

# LAND USE SUBMISSION

1.11.2022



## CDP SALEM - BUILDING E

5205 BATTLE CREEK RD SE  
SALEM, OR 97306

**S|E A**  
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REQUIRED CLEAR FLOOR AREAS

PER ICC A117.1-2009

FIG. 604.3 SIZE OF CLEARANCE FOR WATER CLOSET

605.3 SIZE OF CLEARANCE FOR URINAL

SIZE OF CLEARANCE FOR LAVATORY

PROTRUDING OBJECTS

PER ICC A117.1-2009 FIG. 307.2

ALCOVE: FORWARD APPROACH

ALCOVE: PARALLEL APPROACH

TURNING SPACE: CIRCULAR

TURNING SPACE: T-SHAPED

REQUIRED FLOOR AREA

MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS

PER ICC A117.1-2009, FIG. 404.2.3.2

(a) FRONT APPROACH PULL SIDE

(b) FRONT APPROACH PUSH SIDE

(c) HINGE APPROACH PULL SIDE

(d) HINGE APPROACH PULL SIDE

(e) HINGE APPROACH PUSH SIDE

(f) LATCH APPROACH PULL SIDE

(g) LATCH APPROACH PUSH SIDE

UNIVERSAL HC SYMBOL  
PAINTED HIGHWAY  
WHITE (TWO COATS)

BACKGROUND PAINTED BLUE  
TO MATCH COLOR #15090 IN  
FED. STD. 595A

GRID SHOWN FOR  
REFERENCE ONLY

A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.

B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK

ABBREVIATIONS			
#	POUND OR NUMBER	GA	GAUGE
@	CENTERLINE	GALV	GALVANIZED
CL	CENTERLINE	GC	GENERAL CONTRACTOR
L	ANGLE	GI	GALVANIZED IRON
e	DIAMETER OR ROUND	GL	GLULAM
AB	ANCHOR BOLT	GND	GROUND
AC	ASPHALTIC CONCRETE	GR	GRADE
ACT	ACUSTIC CEILING TILE	GWB	GYP SUM BOARD
AD	AREA DRAIN	GYP	GYP SUM BOARD
ADJ	ADJUSTABLE	GYP BD	GYP SUM BOARD
AFF	ABOVE FINISH FLOOR		
AFG	ABOVE FINISH GRADE	HB	HOSE BIB
ALT	ALTERNATE	HC	HOLLOW CORE
ALUM	ALUMINUM	HDR	HEADER
ANOD	ANODIZED	HOWD	HARDWOOD
APPROX	APPROXIMATE / APPROXIMATELY	HOWR	HARDWARE
ARCH	ARCHITECTURAL / ARCHITECT	HM	HOLLOW METAL
ASPH	ASPHALT	HNDOP	HANDICAP
		HORIZ	HORIZONTAL
BC	BOTTOM OF CURB	HP	HORSE POWER
BD	BOARD	HPL	HIGH PRESSURE LAMINATE
BITUM	BITUMINOUS	HR	HOUR
BLDG	BUILDING	HSS	HOLLOW STRUCTURAL STEEL
BLK	BLOCK	HT	HEIGHT
BLKG	BLOCKING	HVAC	HEATING VENTILATING AIR CONDITIONING
BLW	BELOW	HW	HOT WATER
BO	BOTTOM OF		
BOT	BOTTOM	ID	INSIDE DIAMETER
BRG	BEARING	IE	INVERT ELEVATION
BTWN	BETWEEN	IN	INCHES
BUR	BUILT UP ROOF	INSUL	INSULATION
		INT	INTERIOR
CAB	CABINET	JB	JUNCTION BOX
CB	CATCH BASIN	JH	JOIST HANGER
CFM	CUBIC FEET PER MINUTE	JST	JOIST
CI	CAST IRON	JT	JOINT
CIP	CAST IN PLACE		
CJ	CONTROL JOINT	KD	KILN DRIED
CL	CENTERLINE	KIT	KITCHEN
CLG	CEILING	KW	KILOWATT
CLR	CLEAR		
CMU	CONCRETE MASONRY UNIT	LAM	LAMINATED
CO	CLEAN OUT	LAV	LAVATORY
CO	CLEAN OUT	LB	LEADER BOX
COL	COLUMN	LH	LEFT HAND
CONC	CONCRETE	LKR	LOCKER
CONN	CONNECTION	LT	LIGHT
CONT	CONTINUOUS	LTWT	LIGHTWEIGHT
CPT	CARPET		
CSMT	CASEMENT	MAT	MATERIAL
CT	CERAMIC TILE	MAX	MAXIMUM
CTSK	COUNTERSINK	MB	MACHINE BOLT
CW	COLD WATER	MC	MEDICINE CABINET
CWD	CLAD WOOD	MECH	MECHANICAL
		MFR	MANUFACTURER
DBL	DOUBLE	MH	MANHOLE
DEG	DEGREE	MIN	MINIMUM
DEPT	DEPARTMENT	MIR	MIRROR
DET	DETAIL	MISC	MISCELLANEOUS
DF	DOUGLAS FIR	MO	MASONRY OPENING
DH	DOUBLE HUNG	MRGWB	MOISTURE RESISTANT GWB
DIA	DIAMETER	MTD	MOUNTED
DIAG	DIAGONAL	MTL	METAL
DIM	DIMENSION	MULL	MULLION
DISP	GARBAGE DISPOSAL		
DN	DOWN	(N)	NEW
DO	DOOR OPENING	N	NORTH
DP	DAMP PROOF	NIC	NOT IN CONCRACT
DR	DOOR	NO	NUMBER
DS	DOWNSPOUT	NOM	NOMINAL
DSP	DRY STANDPIPE	NTS	NOT TO SCALE
DTL	DETAIL		
DW	DISHWASHER	OBS	OBSCURE
DWG	DRAWING	OC	ON CENTER
DWR	DRAWER	OD	OUTSIDE DIAMETER
		OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
(E)	EXISTING	OPNG	OPENING
E	EAST	OPP	OPPOSITE
EA	EACH	OTS	OPEN TO STRUCTURE
EJ	EXPANSION JOINT		
ELEC	ELECTRICAL	P	PANTRY
ELEV	ELEVATION	PC	PRECAST
EMER	EMERGENCY	PIP	POURED IN PLACE
ENCL	ENCLOSURE	PL	PLATE OR PROPERTY LINE
EQ	EQUAL	PLAS	PLASTIC LAMINATE
EQUIP	EQUIPMENT	PLAS	PLASTIC
EXIST	EXISTING	PLYWD	PLYWOOD
EXP	EXPOSED	PNT	PAINT
EXT	EXTERIOR	PSF	POUNDS PER SQUARE FOOT
FA	FIRE ALARM	PSI	POUNDS PER SQUARE INCH
FC	FIBER CEMENT	PT	PRESSURE TREATED
FCD	FLOOR DRAIN	PTD	PAINTED
FDN	FOUNDATION	PVC	POLYVINYL CHLORIDE
FE	FIRE EXTINGUISHER	QT	QUARRY TILE
FEC	FIRE EXTINGUISHER CABINET		
FG	FIBERGLASS		
FIN	FINISH		
FLASH	FLASHING		
FLR	FLOOR		
FLUOR	FLOURESCENT		
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH		
FOS	FACE OF STUD		
FRP	FIBERGLASS REINFORCED PLASTIC		
FRT	FIRE RETARDANT TREATED		
FRZ	FREEZER		
FT	FOOT / FEET		
FTG	FOOTING		
FURR	FURRING		
FUT	FUTURE		

DIMENSIONS

A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.

B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.

C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.

D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.

E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.

F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.

GRAPHIC SYMBOLS

NORTH ARROW

GRID LINE

VERTICAL DATUM

ROOM NAME AND NUMBER

EXTERIOR ELEVATION

BUILDING SECTION / WALL SECTION

INTERIOR ELEVATION

DETAIL CALLOUT

DOOR NUMBER

CEILING HEIGHT

WALL / ASSEMBLY TYPE

FLOOR / FLOOR-CEILING ASSEMBLY (F-#)

