOSET POURED IN PLACE EQUIP **EQUIPMENT** WOOD **EXIST** PLATE OR PROPERTY LINE **EXISTING** WINDOW PLAM PLASTIC LAMINATE EXP EXPOSED WIDE FLANGE PLAS EXT **EXTERIOR** PLASTIC WROUGHT IRON PLYWD PLYWOOD WHERE OCCURS PNT FIRE ALARM WATERPROOF POUNDS PER SQUARE FOOT FIBER CEMENT WATER RESISTANT POUNDS PER SQUARE INCH FLOOR DRAIN WRB WEATHER RESISTANT PRESSURE TREATED FDN FOUNDATION BARRIER PTD PAINTED FIRE EXTINGUISER WSCT WAINSCOT PVC POLYVINYL CHLORIDE FEC FIRE EXTINGUISHER CABINET WEIGHT WWF FG WELDED WIRE FABRIC **FIBERGLASS** QUARRY TILE FIN FINISH FLASH FLASHING FLR FLOOR FLUOR FLOURESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUD FIBERGLASS REINFORCED PLASTIC FRT FIRE RETARDANT TREATED FRZ FREEZER FOOT / FEET FTG FOOTING FURR **FURRING** FUT FUTURE

### **DIMENSIONS**

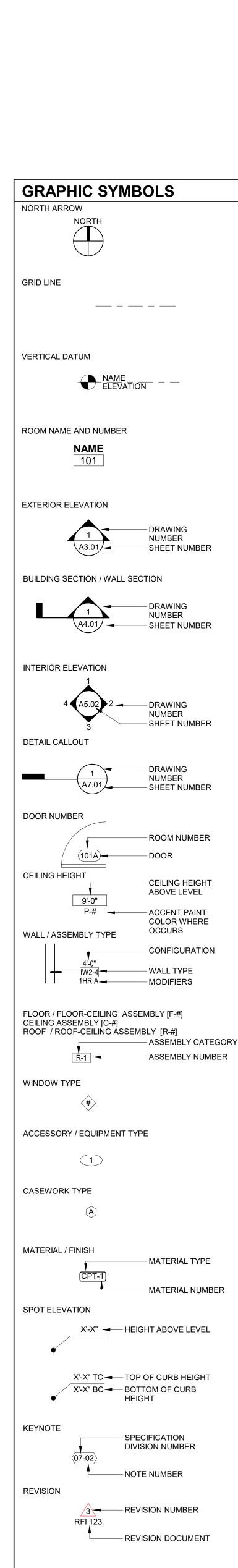
A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR

DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.

- B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A
- C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION
- D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.
- E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL. F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED



4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.



**SCOTT EDWARDS** ARCHITECTURE LLP.

2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com

**CDP SALEM BUILDING E** 

21031

**5205 BATTLE CREEK RD SE** 

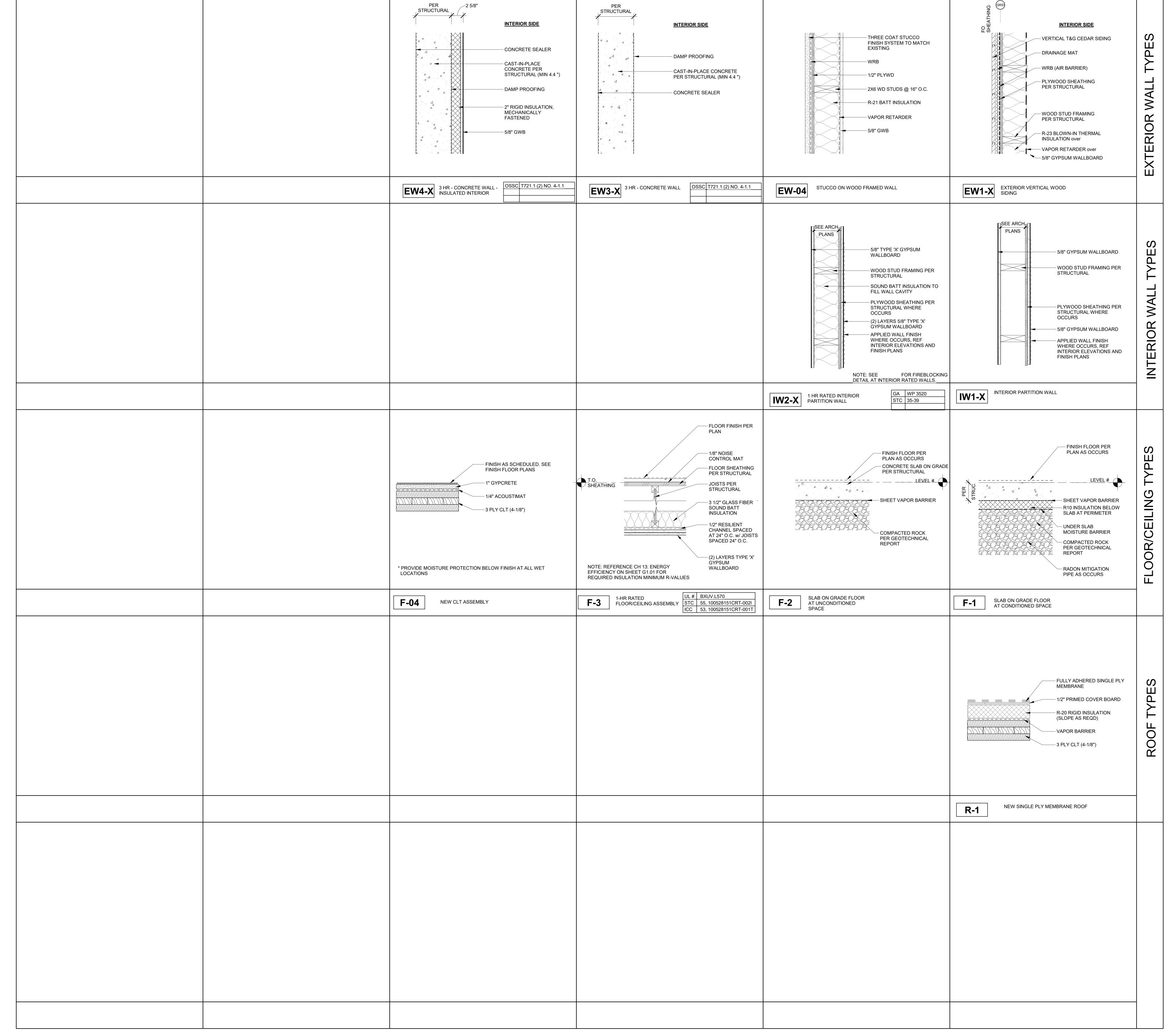
Job Number:

