

# LAND USE SUBMISSION

01.11.2021



## CDP SALEM - BUILDING D

5205 BATTLE CREEK RD SE  
SALEM, OR 97306



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FILE PATH: C:\Revit\_Local\21031\_CDP Salem Gateway\_Senior Building\_22\_acan.rvt

GENERAL PROJECT NOTES	PROJECT TEAM	PROJECT SUMMARY	SHEET INDEX		
<p>REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.</p> <p>1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.</p> <p>2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.</p> <p>3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.</p> <p>4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.</p> <p>5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.</p> <p>6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.</p> <p>7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.</p> <p>8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.</p> <p>9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.</p> <p>11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.</p> <p>12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.</p> <p>14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.</p> <p>15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.</p> <p>16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.</p> <p>17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.</p>	<p><b>OWNER</b></p> <p>CDP OREGON LLC 126 NE ALBERTA ST #202 PORTLAND, OR 97211 TEL: 971.533.7466 FAX: N/A CONTACT: THOMAS ELDRIDGE EMAIL: THOMAS@COMMUNITYDEVPARTNERS.COM</p> <p><b>CONTRACTOR</b></p> <p>LMC CONSTRUCTION 19200 SW TETON AVE TUALATIN, OR 97062 TEL: 503.646.0521 FAX: 503.646.6823 CONTACT: CHRIS DUFFIN EMAIL: CHRISD@LMCCONSTRUCTION.COM</p> <p><b>ARCHITECT</b></p> <p>SCOTT   EDWARDS ARCHITECTS, LLP 2525 E. BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: DAVE MOJICA EMAIL: DMOJICA@SEALLP.COM</p> <p><b>CIVIL ENGINEER</b></p> <p>WEST TECH ENGINEERING 3841 FAIRVIEW INDUSTRIAL DR SE #100 SALEM, OR 97302 TEL: 503.585.2474 FAX: N/A CONTACT: STEVE WARD EMAIL: SWARD@WESTECH-ENG.COM</p> <p><b>LANDSCAPE ARCHITECT</b></p> <p>PLACE 735 NW 18TH AVENUE PORTLAND, OR 97209 TEL: 503.334.2080 FAX: N/A CONTACT: MAURICIO VILLARREAL EMAIL: MAURICIO.VILLARREAL@PLACE.LA</p> <p><b>STRUCTURAL ENGINEER</b></p> <p>STONEWOOD STRUCTURAL ENGINEERS, INC 2001 NW 19TH SUITE 103A PORTLAND, OR 97209 TEL: 360.216.1704 FAX: N/A CONTACT: D. SCOTT NYSETH EMAIL: SCOTT.NYSETH@STONEWOODSTRUCTURAL.COM</p> <p><b>MEP ENGINEER</b></p> <p>INTERFACE 100 SW MAIN STREET, SUITE 1600 PORTLAND, OR 97204 TEL: 503.382.2266 FAX: 503.382.2262 CONTACT: KIM W EMAIL: KIMW@INTERFACEENG.COM</p>	<p>PROJECT DESCRIPTION: 4-STORY WOOD FRAMED MULTIFAMILY BUILDING FEATURING 46 RESIDENTIAL UNITS, COMMUNITY ROOM AND SUPPORT SPACES</p> <p>GROSS AREA: 42,155 SF</p> <p>PROJECT ADDRESS: 5205 BATTLE CREEK RD SE SALEM, OR 97306</p> <p>LEGAL DESCRIPTION: 083W14/ 118 AND 300</p> <p>ZONING: RM-II</p>	<p><b>SHEET #</b>    <b>SHEET NAME</b></p> <p>GENERAL</p> <p>G0.01    GENERAL PROJECT INFORMATION</p> <p>G1.01    CODE SUMMARY</p> <p>ARCHITECTURAL</p> <p>A0.01    ARCHITECTURAL GENERAL NOTES AND DIAGRAMS</p> <p>A0.10    ACCESSIBILITY DIAGRAMS - RESIDENTIAL</p> <p>A0.20    ASSEMBLIES</p> <p>A2.11    FIRST FLOOR PLAN</p> <p>A2.12    SECOND FLOOR PLAN</p> <p>A2.13    THIRD FLOOR PLAN</p> <p>A2.14    FOURTH FLOOR PLAN</p> <p>A2.15    ROOF PLAN</p> <p>A3.01    EXTERIOR ELEVATIONS</p> <p>A3.02    EXTERIOR ELEVATIONS</p> <p>A3.10    RENDERINGS</p> <p>A5.01    WALL SECTIONS</p> <p>A7.01    EXTERIOR DETAILS</p> <p>A7.02    EXTERIOR DETAILS</p>		
			<p><b>SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS</b></p> <p>CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.</p> <p>UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.</p> <p><u>SEPARATE PERMITS:</u></p> <p>1. DEMOLITION PERMIT</p> <p>2. SIGNAGE PERMIT</p> <p><u>DEFERRED SUBMITTALS:</u></p> <p>1. ELEVATOR</p> <p>2. FIRE SPRINKLER SYSTEM</p> <p>3. FIRE DETECTION AND ALARM SYSTEM</p> <p>4. FIRE DEPARTMENT ACCESS KEY BOX</p> <p>5. HANGERS AND SUPPORT FOR HVAC</p> <p>6. VIBRATION AND SEISMIC CONTROLS FOR HVAC</p> <p>7. LATERAL BRACING AND ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT WEIGHING MORE THAN 75 LBS (EXCEPTIONS PER ASCE 7, SECTION 13.1.4)</p> <p>8. PRE-ENGINEERED MANUFACTURED TRUSSES</p> <p>9. WOOD CHORD METAL WEB TRUSSES</p> <p>10. STAIR FRAMING</p> <p>11. CURTAINWALL SYSTEMS</p> <p>12. PHOTO VOLTAGE PANEL ATTACHMENT AND BALLAST</p> <p>SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.</p>		
			<p><b>ALTERNATES</b></p> <p>IN ADDITION TO THE BASE BUILDING BID, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING ALTERNATES:</p> <p>SEE ARCHITECTURAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL SCOPE OF ALTERNATES.</p> <p>DEDUCTIVE ALTERNATES</p> <p>1. HARDIE SHIPLAP IN LIEU OF CERACLAD.</p> <p>2. FRONT-SET STOREFRONT AT BRIDGE IN LIEU OF STRUCTURAL SILICONE GLAZED STOREFRONT.</p> <p>ADDITIVE ALTERNATES</p> <p>1. TBD.</p>		
	<p><b>VICINITY MAP</b></p>				

S|E A

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NOT FOR CONSTRUCTION

CDP SALEM - BUILDING D

Job Number: 21031

5205 BATTLE CREEK RD SE SALEM, OR 97306

C  
D  
P

Community Development Partners

LAND USE SUBMISSION ISSUE

01.11.2021 DATE

Drawing:

GENERAL PROJECT INFORMATION

Sheet No: Building D -

G0.01

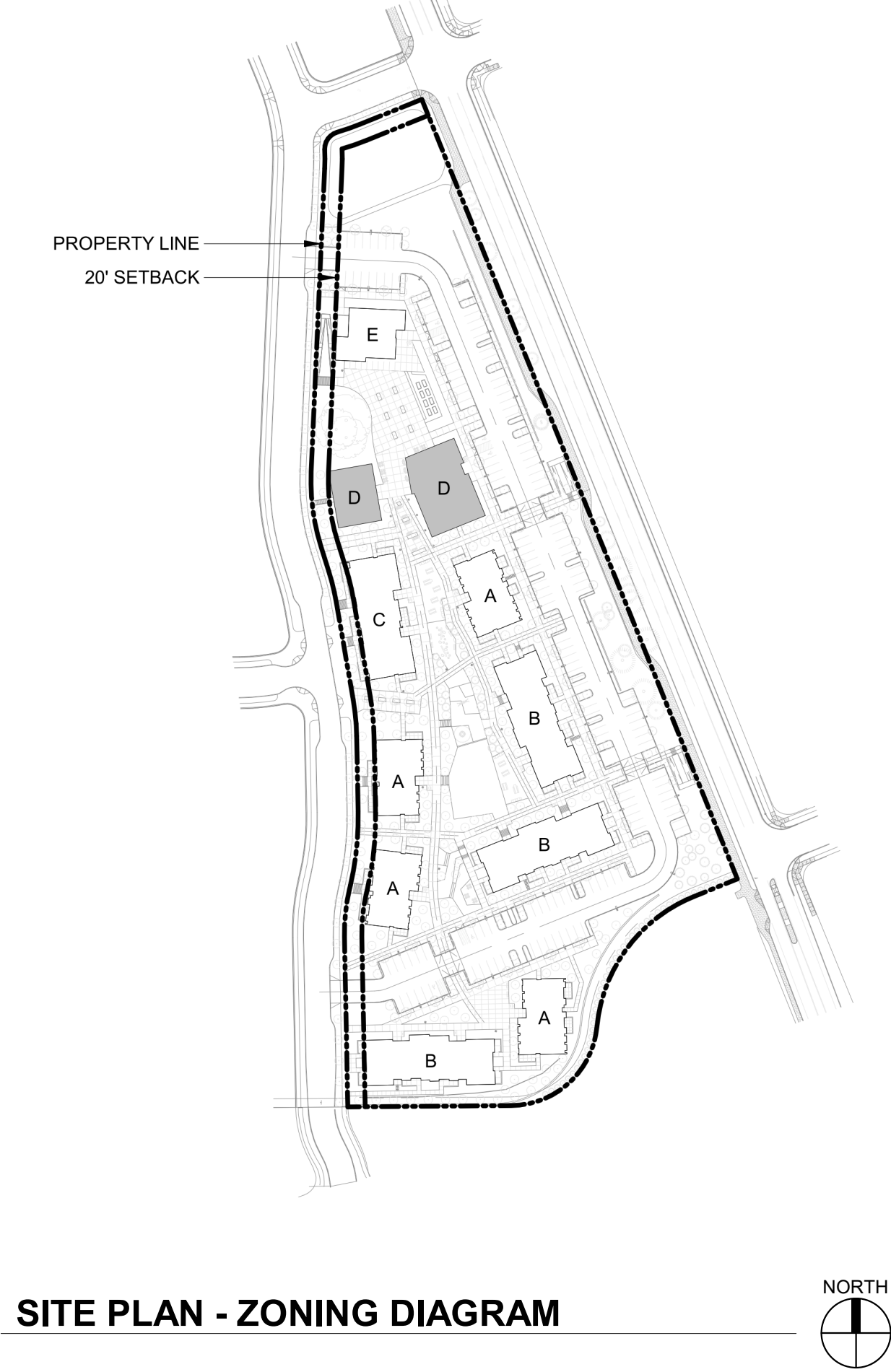


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BUILDING CODE SUMMARY			2019 OREGON STRUCTURAL SPECIALTY CODE																
OCCUPANCY		R-2 WITH ACCESSORY B OCCUPANCY																	
CONSTRUCTION TYPE		V-A, SPRINKLERED NFPA 13																	
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE																			
OSSC REFERENCE																			
SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.																	
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.																	
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8																	
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2																	
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS																			
TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	R-2: 70 FT / 4 STORY / 12000 SF																	
MODIFICATIONS																			
SECTION 506.2.3 SINGLE-OCCUPANCY MULTISTORY BUILDINGS EQUATION 5-2	BUILDING AREA	Aa = [At + (Ns x If)] x Sa = [12000 SF + (12000 SF x 0.75)] x 3 = 21000 SF x 3 = 63000 SF																	
SECTION 506.3	FRONTAGE INCREASE	If = [F/P - 0.25] x W/30 If = [283/283 - 0.25] x 30/30 = 0.75																	
	ACTUAL HEIGHT / STORIES	45' - 0" / 4 Story																	
<table><tr><th colspan="2">BUILDING AREA</th></tr><tr><td>FLOOR LEVEL</td><td>AREA (SF)</td></tr><tr><td>FIRST FLOOR</td><td>10859 SF</td></tr><tr><td>SECOND FLOOR</td><td>10093 SF</td></tr><tr><td>THIRD FLOOR</td><td>11187 SF</td></tr><tr><td>FOURTH FLOOR</td><td>11187 SF</td></tr><tr><td></td><td>43326 SF</td></tr></table>						BUILDING AREA		FLOOR LEVEL	AREA (SF)	FIRST FLOOR	10859 SF	SECOND FLOOR	10093 SF	THIRD FLOOR	11187 SF	FOURTH FLOOR	11187 SF		43326 SF
BUILDING AREA																			
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FOURTH FLOOR	11187 SF																		
	43326 SF																		
SECTION 508.2	ACCESSORY OCCUPANCY	B																	
SECTION 508.3 / 508.4	MIXED OCCUPANCY	N/A																	
TABLE 509	INCIDENTAL USES	LAUNDRY ROOMS OVER 100 SF SPRINKLERED, NO SEPARATION REQUIRED TRASH ROOMS OVER 100 SF SPRINKLERED, NO SEPARATION REQUIRED																	
CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION																			
TABLE 601	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS																		
	BUILDING ELEMENT	FIRE RATING *																	
	PRIMARY STRUCTURAL FRAME	1 HOUR																	
	BEARING WALLS																		
	EXTERIOR	1 HOUR																	
	INTERIOR	1 HOUR																	
	NON BEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602																	
	NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR																	
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS	1 HOUR																	
	ROOF CONSTRUCTION AND SECONDARY MEMBERS	1 HOUR																	
	* UNLESS OTHERWISE REQUIRED BY THIS CODE																		
TABLE 602	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE																		
	FIRE SEPARATION DISTANCE	FIRE RATING																	
	X < 5'	1 HOUR																	
	5' <= X < 10'	1 HOUR																	
	10' <= X < 30'	1 HOUR																	
	X >= 30'	0 HOUR																	
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES																			
TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES																	
TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION		UNPROTECTED, SPRINKLERED (NFPA 13)																
	0 TO LESS THAN 3'	NOT PERMITTED		PROTECTED															
	3 TO LESS THAN 5'	15%		NOT PERMITTED															
	5 TO LESS THAN 10'	25%		25%															
	10 TO LESS THAN 15'	45%		45%															
	15 TO LESS THAN 20'	75%		75%															
	20 TO LESS THAN 25'	NO LIMIT		NO LIMIT															
	25 TO LESS THAN 30'	NO LIMIT		NO LIMIT															
	30' OR GREATER	NO LIMIT		NO LIMIT															
705.11	PARAPETS	EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.																	
TABLE 706.4	FIRE WALL FIRE RESISTANCE	N/A																	
TABLE 707.3.10	FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS	2 HOURS																	
SECTION 708	FIRE PARTITIONS	1 HOUR 1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1																	
SECTION 709	SMOKE BARRIERS	1 HOUR																	
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3																		
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A																	
711.2.4.2	SEPARATING FIRE AREAS	N/A																	
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR																	
711.2.4.4	SEPARATING SMOKE COMPARTMENTS	N/A																	
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509																	
711.2.4.6	OTHER SEPARATIONS	N/A																	
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE																	
CHAPTER 8: INTERIOR FINISHES																			
TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATING)																		
	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C																	
	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C																	
	ROOMS AND ENCLOSED SPACES	C																	
CHAPTER 9: FIRE PROTECTION SYSTEMS																			
	SPRINKLERED PER NFPA 13																		