WINDOW TYPE

ACCESSORY / EQUIPMENT TYPE

CASEWORK TYPE

MATERIAL / FINISH

SPOT ELEVATION

KEYNOTE

REVISION

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CDP SALEM BUILDING E

Job Number: 21031

5205 BATTLE CREEK RD SE SALEM, OR 97306

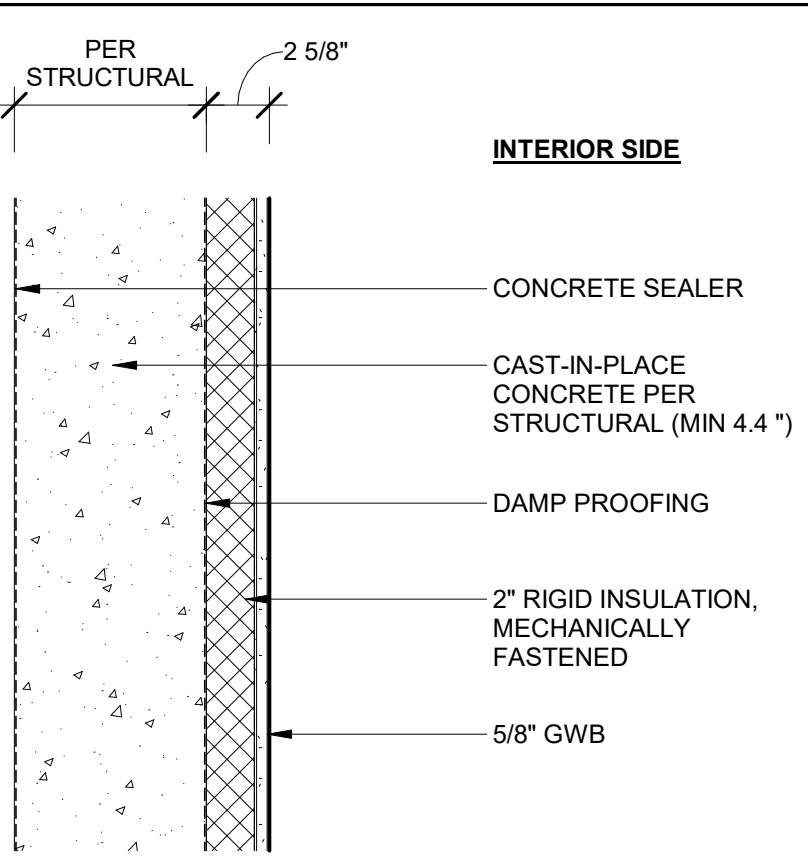
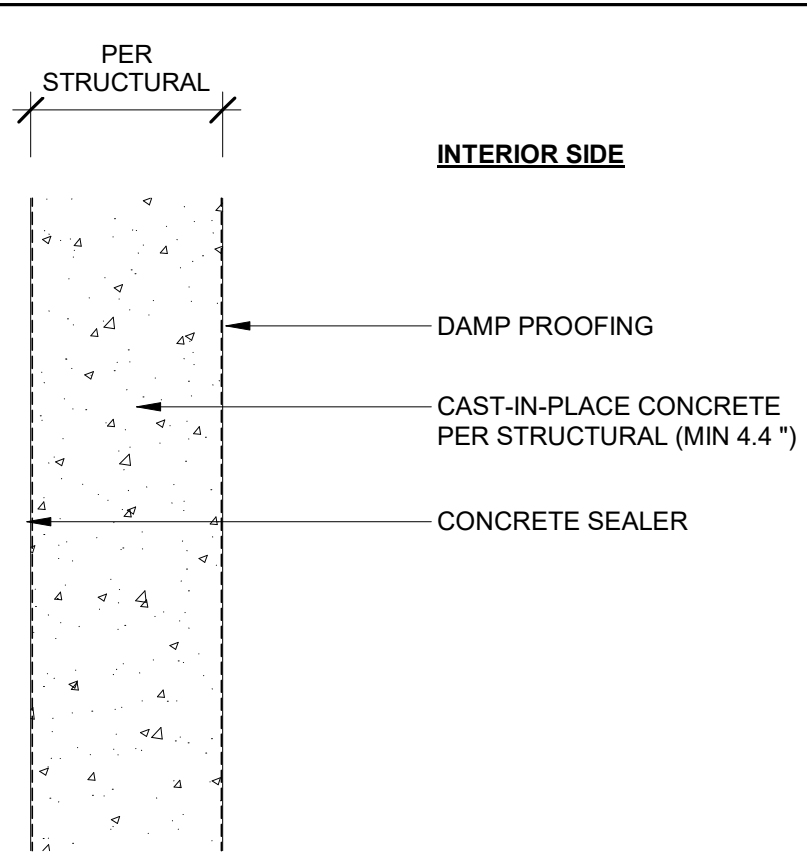
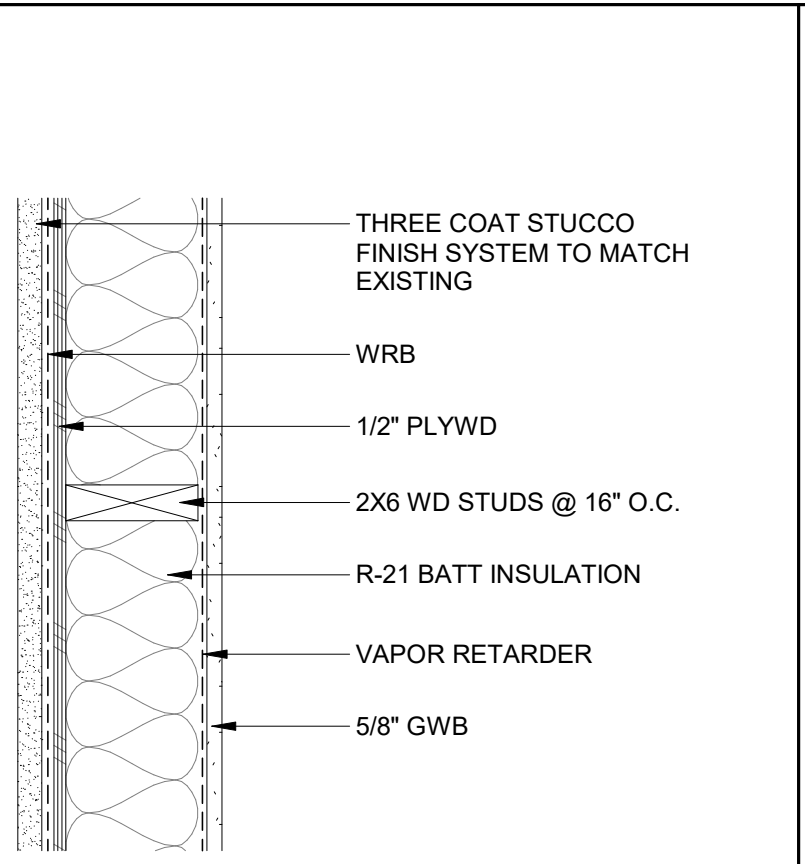
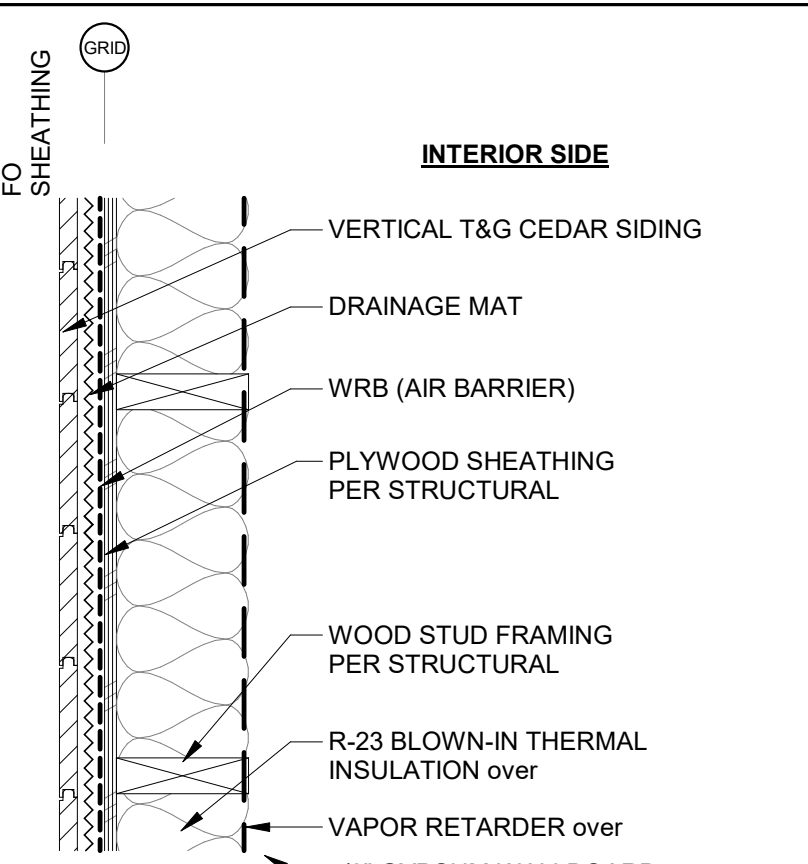
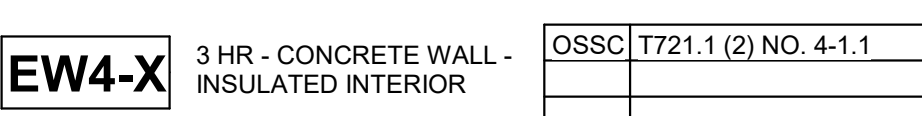
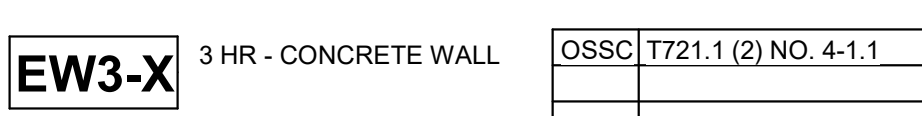


