

LAND USE SUBMISSION

01.11.2021



CDP SALEM - BUILDING B

5205 BATTLE CREEK RD SE
SALEM, OR 97306

S|E A
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2525 E Burnside Street, Portland, OR 97214
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REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.

2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.

3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.

4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.

5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORSEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORSEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.

6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.

7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.

11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.

12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

13. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.

14. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.

15. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.

16. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.

OWNER

CDP OREGON LLC
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CONTRACTOR

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MEP ENGINEER

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EMAIL: KIMW@INTERFACEENG.COM

PROJECT DESCRIPTION: 3-STORY, WOOD FRAMED MULTIFAMILY BUILDING FEATURING 24 RESIDENTIAL UNITS

GROSS AREA: 22,739 SF

PROJECT ADDRESS: 5205 BATTLE CREEK RD SE
SALEM, OR 97306

LEGAL DESCRIPTION: 083W14/ 118 AND 300

ZONING: RM-II

SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS

CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.

UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

SEPARATE PERMITS:

1. DEMOLITION PERMIT
2. SIGNAGE PERMIT

DEFERRED SUBMITTALS:

1. ELEVATOR
2. FIRE SPRINKLER SYSTEM
3. FIRE DETECTION AND ALARM SYSTEM
4. FIRE DEPARTMENT ACCESS KEY BOX
5. HANGERS AND SUPPORT FOR HVAC
6. VIBRATION AND SEISMIC CONTROLS FOR HVAC
7. LATERAL BRACING AND ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT WEIGHING MORE THAN 75 LBS (EXCEPTIONS PER ASCE 7, SECTION 13.1.4)
8. PRE-ENGINEERED MANUFACTURED TRUSSES
9. WOOD CHORD METAL WEB TRUSSES
10. STAIR FRAMING
11. CURTAINWALL SYSTEMS
12. PHOTO VOLTATIC PANEL ATTACHMENT AND BALLAST

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.

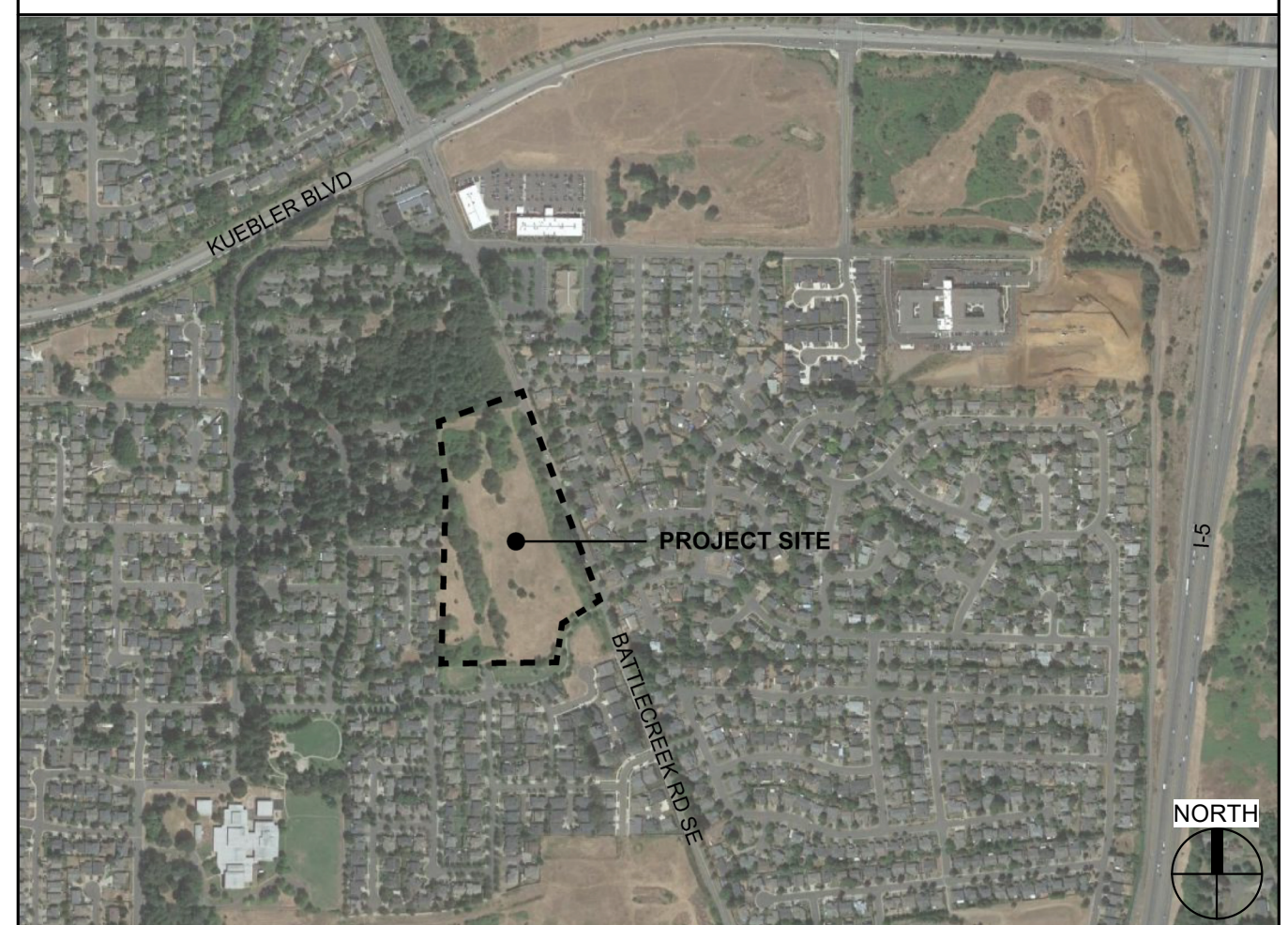
ALTERNATES

IN ADDITION TO THE BASE BUILDING BID, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING ALTERNATES:

SEE ARCHITECTURAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL SCOPE OF ALTERNATES.

DEDUCTIVE ALTERNATES:
1. FIBER CEMENT SHINGLE "S-1" IN LIEU OF METAL PANEL UNDER WINDOWS
2. FLAT TPO ROOFING WITH PARAPET IN LIEU OF STANDING SEAM METAL ROOF AT COMMON STAIRS

VICINITY MAP



SHEET #

SHEET NAME

GENERAL

G0.01
G1.01

GENERAL PROJECT INFORMATION
CODE SUMMARY

ARCHITECTURAL

A0.01
A0.10
A0.20
A2.11
A2.12
A3.01
A3.02
A3.10
A5.01
A7.01

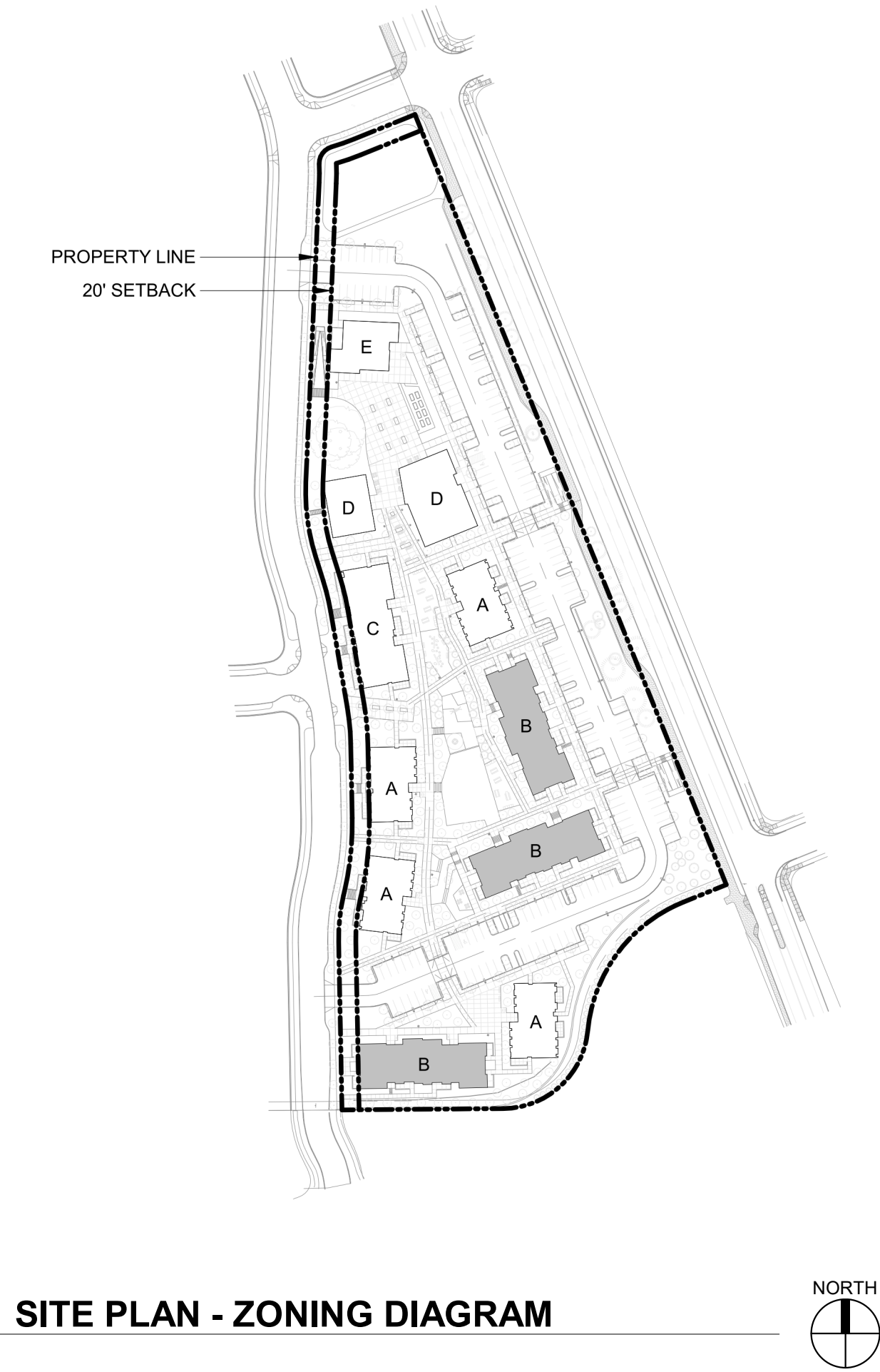
ARCHITECTURAL GENERAL NOTES AND DIAGRAMS
ACCESSIBILITY DIAGRAMS - RESIDENTIAL
ASSEMBLIES
OVERALL FIRST & SECOND FLOOR PLANS
OVERALL THIRD & ROOF PLANS
EXTERIOR ELEVATIONS
EXTERIOR ELEVATIONS
RENDERINGS
WALL SECTIONS
EXTERIOR DETAILS

FILE PATH: C:\Revit_Local\21031_CDP Salem Gateway_Walk Up Building B_22_acano.rvt

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

BUILDING CODE SUMMARY		2019 OREGON STRUCTURAL SPECIALTY CODE													
OCCUPANCY	R-2														
CONSTRUCTION TYPE	V-B, SPRINKLERED PER NFPA 13-R														
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE															
OSSC REFERENCE															
SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.													
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.													
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8													
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2													
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS															
TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	R-2: 60 FT / 3 STORY / 7000 SF													
MODIFICATIONS															
SECTION 506.2.3 SINGLE-OCCUPANCY MULTISTORY BUILDINGS EQUATION 5-2	BUILDING AREA	Aa = [At + (Ns x If)] x Sa = [7000 SF + (7000 SF x 0.75)] x 3 = 12250 SF x 3 = 36750 SF													
SECTION 506.3	FRONTAGE INCREASE	If = [F/P - 0.25] x W/30 If = [414/414 - 0.25] x 30/30 = 0.75													
	ACTUAL HEIGHT / STORIES	37' - 2" / 3 Story													
<table><tr><th colspan="2">BUILDING AREA</th></tr><tr><th>FLOOR LEVEL</th><th>AREA (SF)</th></tr><tr><td>FIRST FLOOR</td><td>7405 SF</td></tr><tr><td>THIRD FLOOR</td><td>7667 SF</td></tr><tr><td>SECOND FLOOR</td><td>7667 SF</td></tr><tr><td></td><td>22738 SF</td></tr></table>				BUILDING AREA		FLOOR LEVEL	AREA (SF)	FIRST FLOOR	7405 SF	THIRD FLOOR	7667 SF	SECOND FLOOR	7667 SF		22738 SF
BUILDING AREA															
FLOOR LEVEL	AREA (SF)														
FIRST FLOOR	7405 SF														
THIRD FLOOR	7667 SF														
SECOND FLOOR	7667 SF														
	22738 SF														
SECTION 508.2	ACCESSORY OCCUPANCY	N/A													
SECTION 508.3 / 508.4	MIXED OCCUPANCY	N/A													
TABLE 509	INCIDENTAL USES														
	LAUNDRY ROOMS OVER 100 SF	SPRINKLERED, NO SEPARATION REQUIRED													
	TRASH ROOMS OVER 100 SF	SPRINKLERED, NO SEPARATION REQUIRED													
CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION															
TABLE 601	FIRE RESISTANCE RATING REQUIRMENTS FOR BUILDING ELEMENTS														
	BUILDING ELEMENT	FIRE RATING *													
	PRIMARY STRUCTURAL FRAME	0 HOUR													
	BEARING WALLS														
	EXTERIOR	0 HOUR													
	INTERIOR	0 HOUR													
	NON BEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602													
	NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR													
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR													
	ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR													
	* UNLESS OTHERWISE REQUIRED BY THIS CODE														
TABLE 602	FIRE RESISTANCE RATING REQUIRMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE														
	FIRE SEPARATION DISTANCE	FIRE RATING													
	X < 5'	1 HOUR													
	5' <= X < 10'	1 HOUR													
	10' <= X < 30'	0 HOUR													
	X >= 30'	0 HOUR													
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES															
TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES													
TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION														
	0 TO LESS THAN 3'	UNPROTECTED, NON-SPRINKLERED	PROTECTED												
	3 TO LESS THAN 5'	NOT PERMITTED	NOT PERMITTED												
	5 TO LESS THAN 10'	NOT PERMITTED	15%												
	10 TO LESS THAN 10'	10%	25%												
	10 TO LESS THAN 15'	15%	45%												
	15 TO LESS THAN 20'	25%	75%												
	20 TO LESS THAN 25'	45%	NO LIMIT												
	25 TO LESS THAN 30'	70%	NO LIMIT												
	30' OR GREATER	NO LIMIT	NO LIMIT												
705.8.1	ALLOWABLE AREA OF OPENINGS	EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.													
705.11	PARAPETS	EXCEPTION 1: WALL NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.													
TABLE 706.4	FIRE WALL FIRE RESISTANCE	N/A													
TABLE 707.3.10	FIRE BARRIER ASSEMBLIES AND HORIZONTAL ASSEMBLIES BTWN FIRE AREAS	1 HOUR, INTERIOR EXIT STAIR LESS THAN 4 STORIES													
SECTION 708	FIRE PARTITIONS	1 HOUR 1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1													
SECTION 709	SMOKE BARRIERS	NOT REQUIRED													
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3														
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A													
711.2.4.2	SEPARATING FIRE AREAS	N/A													
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR													
711.2.4.4	SEPARATING SMOKE COMPARTMENTS	N/A													
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509													
711.2.4.6	OTHER SEPARATIONS	N/A													
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE													
CHAPTER 8: INTERIOR FINISHES															
TABLE 803.13	INTERIOR WALL AND CEILING FNISH REQUIREMENTS (FLAME SPREAD RATING)														
	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C													
	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C													
	ROOMS AND ENCLOSED SPACES	C													
CHAPTER 9: FIRE PROTECTION SYSTEMS															
	SPRINKLERED PER NFPA 13R														