**SALEM, OR 97306** 

Development Partners

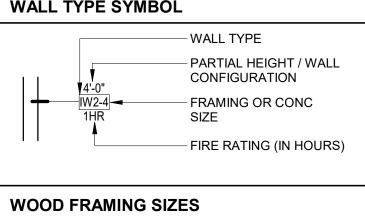
**LAND USE** 1.11.2022 ISSUE DATE Drawing: ARCHITECTURAL

**GENERAL NOTES AND DIAGRAMS** 



### **GENERAL SHEET NOTES**

- A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE. B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS,
- AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES. . MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
- . PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
- . PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS. . ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE. 6. WHERE PARTITIONS ARE SOUND RATED OR FIRE
- RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- AT WALLS WITH RESILIENT CHANNELS SEE DETAIL FOR ASSEMBLY DETAILS. . WHERE ACOUSTIC WALL IS INDICATED, SEE \_\_ FOR ASSEMBLY DETAILS. WALL TYPE SYMBOL



0 = MTL FURRING, 7/8" OR AS INDICATED

 $4 = 2" \times 4"$ 6 = 2" x 6" 8 = 2" x 8"

**ABBREVIATIONS** GA GYPSUM ASSOCIATION **BUILDING E** Job Number: **5205 BATTLE CREEK RD SE SALEM, OR 97306** 

**CDP SALEM** 

SCOTT EDWARDS ARCHITECTURE LLP.

2525 E Burnside Street, Portland, OR 97214

phone: (503) 226-3617 www.seallp.com



LAND USE ISSUE

Drawing:

**ASSEMBLIES** 

1.11.2022

DATE

THESE DRAWINGS ARE THE ORIGINAL UNPUB OF THE ARCHITECT AND MAY NOT BE DUPLIC WITHOUT THE WRITTEN CONSENT OF THE AR

1 GROUND FLOOR PLAN
1/4" = 1'-0"

**GENERAL SHEET NOTES** 

- A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
  B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
  C. ALL INTERIOR UNIT WALLS TO BE IW2-X.
- D. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES

  E. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY
- WITH FLOOR FINISHES

  F. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO
- DOOR NUMBERS G. SEE WINDOW SCHEDULE FOR WINDOW TYPES
  H. FOR FLOOR FINISHES, SEE A10.21 SCHEDULES &
- FINISH LEGENDS.

  I. WIRE SHELVING IN ALL BEDROOM CLOSETS

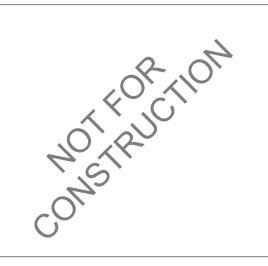
  J. M.E.P. INFORMATION PROVIDED FOR REFERENCE
- K. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN, REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS

  L. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN
- ALL UNITS M. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL

LEGEND	REF A0.01 FOR GENERAL LEGENDS
	1 HOUR RATED ASSEMBLY ELEMENT ABOVE  R-1 EPDM ROOF
O DS	8" CIRCULAR DOWNSPOUT
⊕ FD	FLOOR DRAIN
WH	WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS
))	
KEYNOTES	
KEYNOTES	

2525 E Burnside Street, Portland, OR 97214

phone: (503) 226-3617 www.seallp.com



CDP SALEM -**BUILDING E** 

Job Number: 5205 BATTLE CREEK RD SE SALEM, OR 97306

LAND USE SUBMISSION ISSUE

Drawing:

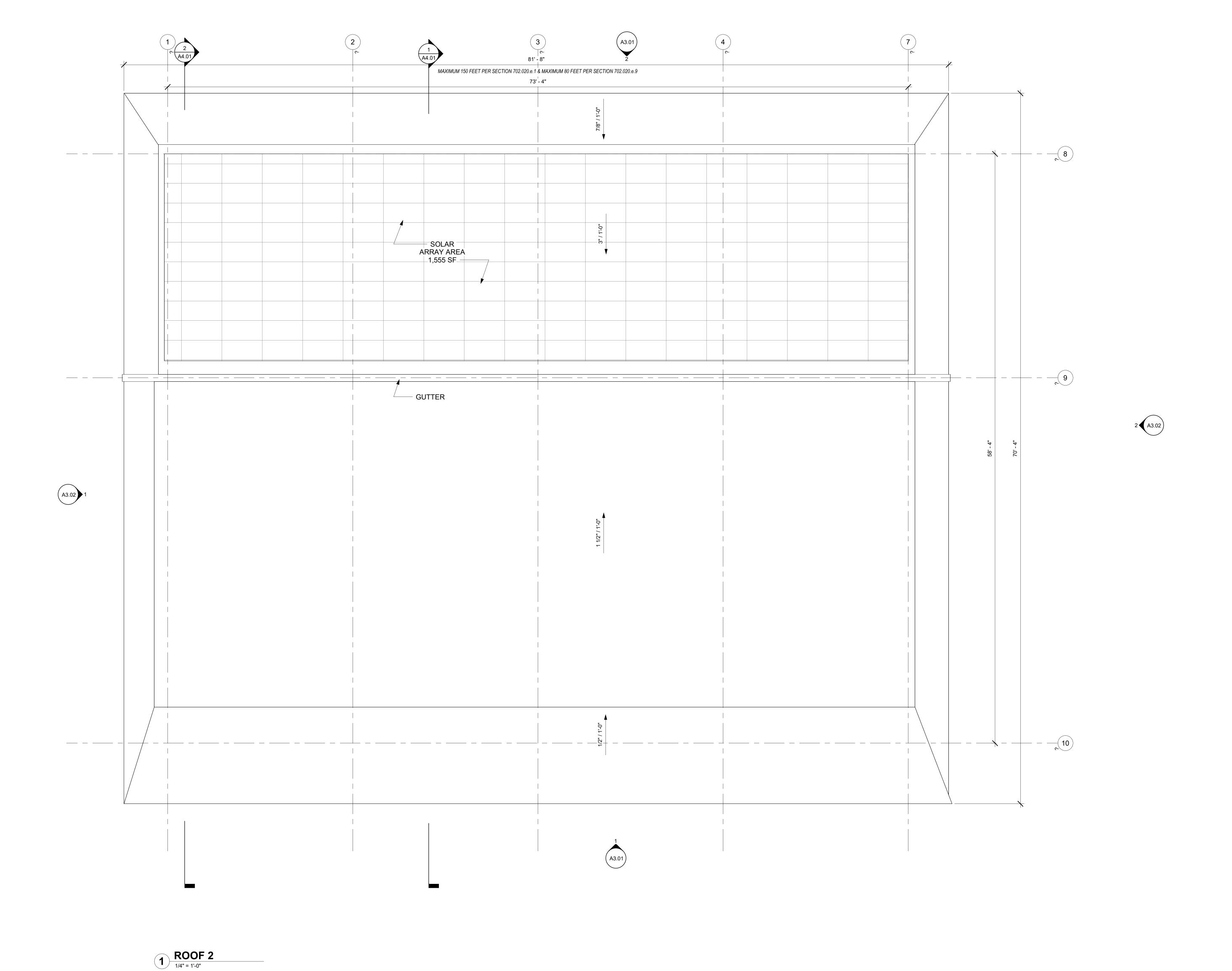
**GROUND FLOOR PLAN** 

1.11.2022

DATE

Sheet No: Building E -

A2.12



2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com

CDP SALEM

**BUILDING E** Job Number:

5205 BATTLE CREEK RD SE SALEM, OR 97306

LAND USE

DATE ISSUE

1.11.2022

Drawing:

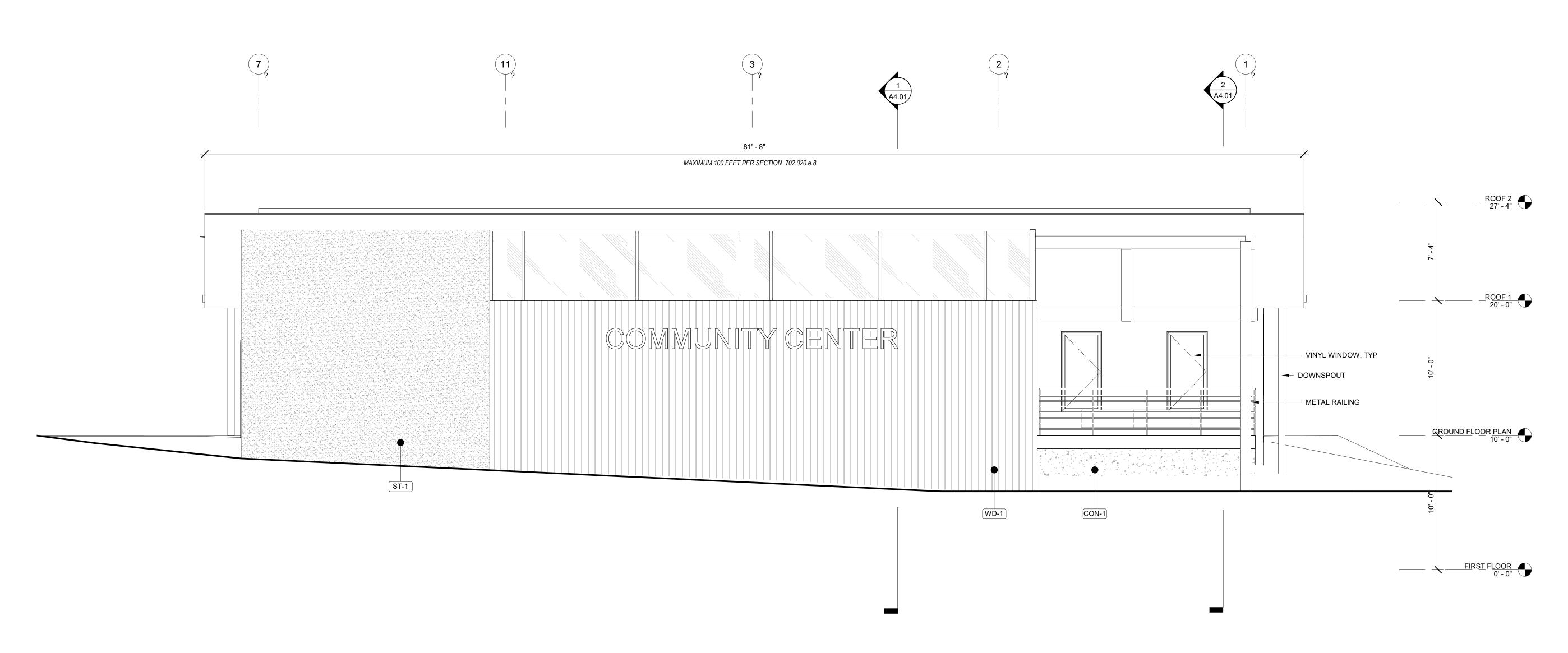
**ROOF PLAN** 

2 NORTH ELEVATION

1/4" = 1'-0"

1 SOUTH ELEVATION
1/4" = 1'-0"





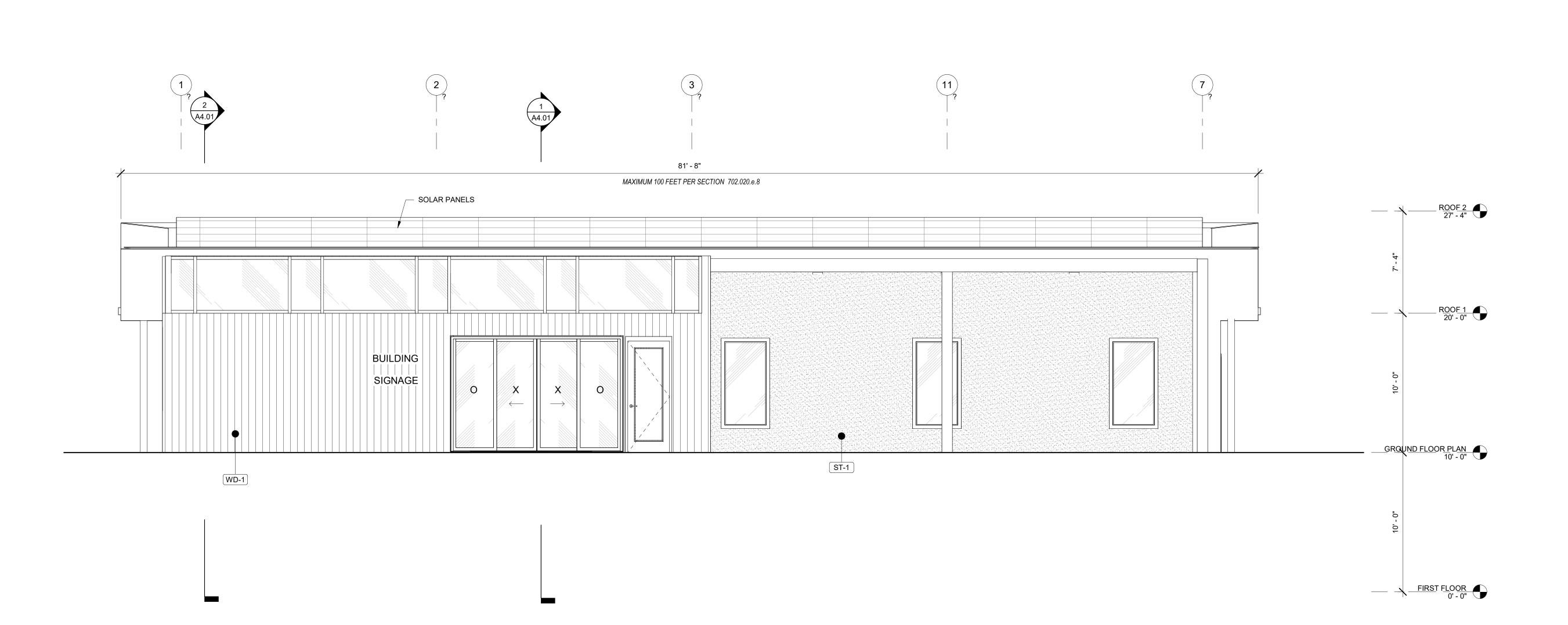
**GENERAL SHEET NOTES** A. REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
B. REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
C. CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
D. ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
E. PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
F. PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
G. TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS. **LEGEND** STUCCO PRODUCT: TBD FINISH: BLACK VERTICAL WOOD SIDING PRODUCT: TBD FINISH: TBD (WD-1)

CONCRETE WALL

2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com

SCOTT EDWARDS ARCHITECTURE LLP.