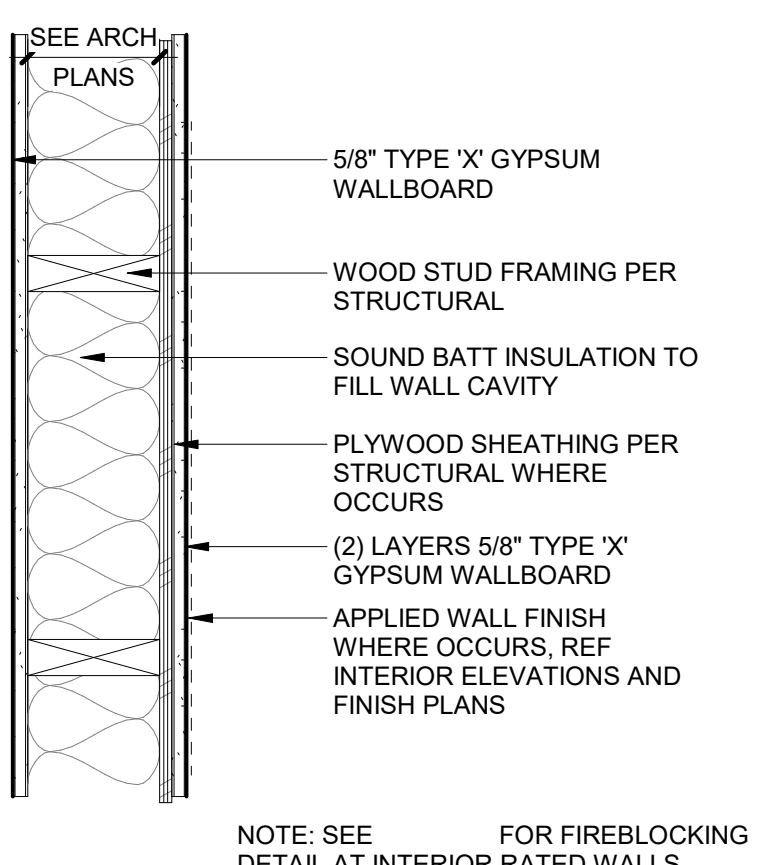
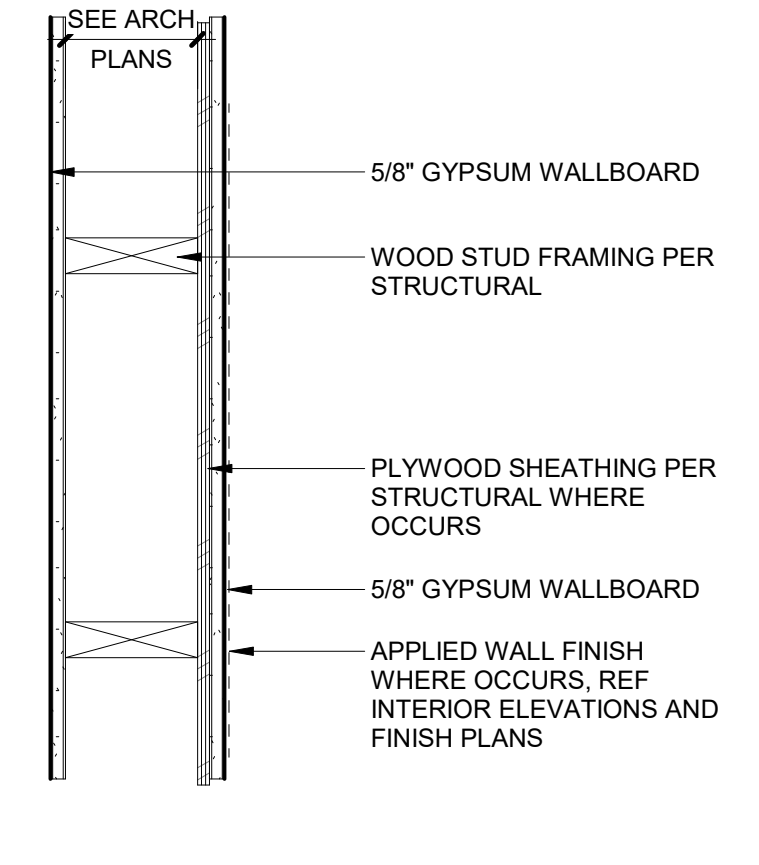
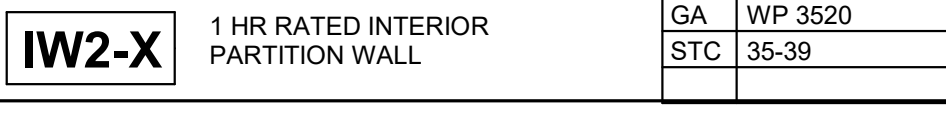
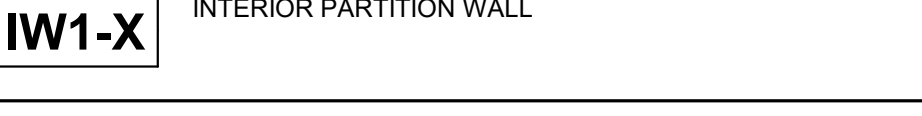
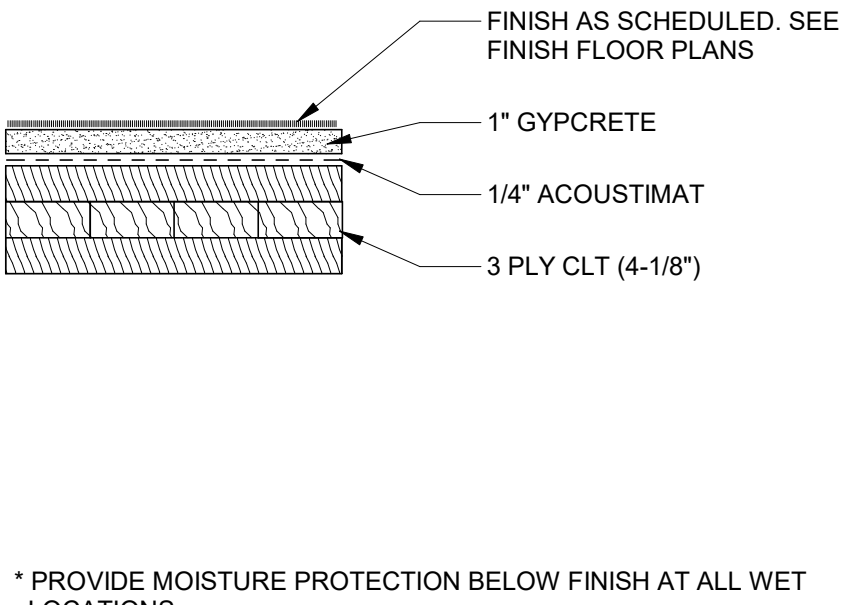
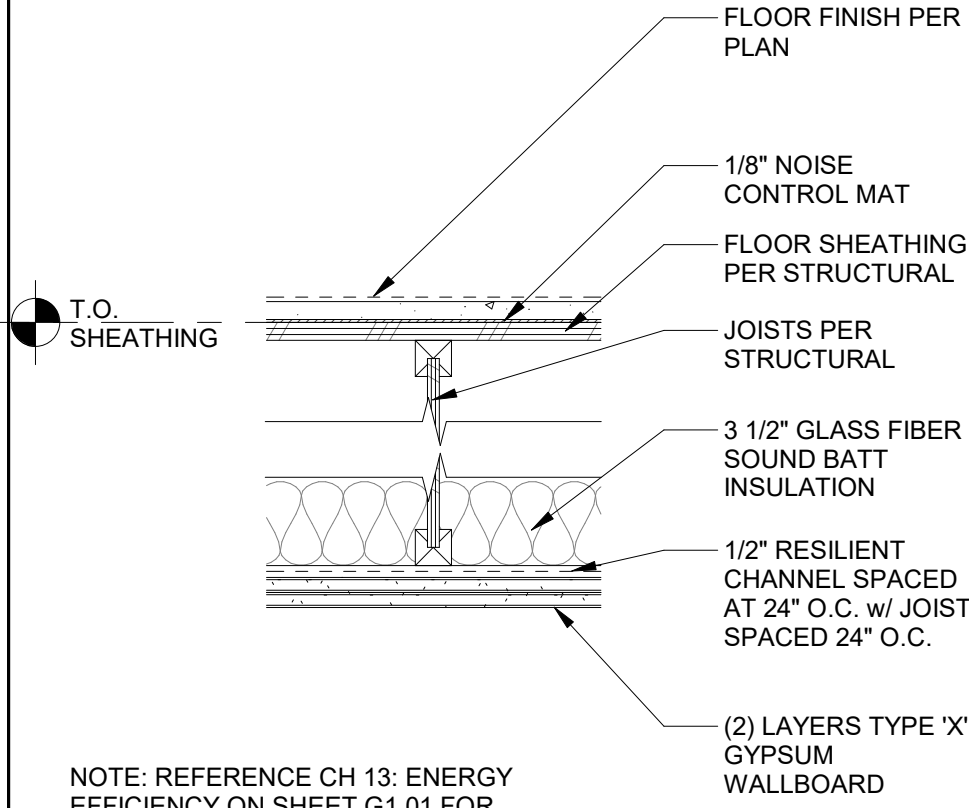
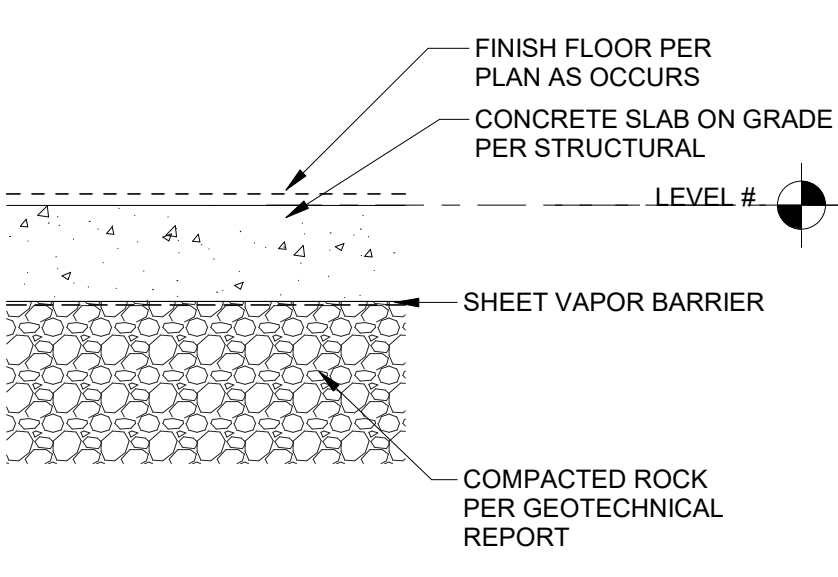
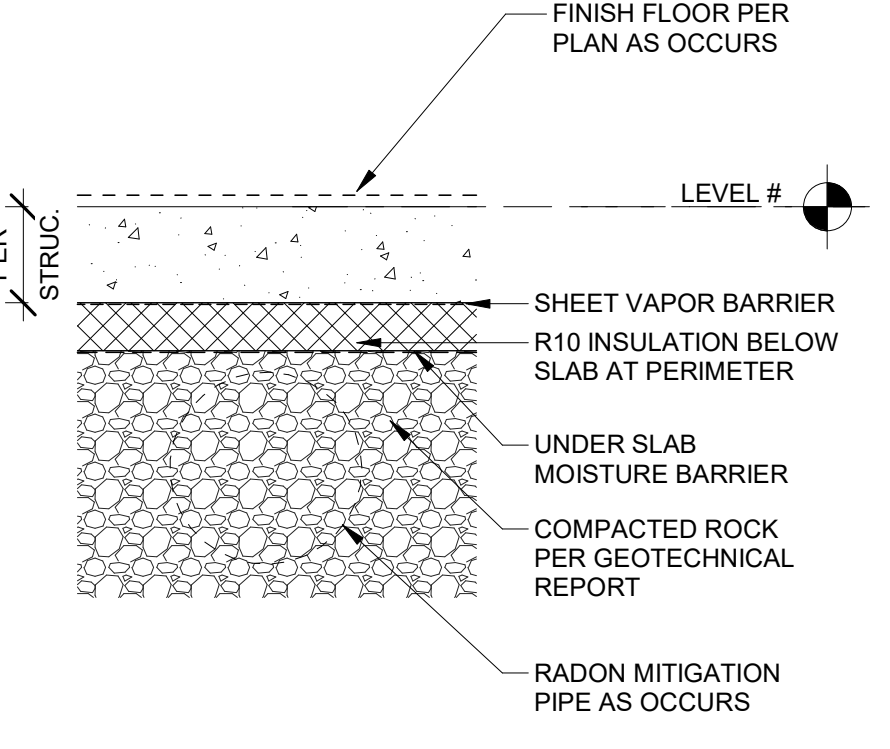
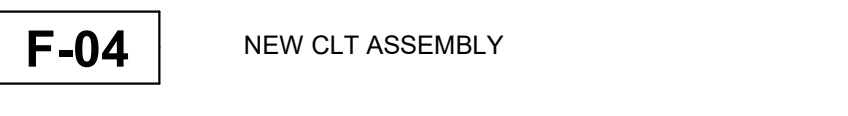
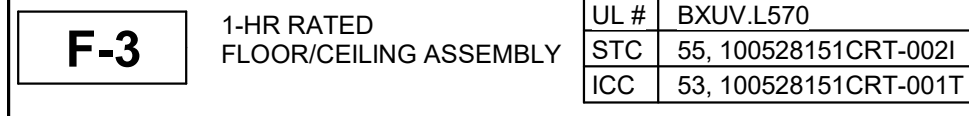
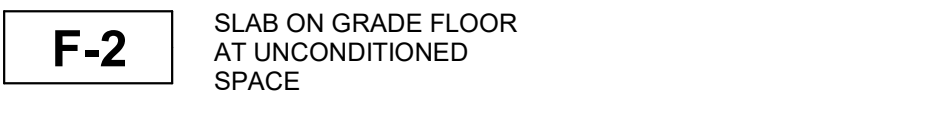

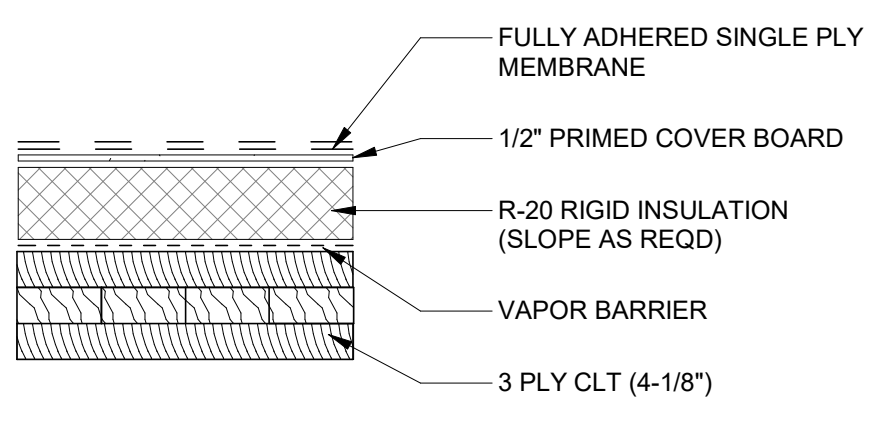
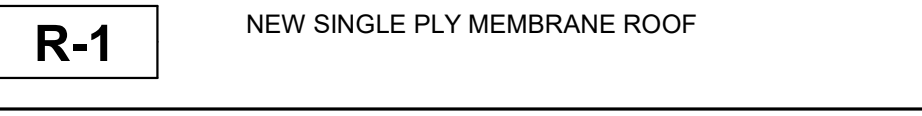
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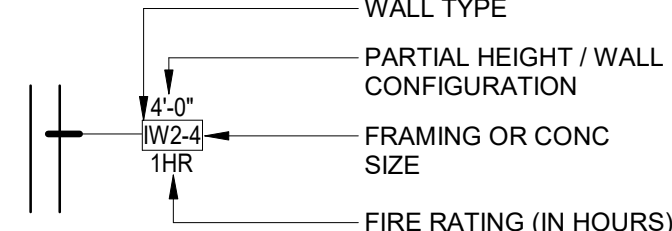
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Drawing: ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

Sheet No: Building E - A0.01



						EXTERIOR WALL TYPES
						
						INTERIOR WALL TYPES
						
						FLOOR/CEILING TYPES
						
						ROOF TYPES
						

GENERAL SHEET NOTES
A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.
B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.
F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.
H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
I. AT WALLS WITH RESILIENT CHANNELS SEE DETAIL FOR ASSEMBLY DETAILS.
J. WHERE ACOUSTIC WALL IS INDICATED, SEE ___ FOR ASSEMBLY DETAILS.
WALL TYPE SYMBOL

WOOD FRAMING SIZES
0 = MTL FURRING, 7/8" OR AS INDICATED 4 = 2" x 4" 6 = 2" x 6" 8 = 2" x 8"
ABBREVIATIONS
GA GYPSUM ASSOCIATION

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CDP SALEM BUILDING E

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5205 BATTLE CREEK RD SE  
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C  
D  
P

Community Development Partners

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Drawing:

ASSEMBLIES

Sheet No:  
Building E -

A0.20



**CDP SALEM -  
BUILDING E**

Job Number: 21031

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Sheet No:  
Building E -

## A2.12

A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.

B. ALL WINDOW DIMENSIONS SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.

C. ALL INTERIOR GRID LINES ARE BE W2-X.

D. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL UNIT. REFERENCE SCHEDULES AND LEGENDS.

E. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL NOTES AND SPECIFICATIONS @ 0.00. COORDINATE LOCATIONS WITH ARCHITECTED COMPATIBILITY WITH FLOOR FINISHES.

F. ALL DOOR SCHEDULES FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.

G. ALL WINDOW SCHEDULE FOR WINDOW TYPES.

H. FOR FLOOR FINISHES, SEE A10.21 SCHEDULES & FINISH LEGENDS.

I. WIRE SHEETING IN ALL BEDROOM CLOSETS.

J. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY.

K. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR DETAILS.

L. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS.

M. DOWNSPOTS PAINTED IN FIELD. RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.

REF A0.01 FOR GENERAL LEGENDS

The diagram illustrates a cross-section of a roof assembly. From top to bottom, the layers are:

- 1 HOUR RATED ASSEMBLY**: The topmost structural layer, shown as a thick, textured block.
- ELEMENT ABOVE**: A dashed line indicating the boundary above the 1-hour assembly.
- R-1 EPDM ROOF**: The roofing layer, shown as a thin layer with a wavy texture.
- 8" CIRCULAR DOWNSPOUT**: A circular opening in the roof assembly, shown as a circle with a central dot.
- FLOOR DRAIN**: A circular opening in the floor assembly, shown as a circle with a central dot.
- WATER HEATER WITH FLOOR DRAIN BELOW - SEE PLUMBING DWGS**: A circular component located below the floor drain, shown as a circle with a central dot.