CHAPTER 10: MEANS OF EGRESS					
SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD TABLE			
SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR	0.3			
SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR	0.2			
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 OCCUPANTS 125 FT			
TABLE 1006.3.2	MAX OCCUPANT LOAD PER STORY MIN NUMBER OF EXITS FOR STORY	500 2			
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030 REQUIRED FOR STORIES WITH ONE EXIT			
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	250 FT			
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	0.5 HR			
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES * 36 INCHES WITHIN DWELLING UNIT OR WHERE OCCUPANT LOAD <50			
SECTION 1020.4	DEAD ENDS	20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH			
CHAPTER 11: ACCESSIBILITY					
SECTION 1106.2	R-2 OCCUPANCIES WITH ACCESSIBLE, TYPE A OR TYPE B UNITS, AT LEAST 2% OF EACH TYPE OF PARKING PROVIDED SHALL BE ACCESSIBLE				
	TOTAL SPACES PROVIDED:	163			
	ACCESSIBLE SPACES REQUIRED:	163 x 2% = 4			
	ACCESSIBLE SPACES PROVIDED:	6			
	VAN ACCESSIBLE SPACES REQUIRED :	1 PER 6 ACCESSIBLE SPACES			
	VAN ACCESSIBLE SPACES PROVIDED:	1			
	WHEELCHAIR ONLY SPACES REQUIRED:	1 PER 101-200 SPACES			
	WHEELCHAIR ONLY SPACES PROVIDED:	1			
SECTION 1107.6.2.2.1	R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MINIMUM 2% TYPE A UNITS. ALL R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE TOTAL NUMBER OF UNITS AND REQUIRED NUMBER OF TYPE A UNITS				
	TYPE A UNITS REQUIRED (TOTAL FOR SITE):	184 x 2% = 4 UNITS			
	TYPE A UNITS PROVIDED (TOTAL FOR SITE):	0 UNITS			
	TYPE A UNITS PROVIDED (THIS BUILDING):	000 UNITS			
SECTION 1107.6.2.2.2	WHERE THERE ARE FOUR OR MORE DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS AT A MINIMUM				
EXCEPTION:	THE NUMBER OF TYPE A AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1107.7				
ADDITIONAL ACCESSIBILITY REQUIREMENTS					
APPLICABLE STANDARDS					
	ANSI ICC A117.1 - 2009				
	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - TITLE II				
	SECTION 504				
	FAIR HOUSING ACCESSIBILITY GUIDELINES				
	FHA SAFE HARBOR DESIGN DOCUMENT: IBC 2018				
	OHCS CORE DEVELOPMENT MANUAL				
ACCESSIBLE UNITS					
	5% OF UNITS WITH MOBILITY FEATURES	184 x 5% = 0 UNITS			
	2% OF UNITS WITH COMMUNICATION FEATURES	184 x 2% = 0 UNITS			
CHAPTER 13: ENERGY EFFICIENCY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)					
CLIMATE ZONE 4C					
OPAQUE ELEMENTS		REQUIRED		PROVIDED	
		ASSEMBLY MAX.	MIN. R-VALUE		
ROOFS					
INSULATION ENTIRELY ABOVE DECK		N/A	N/A		
METAL BUILDINGS ATTIC AND OTHER		N/A	N/A	R-49	
WALLS (ABOVE GRADE)					
MASS		U-0.090	R-11.4 CI		
METAL BUILDINGS		N/A	N/A		
STEEL-FRAMED		N/A	N/A		
WOOD-FRAMED / OTHER		U-0.064	R-13 + 3.8 CI OR R-20	R-23	
WALLS (BELOW GRADE)		C-0.092	R-10 CI		
FLOORS					
MASS		N/A	N/A		
STEEL JOIST		N/A	N/A		
WOOD FRAMED / OTHER		U-0.033	R-30	R-30	
SLAB-ON-GRADE FLOORS					
HEATED		N/A	N/A		
UNHEATED		F-0.520	R-15 FOR 24"	R-15 FOR 24"	
OPAQUE DOORS					
SWINGING		U-0.370		U-0.370	
NON-SWINGING		N/A			
FENESTRATION		REQUIRED		PROVIDED	
		MAX U	MAX SHGC	MIN VT/SHGC	MAX U
VERTICAL (0% - 40% OF WALL ALLOWED)					
FIXED		U-0.36	0.36	1.10	
OPERABLE		U-0.45	0.33	1.10	
ENTRANCE DOOR		U-0.63	0.33	1.10	
SKYLIGHT (0% - 3% OF ROOF ALLOWED)					
CI = CONTINUOUS INSULATION FC = FILLED CAVITY NR = NO REQUIREMENT NA = NO REQUIREABLE					
CHAPTER 29: PLUMBING FIXTURES					
	TOTAL UNITS				
R-2	12	1 WC / LAV / Tub or Shower per unit required and provided			



SITE PLAN - ZONING DIAGRAM

702.020 MULTIPLE FAMILY DESIGN REVIEW STANDARDS

SECTION	REQUIREMENT MET OR ADJUSTMENT REQUESTED	SHEET NUMBER
SITE SAFETY & SECURITY		
702.020 c.1	REQUIREMENT MET	A2.11-A2.12
702.020 c.2	REQUIREMENT MET	A3.01-A3.02
FACADE & BUILDING DESIGN		
702.020 a.1	REQUIREMENT MET	A2.11-A2.12
702.020 a.8	ADJUSTMENT REQUESTED	A3.01-A3.02
702.020 a.9	REQUIREMENT MET	A2.11-A2.12, A3.01
702.020 a.10	REQUIREMENT MET	A3.01-A3.02

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NOT FOR CONSTRUCTION

CDP SALEM - BUILDING B

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306



LAND USE SUBMISSION ISSUE 01.11.2021 DATE

Drawing:

CODE SUMMARY

Sheet No:
Building B -

G1.01

REQUIRED CLEAR FLOOR AREAS
PER ICC A117.1-2009

FIG. 604.3 SIZE OF CLEARANCE FOR WATER CLOSET

605.3 SIZE OF CLEARANCE FOR URINAL

SIZE OF CLEARANCE FOR LAVATORY

PROTRUDING OBJECTS
PER ICC A117.1-2009 FIG. 307.2

REQUIRED FLOOR AREA

MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS
PER ICC A117.1-2009, FIG. 404.2.3.2

(a) FRONT APPROACH PULL SIDE

(b) FRONT APPROACH PUSH SIDE

(c) HINGE APPROACH PULL SIDE

(d) HINGE APPROACH PUSH SIDE

(e) LATCH APPROACH PULL SIDE

(f) LATCH APPROACH PUSH SIDE

ACCESSIBILITY NOTES

A. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.

B. DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

C. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK

UNIVERSAL HC SYMBOL
PAINTED HIGHWAY WHITE (TWO COATS)

BACKGROUND PAINTED BLUE TO MATCH COLOR #15090 IN FED. STD. 595A

GRID SHOWN FOR REFERENCE ONLY

ABBREVIATIONS			
#	POUND OR NUMBER	GA	GAUGE
@	CENTERLINE	GALV	GALVANIZED
CL	CENTERLINE	GC	GENERAL CONTRACTOR
L	ANGLE	GI	GALVANIZED IRON
e	DIAMETER OR ROUND	GL	GLULAM
AB	ANCHOR BOLT	GND	GROUND
AC	ASPHALTIC CONCRETE	GR	GRADE
ACT	ACOUSTIC CEILING TILE	GWB	GYP SUM BOARD
AD	AREA DRAIN	GYP	GYP SUM BOARD
ADJ	ADJUSTABLE	GYP BD	GYP SUM BOARD
AFF	ABOVE FINISH FLOOR		
AFG	ABOVE FINISH GRADE	HB	HOSE BIB
ALT	ALTERNATE	HC	HOLLOW CORE
ALUM	ALUMINUM	HDR	HEADER
ANOD	ANODIZED	HDWD	HARDWOOD
APPROX	APPROXIMATE / APPROXIMATELY	HDWR	HARDWARE
ARCH	ARCHITECTURAL / ARCHITECT	HM	HOLLOW METAL
ASPH	ASPHALT	HNDOP	HANDICAP
		HORIZ	HORIZONTAL
		HP	SUPPLY AIR
		HPL	HIGH PRESSURE LAMINATE
		HR	HOUR
		HSS	HOLLOW STRUCTURAL STEEL
		HT	HEIGHT
		HVAC	HEATING VENTILATING AIR CONDITIONING
		HW	HOT WATER
		ID	INSIDE DIAMETER
		IE	INVERT ELEVATION
		IN	INCHES
		INSUL	INSULATION
		INT	INTERIOR
		JB	JUNCTION BOX
		JH	JOIST HANGER
		JST	JOIST
		JT	JOINT
		KD	KILN DRIED
		KIT	KITCHEN
		KW	KILOWATT
		LAM	LAMINATED
		LAV	LAVATORY
		LB	LEADER BOX
		LH	LEFT HAND
		LKR	LOCKER
		LT	LIGHT
		LTWT	LIGHTWEIGHT
		MAT	MATERIAL
		MAX	MAXIMUM
		MB	MACHINE BOLT
		MC	MEDICINE CABINET
		MECH	MECHANICAL
		MFR	MANUFACTURER
		MH	MANHOLE
		MIN	MINIMUM
		MIR	MIRROR
		MISC	MISCELLANEOUS
		MO	MASONRY OPENING
		MRGWB	MOISTURE RESISTANT GWB
		MTD	MOUNTED
		MTL	METAL
		MULL	MULLION
		(N)	NEW
		N	NORTH
		NIC	NOT IN CONCRAC
		NO	NUMBER
		NOM	NOMINAL
		NTS	NOT TO SCALE
		OBS	OBSCURE
		OC	ON CENTER
		OD	OUTSIDE DIAMETER
		OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
		OFOW	OWNER FURNISHED OWNER
		OPNG	OPENING
		OPP	OPPOSITE
		OTS	OPEN TO STRUCTURE
		P	PANTRY
		PC	PRECAST
		PIP	POURED IN PLACE
		PL	PLATE OR PROPERTY LINE
		PLAM	PLASTIC LAMINATE
		PLAS	PLASTIC
		PLYWD	PLYWOOD
		PNT	PAINT
		PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PT	PRESSURE TREATED
		PTD	PAINTED
		PVC	POLYVINYL CHLORIDE
		QT	QUARRY TILE
		R	RADIUS OR RISER
		RA	RETURN AIR
		RB	RESILIENT BASE
		RD	ROOF DRAIN
		REC	RECOMMENDATION
		REF	REFERENCE
		REFR	REFRIGERATOR
		REIN	REINFORCE(MENT)
		REOD	REQUIRED
		RESIL	RESILIENT
		REV	REVISIONS
		RF	RESILIENT FLOOR
		RH	RIGHT HAND
		RM	ROOM
		RO	ROUGH OPENING
		ROWAY	RIGHT OF WAY
		RWL	RAIN WATER LEADER
		S	SOUTH
		SA	SUPPLY AIR
		SAM	SELF ADHERED MEMBRANE
		SC	SOLID CORE
		SCHED	SCHEDULE
		SEC	SECTION
		SF	SQUARE FOOT
		SHT	SHEET
		SHTHG	SHEATHING
		SHWR	SHOWER
		SM	SIMILAR
		SM	SHEET METAL
		SP	SOLID PIPE
		SPEC	SPECIFICATIONS
		SPK	SPEAKER
		SQ	SQUARE
		SS	STAINLESS STEEL
		SSK	SERVICE SINK
		SSM	SOLID SURFACE MATERIAL
		STA	STATION
		STD	STANDARD
		STL	STEEL
		STN	STAIN
		STR	STRUCTURAL
		STRUCT	STRUCTURAL
		SUSP	SUSPENDED
		SYM	SYMMETRICAL
		T	TREAD OR TILE
		T&G	TONGUE AND GROOVE
		TM	TO MATCH
		TO	TOP OF CURB
		TEL	TELEPHONE
		TEMP	TEMPERATURE
		TER	TERRAZZO
		THK	THICK / THICKNESS
		TJ	TOOL JOINT
		TLT	TOILET
		TO	TOP OF
		TOC	TOP OF CONCRETE
		TOP	TOP OF PARAPET
		TOS	TOP OF STEEL
		TOSF	TOP OF SUB-FLOOR
		TOW	TOP OF WALL
		TP	TUBE STEEL
		TS	TELEVISION
		TYP	TYPICAL
		UL	UNDERWRITER'S LABORATORY
		UNF	UNFINISHED
		UNO	UNLESS NOTED OTHERWISE
		UR	URINAL
		VB	VAPOR BARRIER
		VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VFY	VERIFY
		VG	VERTICAL GRAIN
		VIF	VERIFY IN FIELD
		VP	VENT PIPE
		VR	VAPOR RETARDER
		W	WEST
		W	WATT
		W	WITH
		W/O	WITHOUT
		WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		WF	WIDE FLANGE
		WI	WHERE OCCURS
		WO	WROUGHT IRON
		WP	WATERPROOF
		WR	WATER RESISTANT
		WRB	WEATHER RESISTANT BARRIER
		WSC	WAINSCOT
		WT	WEIGHT
		WWF	WELDED WIRE FABRIC

DIMENSIONS

A. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.

B. IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.

C. DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.

D. DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.

E. INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.

F. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4 1/2" FROM FACE OF FINISH TO OUTSIDE FACE OF FRAME.

4 1/2" TYP.

GRAPHIC SYMBOLS

NORTH ARROW

GRID LINE

VERTICAL DATUM

ROOM NAME AND NUMBER

EXTERIOR ELEVATION

BUILDING SECTION / WALL SECTION

INTERIOR ELEVATION

DETAIL CALLOUT

DOOR NUMBER

CEILING HEIGHT

WALL / ASSEMBLY TYPE

FLOOR / FLOOR-CEILING ASSEMBLY [F-#]

CEILING ASSEMBLY [C-#]

ROOF / ROOF-CEILING ASSEMBLY [R-#]

WINDOW TYPE

ACCESSORY / EQUIPMENT TYPE

CASEWORK TYPE

MATERIAL / FINISH

SPOT ELEVATION

KEYNOTE

REVISION

S|E A

SCOTT|EDWARDS ARCHITECTURE LLP.

2525 E Burnside Street, Portland, OR 97214

phone: (503) 226-3617 www.sealp.com

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CDP SALEM - BUILDING B

Job Number: 21031

5205 BATTLE CREEK RD SE SALEM, OR 97306

Community Development Partners

LAND USE SUBMISSION ISSUE

01.11.2021

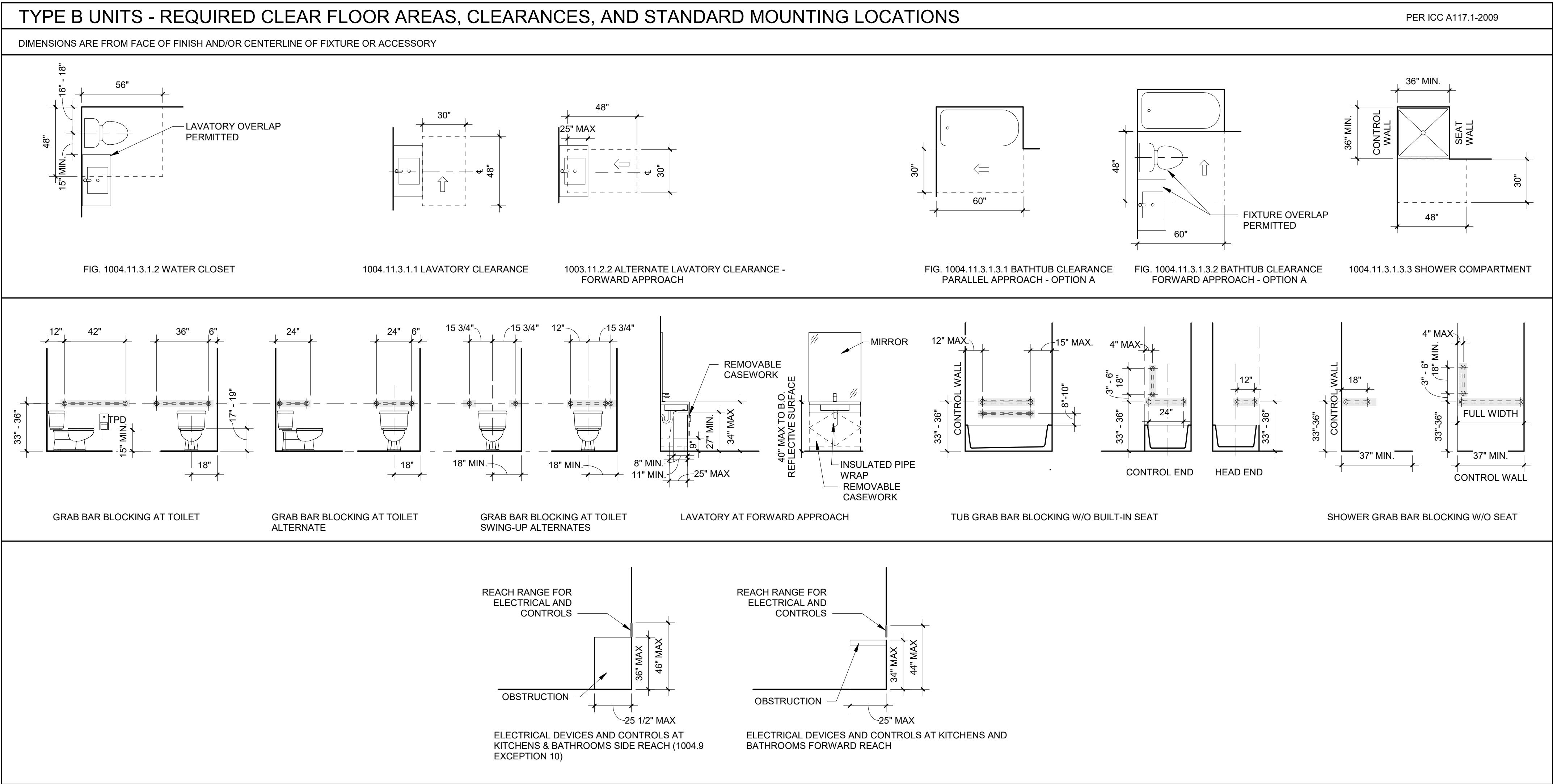
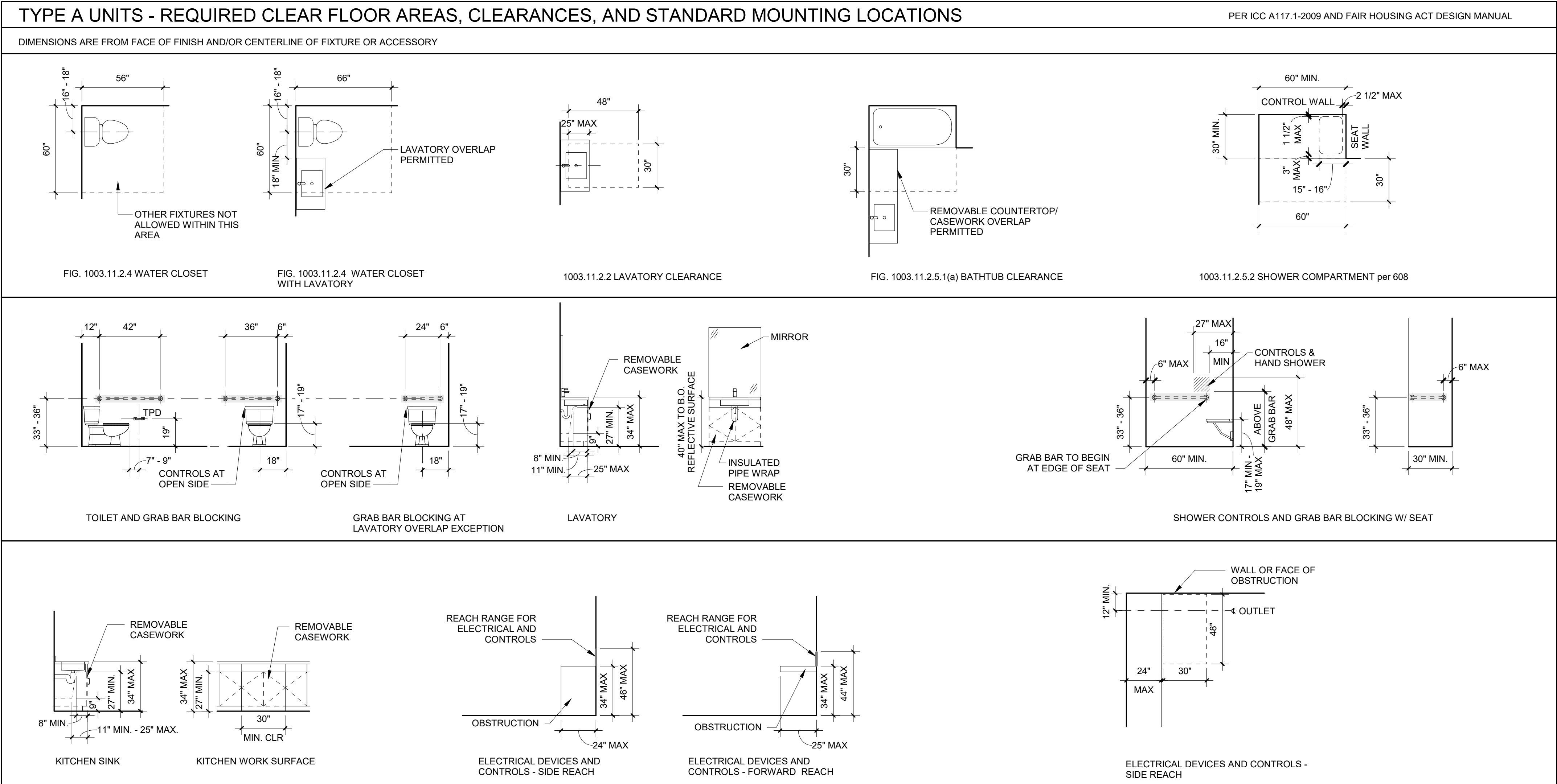
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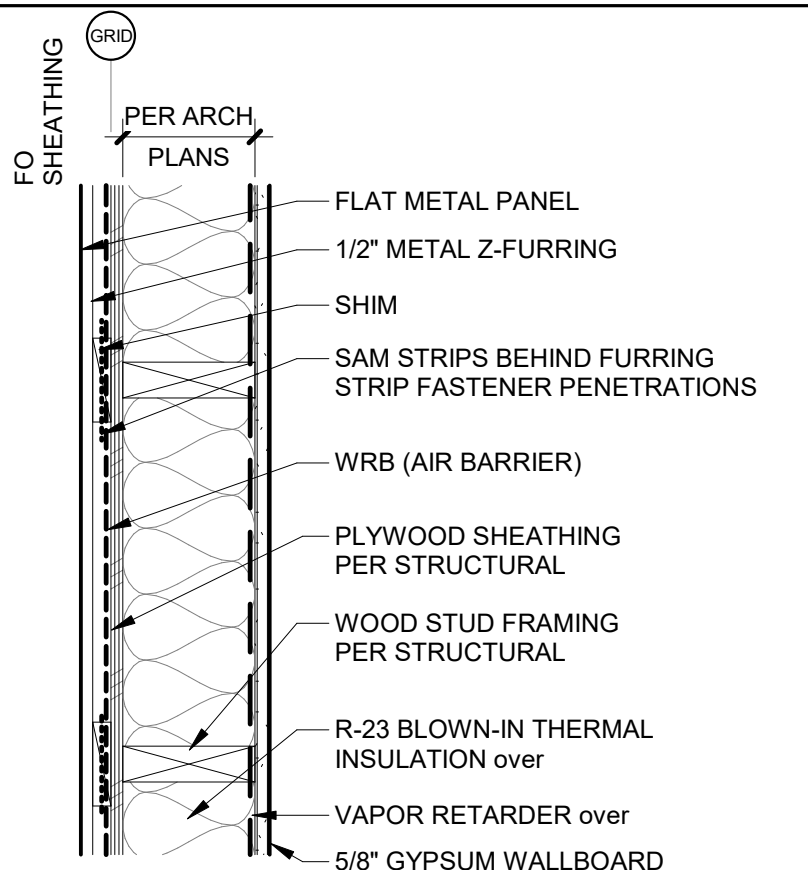
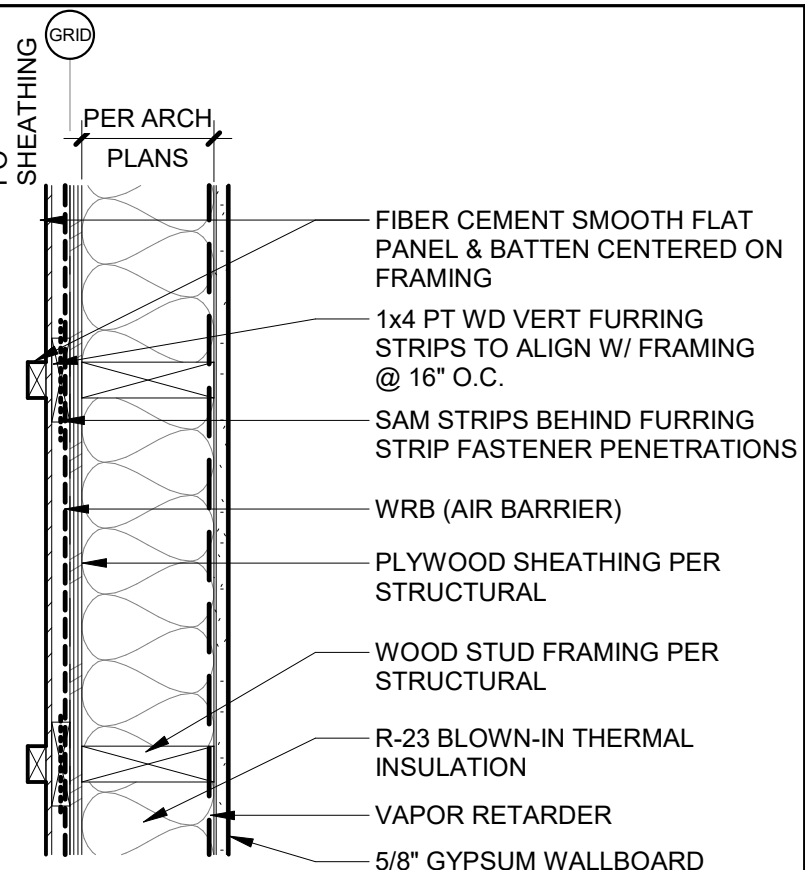
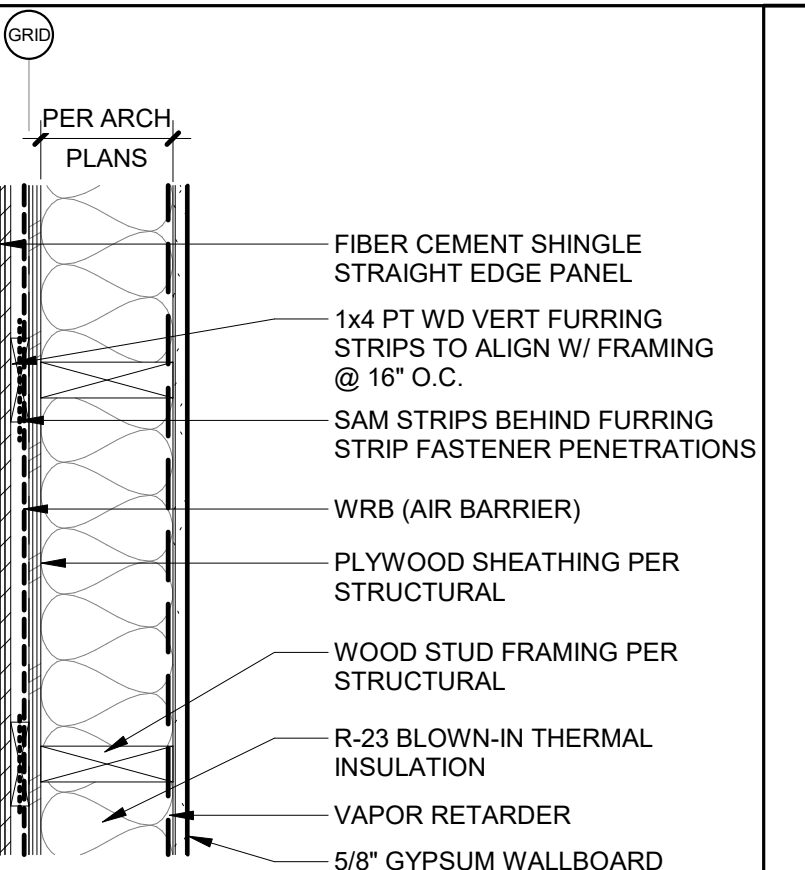
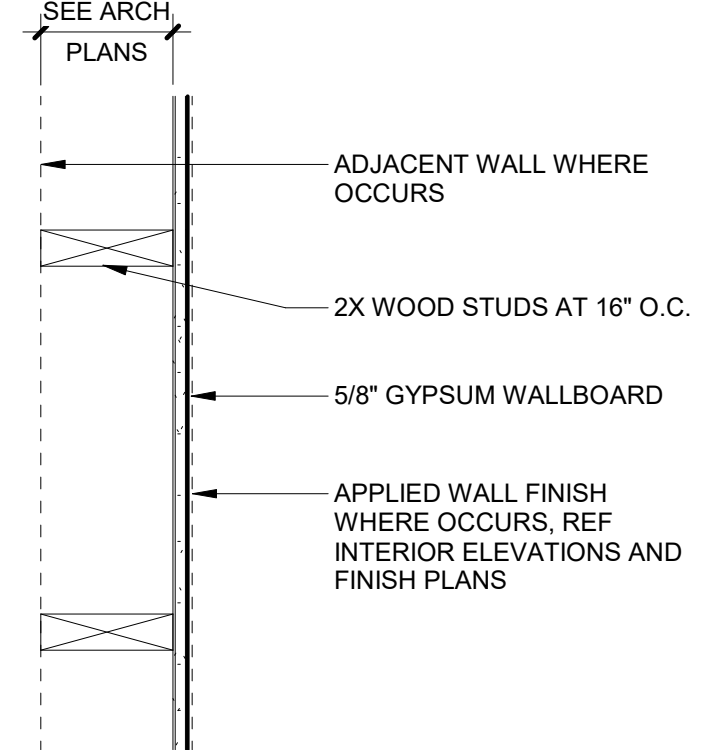
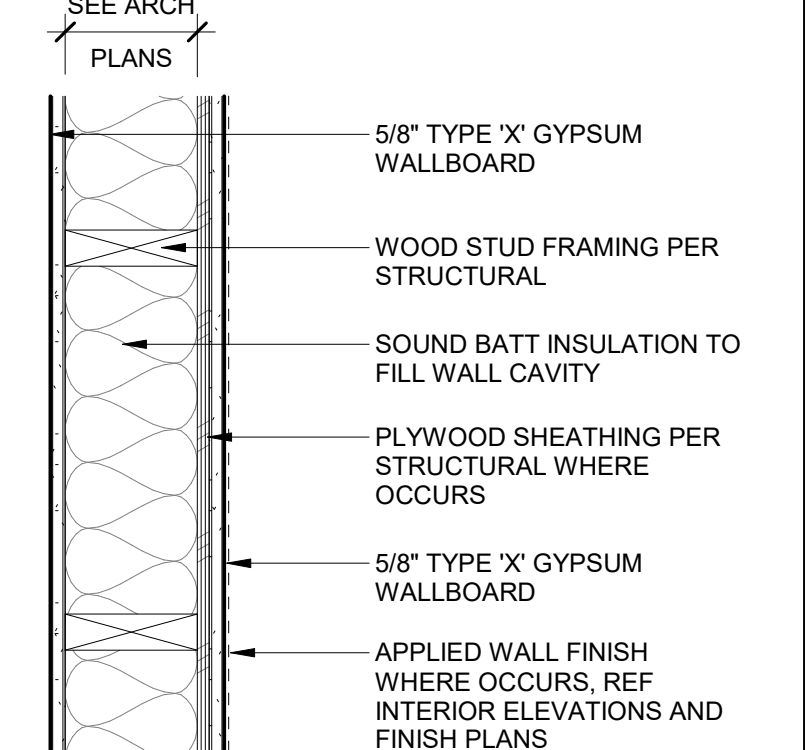
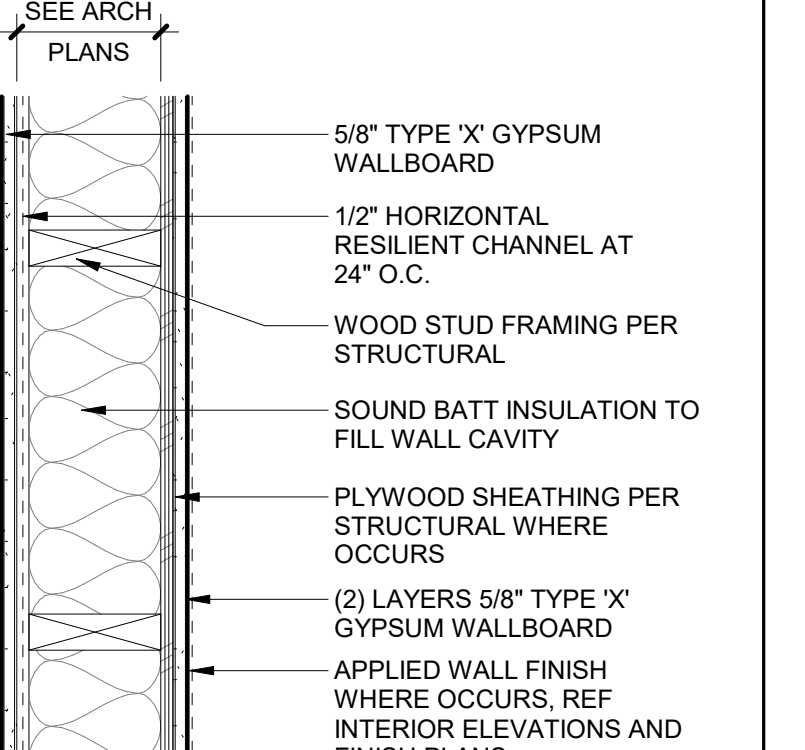
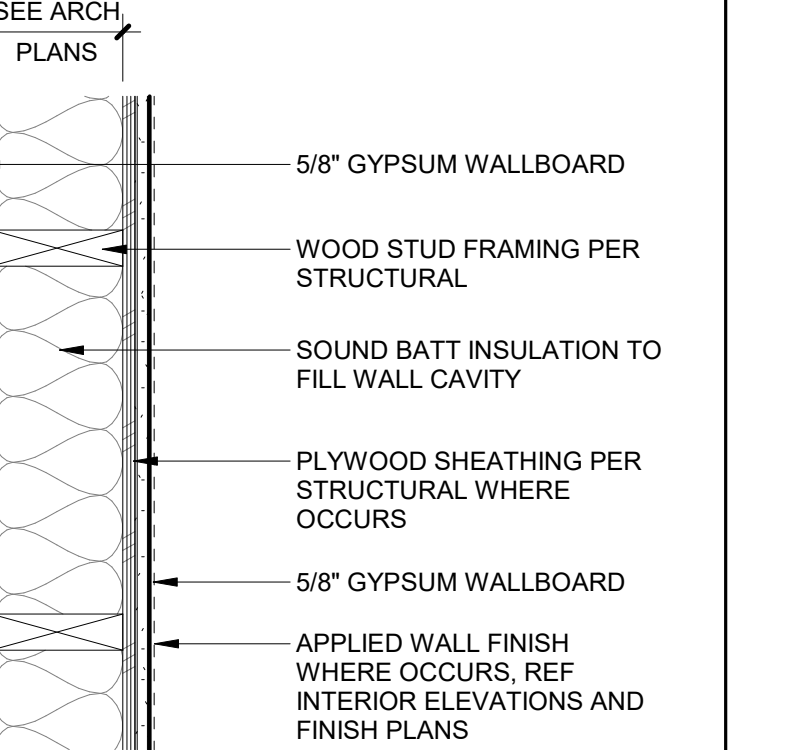
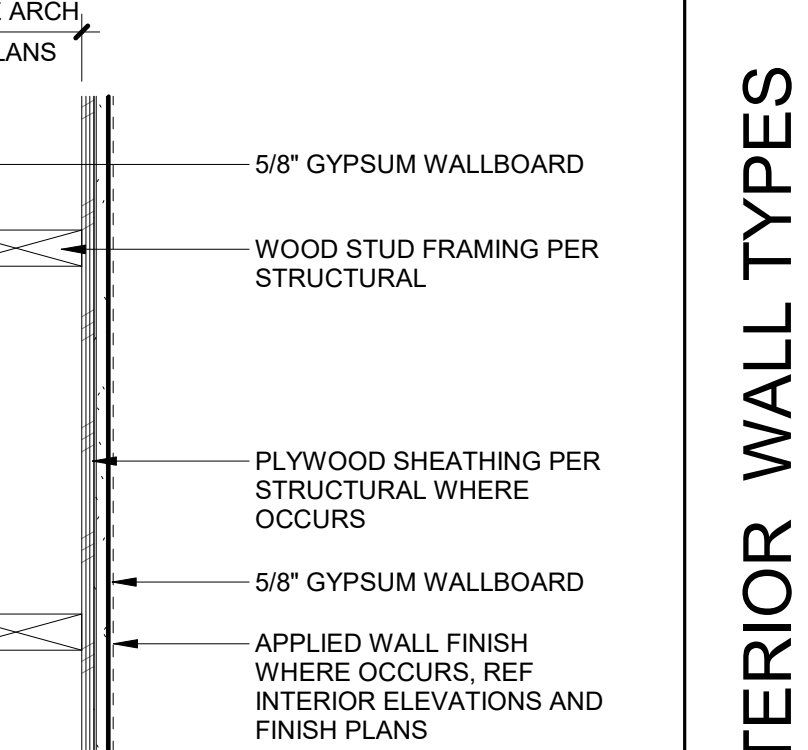
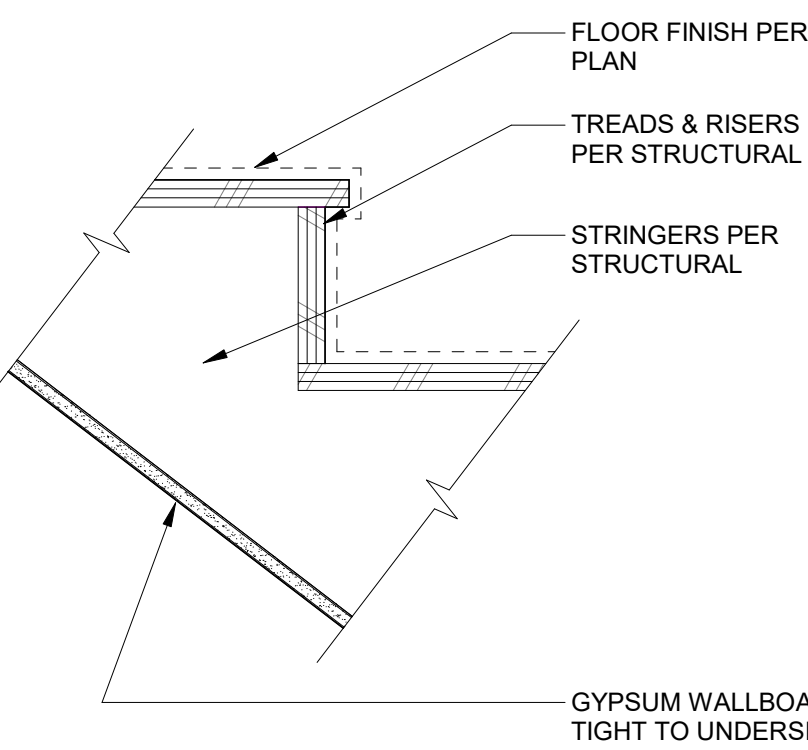
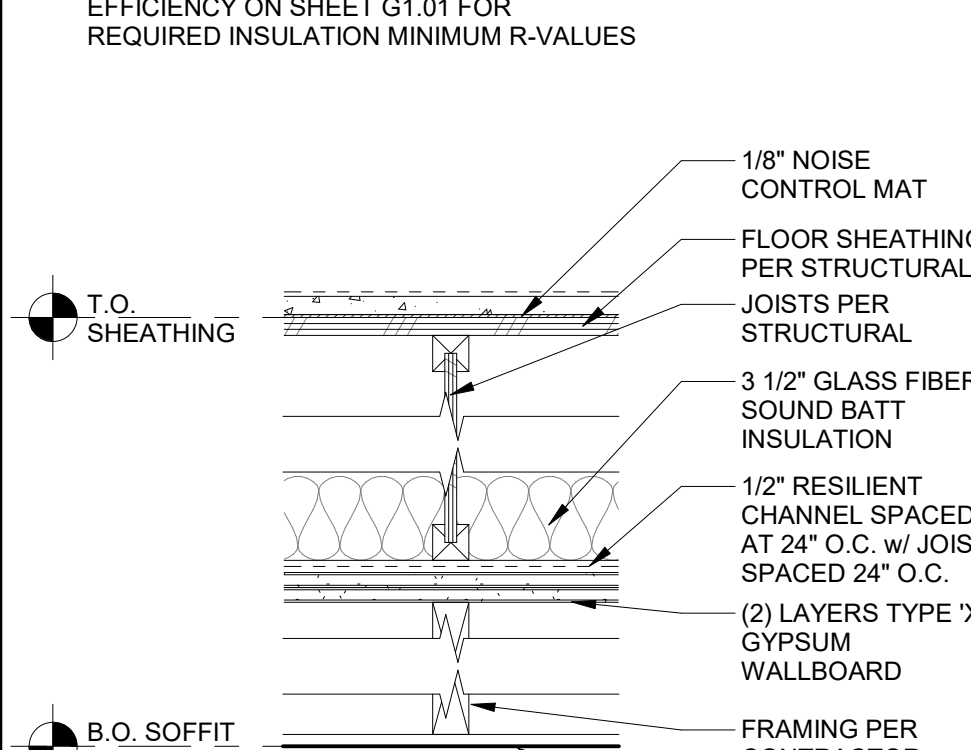
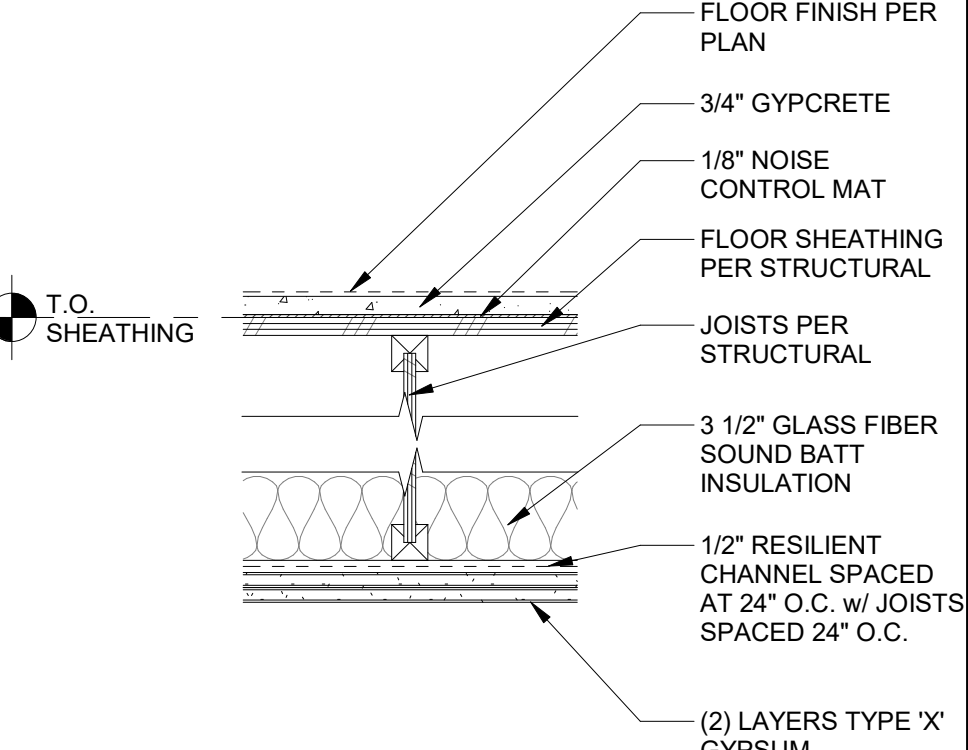
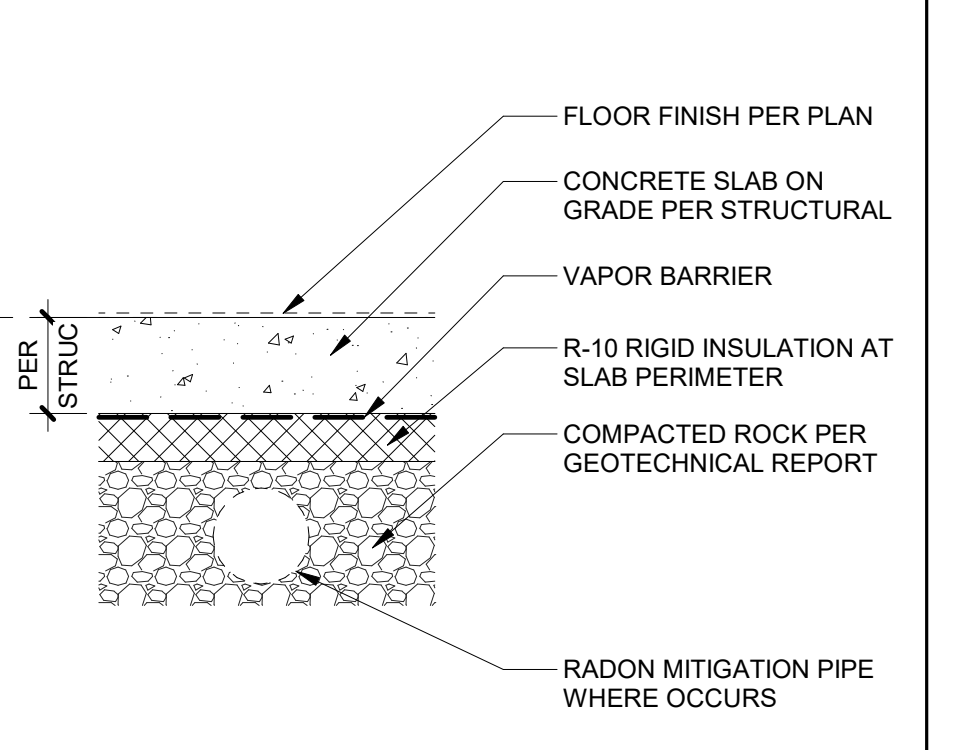
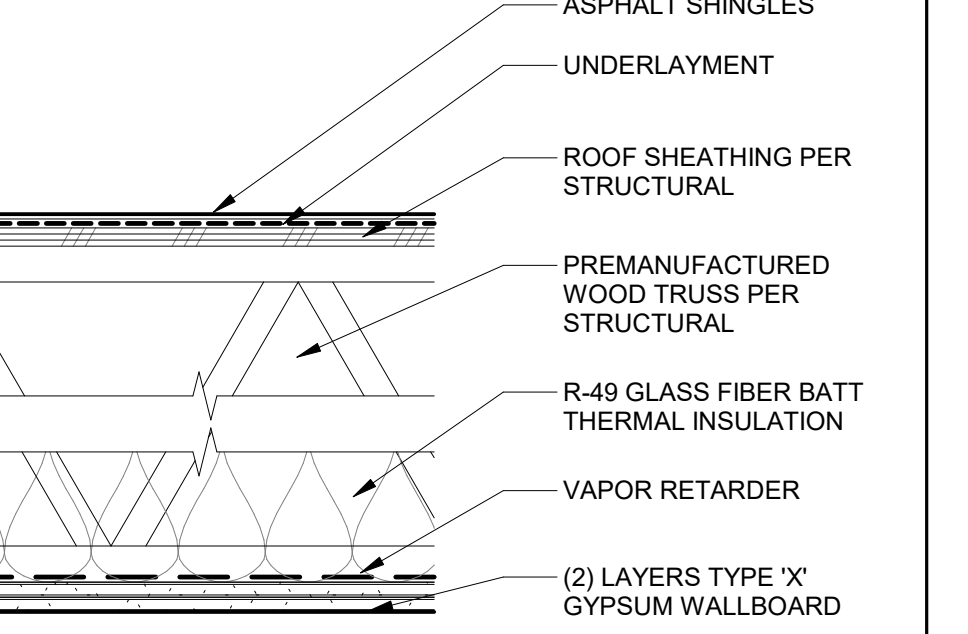
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ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