**CDP SALEM -BUILDING E** Job Number: 5205 BATTLE CREEK RD SE SALEM, OR 97306



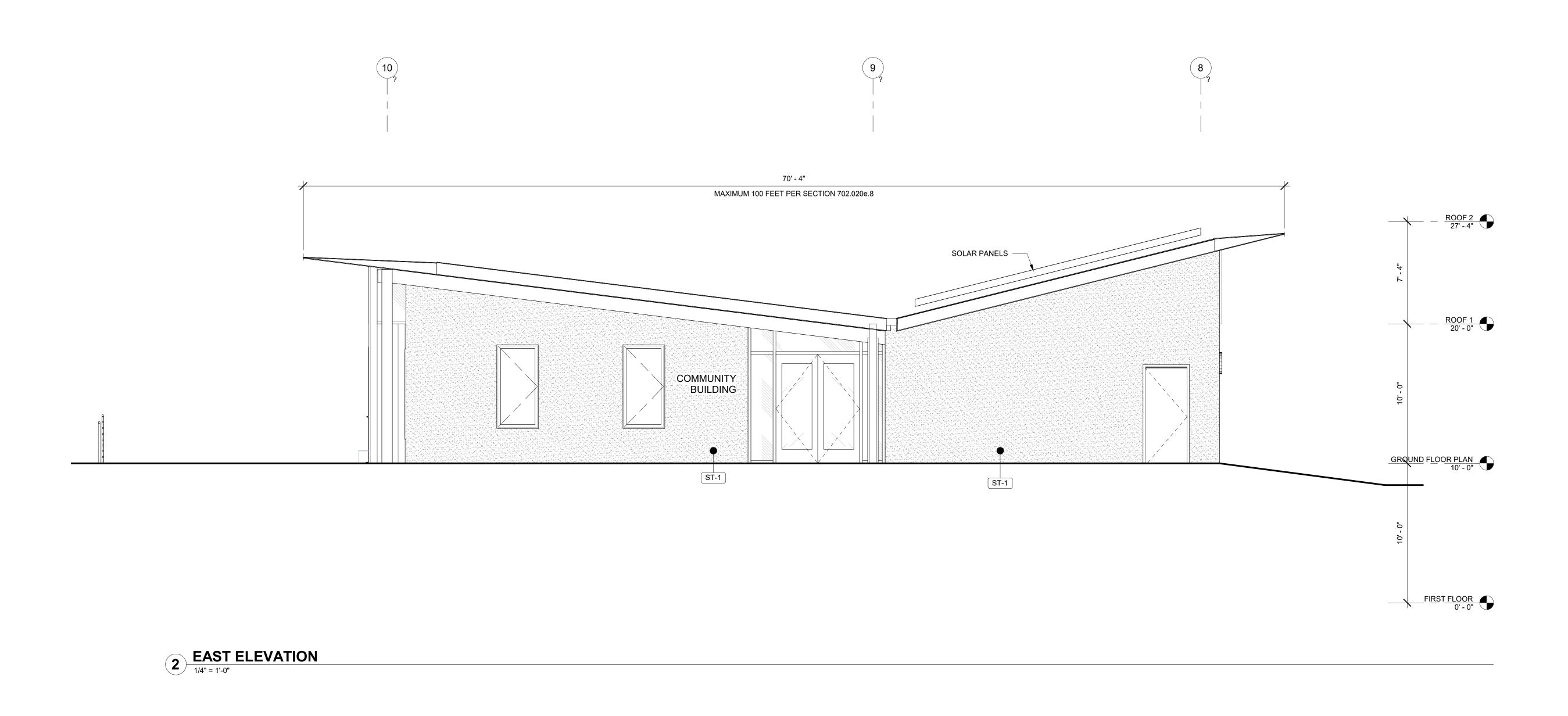
LAND USE SUBMISSION ISSUE

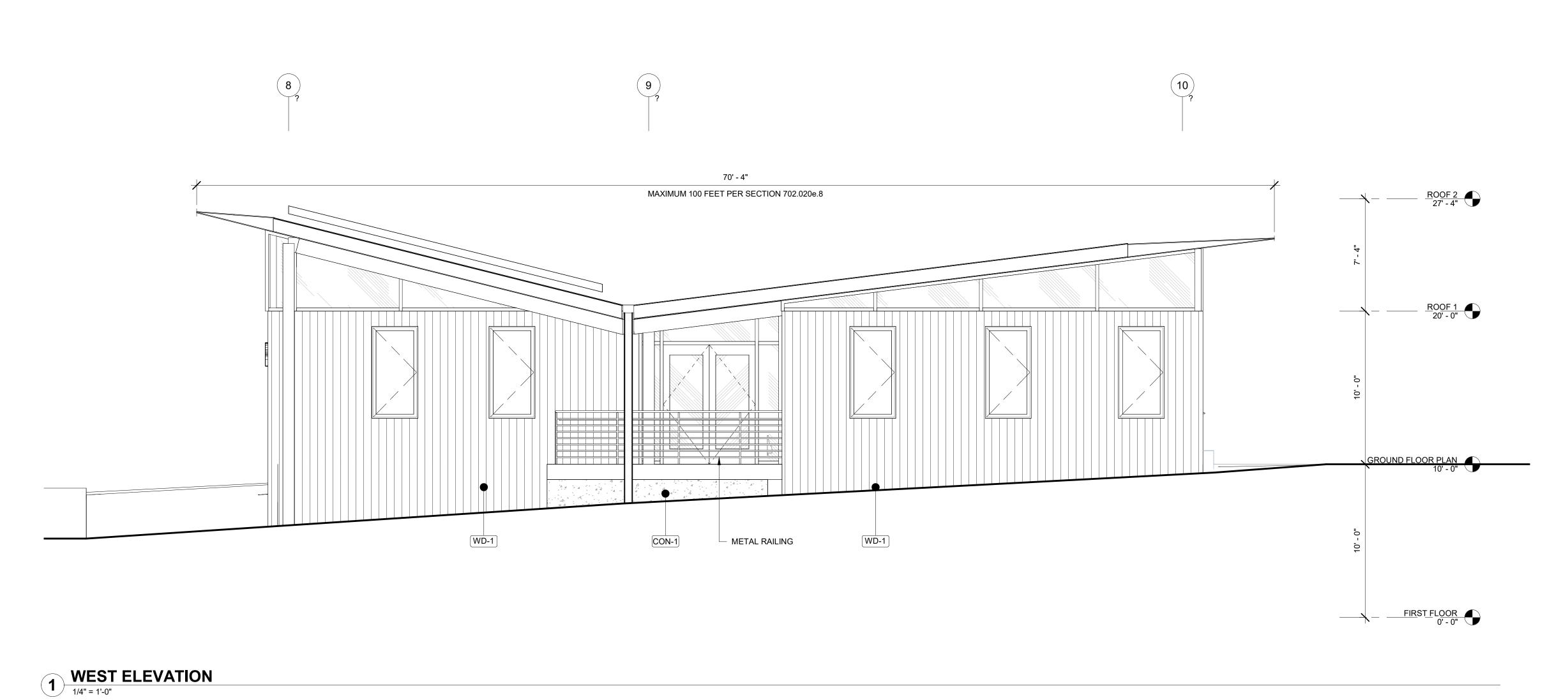
Drawing:

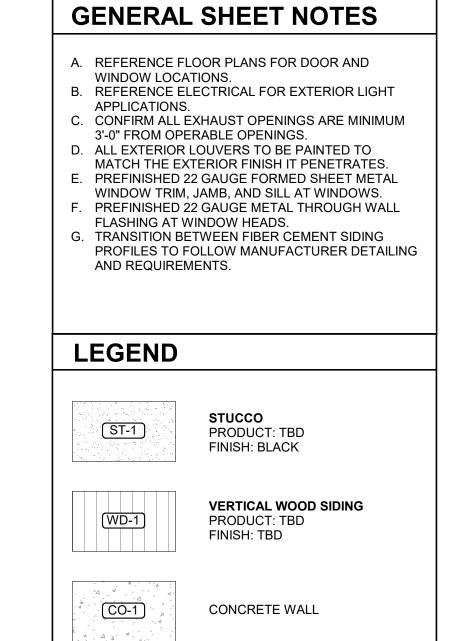
**EXTERIOR ELEVATIONS** 

1.11.2022

DATE















LAND USE SUBMISSION ISSUE

Drawing:

EXTERIOR ELEVATIONS

Sheet No:
Building E -

1.11.2022

DATE



## NORTHWEST VIEW



PRIMARY ENTRY, SOUTHEAST VIEW



SALAL ENTRY, WEST SIDE

# **MATERIALS**



**FAUX SUGI BAN** Terramai Lost Coast



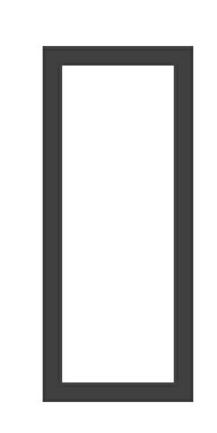
STUCCO PRODUCT: TBD FINISH: DARK



CLT + GLULAM PRODUCT: TBD FINISH: TBD



CONCRETE
PRODUCT: TBD FINISH: TBD



**VINYL WINDOWS** PRODUCT: VPI ENDURANCE AND KAWNEER TRIFAB 451 FINISH: TBD DARK

2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com

CDP SALEM -**BUILDING E** 

Job Number:

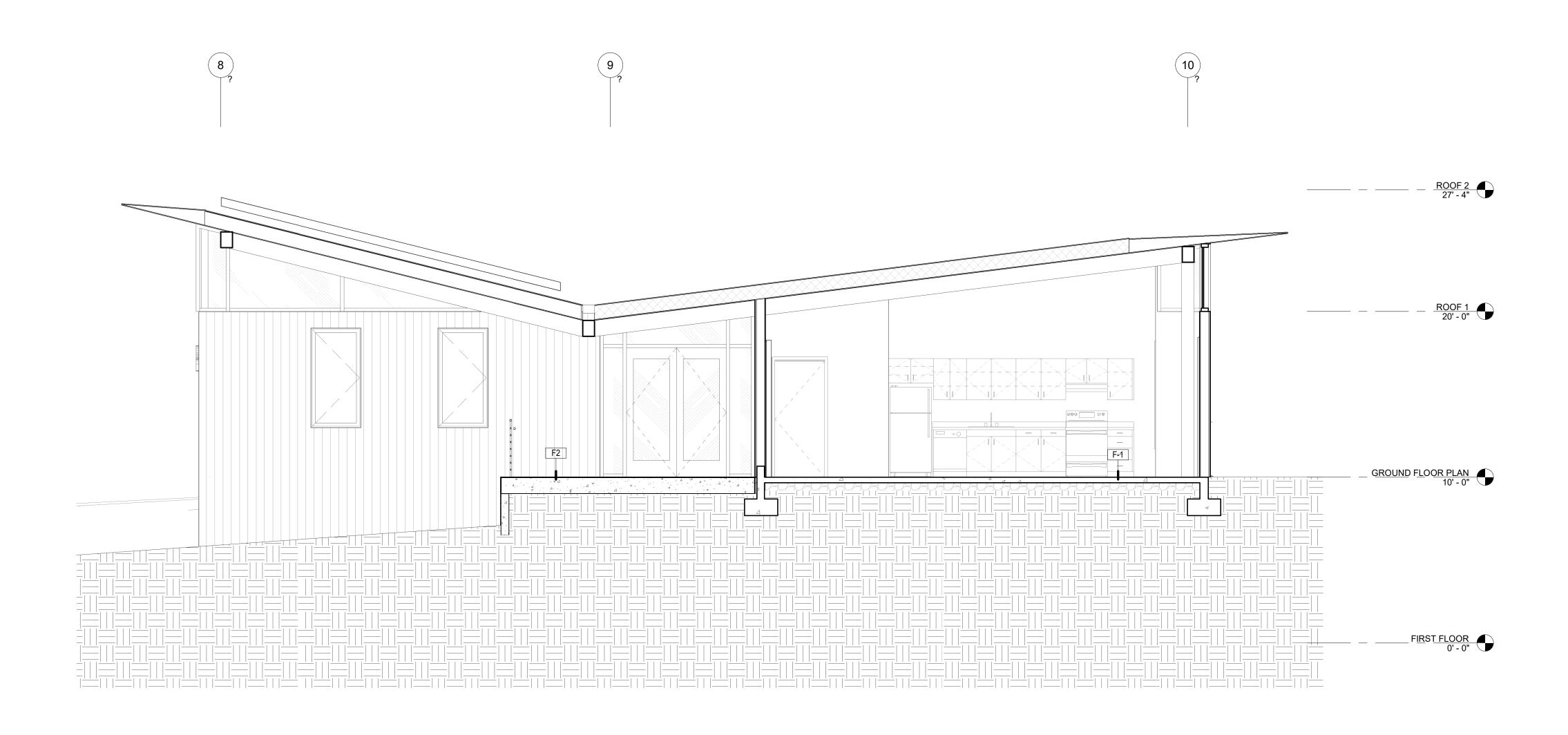
5205 BATTLE CREEK RD SE SALEM, OR 97306

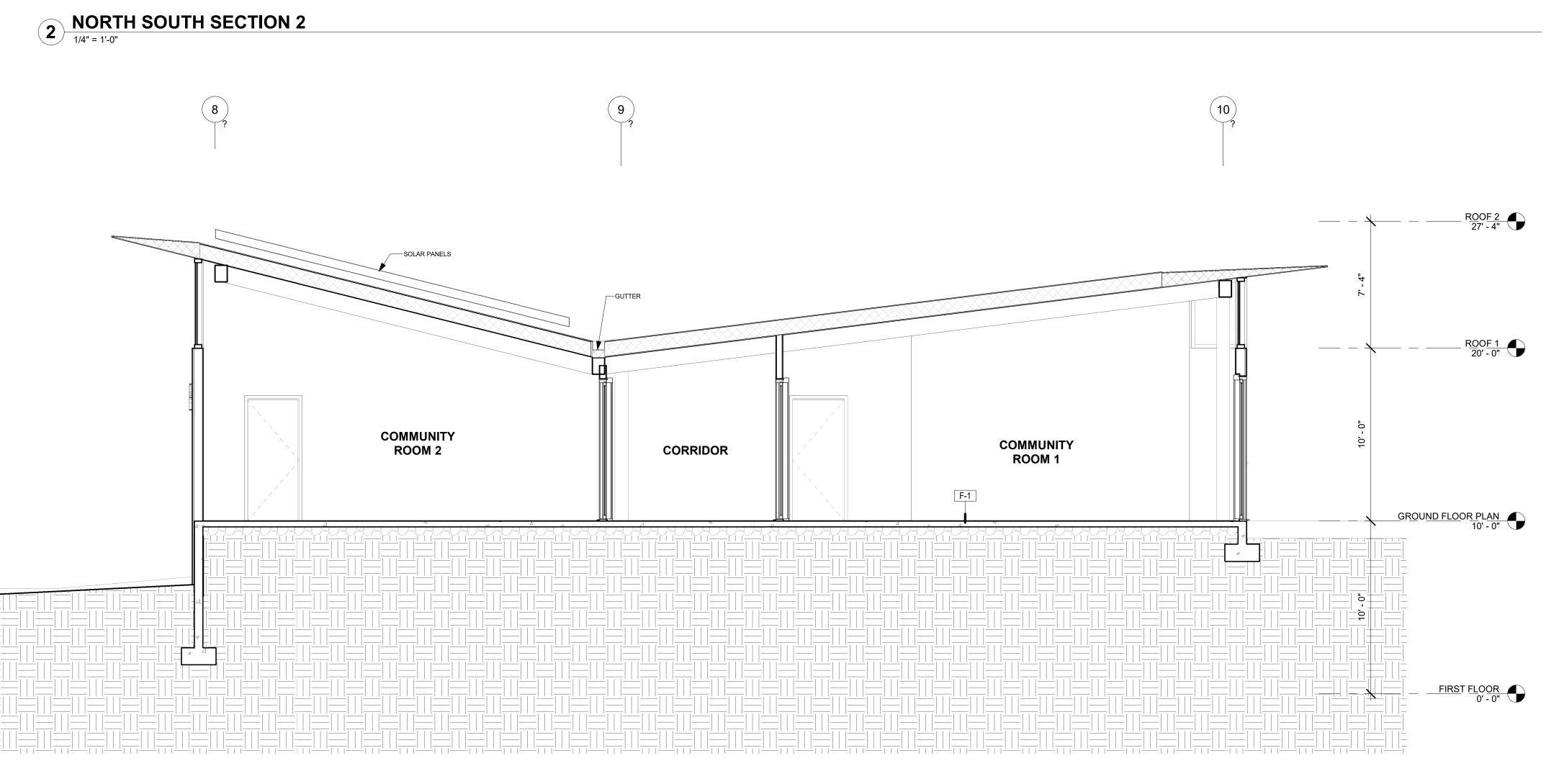
LAND USE SUBMISSION ISSUE

1.11.2022 Drawing:

DATE

**RENDERS** 





1 NORTH SOUTH SECTION
1/4" = 1'-0"

2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com



CDP SALEM -**BUILDING E** 

Job Number: 5205 BATTLE CREEK RD SE SALEM, OR 97306



LAND USE SUBMISSION ISSUE

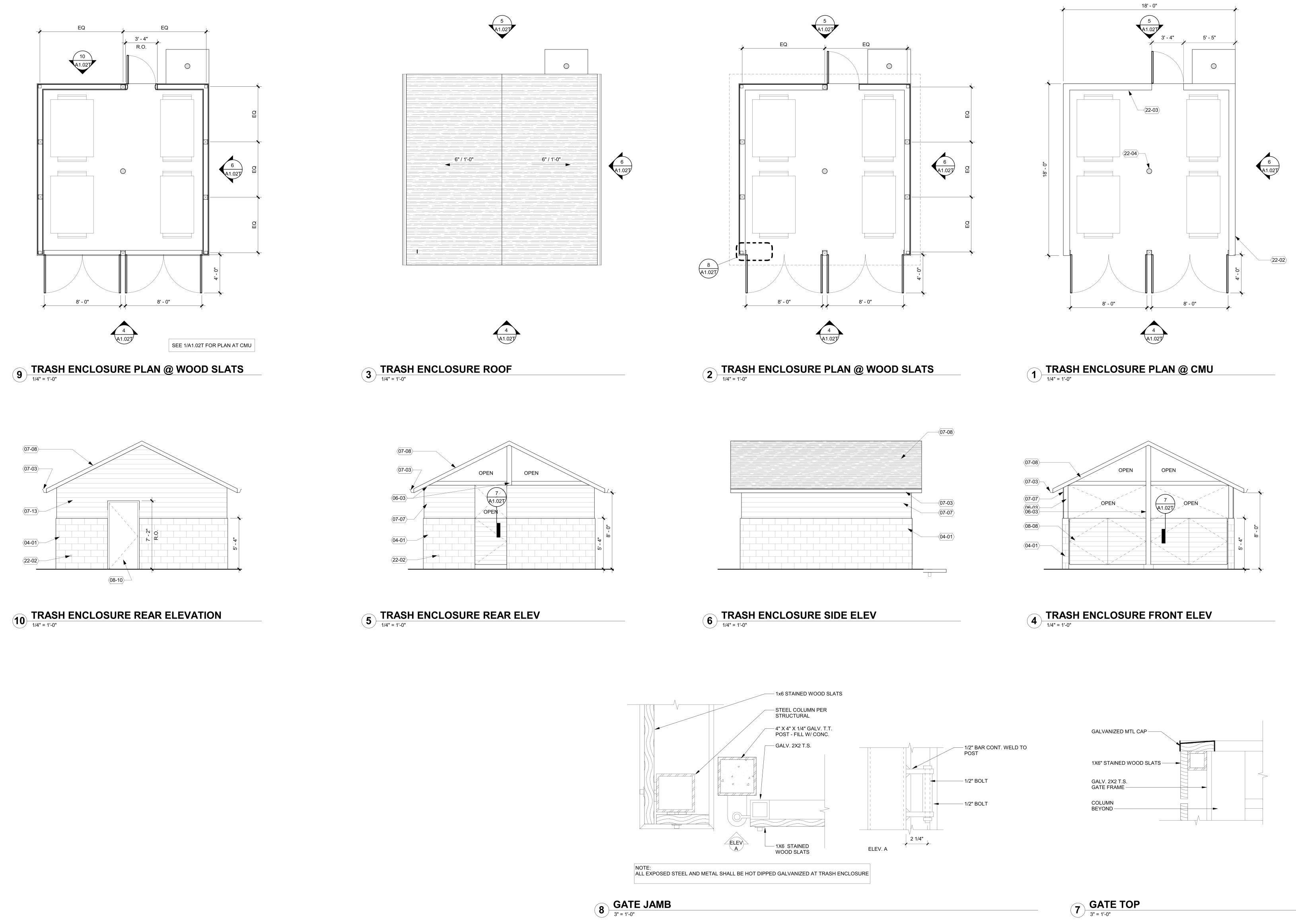
Drawing:

**BUILDING SECTIONS** 

1.11.2022

DATE





LEGEND KEYNOTES (07-02) SPLIT-FACE CMU WOOD POST PER STRUCT, TYP ASPHALT SHINGLE ROOF PREFIN. SHEET METAL GUTTER, TYP 07-03 07-07 1x6 CEDAR SPACED 1/2" 07-08 ASPHALT COMPOSITION ROOF ON WOOD FRAMING 07-13 GA WP 8130 1-HR RATED WALL ASSEMBLY: 1x6 CMU WALL CEDAR SPACED 1/2", OVER WRB, OVER