## 07-02

THESE DRAWINGS ARE THE ORIGINAL ONE. COPIED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



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**Drawing:**

## GROUND FLOOR PLAN

Sheet No:  
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## A2.12



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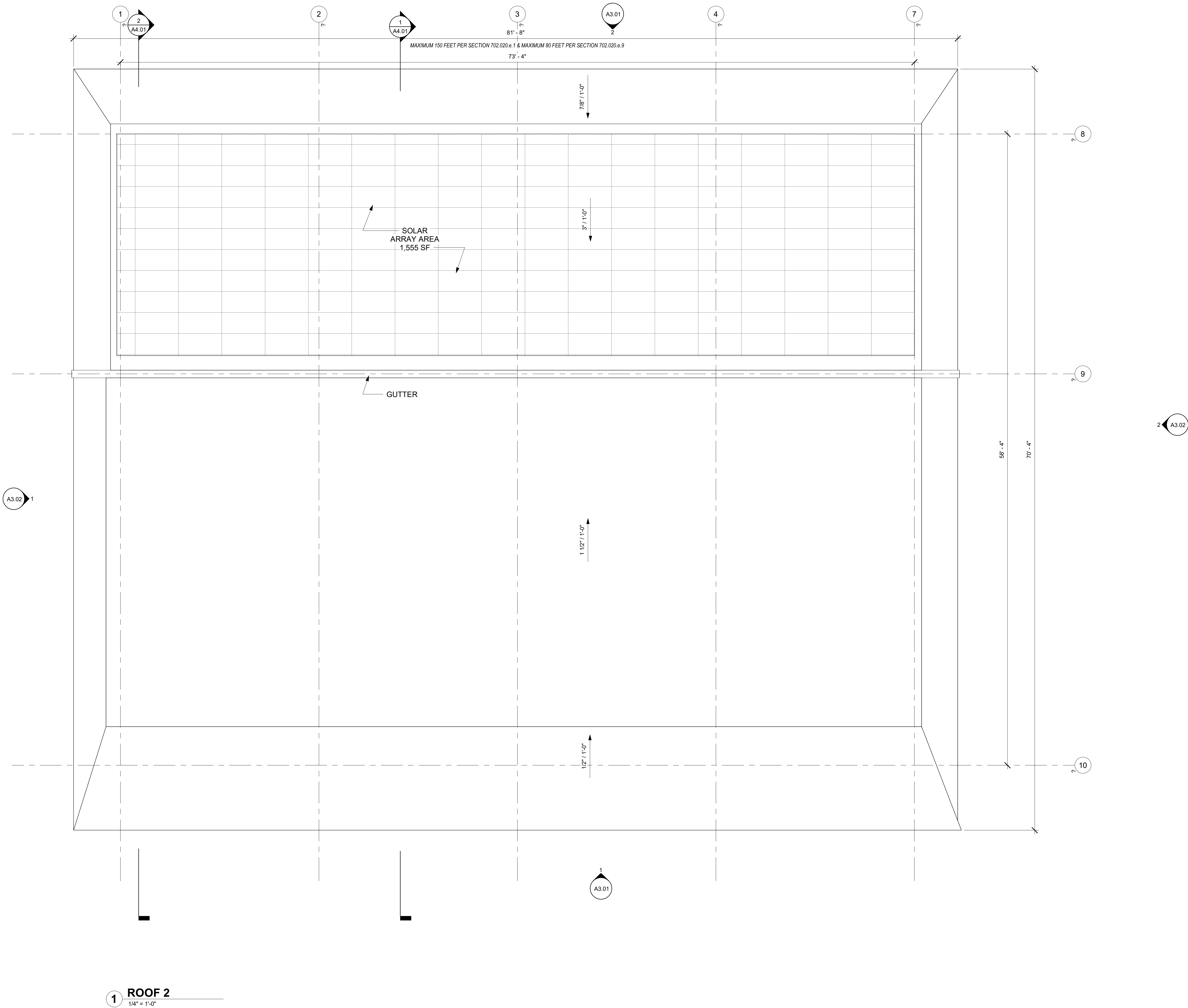
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ROOF PLAN

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Building E -

A2.13

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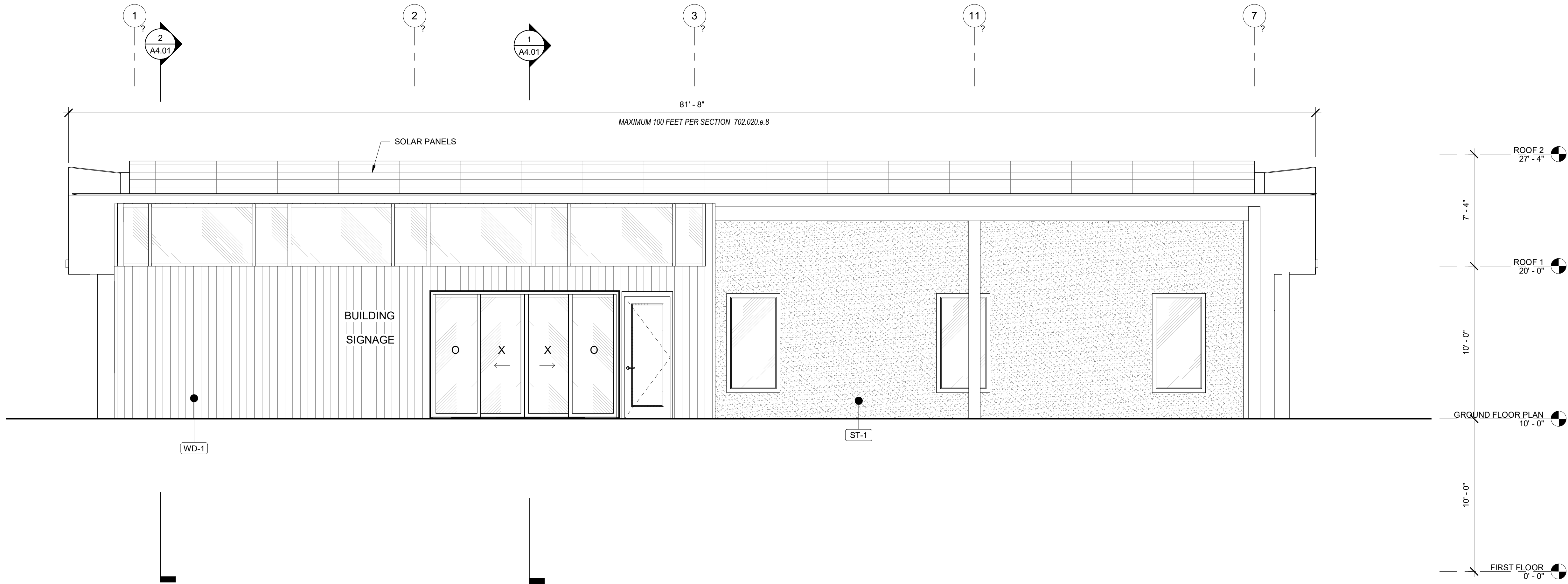


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2 NORTH ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"

## GENERAL SHEET NOTES

- REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
- REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
- CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
- ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
- PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
- PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
- TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

## LEGEND

<b>ST-1</b>	<b>STUCCO</b> PRODUCT: TBD FINISH: BLACK
<b>WD-1</b>	<b>VERTICAL WOOD SIDING</b> PRODUCT: TBD FINISH: TBD
<b>CO-1</b>	<b>CONCRETE WALL</b>

# S|E A

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Drawing:

**EXTERIOR  
ELEVATIONS**

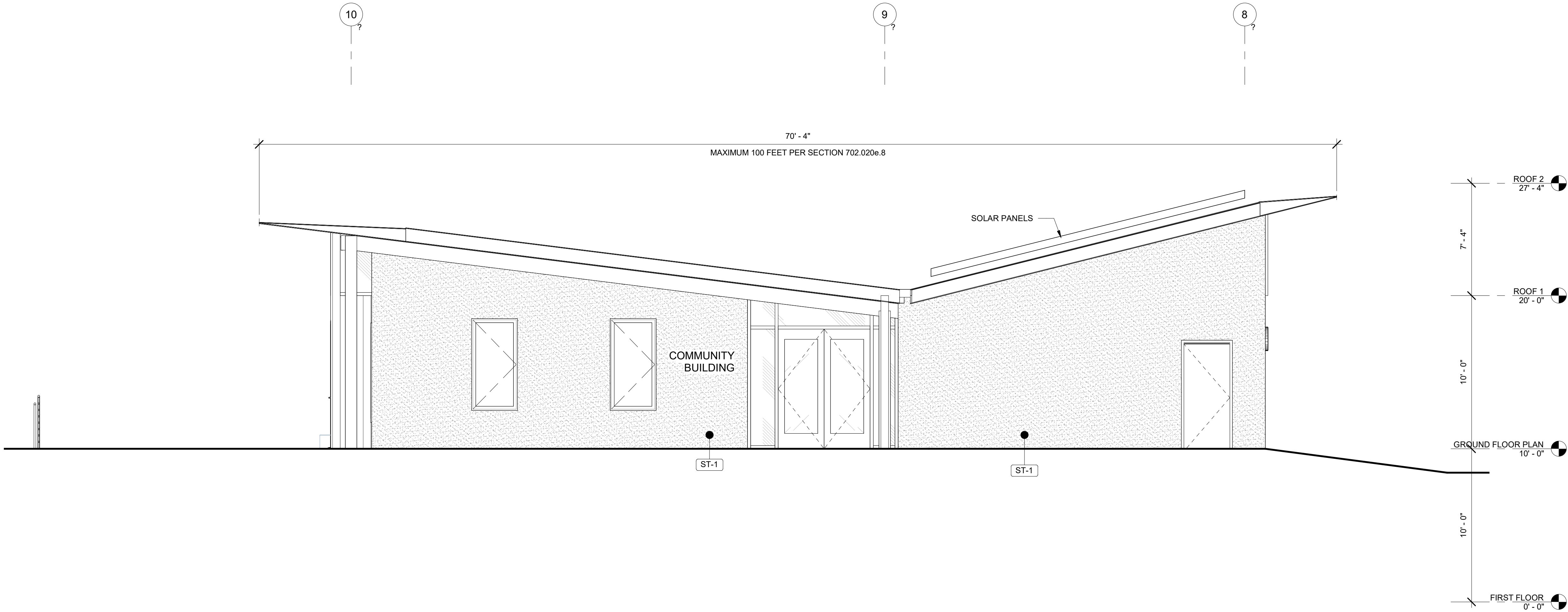
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Building E -

# A3.01

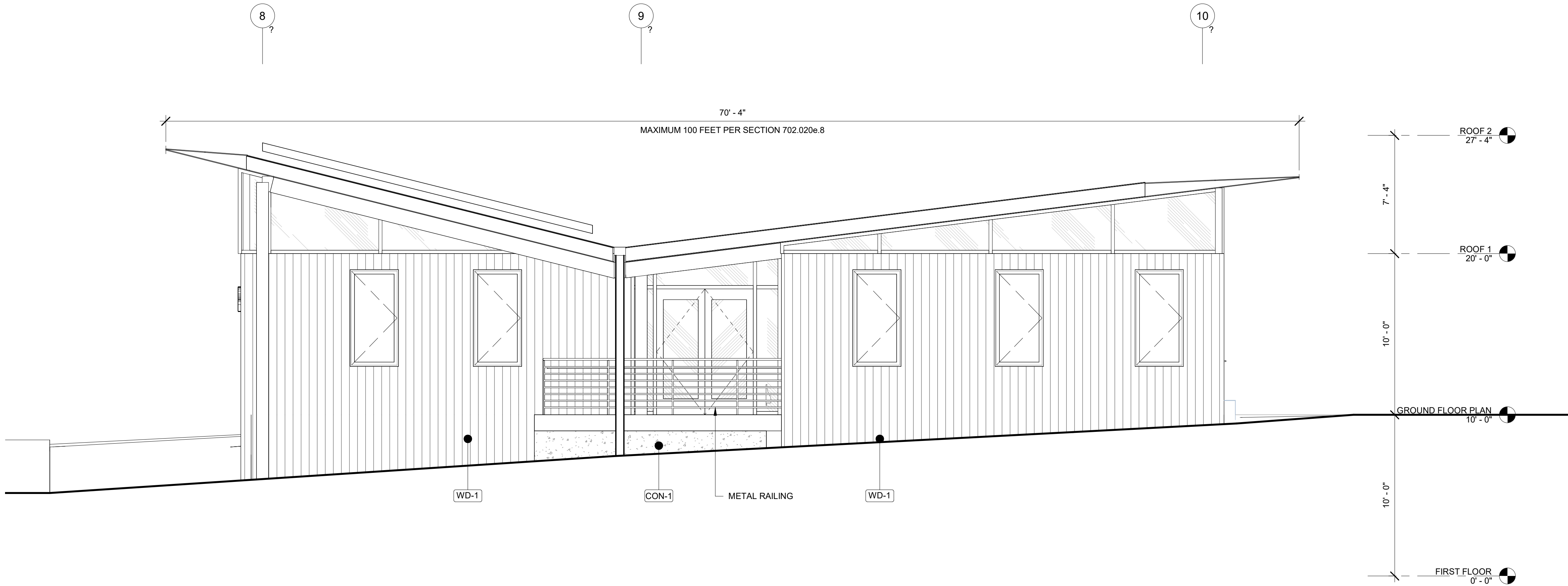


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2 EAST ELEVATION  
1/4" = 1'-0"