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			 <p>PER ARCH PLANS</p> <p>FLAT METAL PANEL</p> <p>1/2" METAL Z-FURRING</p> <p>SHIM</p> <p>SAM STRIPS BEHIND FURRING STRIP FASTENER PENETRATIONS</p> <p>WRB (AIR BARRIER)</p> <p>PLYWOOD SHEATHING PER STRUCTURAL</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>R-23 BLOWN-IN THERMAL INSULATION over</p> <p>VAPOR RETARDER over</p> <p>5/8" GYPSUM WALLBOARD</p>	 <p>PER ARCH PLANS</p> <p>FIBER CEMENT SMOOTH FLAT PANEL & BATTEN CENTERED ON FRAMING</p> <p>1x4 PT WD VERT FURRING STRIPS TO ALIGN W/ FRAMING @ 16" O.C.</p> <p>SAM STRIPS BEHIND FURRING STRIP FASTENER PENETRATIONS</p> <p>WRB (AIR BARRIER)</p> <p>PLYWOOD SHEATHING PER STRUCTURAL</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>R-23 BLOWN-IN THERMAL INSULATION</p> <p>VAPOR RETARDER</p> <p>5/8" GYPSUM WALLBOARD</p>	 <p>PER ARCH PLANS</p> <p>FIBER CEMENT SHINGLE STRAIGHT EDGE PANEL</p> <p>1x4 PT WD VERT FURRING STRIPS TO ALIGN W/ FRAMING @ 16" O.C.</p> <p>SAM STRIPS BEHIND FURRING STRIP FASTENER PENETRATIONS</p> <p>WRB (AIR BARRIER)</p> <p>PLYWOOD SHEATHING PER STRUCTURAL</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>R-23 BLOWN-IN THERMAL INSULATION</p> <p>VAPOR RETARDER</p> <p>5/8" GYPSUM WALLBOARD</p>	EXTERIOR WALL TYPES																		
			EW3-X EXTERIOR FLAT METAL PANEL	EW2-X EXTERIOR FIBER CEMENT SMOOTH FLAT PANEL	EW1-X EXTERIOR FIBER CEMENT SHINGLE SINGLE STRAIGHT EDGE PANEL																			
	 <p>SEE ARCH PLANS</p> <p>ADJACENT WALL WHERE OCCURS</p> <p>2X WOOD STUDS AT 16" O.C.</p> <p>5/8" GYPSUM WALLBOARD</p> <p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p>	 <p>SEE ARCH PLANS</p> <p>5/8" TYPE 'X' GYPSUM WALLBOARD</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>SOUND BATT INSULATION TO FILL WALL CAVITY</p> <p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p> <p>5/8" TYPE 'X' GYPSUM WALLBOARD</p> <p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p>	 <p>SEE ARCH PLANS</p> <p>5/8" TYPE 'X' GYPSUM WALLBOARD</p> <p>1/2" HORIZONTAL RESILIENT CHANNEL AT 24" O.C.</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>SOUND BATT INSULATION TO FILL WALL CAVITY</p> <p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p> <p>(2) LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD</p> <p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p> <p>NOTE: SEE FOR FIREBLOCKING DETAIL AT INTERIOR RATED WALLS.</p>	 <p>SEE ARCH PLANS</p> <p>5/8" GYPSUM WALLBOARD</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>SOUND BATT INSULATION TO FILL WALL CAVITY</p> <p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p> <p>5/8" GYPSUM WALLBOARD</p> <p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p>	 <p>SEE ARCH PLANS</p> <p>5/8" GYPSUM WALLBOARD</p> <p>WOOD STUD FRAMING PER STRUCTURAL</p> <p>PLYWOOD SHEATHING PER STRUCTURAL WHERE OCCURS</p> <p>5/8" GYPSUM WALLBOARD</p> <p>APPLIED WALL FINISH WHERE OCCURS, REF INTERIOR ELEVATIONS AND FINISH PLANS</p>	INTERIOR WALL TYPES																		
	IW5-X INTERIOR FURRED WALL	IW4-X 1 HR RATED INTERIOR PARTITION WALL <table><tr><td>GA</td><td>WP 3520</td></tr><tr><td>STC</td><td>35-39</td></tr></table>	GA	WP 3520	STC	35-39	IW3-X 1 HR RATED INTERIOR DEMISING WALL <table><tr><td>GA</td><td>WP 3243</td></tr><tr><td>STC</td><td>50-54</td></tr></table>	GA	WP 3243	STC	50-54	IW2-X INTERIOR PARTITION WALL	IW1-X INTERIOR PARTITION WALL											
GA	WP 3520																							
STC	35-39																							
GA	WP 3243																							
STC	50-54																							
	 <p>FLOOR FINISH PER PLAN</p> <p>TREADS & RISERS PER STRUCTURAL</p> <p>STRINGERS PER STRUCTURAL</p> <p>GYPSUM WALLBOARD TIGHT TO UNDERSIDE OF STAIR FRAMING</p>	 <p>NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES</p> <p>T.O. SHEATHING</p> <p>1/8" NOISE CONTROL MAT</p> <p>FLOOR SHEATHING PER STRUCTURAL</p> <p>JOISTS PER STRUCTURAL</p> <p>3 1/2" GLASS FIBER SOUND BATT INSULATION</p> <p>1/2" RESILIENT CHANNEL SPACED AT 24" O.C. w/ JOISTS SPACED 24" O.C.</p> <p>(2) LAYERS TYPE 'X' GYPSUM WALLBOARD</p> <p>FRAMING PER CONTRACTOR</p> <p>B.O. SOFFIT</p> <p>FLAT METAL PANEL</p>	 <p>NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES</p> <p>T.O. SHEATHING</p> <p>FLOOR FINISH PER PLAN</p> <p>3/4" GYPCRETE</p> <p>1/8" NOISE CONTROL MAT</p> <p>FLOOR SHEATHING PER STRUCTURAL</p> <p>JOISTS PER STRUCTURAL</p> <p>3 1/2" GLASS FIBER SOUND BATT INSULATION</p> <p>1/2" RESILIENT CHANNEL SPACED AT 24" O.C. w/ JOISTS SPACED 24" O.C.</p> <p>(2) LAYERS TYPE 'X' GYPSUM WALLBOARD</p> <p>NOTE: REFERENCE CH 13: ENERGY EFFICIENCY ON SHEET G1.01 FOR REQUIRED INSULATION MINIMUM R-VALUES</p>	 <p>FLOOR FINISH PER PLAN</p> <p>CONCRETE SLAB ON GRADE PER STRUCTURAL</p> <p>VAPOR BARRIER</p> <p>R-10 RIGID INSULATION AT SLAB PERIMETER</p> <p>COMPACTED ROCK PER GEOTECHNICAL REPORT</p> <p>RADON MITIGATION PIPE WHERE OCCURS</p>		FLOOR/CEILING TYPES																		
	F-4 STAIR ASSEMBLY	F-3 1-HR RATED FLOOR/CEILING ASSEMBLY <table><tr><td>UL #</td><td>BXUV L570</td></tr><tr><td>STC</td><td>55, 100528151CRT-0021</td></tr><tr><td>ICC</td><td>53, 100528151CRT-0011</td></tr></table>	UL #	BXUV L570	STC	55, 100528151CRT-0021	ICC	53, 100528151CRT-0011	F-3 1-HR RATED FLOOR/CEILING ASSEMBLY <table><tr><td>UL #</td><td>BXUV L570</td></tr><tr><td>STC</td><td>55, 100528151CRT-0021</td></tr><tr><td>ICC</td><td>53, 100528151CRT-0011</td></tr></table>	UL #	BXUV L570	STC	55, 100528151CRT-0021	ICC	53, 100528151CRT-0011	F-2 1-HR RATED FLOOR/CEILING ASSEMBLY <table><tr><td>UL #</td><td>BXUV L570</td></tr><tr><td>STC</td><td>55, 100528151CRT-0021</td></tr><tr><td>ICC</td><td>53, 100528151CRT-0011</td></tr></table>	UL #	BXUV L570	STC	55, 100528151CRT-0021	ICC	53, 100528151CRT-0011	F-1 SLAB ON GRADE FLOOR	
UL #	BXUV L570																							
STC	55, 100528151CRT-0021																							
ICC	53, 100528151CRT-0011																							
UL #	BXUV L570																							
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ICC	53, 100528151CRT-0011																							
				 <p>ASPHALT SHINGLES</p> <p>UNDERLAYMENT</p> <p>ROOF SHEATHING PER STRUCTURAL</p> <p>PREMANUFACTURED WOOD TRUSS PER STRUCTURAL</p> <p>R-49 GLASS FIBER BATT THERMAL INSULATION</p> <p>VAPOR RETARDER</p> <p>(2) LAYERS TYPE 'X' GYPSUM WALLBOARD</p> <p>BASE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" O.C. WITH 1-1/4" TYPE W DRYWALL SCREWS 24" O.C. FACE LAYER GWB APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1-7/8" TYPE W DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS. 12" O.C.</p>		ROOF TYPES																		
					R-1 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY <table><tr><td>QSSC:</td><td>1721.1(3) NO. 21-1.1</td></tr></table>	QSSC:	1721.1(3) NO. 21-1.1																	
QSSC:	1721.1(3) NO. 21-1.1																							
						CEILING TYPES																		

GENERAL SHEET NOTES

A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.