CHAPTER 10: MEANS OF EGRESS					
SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD TABLE			
SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR	0.3			
SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR	0.2			
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 OCCUPANTS 125 FT			
TABLE 1006.3.2	MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY	500 2			
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES			
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	B: 200 FT; R-2: 250 FT			
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	B: 0; R-2: 1/2 HR			
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES + 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50 EXCEPTION 2, R-2 SPRINKLERED PER NFPA 13, 50 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH			
SECTION 1020.4	DEAD ENDS				
CHAPTER 11: ACCESSIBILITY					
SECTION 1106.2	R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE				
	TOTAL SPACES PROVIDED:	163			
	ACCESSIBLE SPACES REQUIRED:	163 x 2% = 4			
	ACCESSIBLE SPACES PROVIDED:	6			
	VAN ACCESSIBLE SPACES REQUIRED:	1 PER 6 ACCESSIBLE SPACES			
	VAN ACCESSIBLE SPACES PROVIDED:	1			
	WHEELCHAIR ONLY SPACES REQUIRED:	1 PER 101-200 SPACES			
	WHEELCHAIR ONLY SPACES PROVIDED:	1			
SECTION 1107.6.2.2.1	R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS				
	TYPE A UNITS REQUIRED (TOTAL FOR SITE):	184 x 2% = 4 UNITS			
	TYPE A UNITS PROVIDED (TOTAL FOR SITE):	0 UNITS			
	TYPE A UNITS PROVIDED (THIS BUILDING):	0 UNITS			
SECTION 1107.6.2.2.2	WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM				
ADDITIONAL ACCESSIBILITY REQUIREMENTS					
APPLICABLE STANDARDS					
ANSI ICC A117.1 - 2009					
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II					
SECTION 504					
FAIR HOUSING ACCESSIBILITY GUIDELINES					
FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018					
OHCS CORE DEVELOPMENT MANUAL					
ACCESSIBLE UNITS					
5% OF UNITS WITH MOBILITY FEATURES		184 x 5% = 0 UNITS			
2% OF UNITS WITH COMMUNICATION FEATURES		184 x 2% = 0 UNITS			
CHAPTER 13: ENERGY EFFICIENCY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)					
CLIMATE ZONE 4C					
OPAQUE ELEMENTS		REQUIRED		PROVIDED	
		ASSEMBLY MAX.	MIN. R-VALUE		
ROOFS					
INSULATION ENTIRELY ABOVE DECK		N/A	N/A		
METAL BUILDINGS		N/A	N/A		
ATTIC AND OTHER		U-0.021	R-49	R-49	
WALLS (ABOVE GRADE)					
MASS		U-0.090	R-11.4 CI		
METAL BUILDINGS		N/A	N/A		
STEEL-FRAMED		N/A	N/A		
WOOD-FRAMED / OTHER		U-0.064	R-13 + 3.8 CI OR R-20	R-23	
WALLS (BELOW GRADE)		C-0.092	R-10 CI		
FLOORS					
MASS		N/A	N/A		
STEEL JOIST		N/A	N/A		
WOOD FRAMED / OTHER		U-0.033	R-30	R-30	
SLAB-ON-GRADE FLOORS					
HEATED		N/A	N/A		
UNHEATED		F-0.520	R-15 FOR 24"	R-15 FOR 24"	
OPAQUE DOORS					
SWINGING		U-0.370		U-0.370	
NON-SWINGING		N/A			
REINESTRATION		REQUIRED		PROVIDED	
		MAX U	MAX SHGC	MAX U	MAX SHGC
VERTICAL (0% - 40% OF WALL ALLOWED)					
FIXED		U-0.36	0.36	1.10	
OPERABLE		U-0.45	0.33	1.10	
ENTRANCE DOOR		U-0.63	0.33	1.10	
SKYLIGHT (0% - 3% OF ROOF ALLOWED)					
CI = CONTINUOUS INSULATION FC = FILLED CAVITY NR = NO REQUIREMENT NA = NOT APPLICABLE					
CHAPTER 29: PLUMBING FIXTURES					
R-2	TOTAL UNITS		1 WC / LAV / Tub or Shower per unit required and provided		
	12				



SITE PLAN - ZONING DIAGRAM

702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

SECTION	REQUIREMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
SITE SAFETY & SECURITY		
702.020 c.1	REQUIREMENT MET	A2.11-A2.14
702.020 c.2	REQUIREMENT MET	A3.01-A3.02
FACADE & BUILDING DESIGN		
702.020 e.1	REQUIREMENT MET	A2.11-A2.15
702.020 e.7	REQUIREMENT MET	A2.15, A3.01-A3.02
702.020 e.8	REQUIREMENT MET	A2.15
702.020 e.9	REQUIREMENT MET	A2.13-A2.14
702.020 e.10	REQUIREMENT MET	A3.01-A3.02

S|E A

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NOT FOR CONSTRUCTION

CDP SALEM - BUILDING D

Job Number: 21031

5205 BATTLE CREEK RD SE  
SALEM, OR 97306



LAND USE SUBMISSION ISSUE 01.11.2021 DATE

Drawing:

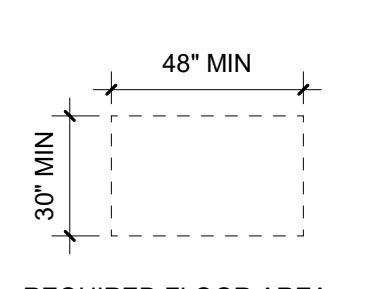
CODE SUMMARY

Sheet No:  
Building D -

G1.01

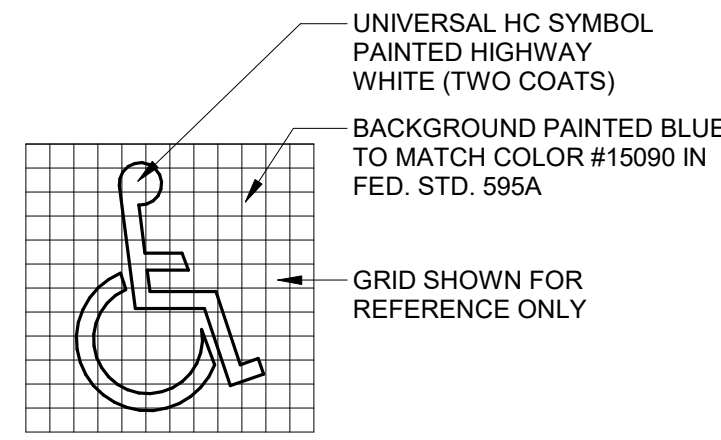


Diagram illustrating the minimum clear height and width requirements for a doorway. The minimum clear height is indicated as  $\geq 80"$ . The minimum clear width is indicated as  $\geq 27"$ . A note specifies a maximum clearance of 4" MAX. for the door swing.



A diagram of a rectangular hole. The horizontal dimension is labeled "48" MIN" and the vertical dimension is labeled "30" MIN". The hole is represented by a dashed rectangle.

- A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.
- B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.



	POUND OR NUMBER								
@	AT	GA	GAUGE	R	RA	RADIUS OR RISER			
CL	CENTERLINE	GALV	GALVANIZED	RA	RETURN AIR				
L	ANGLE	GC	GENERAL CONTRACTOR	RB	RESILIENT BASE				
	DIAMETER OR ROUND	GI	GALVANIZED IRON	RD	ROOF DRAIN				
		GL	GULAM	REC	RECOMMENDATION				
AB	ANCHOR BOLT	GND	GROUND	REF	REFERENCE				
AC	ASPHALTIC CONCRETE	GR	GRADE	REFR	REFRIGERATOR				
ACT	ACOUSTIC CEILING TILE	GWB	GYPSPUM BOARD	REINF	REINFORCE(MENT)				
AD	AREA DRAIN	GYP	GYPSPUM	REQD	REQUIRED				
ADJ	ADJUSTABLE	GYP BD	GYPSPUM BOARD	RESIL	RESILIENT				
AF	ABOVE FINISH FLOOR			REV	REVISIONS				
AFG	ABOVE FINISH GRADE	HB	HOSE BIB	RF	RESISTANT FLOOR				
ALT	ALTERNATE	HC	HOLLOW CORE	RH	RIGHT HAND				
ALUM	ALUMINUM	HDR	HEADER	RM	ROOM				
ANOD	ANODIZED	HDWD	HARDWOOD	RO	ROUGH OPENING				
APPROX	APPROXIMATE / APPROXIMATELY	HW	HARDWARE	ROW	ROW OF WAY				
ARCH	ARCHITECTURAL / ARCHITECT	HM	HOLLOW METAL	RWL	RAIN WATER LEADER				
ASPH	ASPHALT	HNDCP	HANDICAP						
		HORIZ	HORIZONTAL	S	SOUTH				
		HP	HORSE POWER	SA	SUPPLY AIR				
BC	BOTTOM OF CURB	HPL	HIGH PRESSURE LAMINATE	SAM	SELF ADHERED MEMBRANE				
BD	BOARD	HR	HOUR	SC	SOLID CORE				
BITUM	BITUMINOUS	HSS	HOLLOW STRUCTURAL STEEL	SCHED	SCHEDULE				
BLDG	BUILDING	HT	HEIGHT	SEC	SECTION				
BLK	BLOCK	HVAC	HEATING VENTILATING AIR CONDITIONING	SF	SQUARE FOOT				
BLKG	BLOCKING	HW	HOT WATER	SHT	SHEET				
BLW	BELOW			SHTHG	SHEATHING				
BO	BOTTOM OF	ID	INSIDE DIAMETER	SHWR	SHOWER				
BOT	BOTTOM	IE	INVERT ELEVATION	SM	SIMILAR				
BRG	BEARING	IN	INCHES	SM	SHEET METAL				
BTWN	BETWEEN	INCH	INCHES	SP	SOLID PIPE				
BUR	BUILT UP ROOF	INSUL	INSULATION	SPEC	SPECIFICATIONS				
		INT	INTERIOR	SPK	SPEAKER				
CAB	CABINET	JB	JUNCTION BOX	SQ	SQUARE				
CB	CUBIC FEET PER MINUTE	JN	JOIST HANGER	SSK	STAINLESS STEEL				
CFM	CUBIC FEET PER MINUTE	JH	JOIST HANGER	SSK	SERVICE SINK				
CI	CAST IRON	JOIST	JOIST	SSM	SOLID SURFACE MATERIAL				
CIP	CAST IN PLACE	JOINT	JOINT	STD	STANDARD				
CJ	CONTROL JOINT	KD	KILN DRIED	STL	STEEL				
CL	CENTERLINE	KIT	KITCHEN	STN	STAIN				
CLG	CEILING	KW	KILOWATT	STR	STRUCTURAL				
CLR	CLEAR			STRUCT	STRUCTURE				
CMU	CONCRETE MASONRY UNIT	LAM	LAMINATED	SUSP	SUSPENDED				
CO	CLEAN OUT	LAV	LAVATORY	SYM	SYMMETRICAL				
COL	COLUMN	LB	LEADER BOX						
CONC	CONCRETE	LH	LEFT HAND	T	TREAD OR TIE				
CONN	CONNECTION	LKR	LOCKER	T&G	TONGUE AND GROOVE				
CONT	CONTINUOUS	LT	LIGHT	T/M	TO MATCH				
CPT	CARPET	LTWT	LIGHTWEIGHT	TC	TOP OF CURB				
CSMT	CASEMENT	MAT	MATERIAL	TEL	TELEPHONE				
CT	CERAMIC TILE	MAX	MAXIMUM	TEMP	TEMPERATURE				
CTSK	COUNTERSINK	MB	MACHINE BOLT	TER	TERRAZZO				
CW	COLD WATER	MC	MEDICINE CABINET	THK	THICK / THICKNESS				
CWD	CLAD WOOD	MECH	MECHANICAL	TJ	JOINT TO JOINT				
		MFR	MANUFACTURER	TLT	TOILET				
DBL	DOUBLE	MH	MANHOLE	TO	TO				
DEG	DEGREE	MIN	MINIMUM	TOC	TOP OF CONCRETE				
DEPT	DEPTH	MIR	MIRROR	TOP	TOP OF PARAPET				
DET	DETAIL	MISC	MISCELLANEOUS	TOS	TOP OF STEEL				
DF	DOUGLAS FIR	MO	MASONRY OPENING	TOSF	TOP OF STEEL				
DH	DOUBLE HUNG	MROGB	MOISTURE RESISTANT GWB	TOW	TOP OF WALL				
DI	DIAMETER	MTD	MOUNTED	TP	TOP				
DIA	DIAGONAL	MTL	METAL	TS	TUBE STEEL				
DM	DIMENSION	MULL	MULLION	TV	TELEVISION				
DISP	GARBAGE DISPOSAL			TYP	TYPICAL				
DN	DOWN	(N)							

A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.

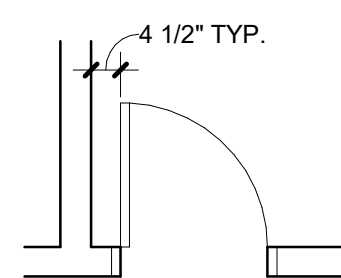
B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.

C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.

D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.

E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.

F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO ROUGH OPENING.