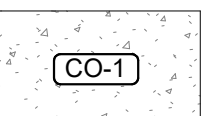


1 WEST ELEVATION  
1/4" = 1'-0"

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## LEGEND

	<b>STUCCO</b> PRODUCT: TBD FINISH: BLACK
	<b>VERTICAL WOOD SIDING</b> PRODUCT: TBD FINISH: TBD
	<b>CONCRETE WALL</b>

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Drawing:

EXTERIOR  
ELEVATIONS

Sheet No:  
Building E -

# A3.02



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NORTHWEST VIEW

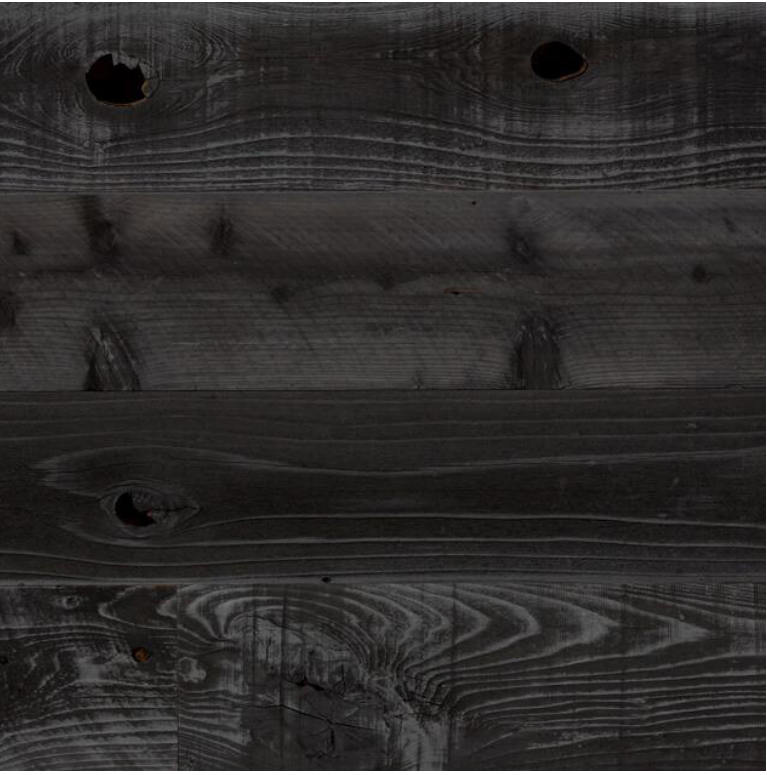


PRIMARY ENTRY, SOUTHEAST VIEW



SALAL ENTRY, WEST SIDE

MATERIALS



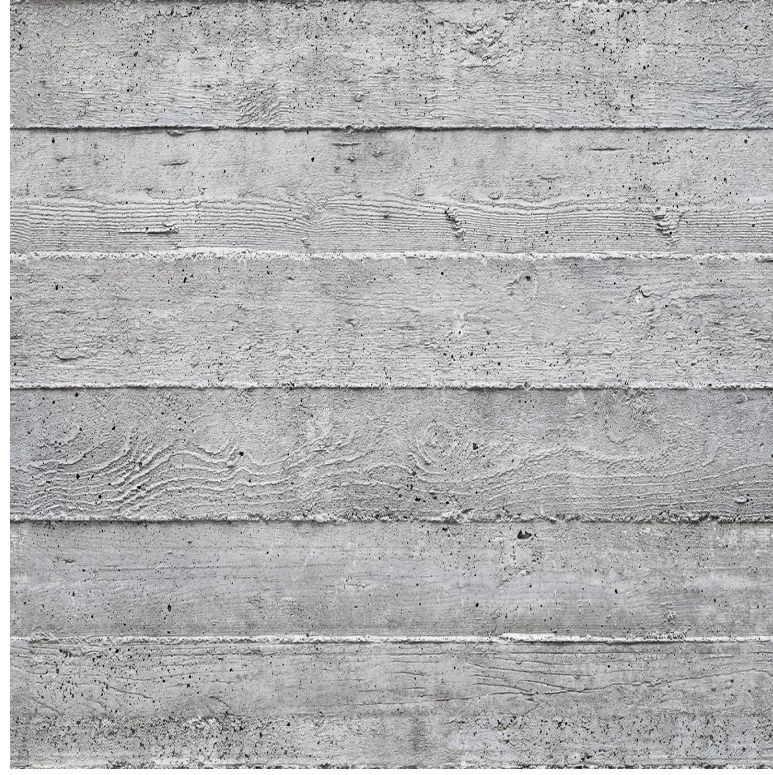
**FAUX SUGI BAN**  
Terramai  
Lost Coast



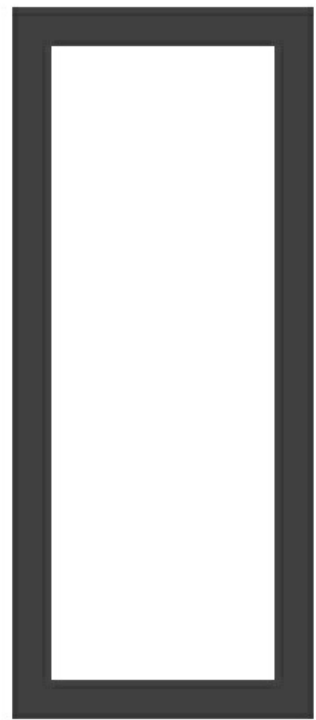
**STUCCO**  
PRODUCT: TBD  
FINISH: DARK



**CLT + GLULAM**  
PRODUCT: TBD  
FINISH: TBD



**CONCRETE**  
PRODUCT: TBD  
FINISH: TBD



**VINYL WINDOWS**  
PRODUCT: VPI ENDURANCE AND KAWNEER TRIFAB 451  
FINISH: TBD DARK

\* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND  
LANDSCAPE DRAWINGS FOR FULL DESIGN.

LAND USE SUBMISSION  
ISSUE DATE

Drawing:

RENDERS

Sheet No:  
Building E -

A3.10

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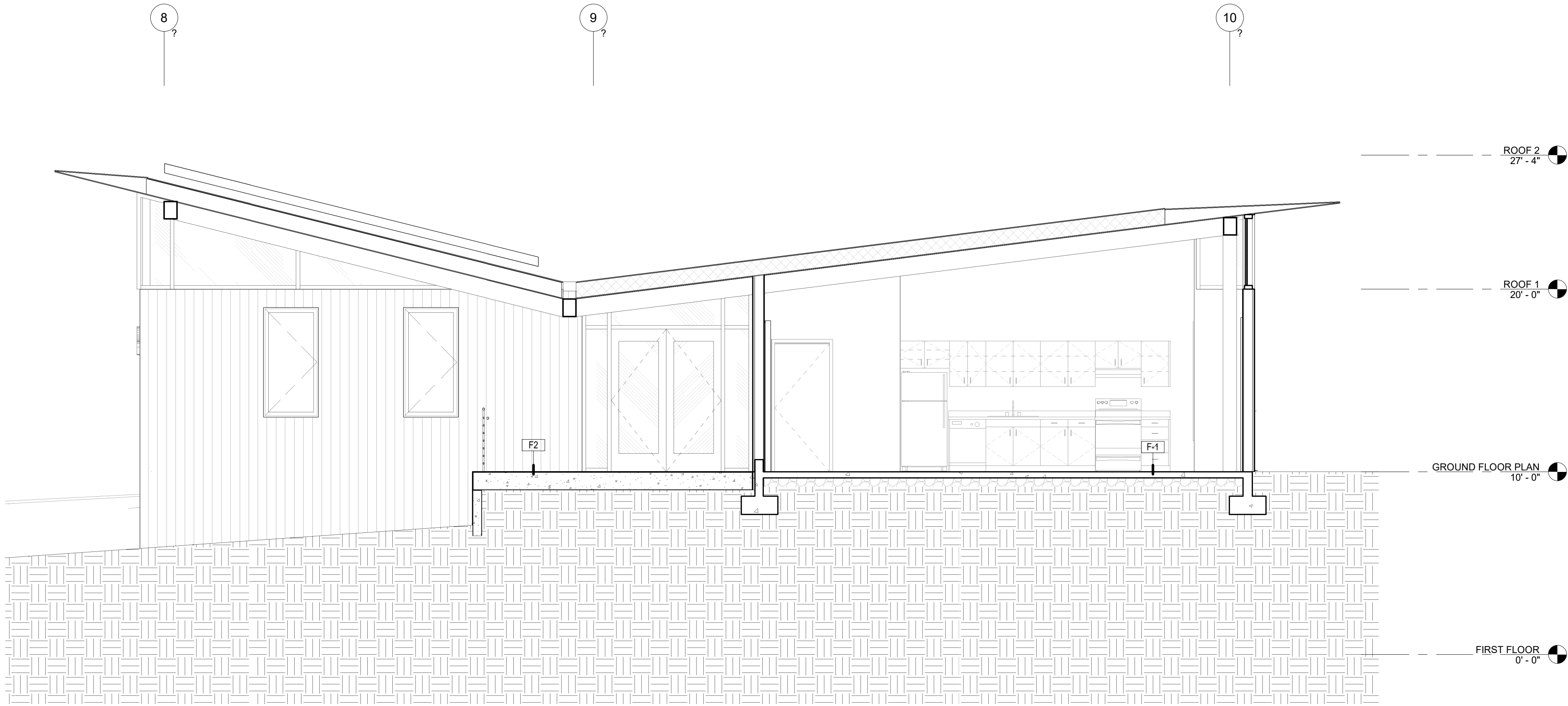


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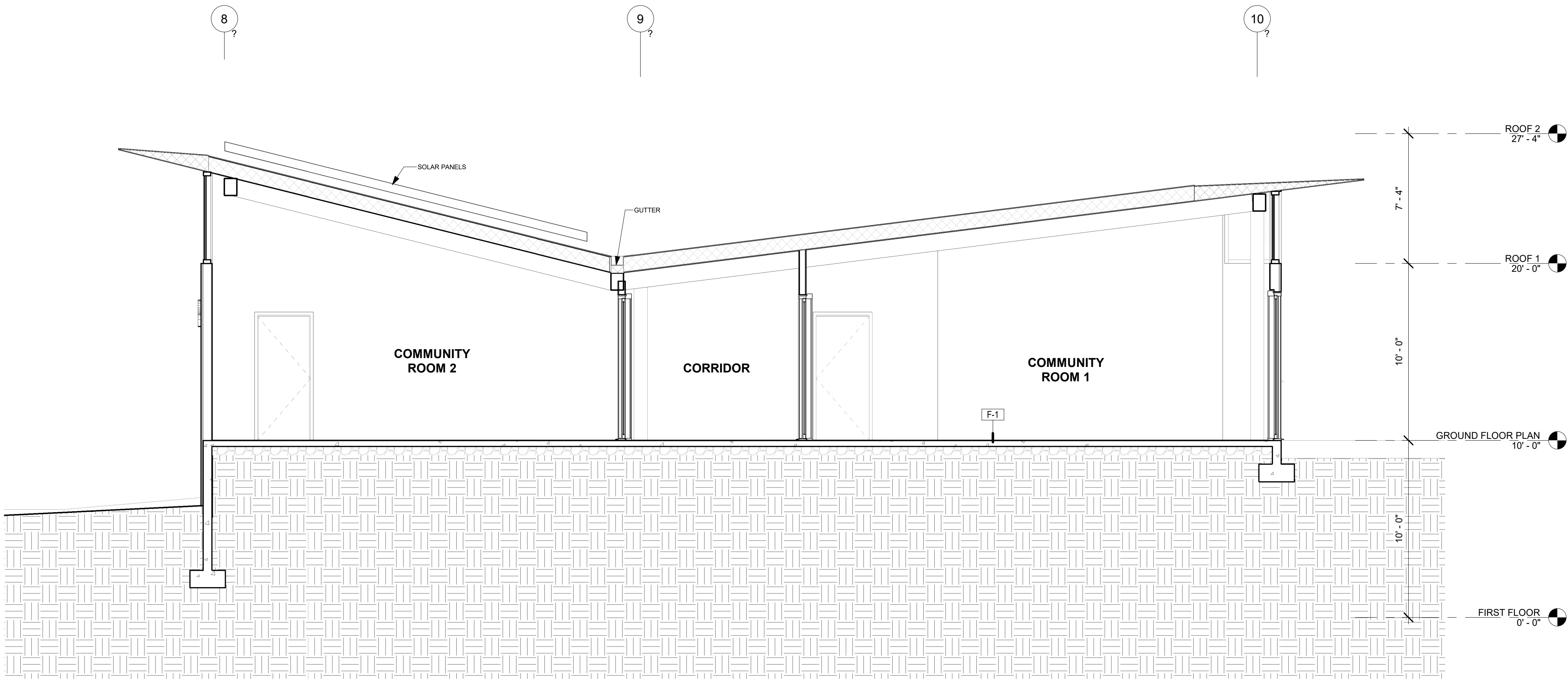
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CDP SALEM -  
BUILDING E  
Job Number: 21031  
5205 BATTLE CREEK RD SE  
SALEM, OR 97306