ONE LAYER 5/8" PROPIETARY TYPE 'X' GLASS MAT GYPSUM SHEATHING APPLIED PARALLEL OR AT RIGHT ANGLES TO 2x6 WOOD STUDS AT 16" O.C.WITH 1X6 WOOD CEDAR SLATS GLAVANIZED ROOFING NAILS, 1 3/4" LONG, 0.128" SHANK, 7/16" HEAD, 7" O.C. INTERIOR: 1 LAYER 5/8" PROPIETARY TYPE 'X' GYPSUM WALLBOARD -WALL TO EXTEND TO UNDERSIDE OF ROOF STRUCTURE. GATE, 1x6 CEDAR ON METAL FRAME HOLLOW METAL DOOR & FRAME, 45 MIN FIRE 08-10 RATING, WELDED & PAINTED HOSE BIBB / BOOT WASH STATION 22-03 HOSE BIBB 22-04 AREA DRAIN

LAND USE 1.11.2022
ISSUE DATE
Drawing:
SITE DETAILS

2525 E Burnside Street, Portland, OR 97214 phone: (503) 226-3617 www.seallp.com

CDP SALEM

**BUILDING E** 

5205 BATTLE CREEK RD SE SALEM, OR 97306

> Community Development Partners

Job Number:

Sheet No: Building E -

A7.21