B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.

C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.

D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.

E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.

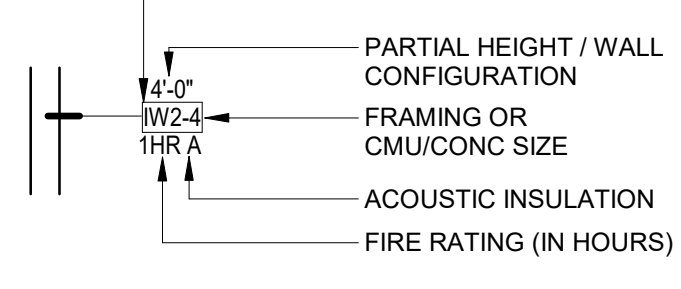
F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.

G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.

H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.

I. PROVIDE DEFLECTION HEADS OR CLIPS AT ALL NON-LOAD BEARING CONDITIONS.

J. FOR TYPICAL LIGHT GAUGE METAL FRAMING DETAILS SEE XXX.

WALL TYPE SYMBOL

WALL TYPE

PARTIAL HEIGHT / WALL CONFIGURATION

FRAMING OR CMU/CONC SIZE

ACOUSTIC INSULATION

FIRE RATING (IN HOURS)

METAL FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED

1 = 1 5/8"

2 = 2 1/2"

3 = 3 1/2"

4 = 4"

6 = 6"

8 = 8"

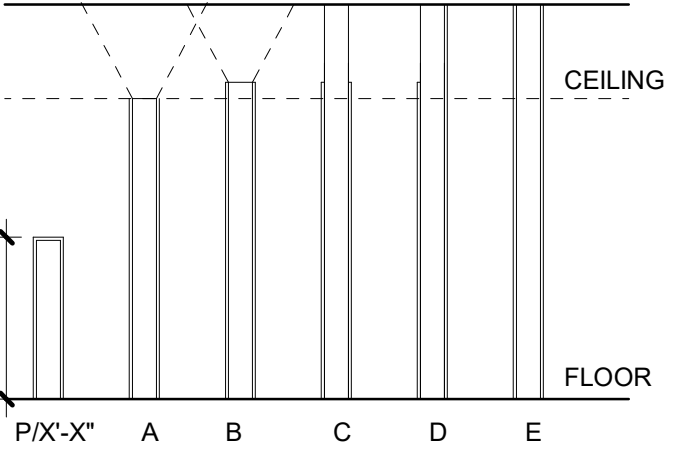
WOOD FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED

4 = 2" x 4"

6 = 2" x 6"

8 = 2" x 8"

WALL CONFIGURATION

STRUCTURE

CEILING

FLOOR

P/X-X" A B C D E

X-X"

P PARTIAL HEIGHT WALL, SEE ELEVATIONS OR SECTIONS

X-X" HEIGHT AS INDICATED TO TOP OF FINISH

A FRAMING AND FINISHES TERMINATE AT UNDERSIDE OF CEILING. BRACE AS REQUIRED.

B FRAMING AND FINISHES TERMINATE 4" ABOVE FINISHED CEILING. BRACE AS REQUIRED.

C FRAMING EXTENDS TO BOTTOM OF STRUCTURE. FINISHES TERMINATE AT 4" ABOVE FINISHED CEILING.

D FRAMING AND FINISH ONE SIDE OF WALL EXTEND TO BOTTOM OF STRUCTURE. FINISH OTHER SIDE TERMINATES AT 4" ABOVE FINISHED CEILING.

E FRAMING AND FINISHES BOTH SIDE EXTEND TO UNDERSIDE OF STRUCTURE ABOVE.

S|E A

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phone: (503) 226-3617 www.sealp.com

CDP SALEM - BUILDING B

Job Number: 21031

5205 BATTLE CREEK RD SE
SALEM, OR 97306

C
D
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Community Development Partners

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DATE

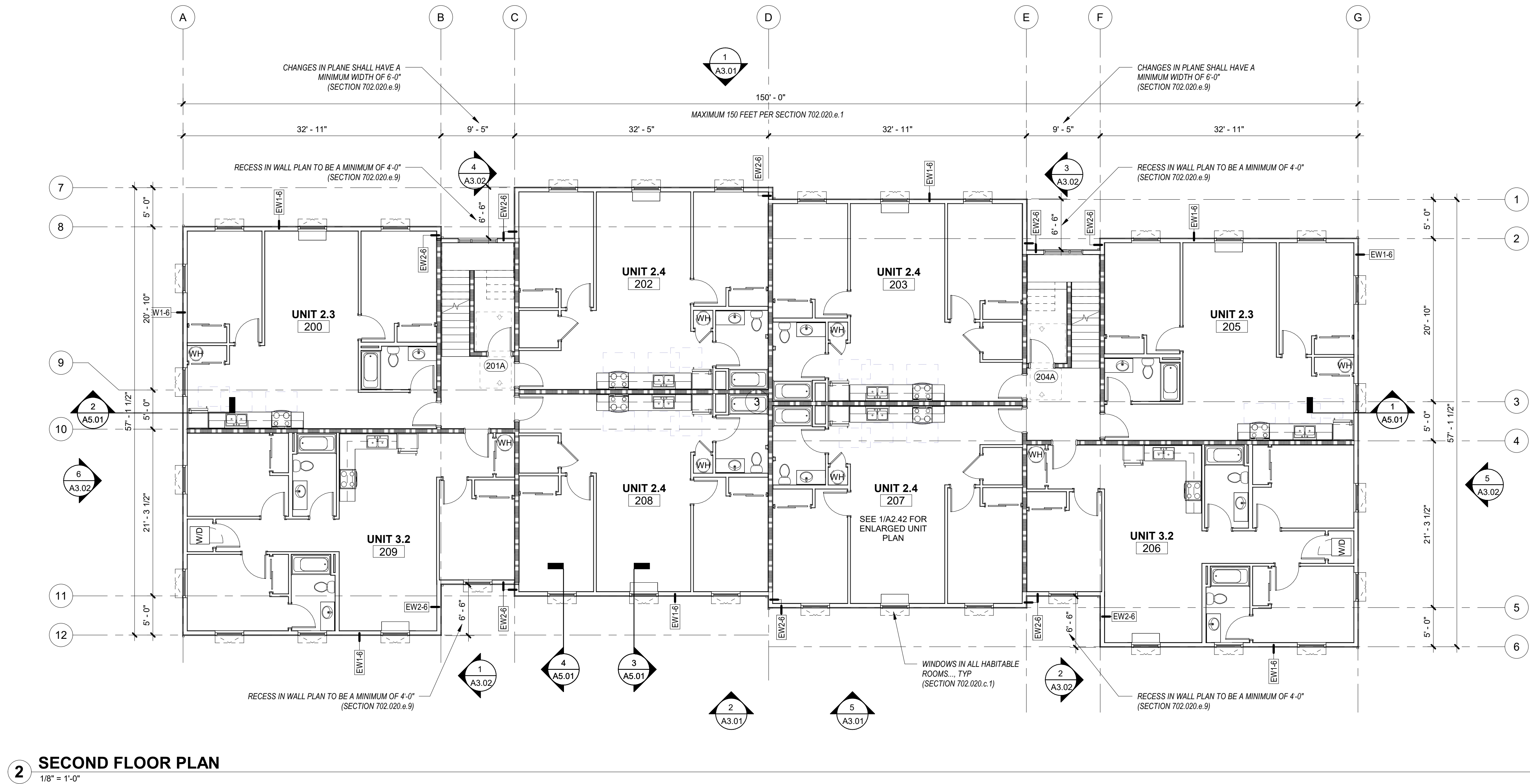
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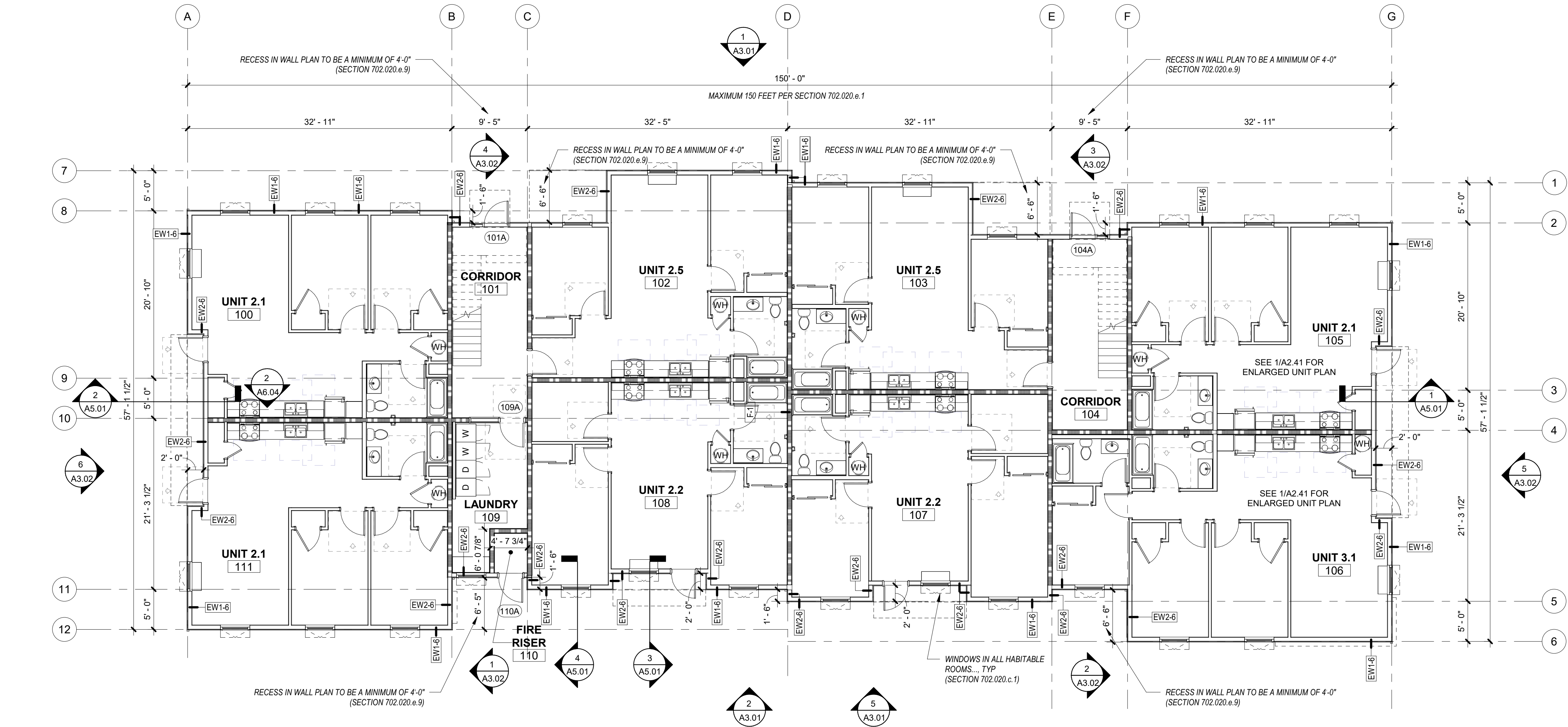
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THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



2 SECOND FLOOR PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL SHEET NOTES

- WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
- ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
- ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES.
- REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY WITH FLOOR FINISHES.
- SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.
- WIRE SHELVING IN ALL BEDROOM CLOSETS.
- M.E.P. INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE ALL LOCATIONS OF EQUIPMENT AND REQUIRED PENETRATIONS.
- PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL UNIT RESTROOMS WHERE GRAB BARS ARE NOT SHOWN IN PLAN. REF ACCESSIBILITY DIAGRAMS FOR LOCATIONS.
- FIRE EXTINGUISHER TO BE PLACED IN PANTRY IN ALL UNITS.
- CURTAIN RODS AT ALL BEDROOM CLOSETS ARE CFCL IN LIEU OF DOORS. CURTAINS ARE OFCL.
- DOWNSPOUTS PAINTED IN FIELD, RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.