2 NORTH SOUTH SECTION 2  
1/4" = 1'-0"



1 NORTH SOUTH SECTION  
1/4" = 1'-0"

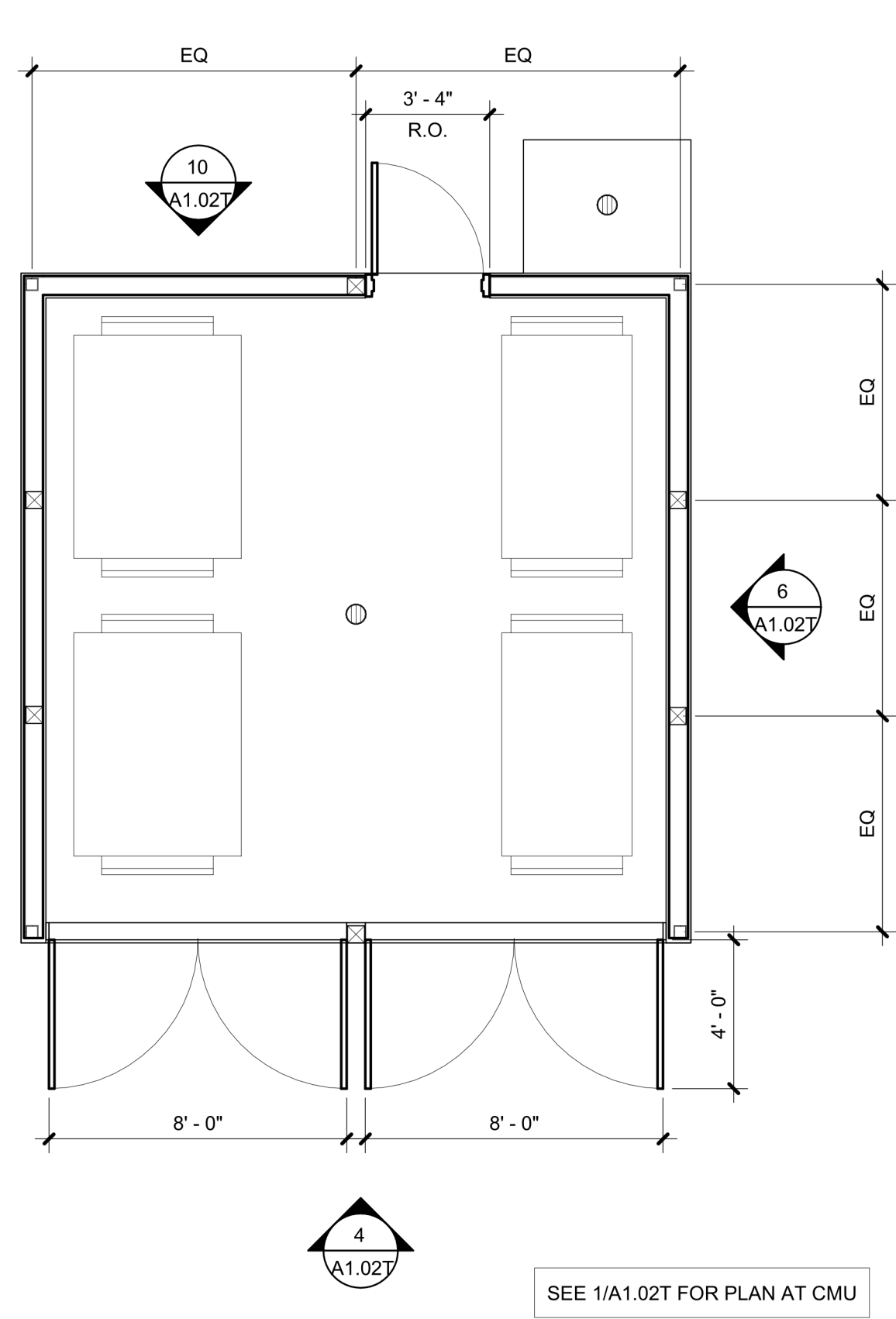
LAND USE SUBMISSION ISSUE 1.11.2022 DATE