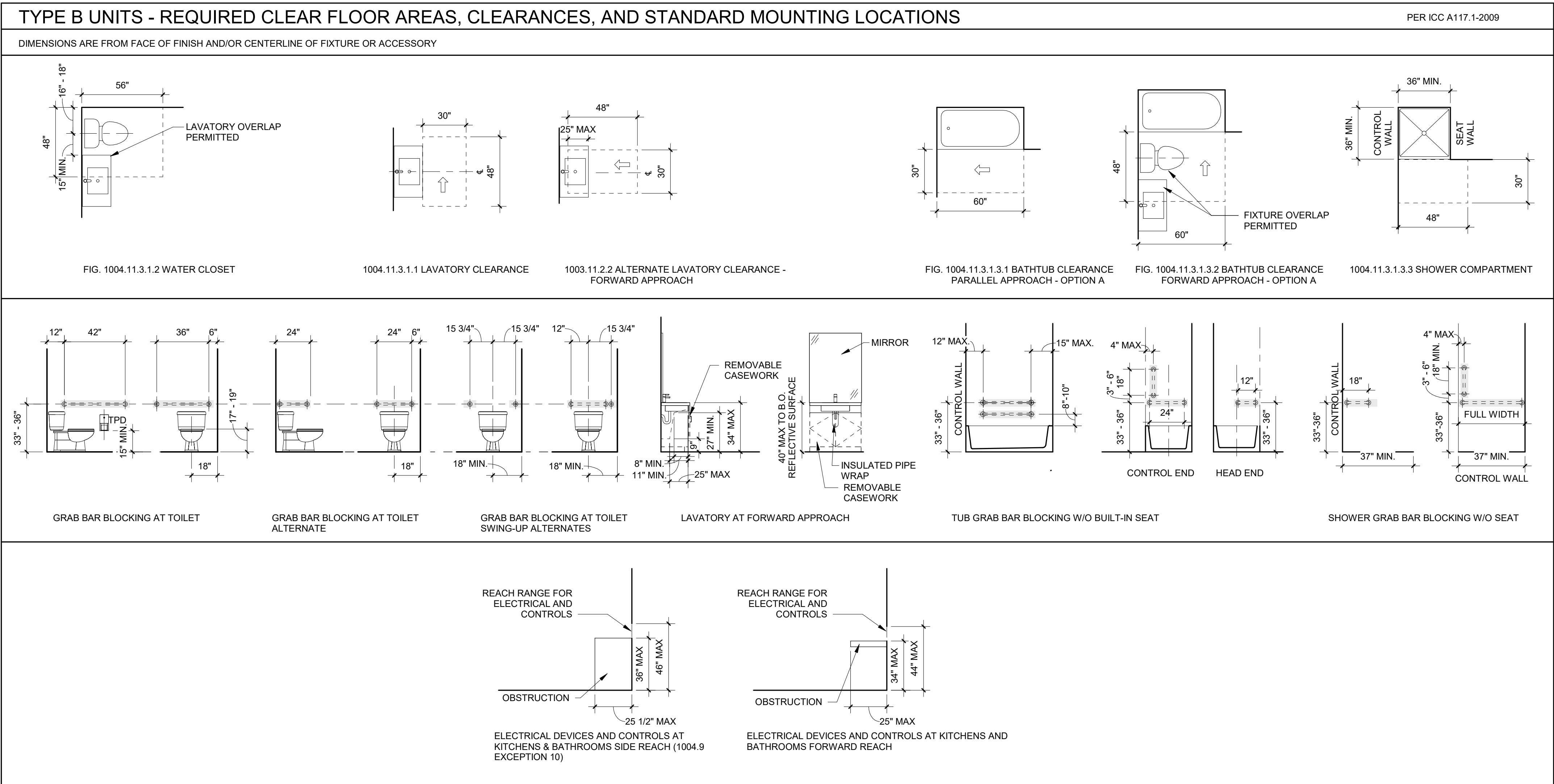
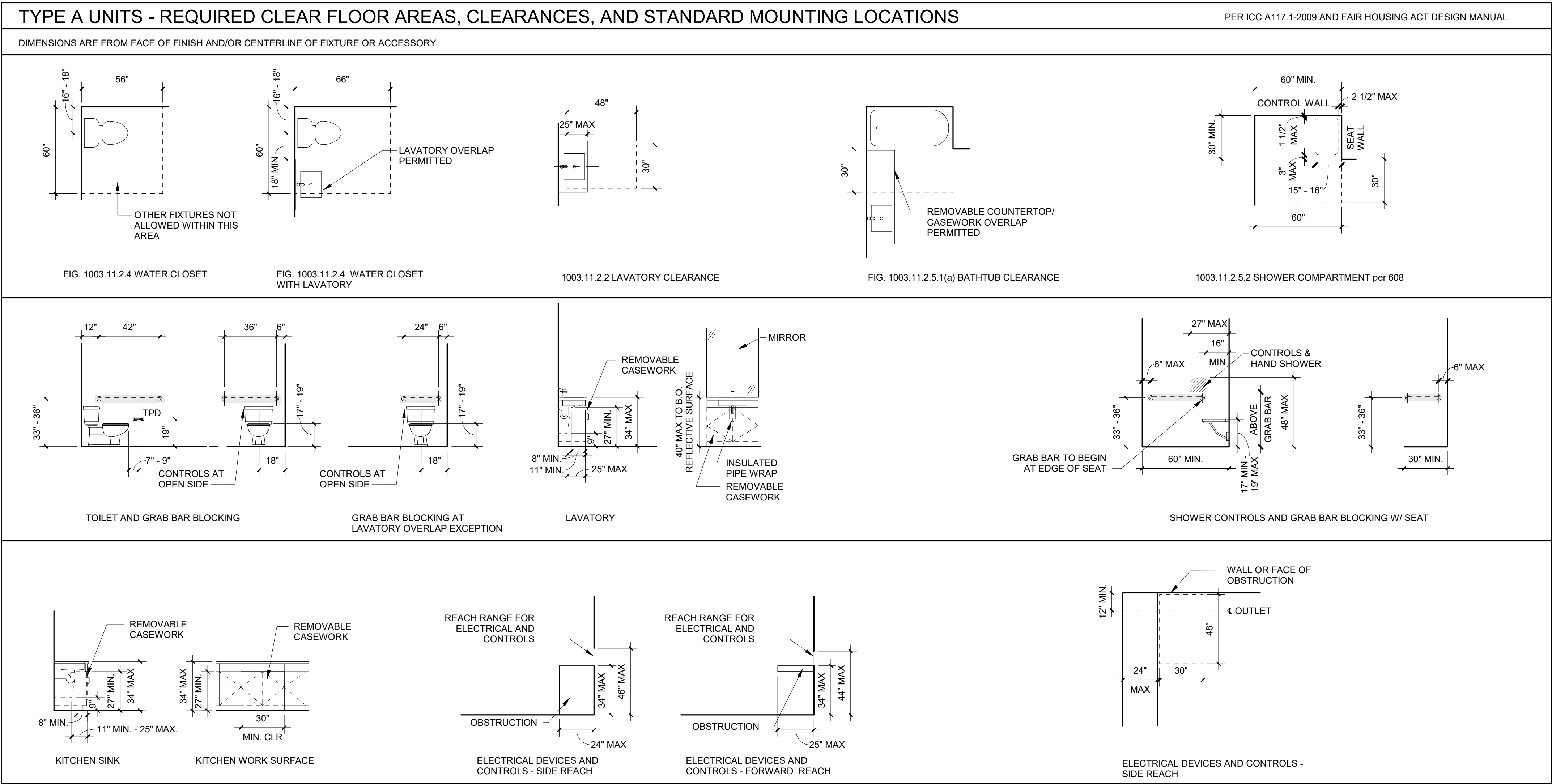
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 REVISION DOCUMENT





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NOT FOR  
CONSTRUCTION

CDP SALEM -  
BUILDING D  
Job Number: 21031  
5205 BATTLE CREEK RD SE  
SALEM, OR 97306

C  
D P  
Community  
Development  
Partners

LAND USE SUBMISSION ISSUE 01.11.2021  
DATE

Drawing:  
ACCESSIBILITY  
DIAGRAMS -  
RESIDENTIAL

Sheet No:  
Building D -

A0.10



<h1>GENERAL SHEET NOTES</h1>	
A.	REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.
B.	SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
C.	MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
D.	PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
E.	PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.
F.	ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
G.	WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.
H.	ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
I.	AT WALLS WITH RESILIENT CHANNELS SEE DETAIL ____ FOR ASSEMBLY DETAILS.
J.	WHERE ACOUSTIC WALL IS INDICATED, SEE ____ FOR ASSEMBLY DETAILS.
<h2>WALL TYPE SYMBOL</h2>	
<h2>WOOD FRAMING SIZES</h2>	
<p>0 = MTL FURRING, 7/8" OR AS INDICATED</p> <p>4 = 2" x 4"</p> <p>6 = 2" x 6"</p> <p>8 = 2" x 8"</p>	
<h2>ABBREVIATIONS</h2>	
GA	GYPSUM ASSOCIATION





1 FIRST FLOOR PLAN  
1/8" = 1'-0"

GENERAL SHEET NOTES

- A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
- B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
- C. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES
- D. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY WITH FLOOR FINISHES
- E. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS
- F. SEE WINDOW SCHEDULE FOR WINDOW TYPES
- G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN
- H. WIRE SHELVING IN ALL BEDROOM CLOSETS
- I. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY. SEE M.E.P. DRAWINGS.
- J. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS
- K. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS
- L. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL
- M. WHERE WALLS, DOORS AND WINDOWS ARE NOT DIMENSIONED, ALIGN WITH THOSE ON THE FLOOR BELOW. TYP. SEE SECTIONS AND EXTERIOR ELEVATIONS.

LEGEND

- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF

KEYNOTES (07-02)

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Job Number: 21031  
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Drawing: FIRST FLOOR PLAN

Sheet No: Building D -

A2.11



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1 SECOND FLOOR PLAN  
1/8" = 1'-0"

GENERAL SHEET NOTES

- A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL. OF COLUMN U.N.O.
- B. ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
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- E. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.
- F. SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.
- H. WIRE SHELVING IN ALL BEDROOM CLOSETS.
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- M. WHERE WALLS, DOORS AND WINDOWS ARE NOT DIMENSIONED, ALIGN WITH THOSE ON THE FLOOR BELOW. TYP. SEE SECTIONS AND EXTERIOR ELEVATIONS.

LEGEND

- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF

KEYNOTES 07-02

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Drawing: SECOND FLOOR PLAN

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1 THIRD FLOOR PLAN  
1/8" = 1'-0"

GENERAL SHEET NOTES

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- F. SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.
- H. WIRE SHELVING IN ALL BEDROOM CLOSETS.
- I. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY. SEE M.E.P. DRAWINGS.
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- K. FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS.
- L. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.
- M. WHERE WALLS, DOORS AND WINDOWS ARE NOT DIMENSIONED, ALIGN WITH THOSE ON THE FLOOR BELOW, TYP. SEE SECTIONS AND EXTERIOR ELEVATIONS.

LEGEND

- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- ELEMENT ABOVE
- R-1 ASPHALT SHINGLE ROOF

KEYNOTES 07-02

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THIRD FLOOR PLAN

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Building D -

A2.13



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**1 4 FOURTH FLOOR PLAN**  
1/8" = 1'-0"

**GENERAL SHEET NOTES**

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F. SEE WINDOW SCHEDULE FOR WINDOW TYPES  
G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN  
H. WIRE SHELVING IN ALL BEDROOM CLOSETS  
I. M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY. SEE M.E.P. DRAWINGS.  
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L. DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL  
M. WHERE WALLS, DOORS AND WINDOWS ARE NOT DIMENSIONED, ALIGN WITH THOSE ON THE FLOOR BELOW, TYP. SEE SECTIONS AND EXTERIOR ELEVATIONS.

**LEGEND**

1 HOUR RATED ASSEMBLY  
2 HOUR RATED ASSEMBLY  
ELEMENT ABOVE  
R-1 ASPHALT SHINGLE ROOF

**KEYNOTES** (07-02)

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5205 BATTLE CREEK RD SE  
SALEM, OR 97306

**C D P**  
**Community Development Partners**

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Drawing: **FOURTH FLOOR PLAN**

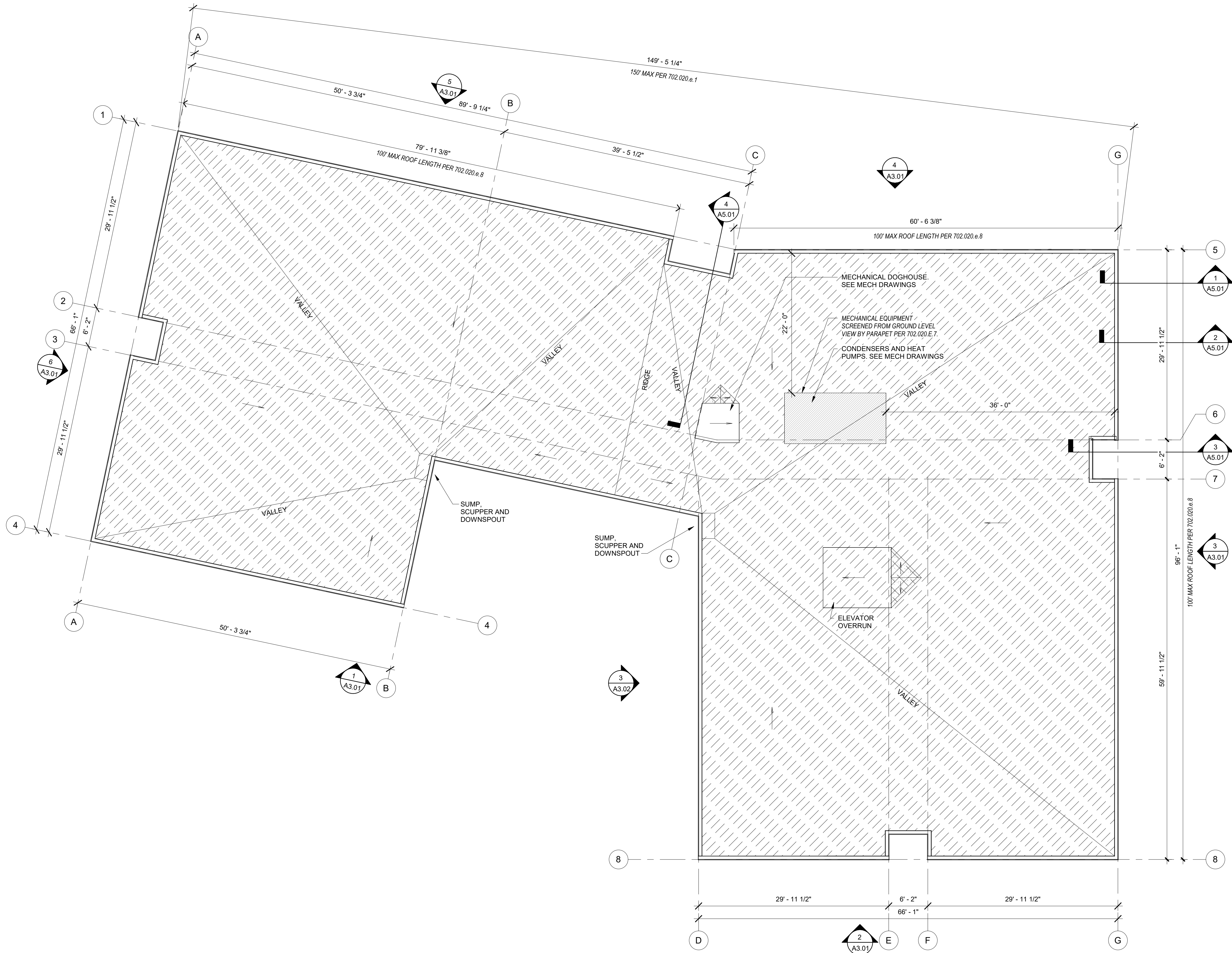
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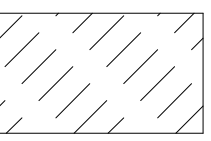


1 ROOF PLAN  
1/8" = 1'-0"

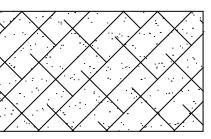
GENERAL SHEET NOTES

- A. REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS NOT SHOWN HERE.
- B. MINIMUM SLOPE OF CRICKETS TO BE 1/4" PER FT UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE ALL CRICKETS REQ'D TO PROVIDE POSITIVE DRAINAGE TO DRAINS.