LEGEND

- | | |
|--|---|
| | 1 HOUR RATED ASSEMBLY |
| | ELEMENT ABOVE |
| | FLOOR DRAIN |
| | R-1 ASPHALT SHINGLE ROOF |
| | R-2 STANDING SEAM METAL ROOF |
| | PROVIDE FIRE-RETARDANT TREATED ROOF SHEATHING IN AREA INDICATED |
| | DOWNSPOUT |
| | WATER HEATER W FLOOR DRAIN BELOW - REF PLUMBING |
| | OPERABLE WINDOW |

KEYNOTES

07-02

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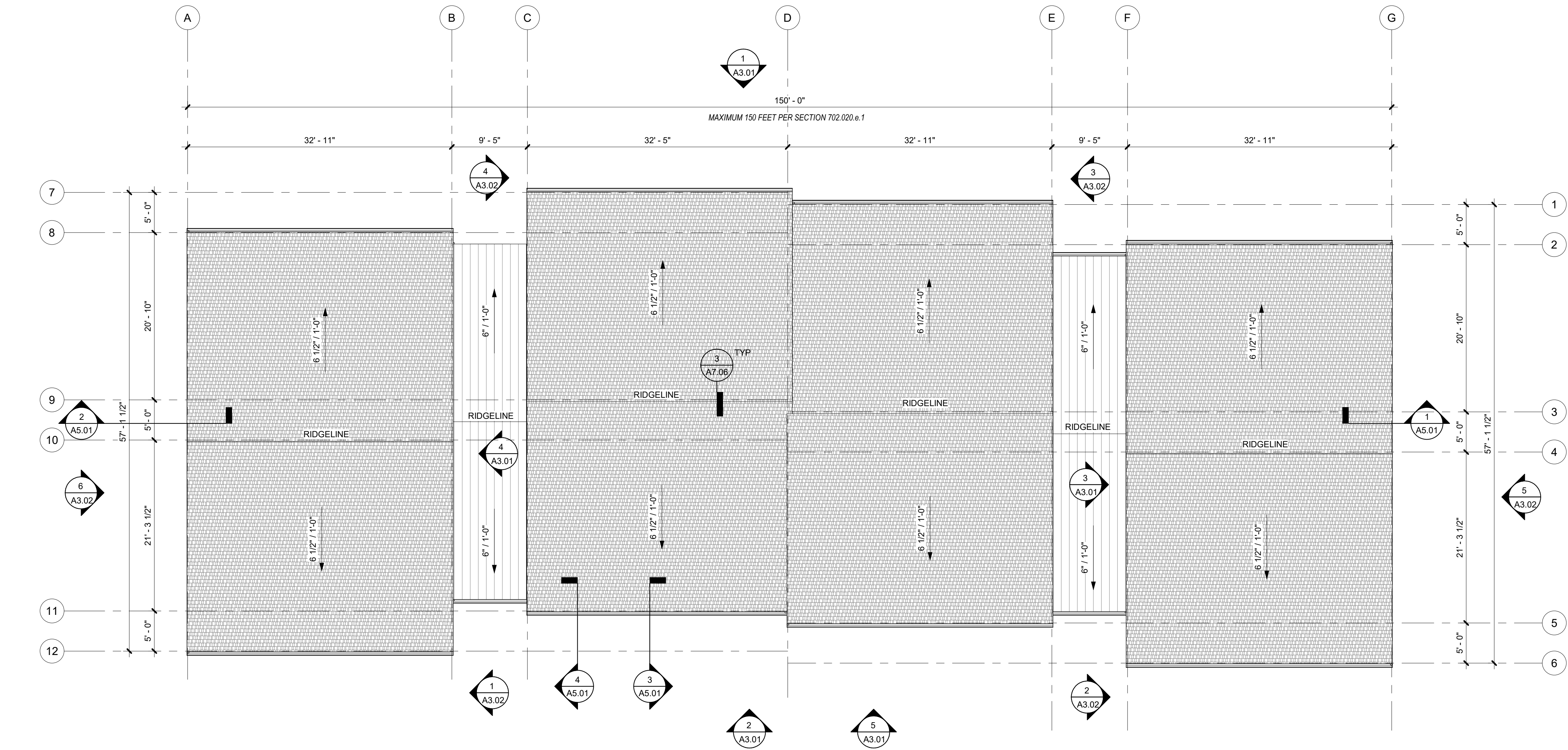
Community Development Partners

LAND USE SUBMISSION ISSUE 01.11.2021 DATE

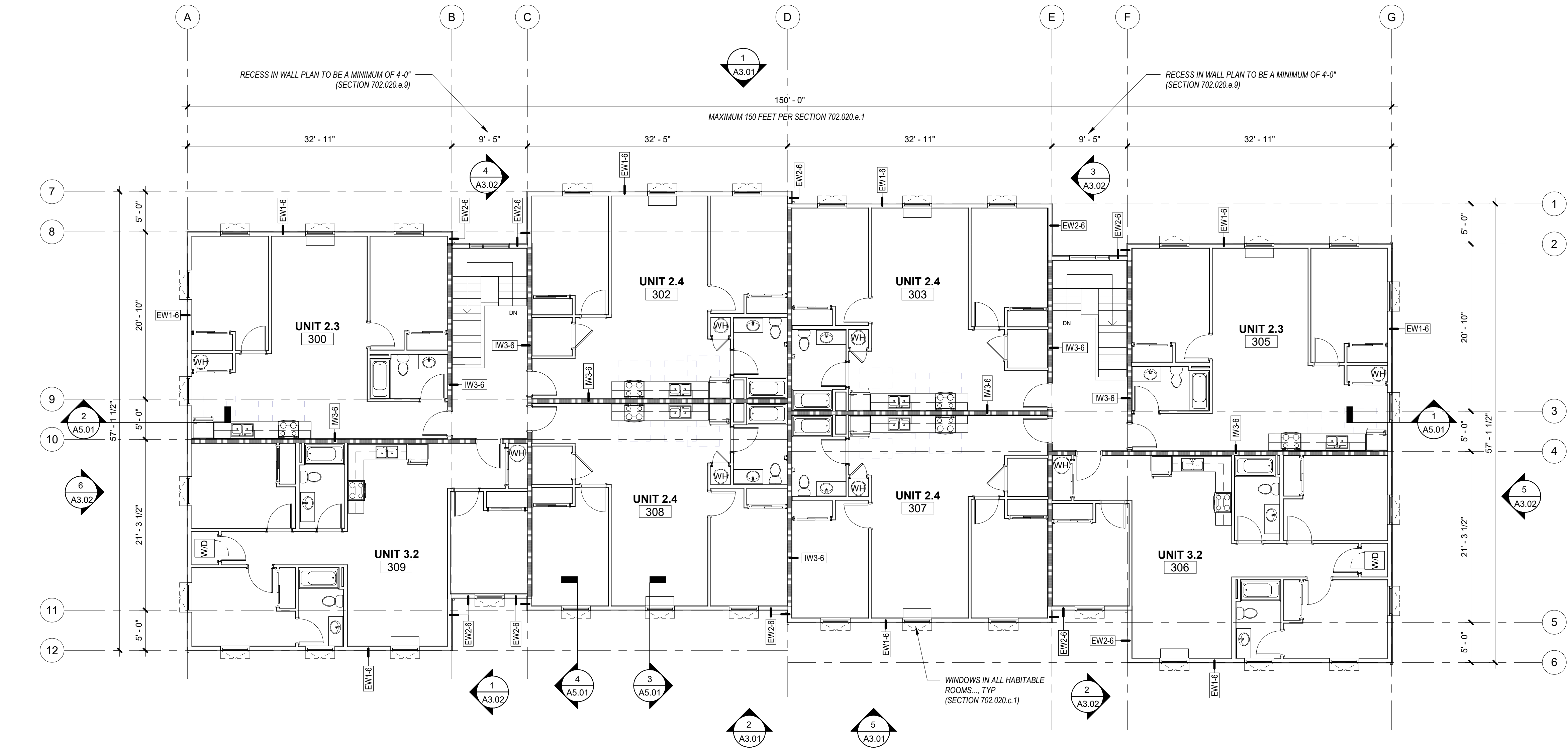
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OVERALL FIRST & SECOND FLOOR PLANS

Sheet No:
Building B -

A2.11



2 ROOF PLAN
1/8" = 1'-0"



1 THIRD FLOOR PLAN
1/8" = 1'-0"

GENERAL SHEET NOTES

- WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
- ALL EXTERIOR GRID LINES SHOWN ARE TO FACE OF SHEATHING U.N.O. ALL INTERIOR GRID LINES ARE TO FACE OF STUD U.N.O.
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- DOWNSPOUTS PAINTED IN FIELD. RECTANGLE SHAPE AND SIZE PER PLUMBING AND CIVIL.

LEGEND

- | | |
|---|--|
| 1 HOUR RATED ASSEMBLY | |
| ELEMENT ABOVE | |
| + FD FLOOR DRAIN | |
| R-1 ASPHALT SHINGLE ROOF | |
| R-2 STANDING SEAM METAL ROOF | |
| PROVIDE FIRE-RETARDANT TREATED ROOF SHEATHING IN AREA INDICATED | |
| DS DOWNSPOUT | |
| WH WATER HEATER W FLOOR DRAIN BELOW - REF PLUMBING | |
| OPERABLE WINDOW | |

KEYNOTES 07-02

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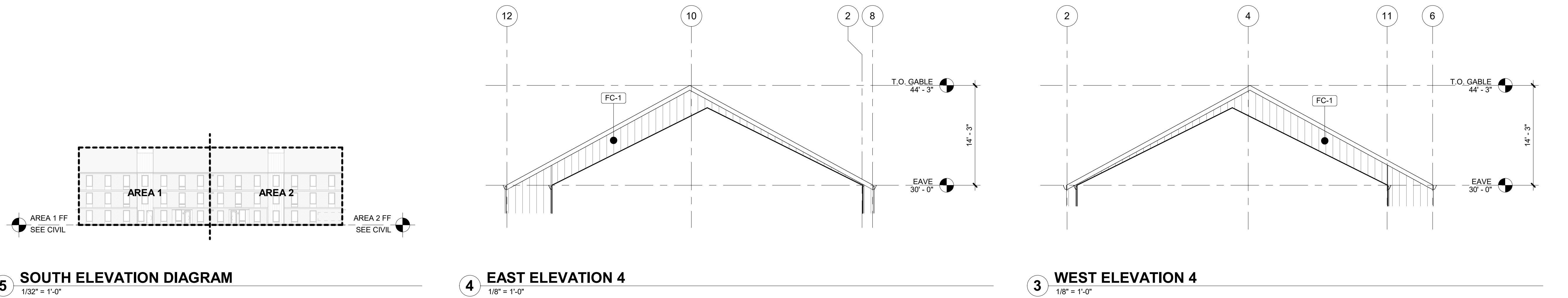
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Drawing:

OVERALL THIRD &
ROOF PLANS

Sheet No:
Building B -

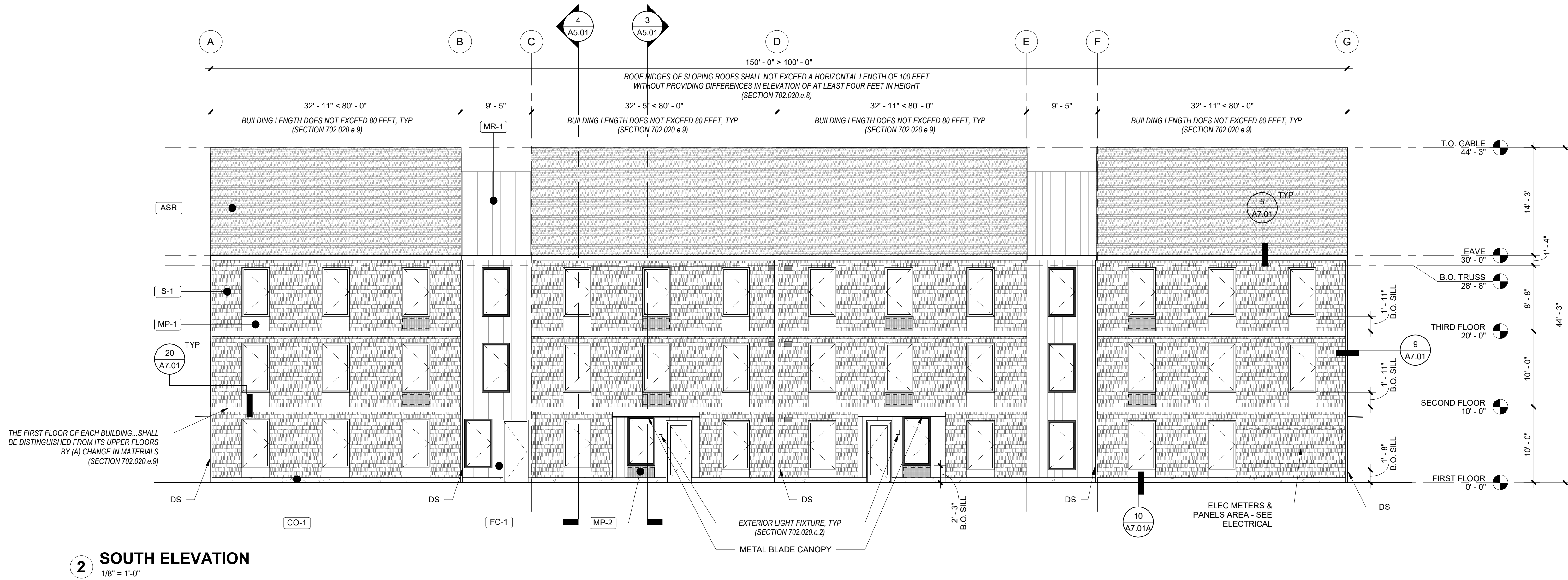
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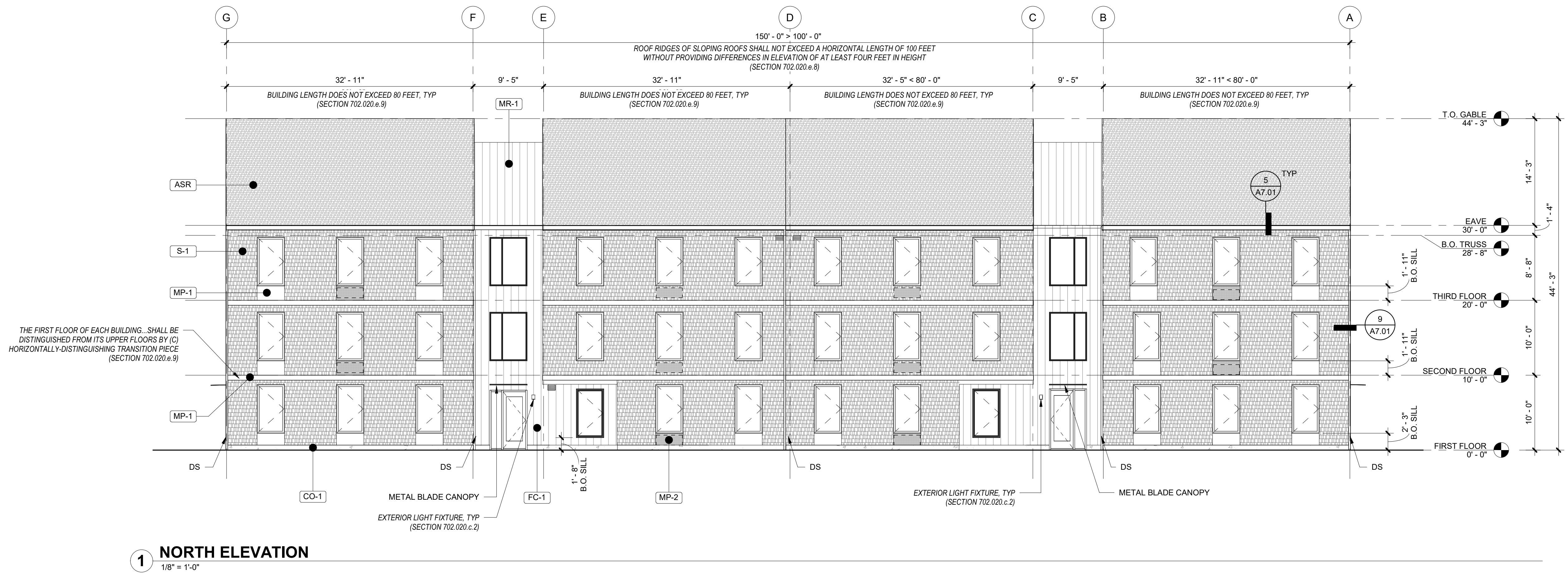
5 SOUTH ELEVATION DIAGRAM
1/32" = 1'-0"