Drawing: BUILDING SECTIONS

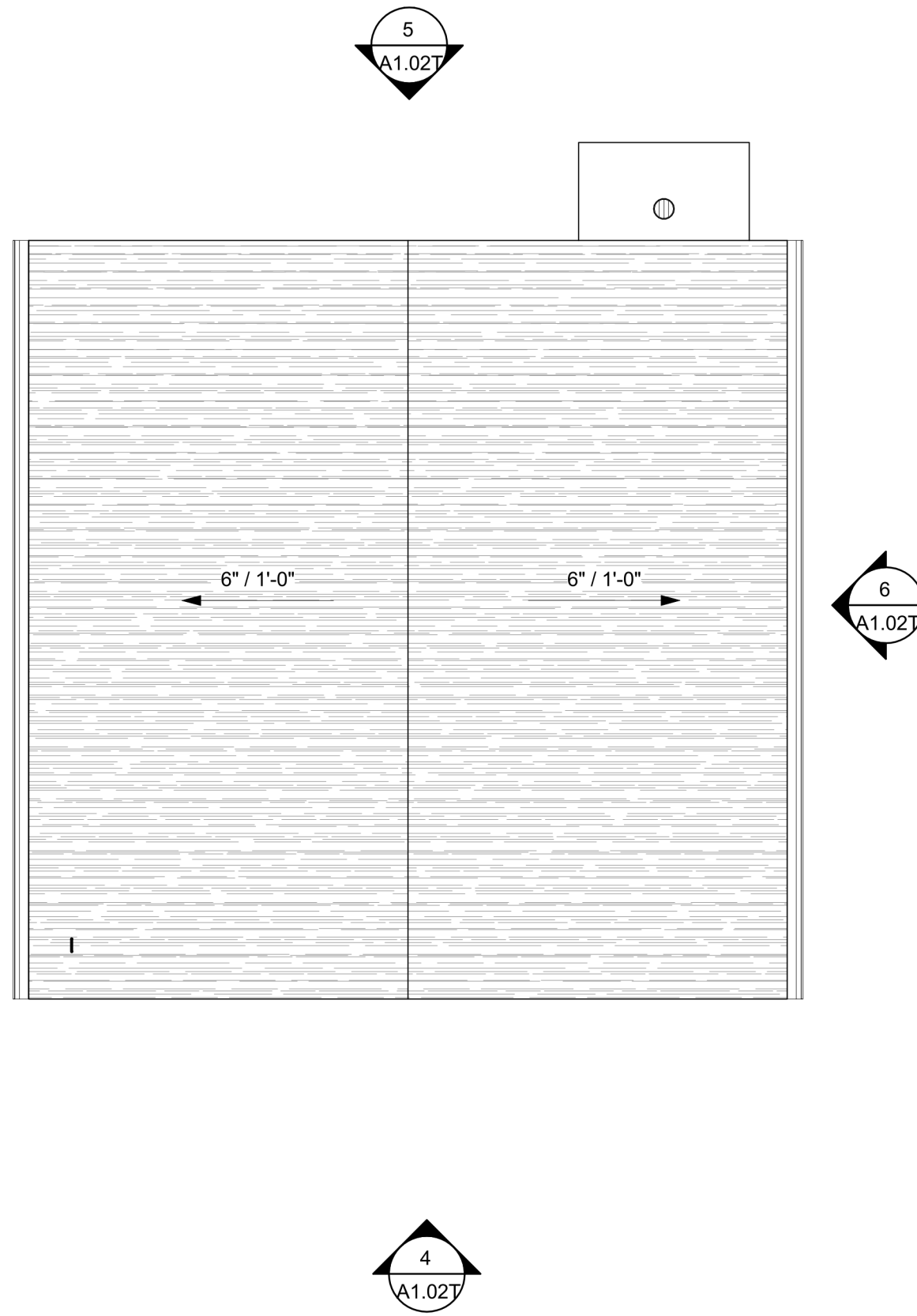
Sheet No: Building E -



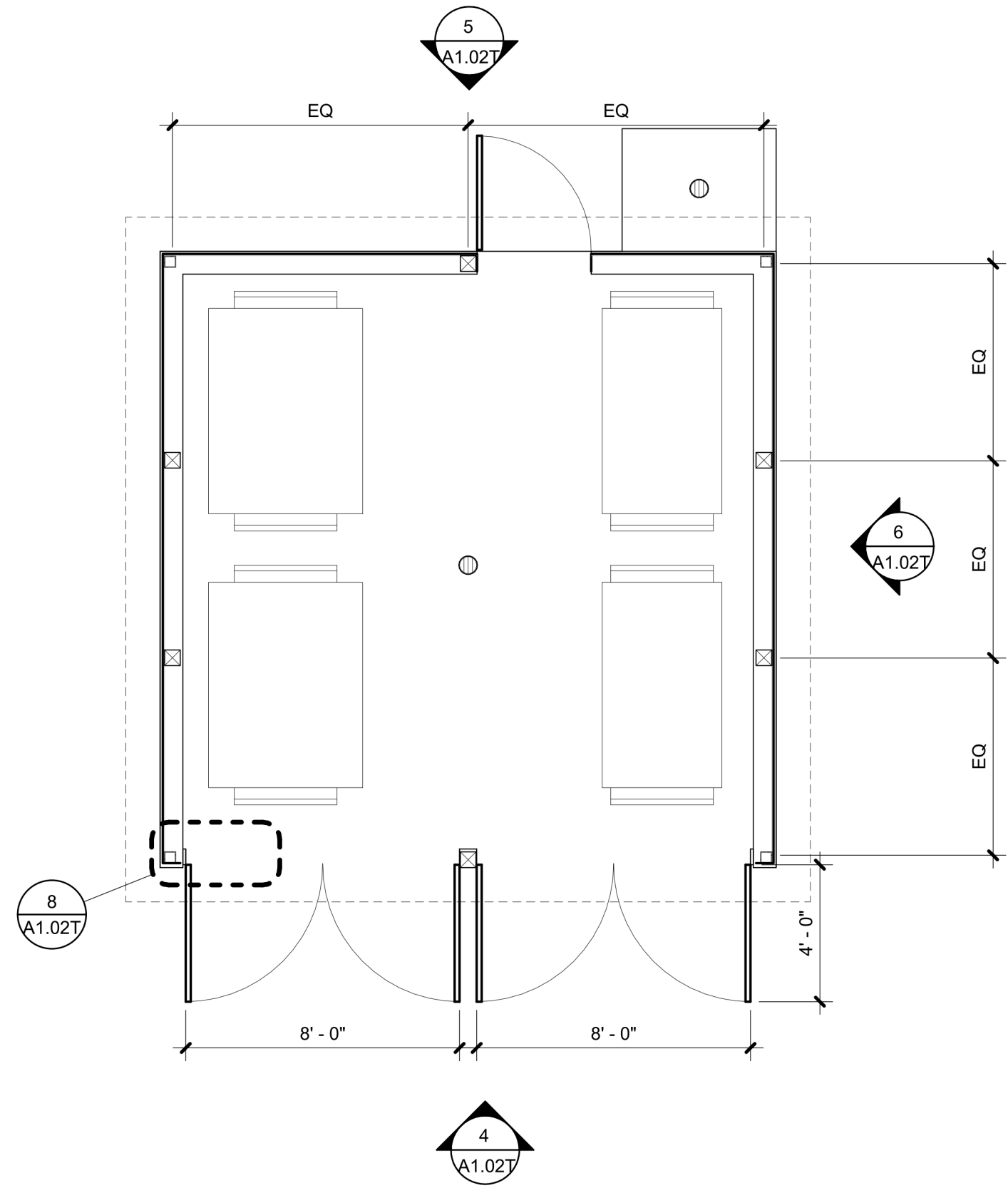
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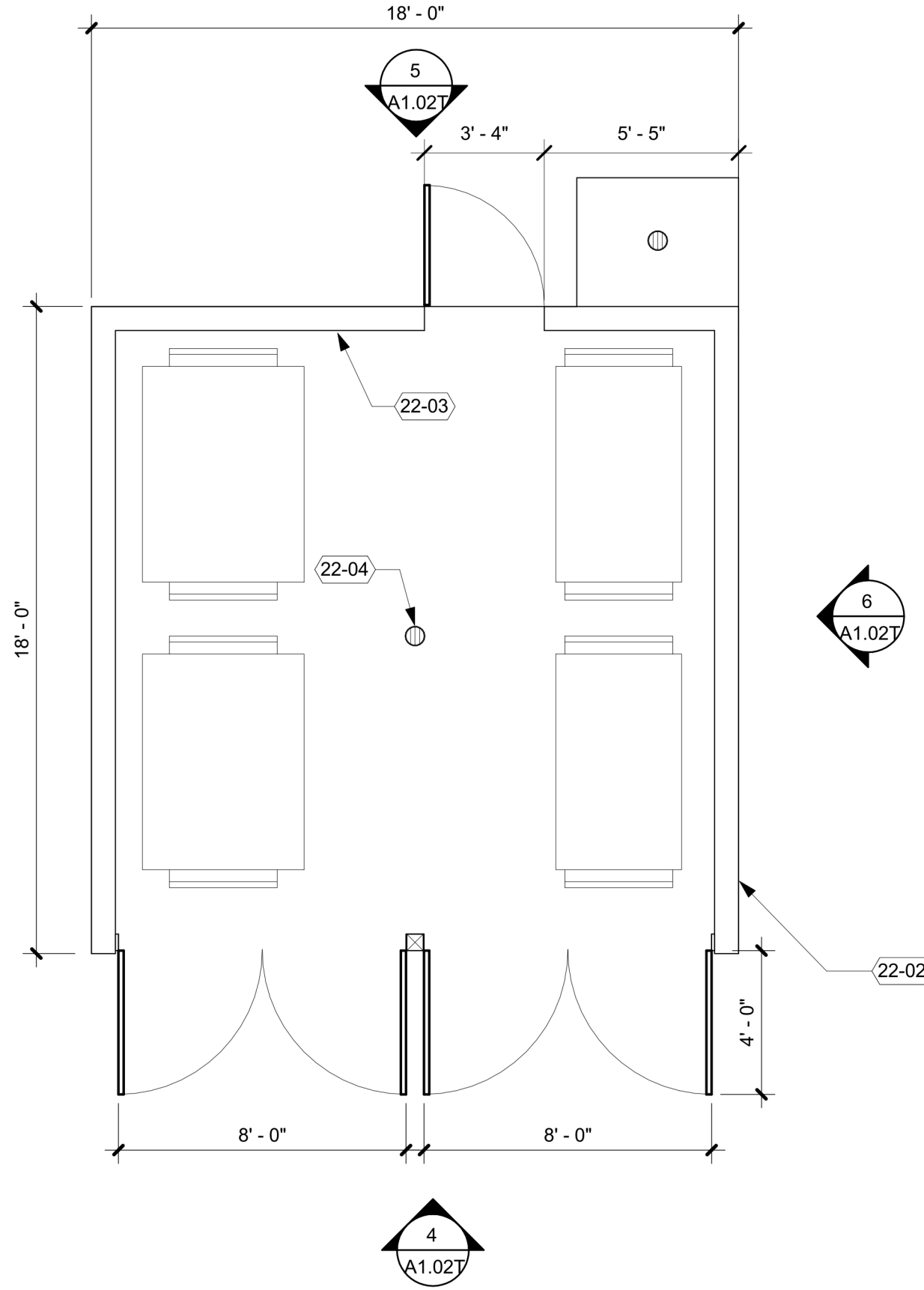
9 TRASH ENCLOSURE PLAN @ WOOD SLATS  
1/4" = 1'-0"



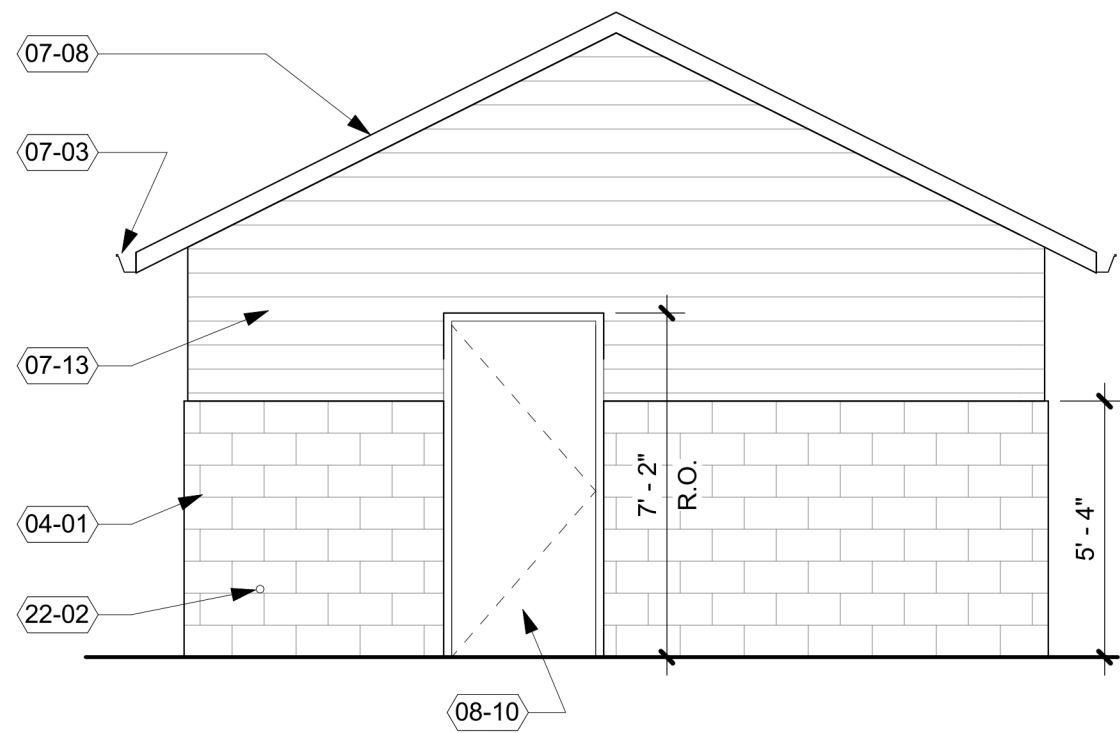
3 TRASH ENCLOSURE ROOF  
1/4" = 1'-0"



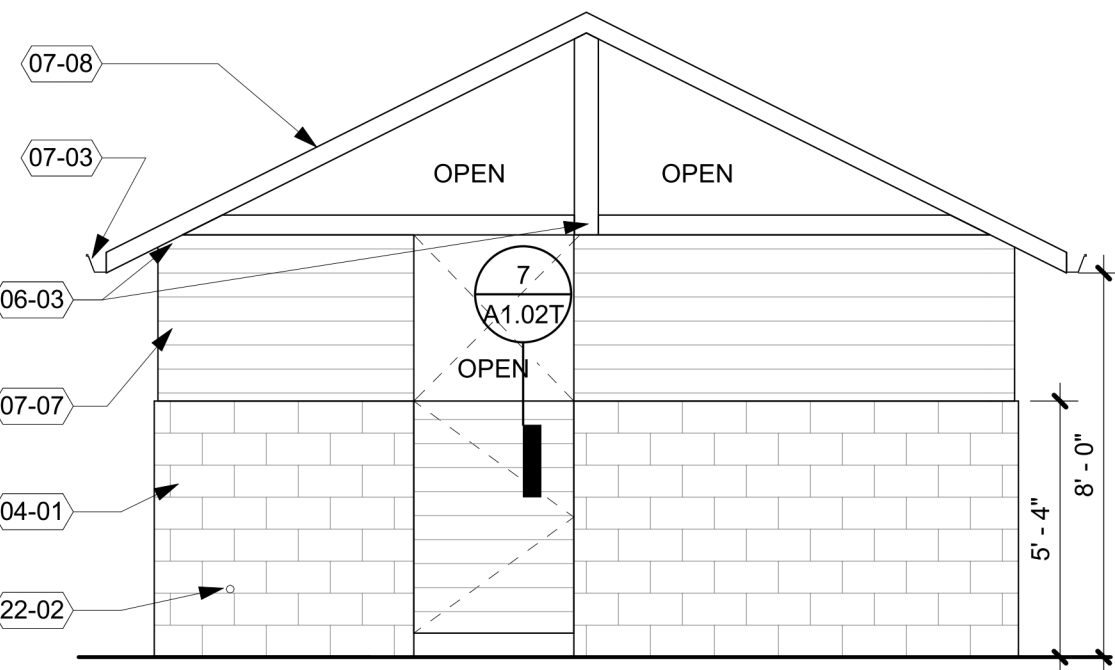
2 TRASH ENCLOSURE PLAN @ WOOD SLATS  
1/4" = 1'-0"



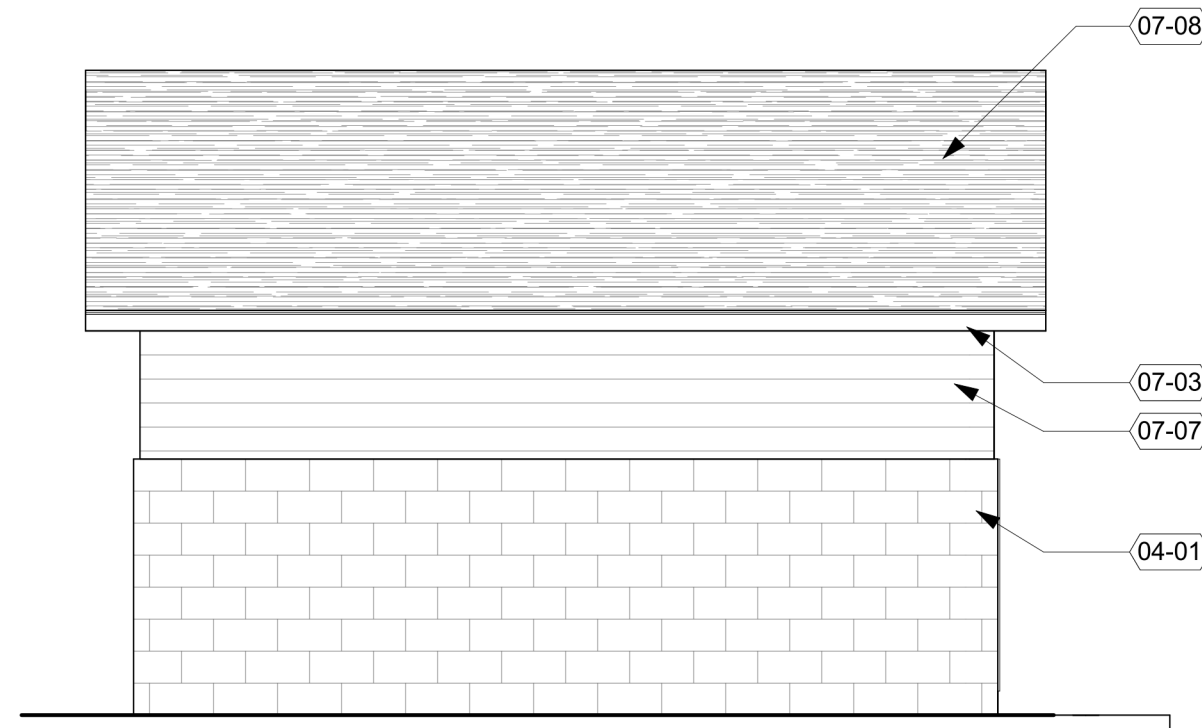
1 TRASH ENCLOSURE PLAN @ CMU  
1/4" = 1'-0"