LEGEND



LOW SLOPE MEMBRANE ROOF



BUILT UP CRICKET

KEYNOTES (07-02)

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BUILDING D

Job Number: 21031

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SALEM, OR 97306



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ISSUE

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DATE

Drawing:

ROOF PLAN

Sheet No:  
Building D -

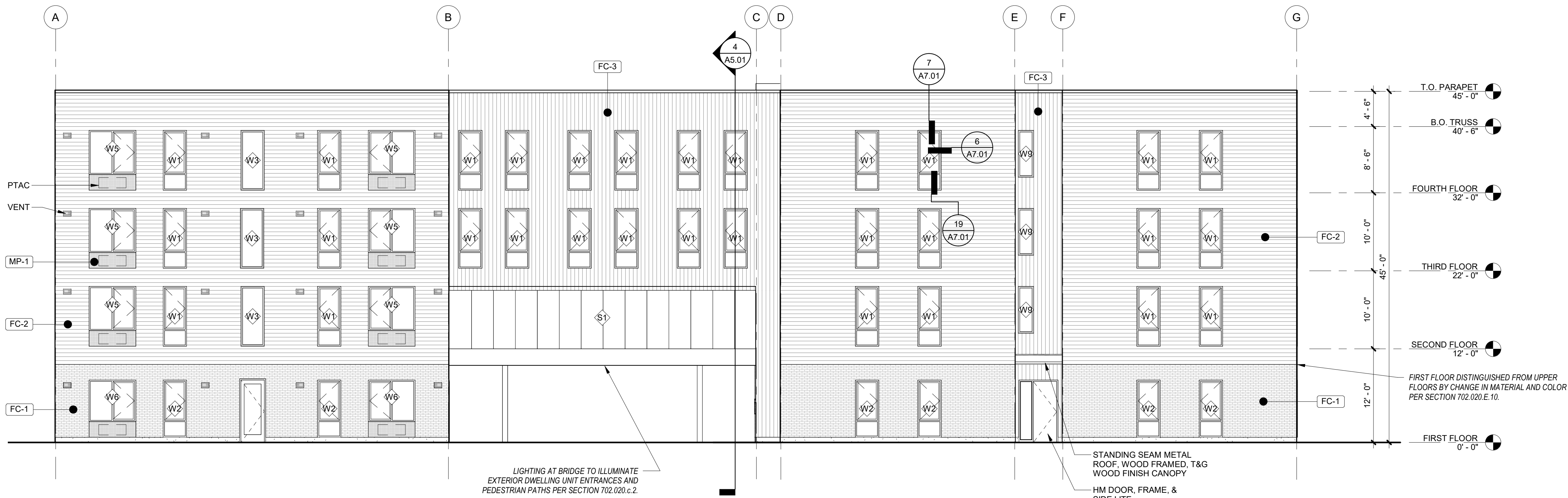
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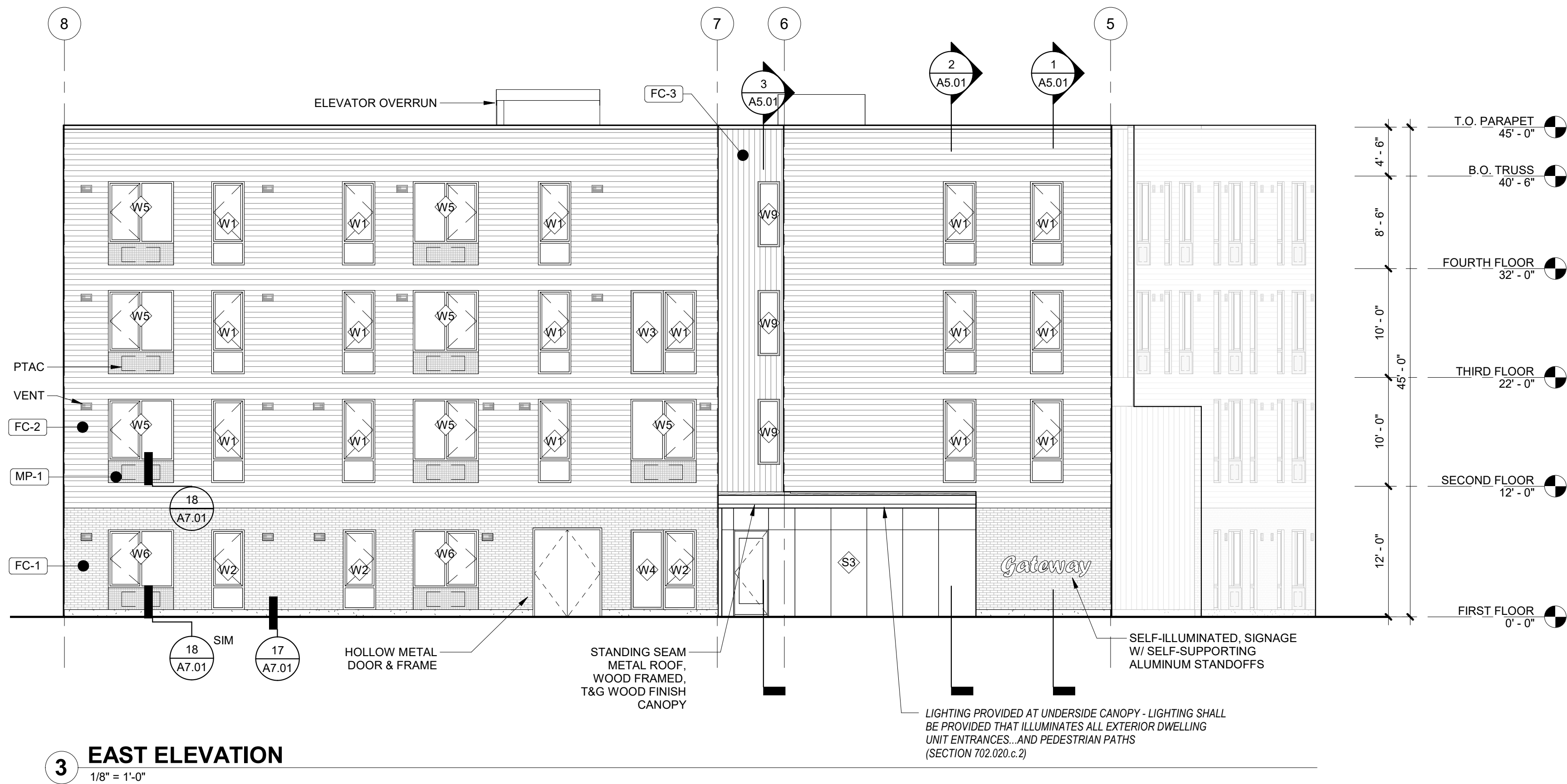
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1 SOUTH ELEVATION LEFT  
1/8" = 1'-0"

2 SOUTH ELEVATION RIGHT  
1/8" = 1'-0"

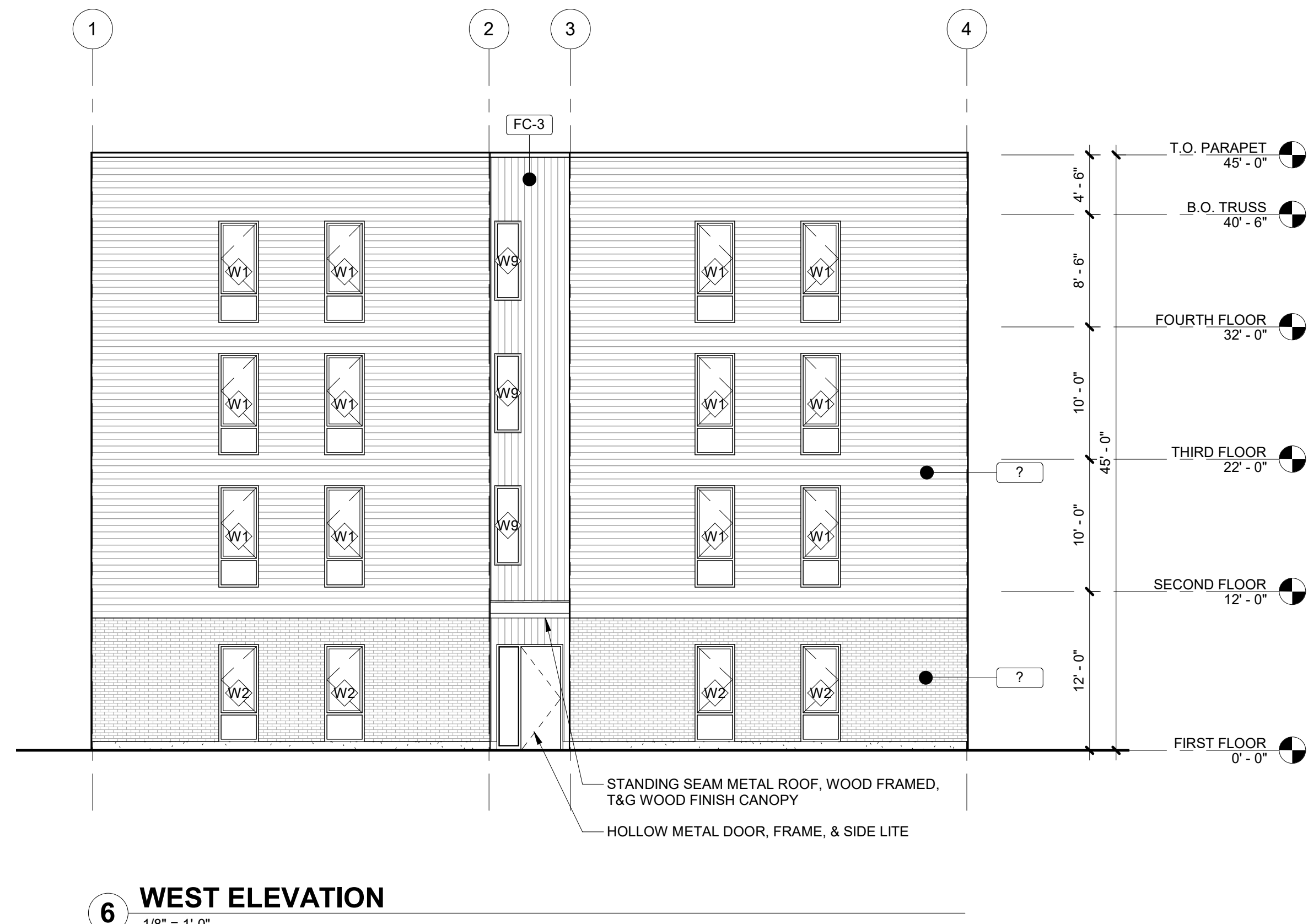


3 EAST ELEVATION  
1/8" = 1'-0"



4 NORTH ELEVATION LEFT  
1/8" = 1'-0"

5 NORTH ELEVATION RIGHT  
1/8" = 1'-0"



6 WEST ELEVATION  
1/8" = 1'-0"

## GENERAL SHEET NOTES

- REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
- REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
- CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
- ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES. PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS. FLASHING AT WINDOW HEADS.
- PREFINISHED 22 GAUGE METAL THROUGH WALL TRANSITION TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

## LEGEND

- FC-1** FIBER CEMENT SIDING  
PRODUCT: CERACLAD  
TEXTURE: MOSAIC TILE  
COLOR: BLACK
- FC-2** FIBER CEMENT SIDING  
PRODUCT: CERACLAD  
TEXTURE: MODERN STRIPE  
COLOR: CHARCOAL
- FC-3** FIBER CEMENT SIDING  
PRODUCT: CERACLAD  
TEXTURE: 8 REVEAL VERTICAL  
COLOR: CREATIV CUSTOM (TBD)
- MP-1** LOUVER PER PTHP MFR  
PRODUCT: TBD  
FINISH: GRAY
- MP-2** FLAT METAL PANEL  
PRODUCT: TBD  
FINISH: BLACK
- X-VENT**

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NOT FOR  
CONSTRUCTION

## CDP SALEM - BUILDING D

Job Number: 21031

5205 BATTLE CREEK RD SE  
SALEM, OR 97306



LAND USE  
SUBMISSION  
ISSUE

01.11.2021

DATE

Drawing:

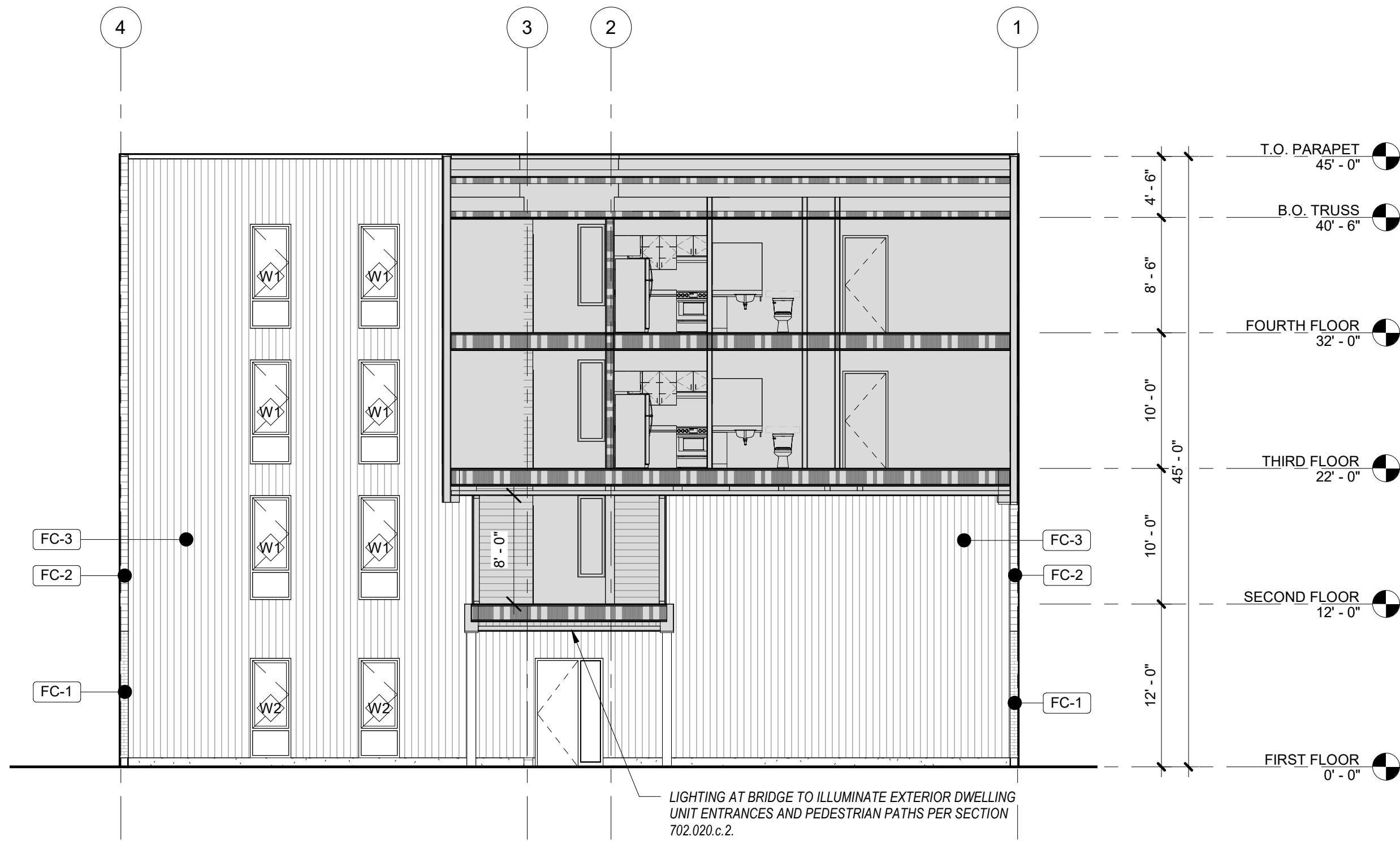
EXTERIOR  
ELEVATIONS

Sheet No:  
Building D -

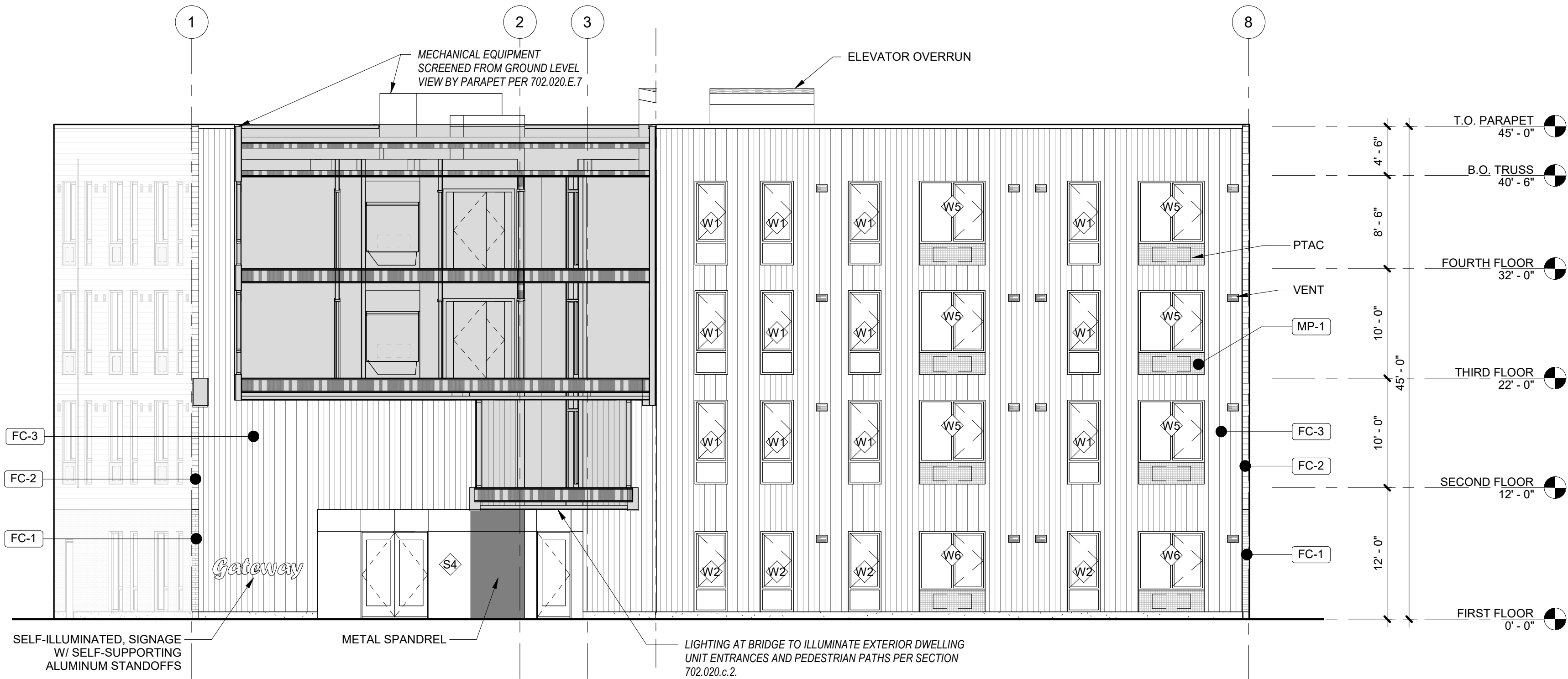
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1 INNER WEST SIDE ELEVATION  
1/8" = 1'-0"



2 INNER EAST SIDE ELEVATION LEFT  
1/8" = 1'-0"

3 INNER EAST SIDE ELEVATION RIGHT  
1/8" = 1'-0"

GENERAL SHEET NOTES

- A. REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.  
B. REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.  
C. CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.  
D. ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.  
E. PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.  
F. PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.  
G. TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

LEGEND

- FC-1 FIBER CEMENT SIDING  
PRODUCT: CERACLAD  
TEXTURE: MOSAIC TILE  
COLOR: BLACK
- FC-2 FIBER CEMENT SIDING  
PRODUCT: CERACLAD  
TEXTURE: MODERN STRIPE  
COLOR: CHARCOAL
- FC-3 FIBER CEMENT SIDING  
PRODUCT: CERACLAD  
TEXTURE: 8 REVEAL VERTICAL  
COLOR: CREATIV CUSTOM (TBD)
- MP-1 LOUVER PER PTHP MFR  
PRODUCT: TBD  
FINISH: GRAY
- MP-2 FLAT METAL PANEL  
PRODUCT: TBD  
FINISH: BLACK
- X-VENT

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phone: (503) 226-3617 www.seallp.com

NOT FOR  
CONSTRUCTION

CDP SALEM -  
BUILDING D  
Job Number: 21031  
5205 BATTLE CREEK RD SE  
SALEM, OR 97306

C  
D P Community  
Development  
Partners

LAND USE SUBMISSION  
ISSUE DATE

Drawing:

EXTERIOR  
ELEVATIONS

Sheet No:  
Building D -

A3.02

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NORTH FACADE

MATERIALS



FIBER CEMENT SIDING 1  
PRODUCT: CERACLAD  
TEXTURE: MOSAIC TILE  
COLOR: BLACK  
LOCATION: GROUND LEVEL



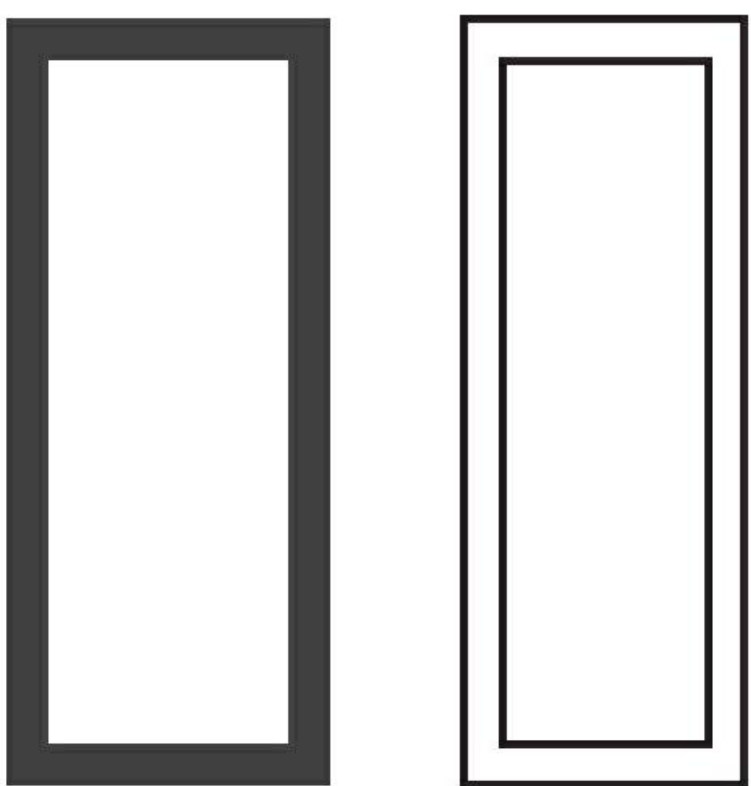
FIBER CEMENT SIDING 2  
PRODUCT: CERACLAD  
TEXTURE: MODERN STRIPE  
COLOR: CHARCOAL  
LOCATION: LEVELS 2-4



FIBER CEMENT SIDING 3  
PRODUCT: CERACLAD  
TEXTURE: 8-REVEAL  
COLOR: CREATIV CUSTOM  
LOCATION: ALCOVES



FLAT METAL PANEL  
PRODUCT: TBD  
FINISH: TBD, DARK GRAY  
LOCATION: BELOW WINDOWS



VINYL WINDOWS  
PRODUCT: VPI ENDURANCE  
FINISH: BLACK

\* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.



NORTHWEST CORNER VIEWED FROM SALAL



NORTH VIEW OF UNDERPASS & "PEOPLE WATCHING" BRIDGE



EAST FACADE

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RENDERINGS

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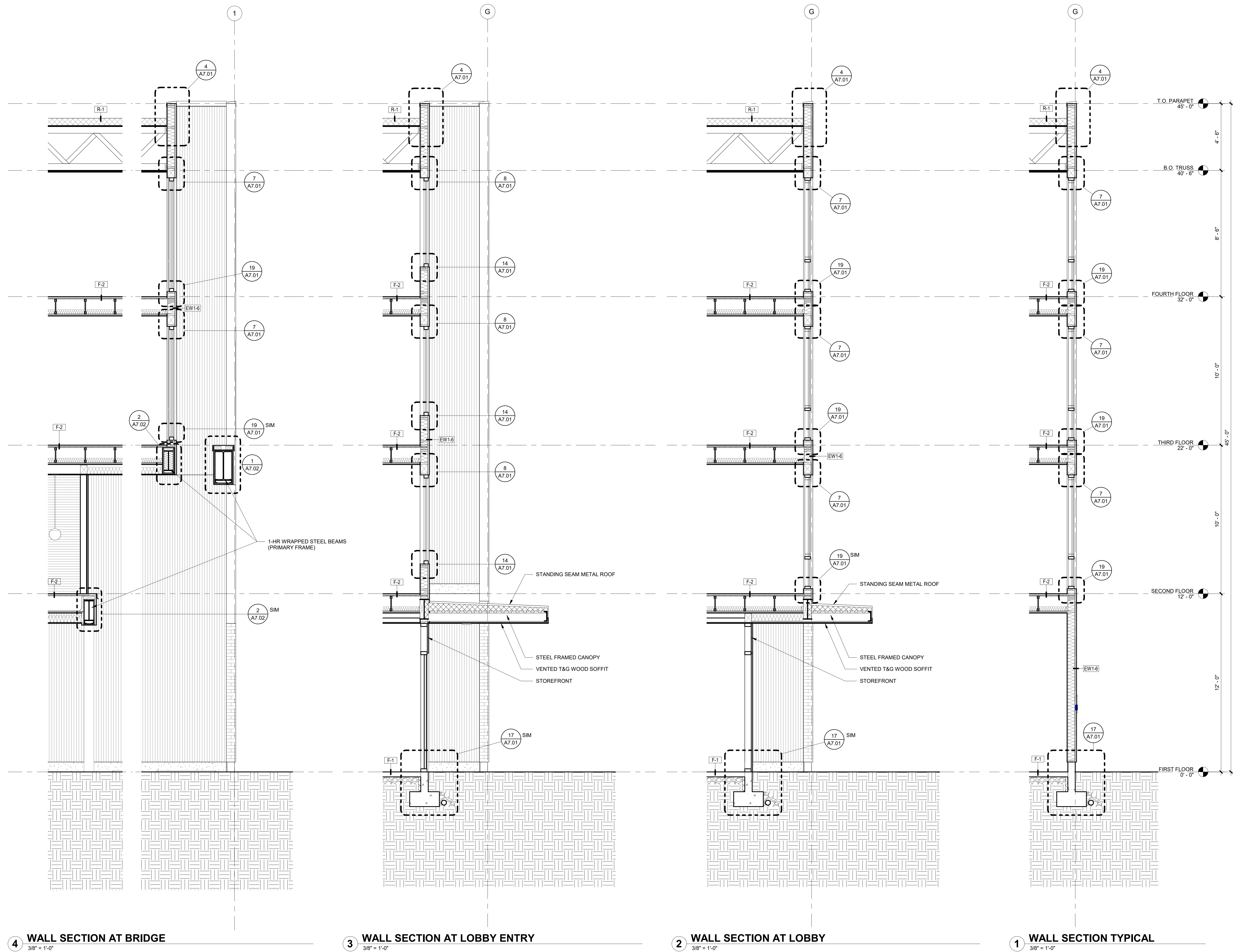
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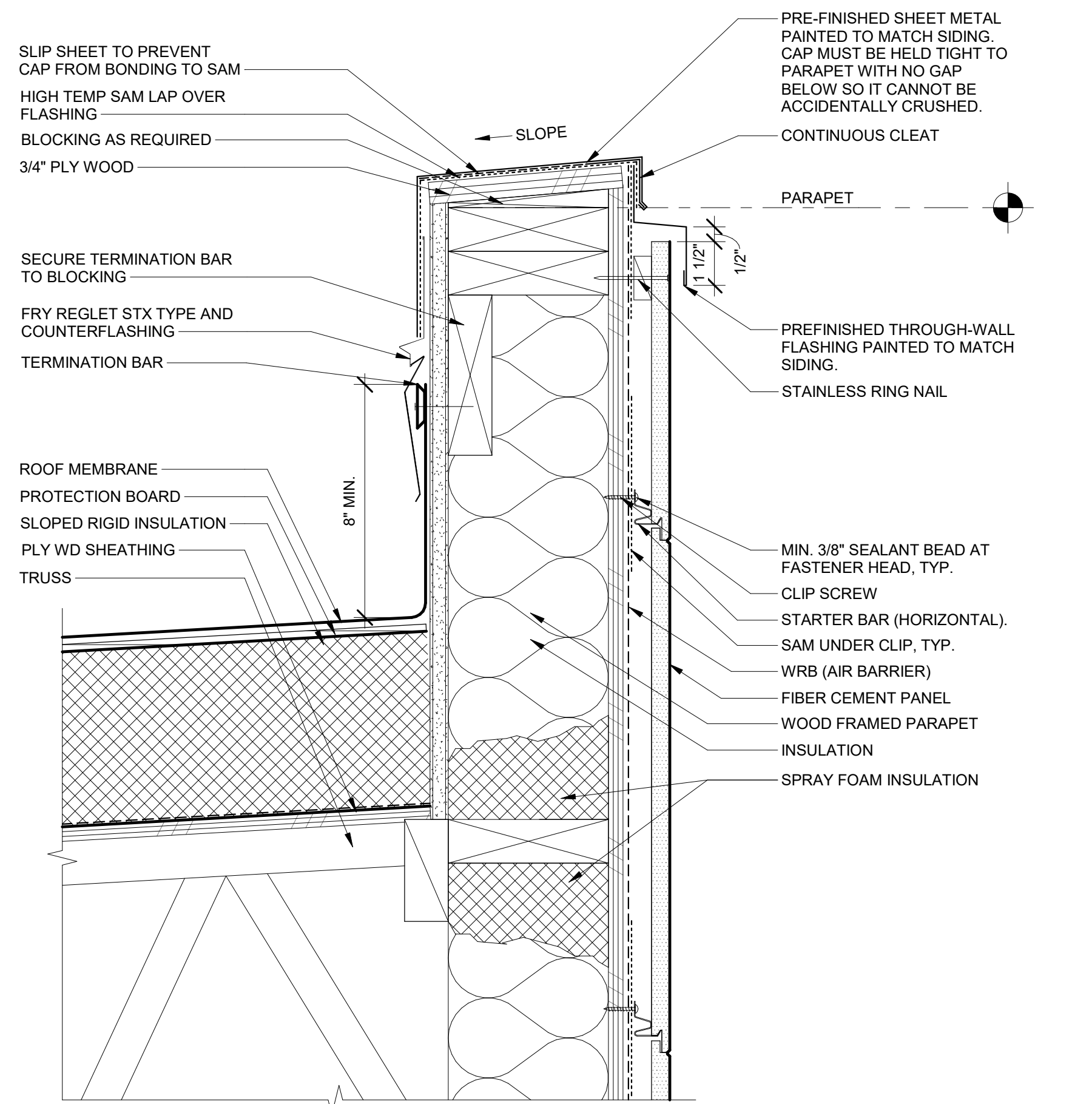
WALL SECTIONS