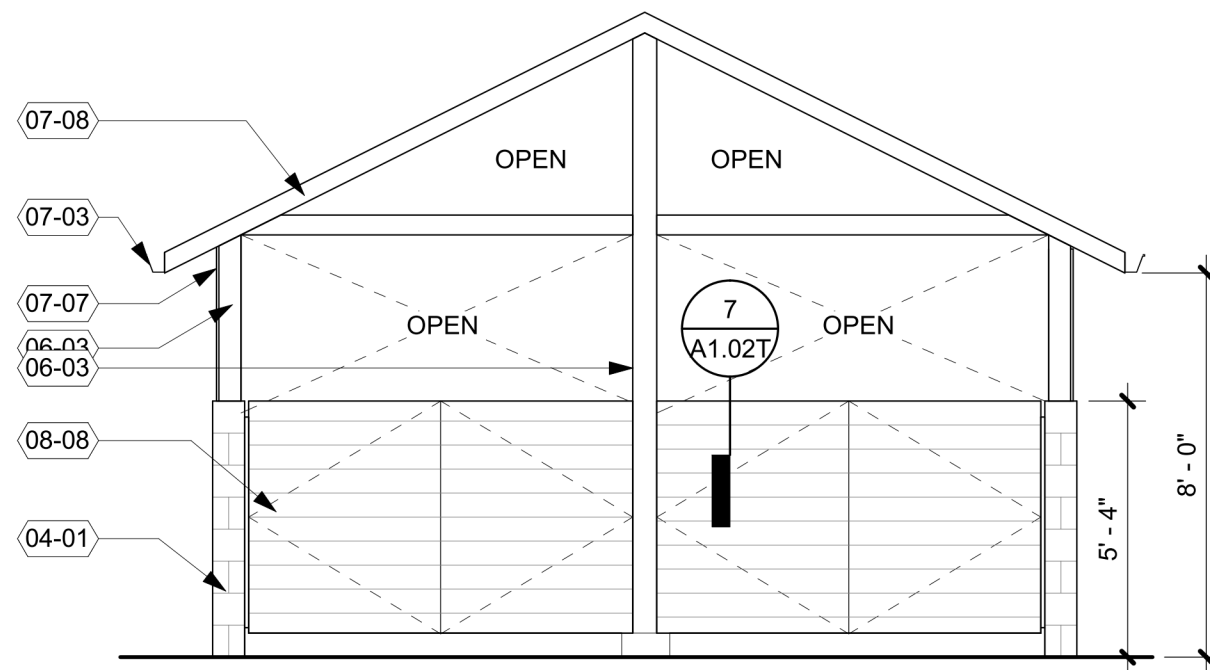
10 TRASH ENCLOSURE REAR ELEVATION  
1/4" = 1'-0"



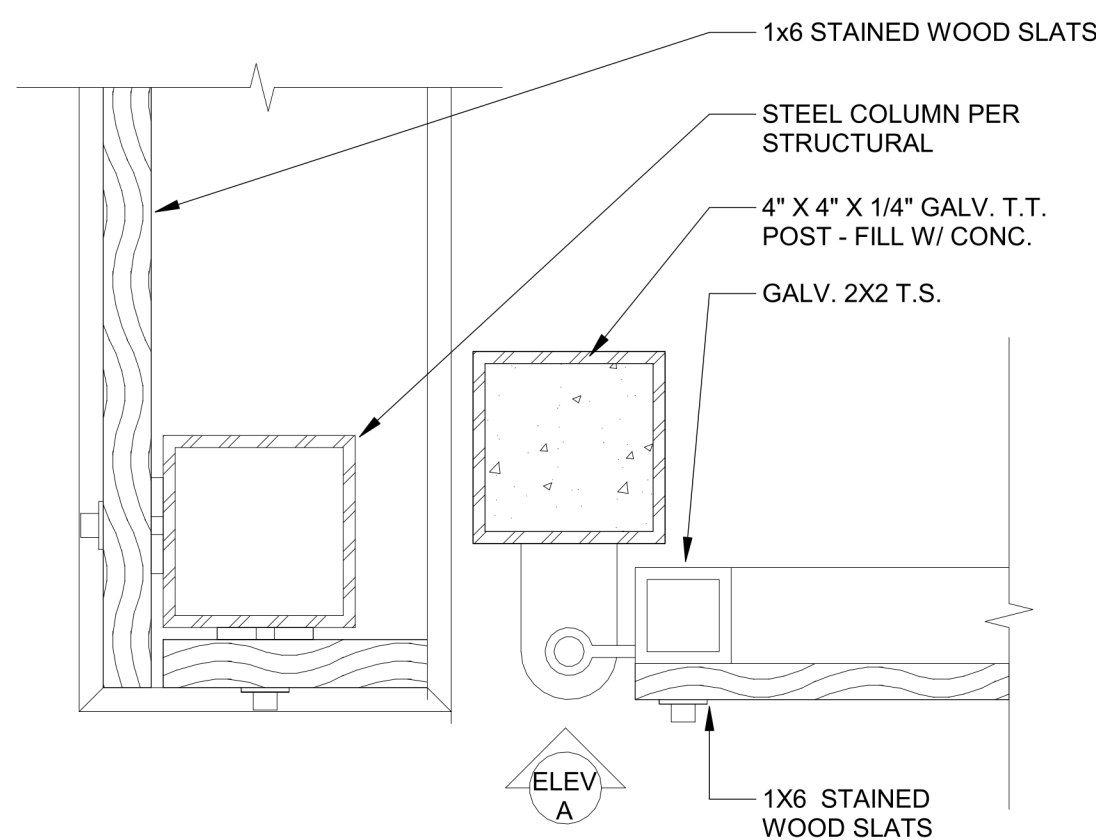
5 TRASH ENCLOSURE REAR ELEV  
1/4" = 1'-0"



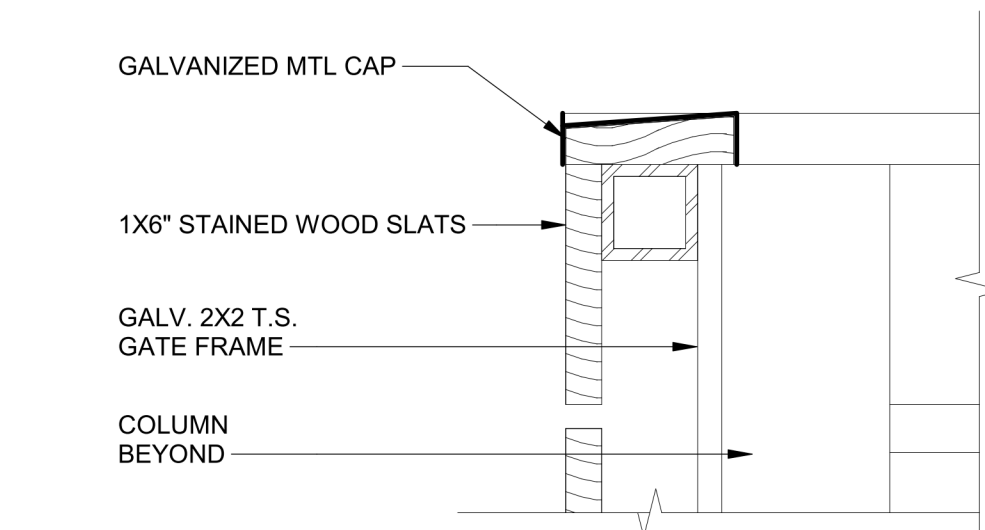
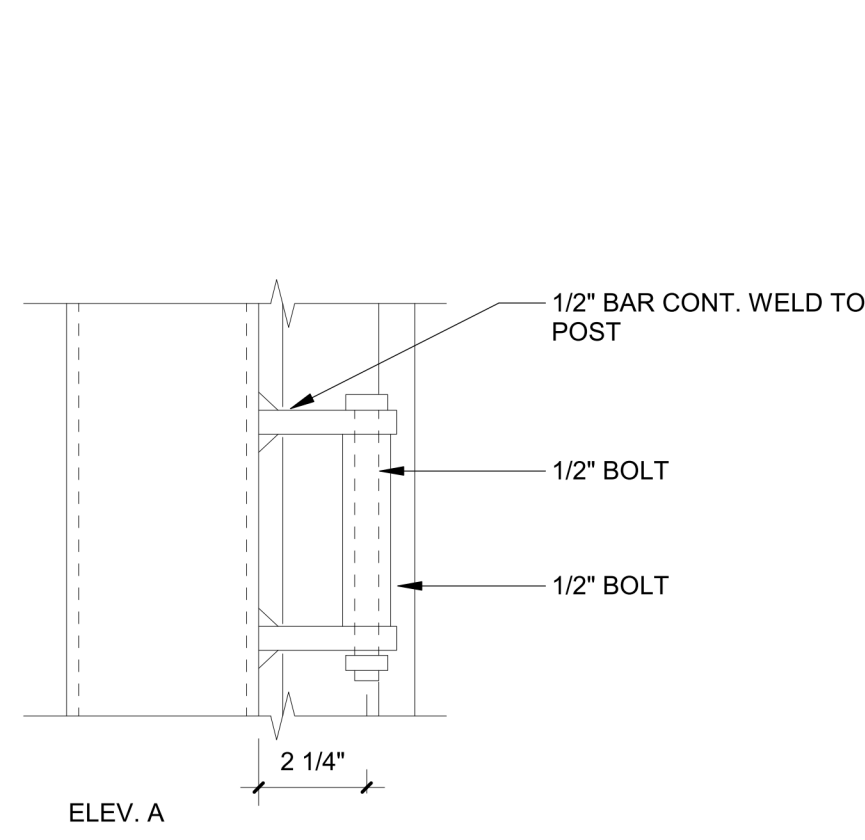
6 TRASH ENCLOSURE SIDE ELEV  
1/4" = 1'-0"



4 TRASH ENCLOSURE FRONT ELEV  
1/4" = 1'-0"



8 GATE JAMB  
3" = 1'-0"



7 GATE TOP  
3" = 1'-0"

KEYNOTES	LEGEND
04-01 SPLIT-FACE CMU 06-03 WOOD POST PER STRUCT. TYP 07-03 PREFIN. SHEET METAL GUTTER, TYP 07-07 1x6 CEDAR SPACED 12" 07-08 ASPHALT COMPOSITION ROOF ON WOOD FRAMING 07-13 GA WP 8130 1-HR RATED WALL ASSEMBLY: 1x6 CEDAR SPACED 1/2", OVER WRB, OVER ONE LAYER 5/8" PROPRIETARY TYPE 'X' GLASS MAT GYPSUM SHEATHING APPLIED PARALLEL OR AT RIGHT ANGLES TO 2x6 WOOD STUDS AT 16" O.C. WITH GALVANIZED ROOFING NAILS, 1 3/4" LONG, 0.128" SHANK, 7/16" HEAD, 7" O.C. INTERIOR: 1 LAYER 5/8" PROPRIETARY TYPE 'X' GYPSUM WALLBOARD - WALL TO EXTEND TO UNDERSIDE OF ROOF STRUCTURE.	ASPHALT SHINGLE ROOF CMU WALL 1X6 WOOD CEDAR SLATS
08-08 GATE, 1x6 CEDAR ON METAL FRAME 08-10 HOLLOW METAL DOOR & FRAME, 45 MIN FIRE RATING, WELDED & PAINTED 22-02 HOSE BIBB / BOOT WASH STATION 22-03 HOSE BIBB 22-04 AREA DRAIN	

S|E A

SCOTT|EDWARDS ARCHITECTURE LLP.  
2525 E Burnside Street, Portland, OR 97214  
phone: (503) 226-3617 www.seallp.com

NOT FOR  
CONSTRUCTION

CDP SALEM  
BUILDING E  
Job Number: 21031  
5205 BATTLE CREEK RD SE  
SALEM, OR 97306

CDP  
Community  
Development  
Partners

LAND USE 1.11.2022  
ISSUE DATE

Drawing:  
SITE DETAILS

Sheet No:  
Building E -

A7.21

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