Sheet No:  
Building D -

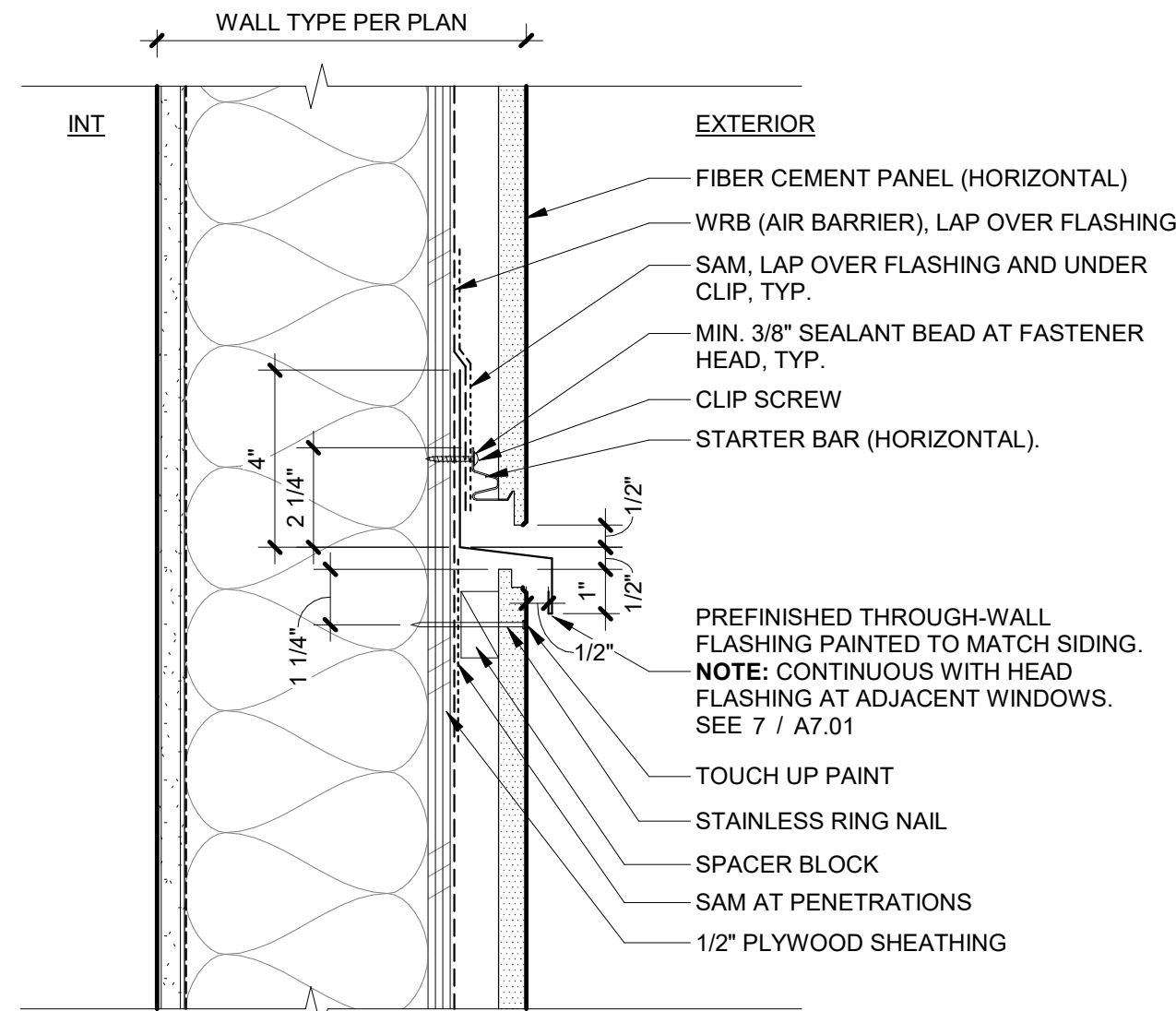
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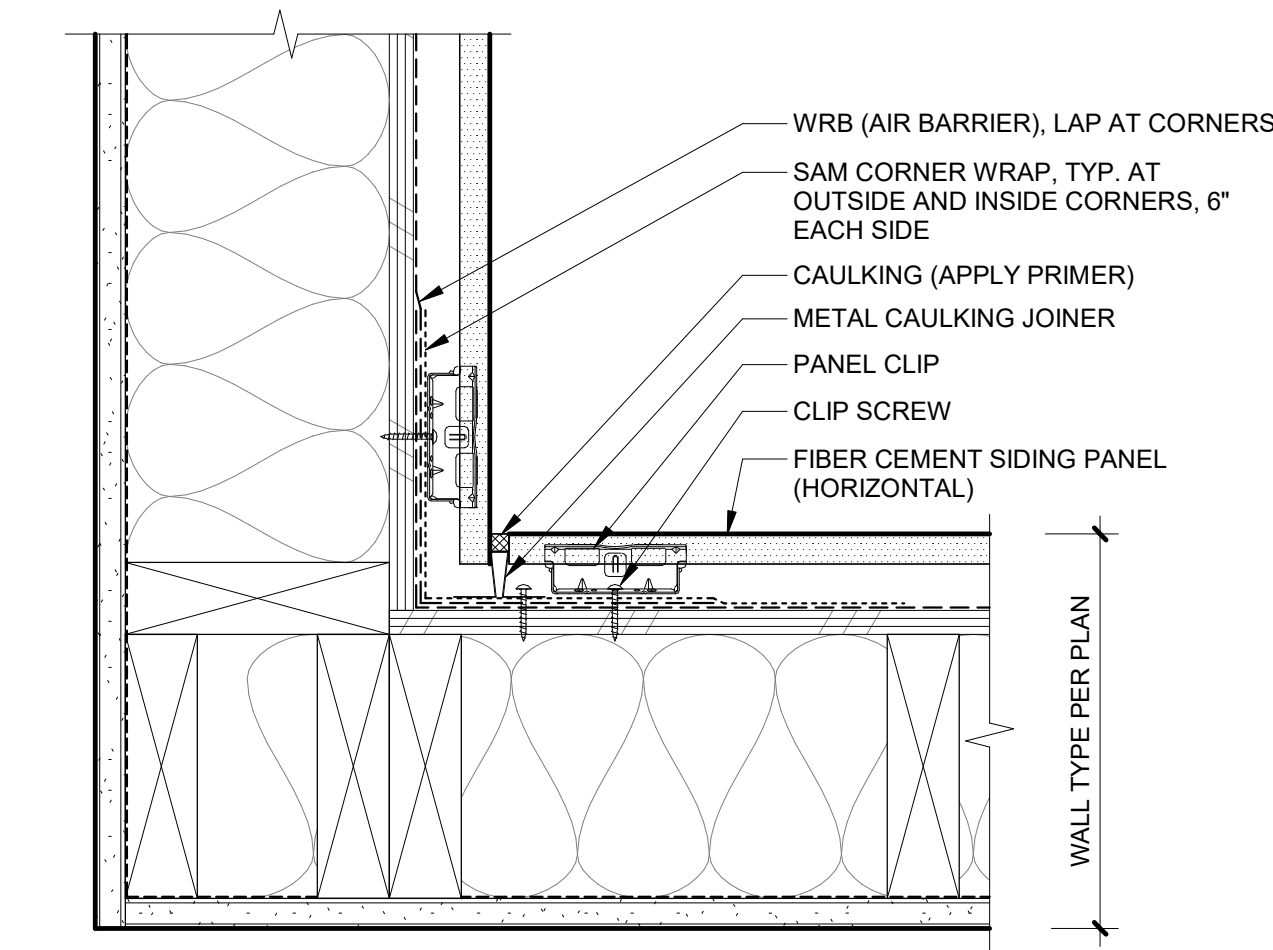




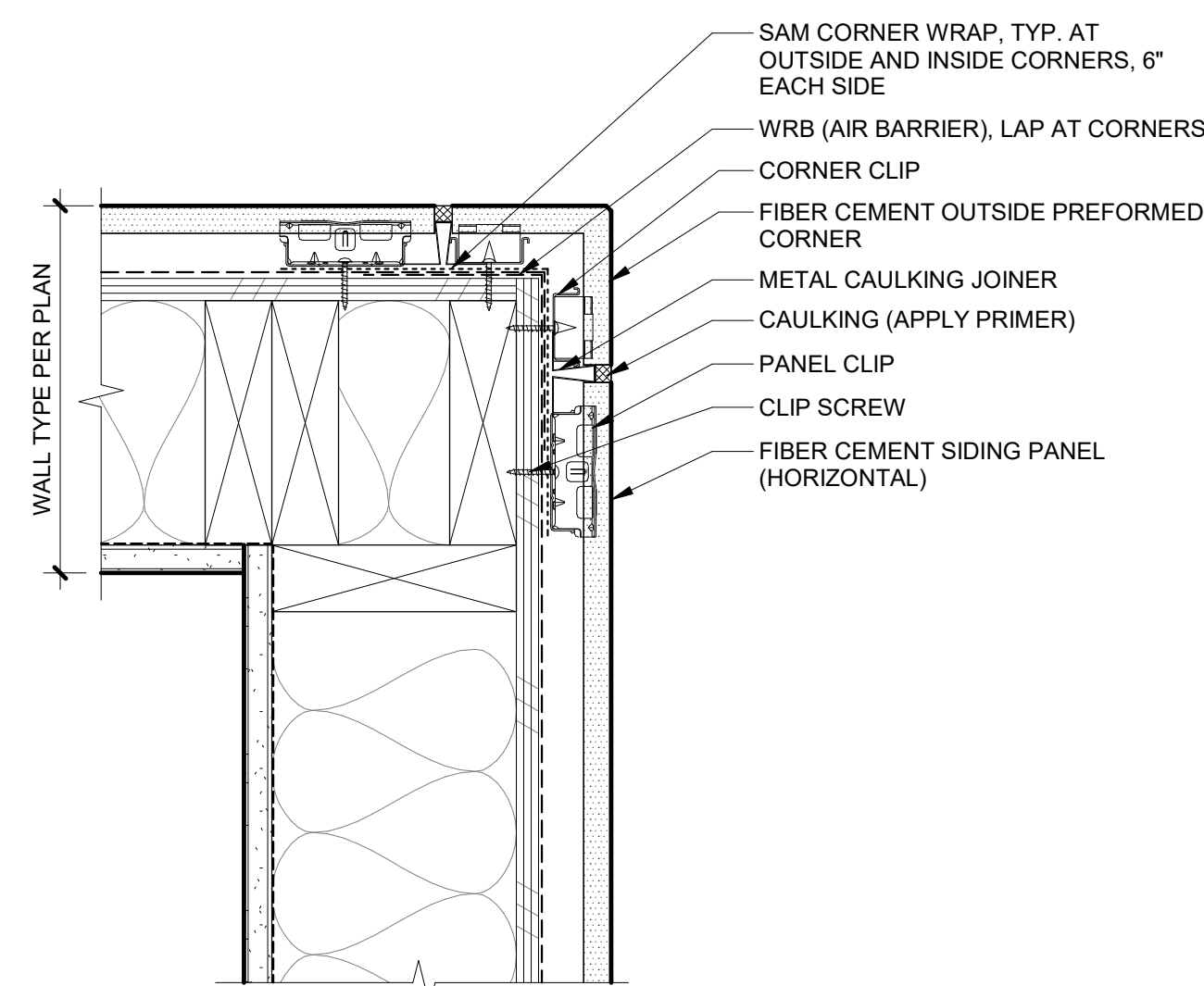
4 TYPICAL PARAPET  
3" = 1'-0"



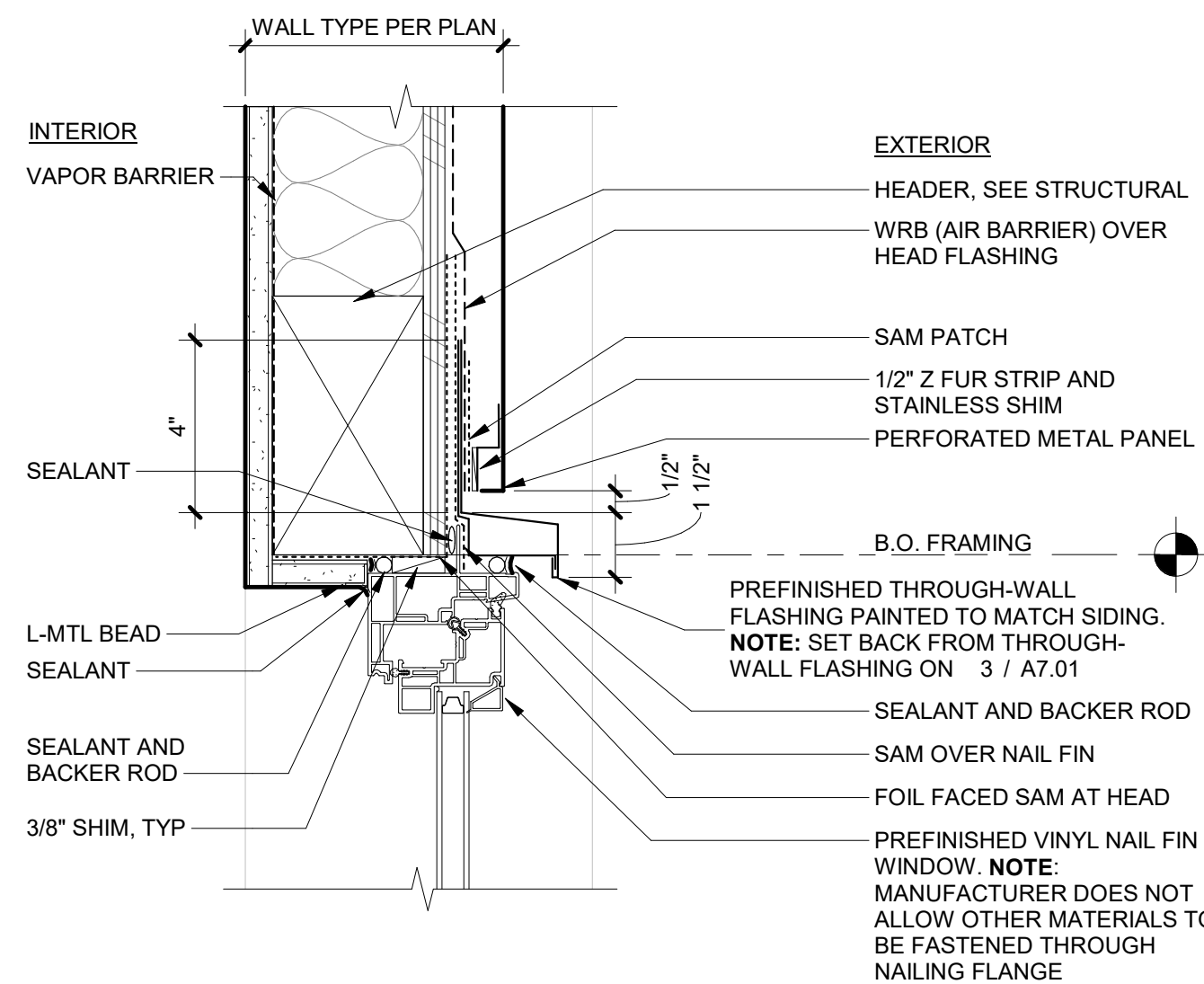
3 FIBER CEMENT SIDING THROUGH-WALL FLASHING  
3" = 1'-0"



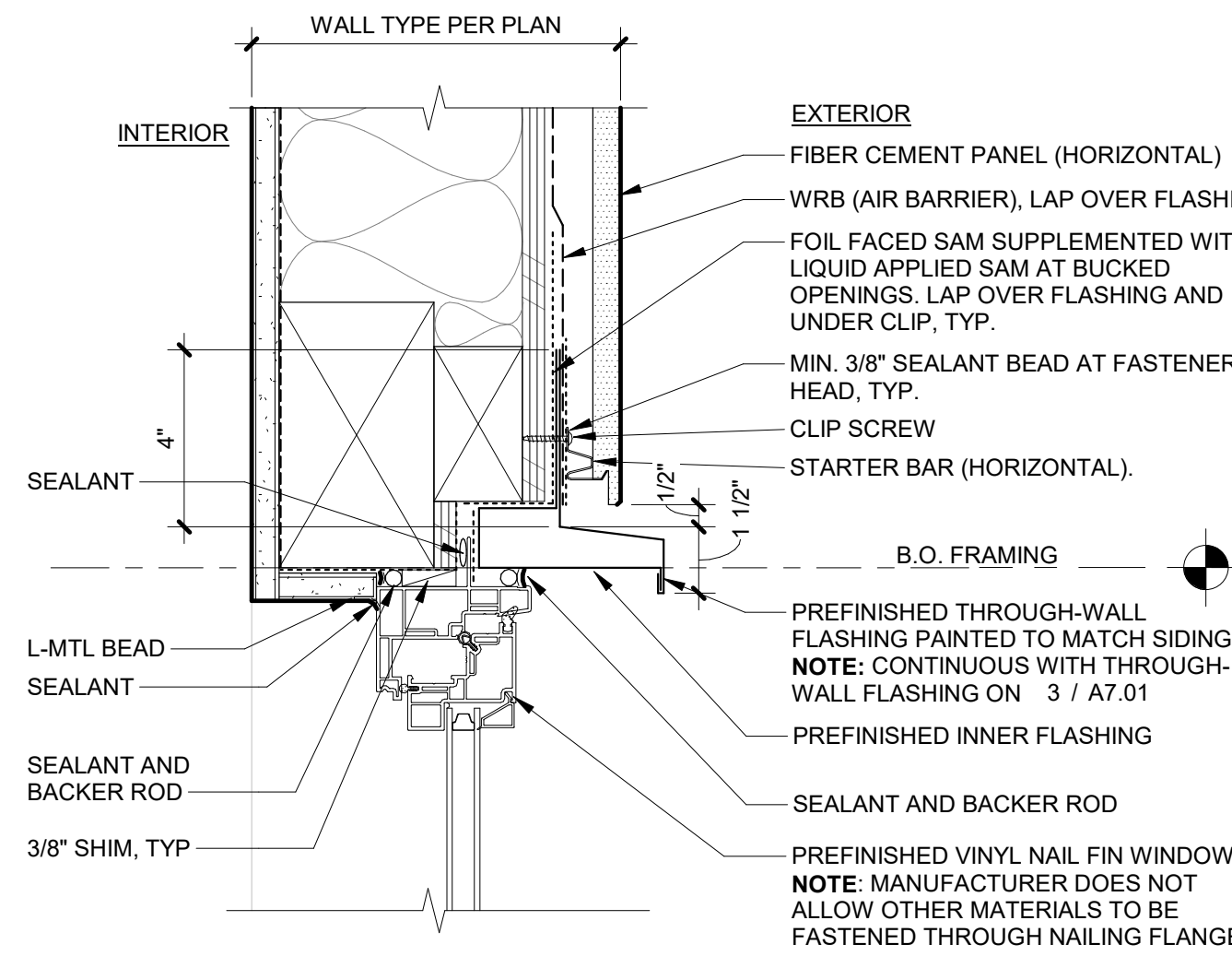
2 FIBER CEMENT SIDING INSIDE CORNER  
3" = 1'-0"



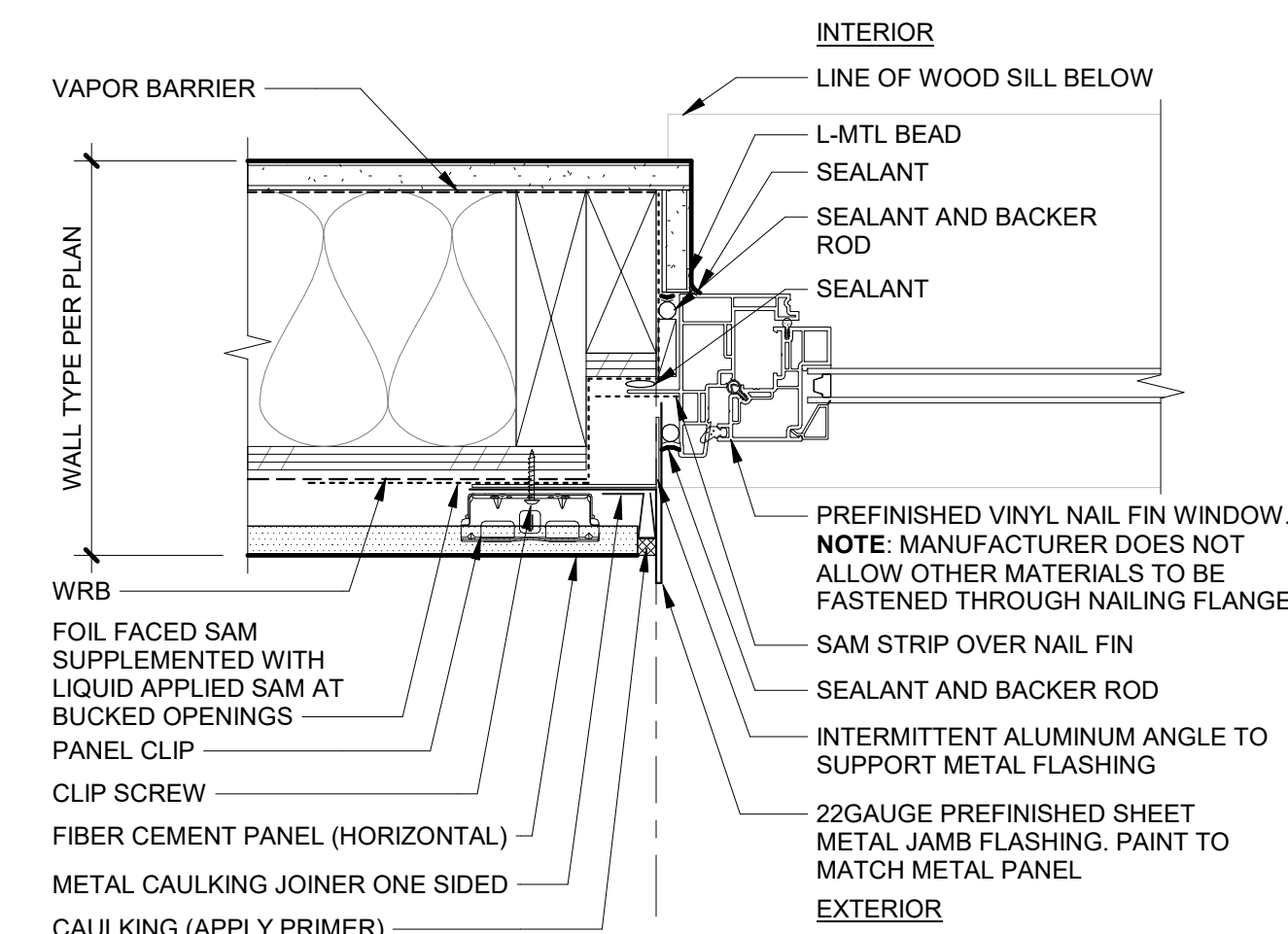
1 FIBER CEMENT SIDING OUTSIDE CORNER  
3" = 1'-0"



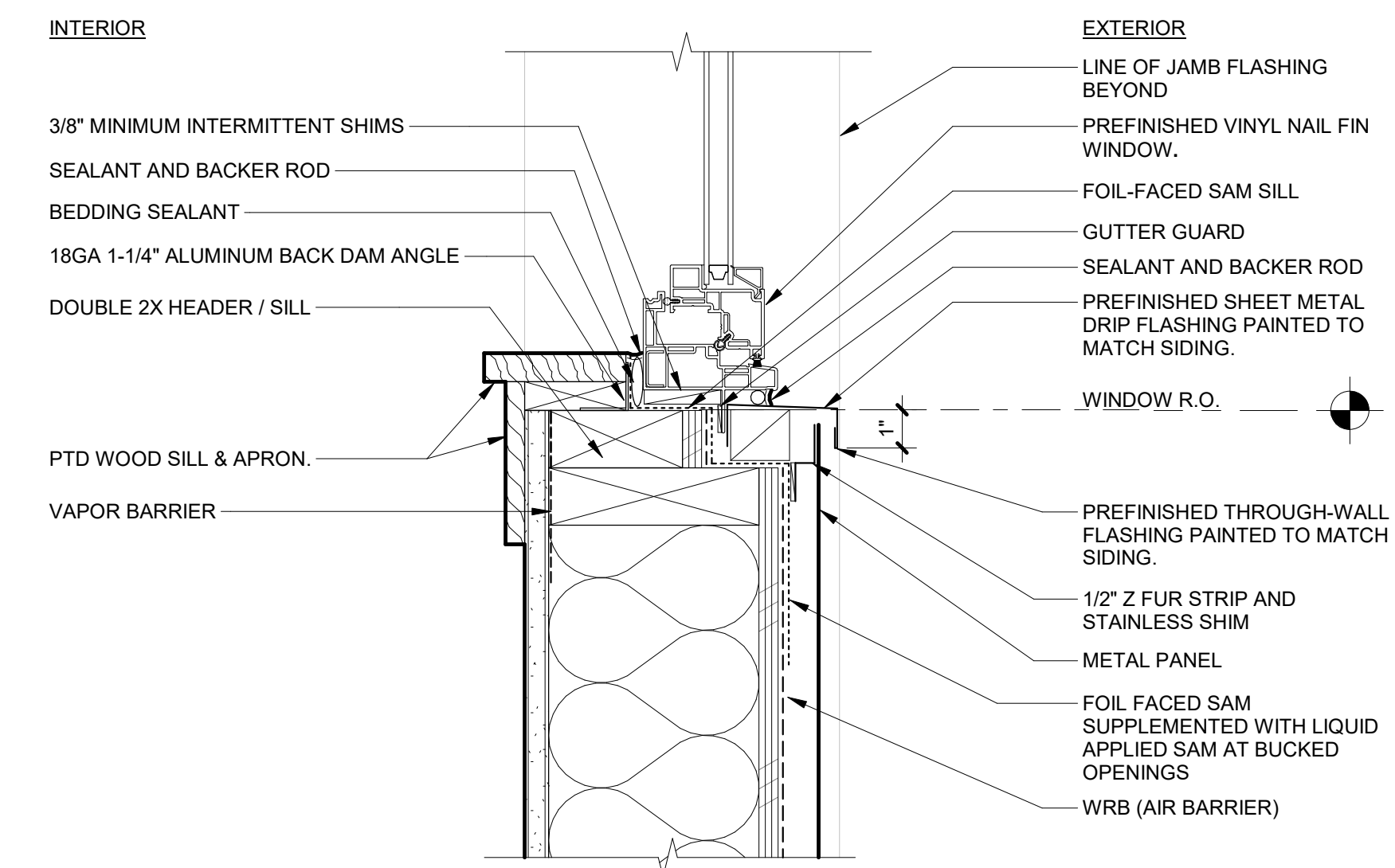
8 WINDOW HEAD AT METAL PANEL  
3" = 1'-0"



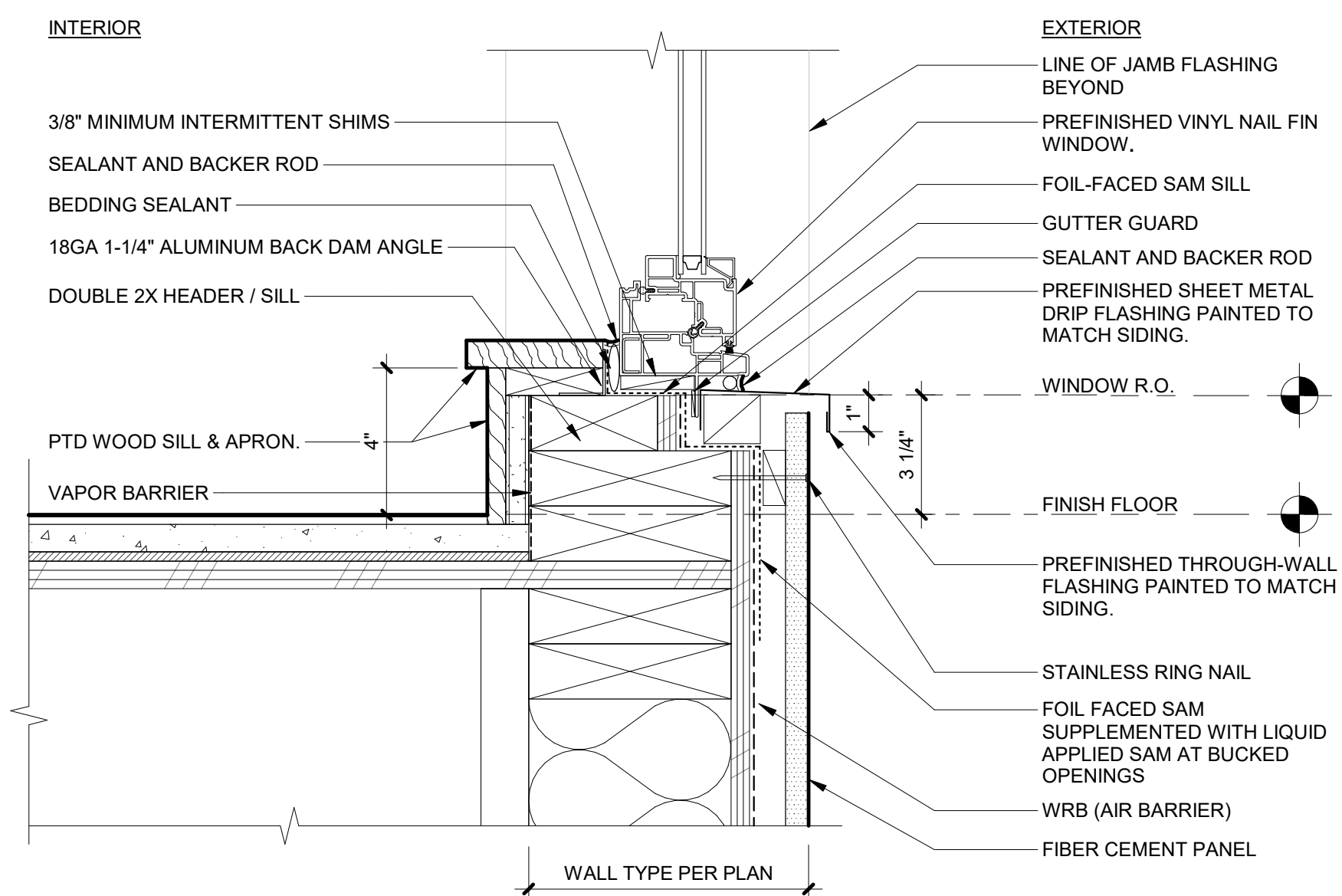
7 TYPICAL WINDOW HEAD  
3" = 1'-0"



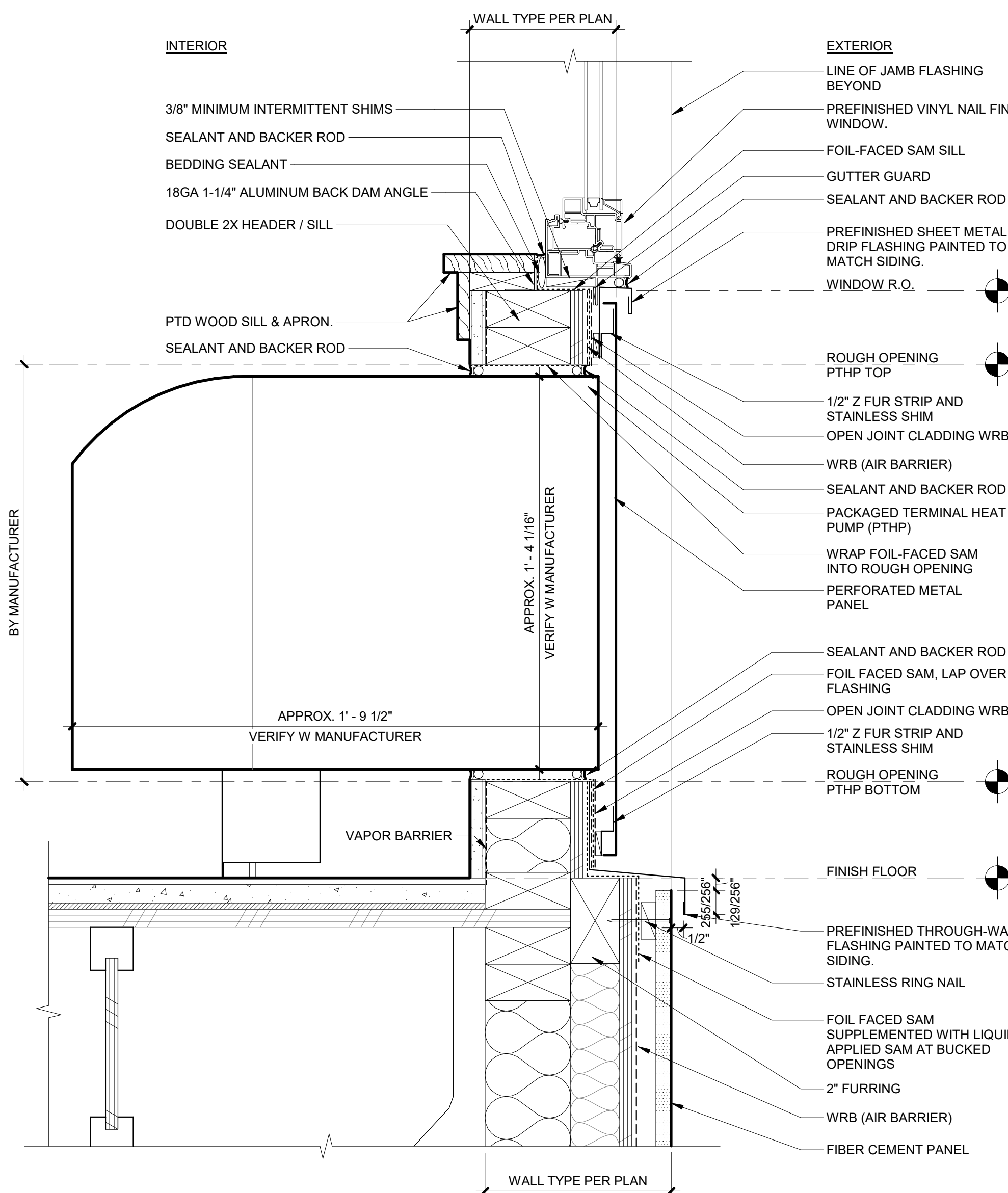
6 TYPICAL WINDOW JAMB  
3" = 1'-0"



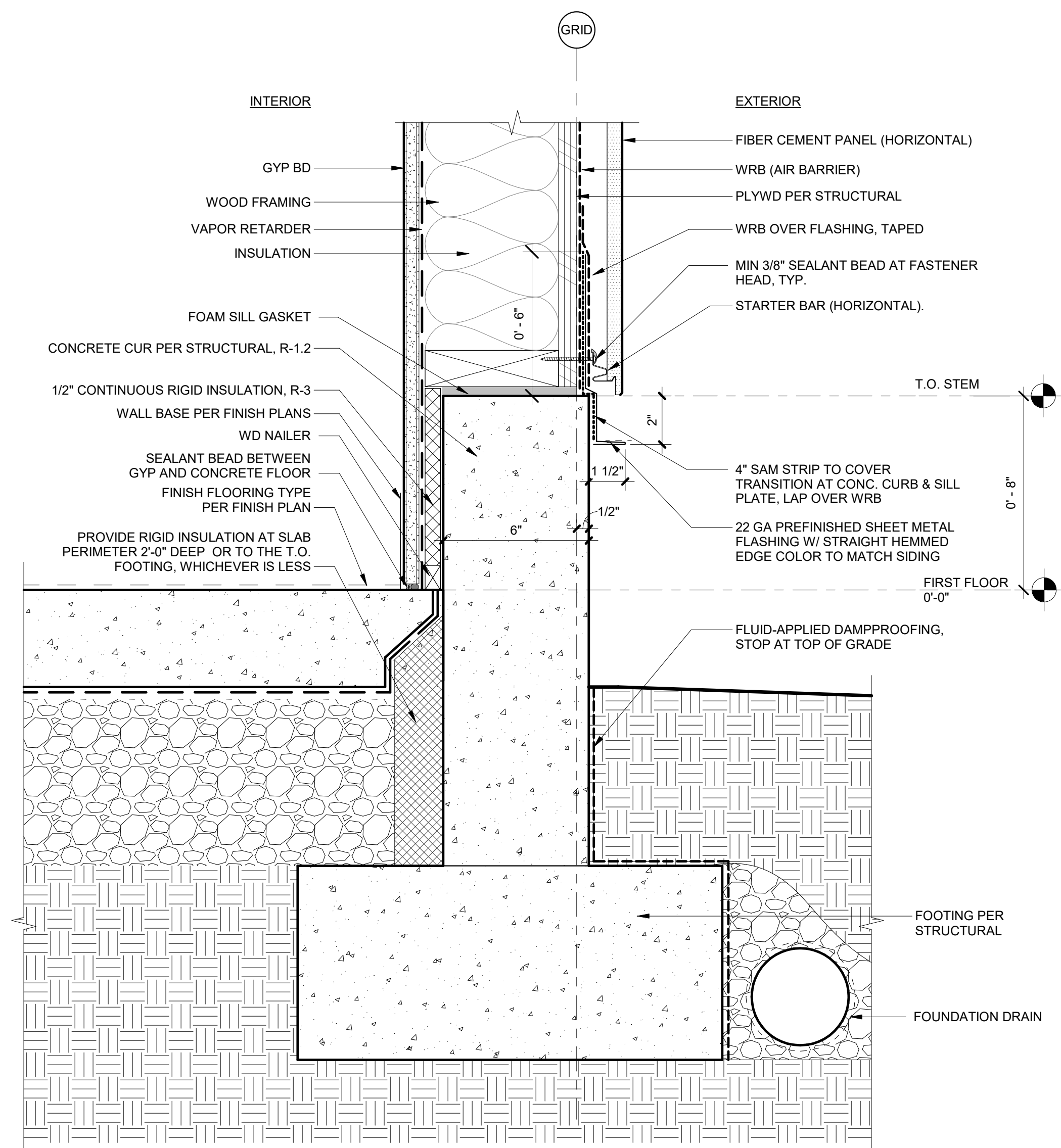
14 WINDOW SILL AT METAL PANEL  
3" = 1'-0"



19 TYPICAL WINDOW SILL  
3" = 1'-0"



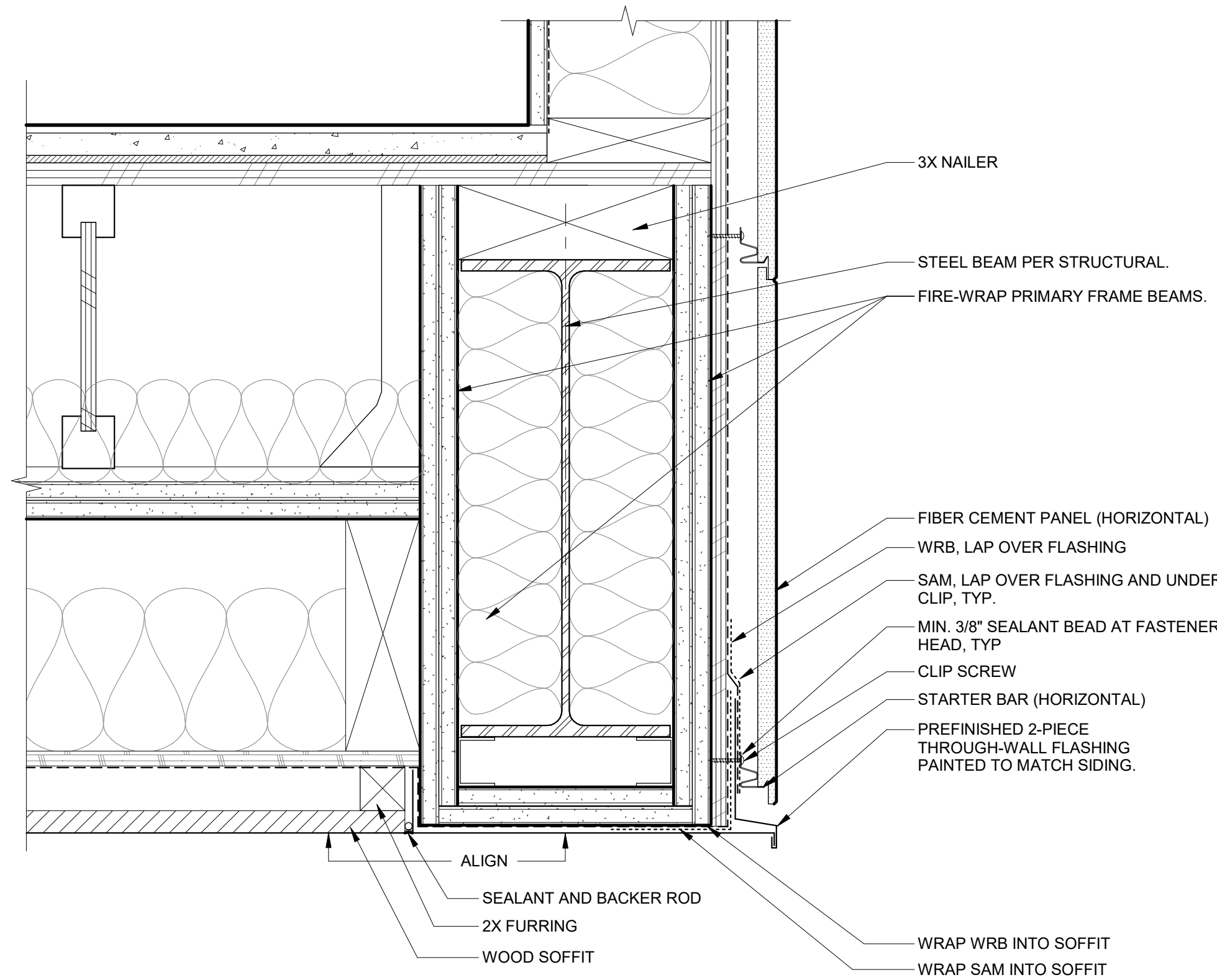
18 WINDOW SILL AT PTHP  
3" = 1'-0"



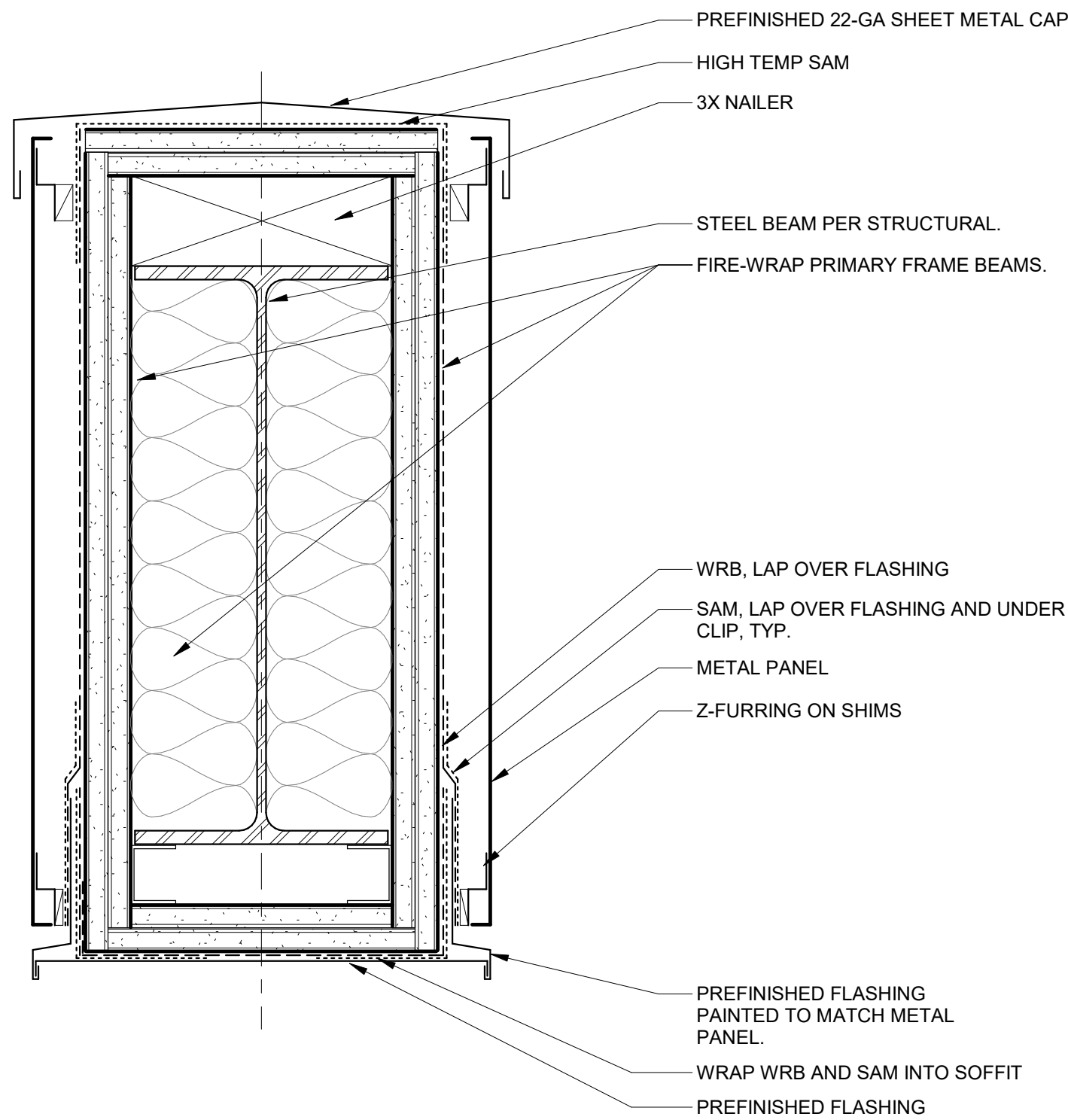
17 CURB AT EXT FIBER CEMENT PANEL WALL  
3" = 1'-0"



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2 1 HOUR BEAM AT SOFFIT OUTSIDE CORNER  
3" = 1'-0"



1 1 HOUR BEAM AT EXTERIOR  
3" = 1'-0"

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EXTERIOR DETAILS

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