4 EAST ELEVATION 4
1/8" = 1'-0"

3 WEST ELEVATION 4
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

GENERAL SHEET NOTES

- REFERENCE FLOOR PLANS FOR DOOR AND WINDOW LOCATIONS.
- REFERENCE ELECTRICAL FOR EXTERIOR LIGHT APPLICATIONS.
- CONFIRM ALL EXHAUST OPENINGS ARE MINIMUM 3'-0" FROM OPERABLE OPENINGS.
- ALL EXTERIOR LOUVERS TO BE PAINTED TO MATCH THE EXTERIOR FINISH IT PENETRATES.
- PREFINISHED 22 GAUGE FORMED SHEET METAL WINDOW TRIM, JAMB, AND SILL AT WINDOWS.
- PREFINISHED 22 GAUGE METAL THROUGH WALL FLASHING AT WINDOW HEADS.
- TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

LEGEND

- | | |
|--|--|
| | SHINGLE SIDING
PRODUCT: FIBER CEMENT SHINGLE SIDING, STRAIGHT EDGE PANEL
COLOR: TBD, DARK |
| | ASPHALT SHINGLE ROOF
PRODUCT: TBD
COLOR: TBD |
| | FLAT METAL PANEL
PRODUCT: TBD
FINISH: BLACK |
| | FLAT METAL PANEL, PERFORATED
PRODUCT: TBD
FINISH: BLACK |
| | BOARD & BATTEN SIDING
PRODUCT: FIBER CEMENT SMOOTH FLAT PANEL
COLOR: WHITE |
| | STANDING SEAM METAL ROOF
PRODUCT: TBD
COLOR: WHITE |
| | CONCRETE STEM WALL |
| | X-VENT |
| | PTHP (BEYOND) |

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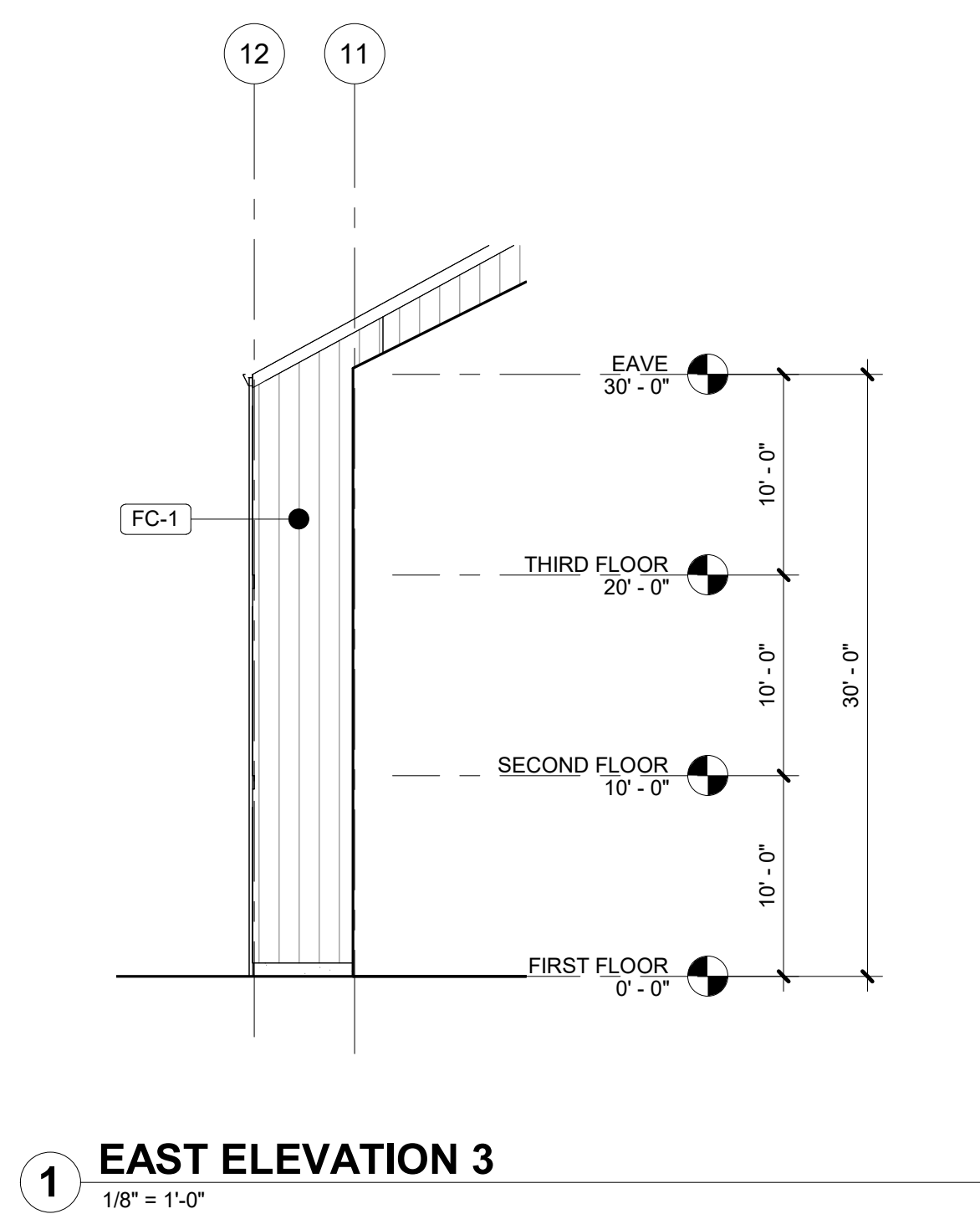
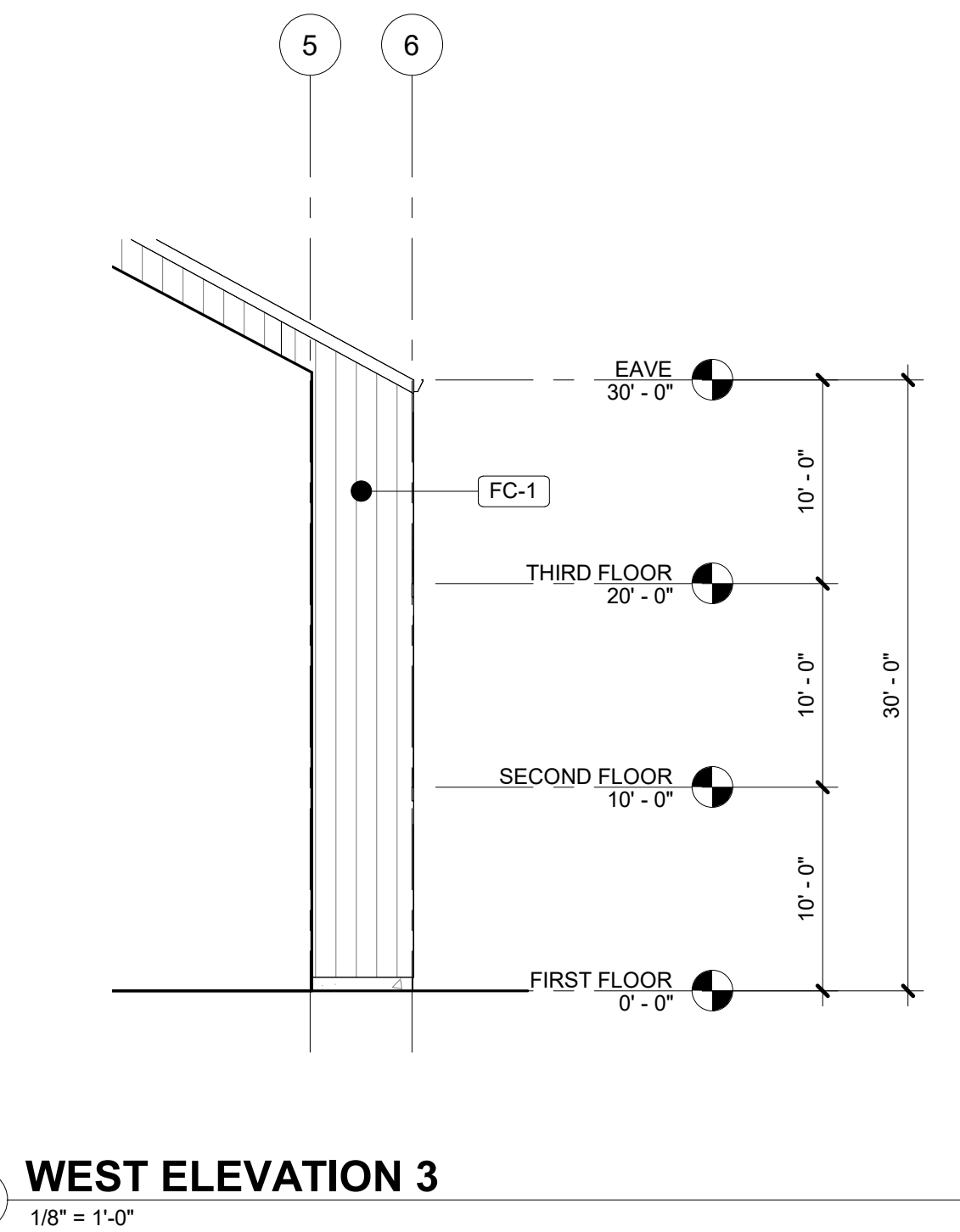
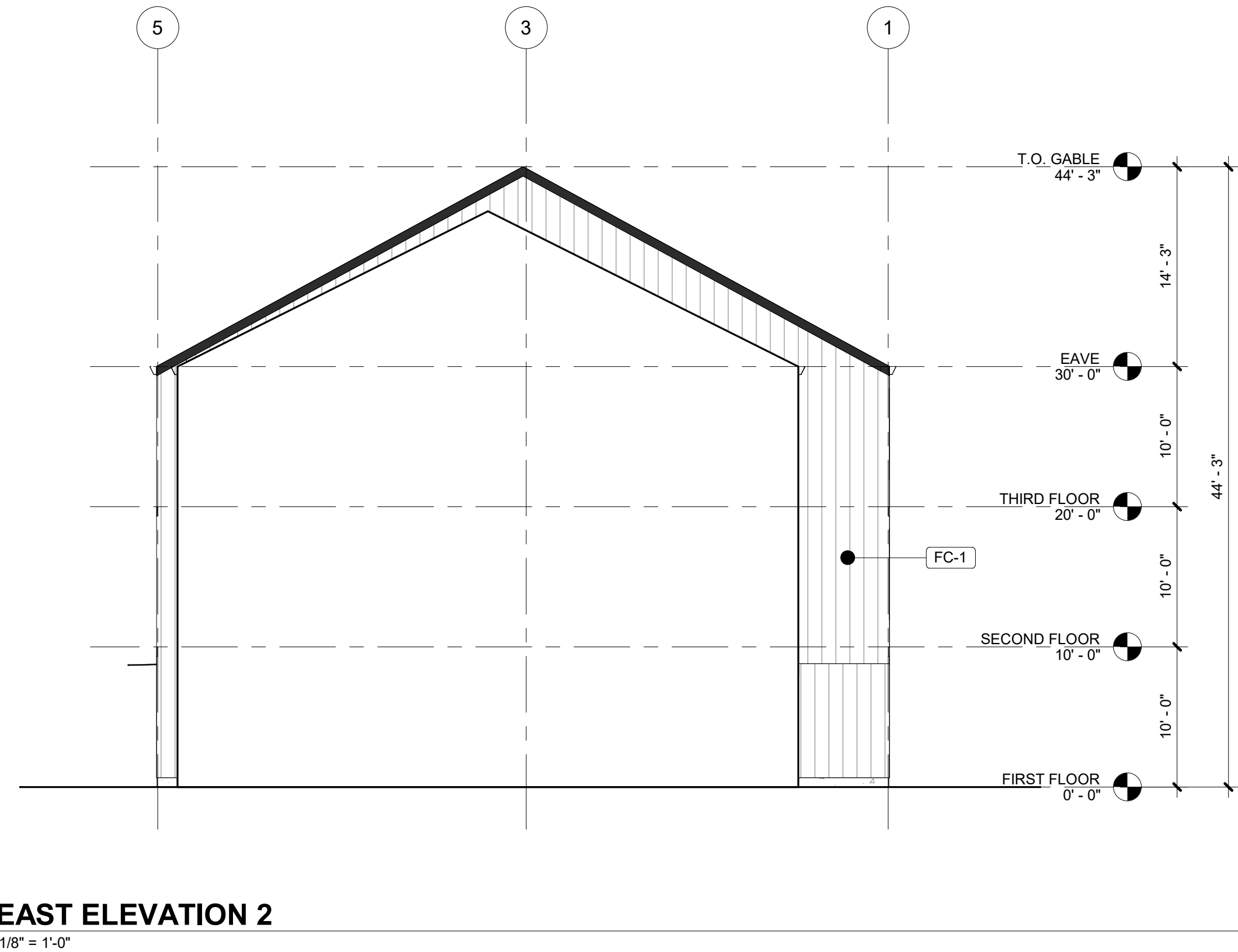
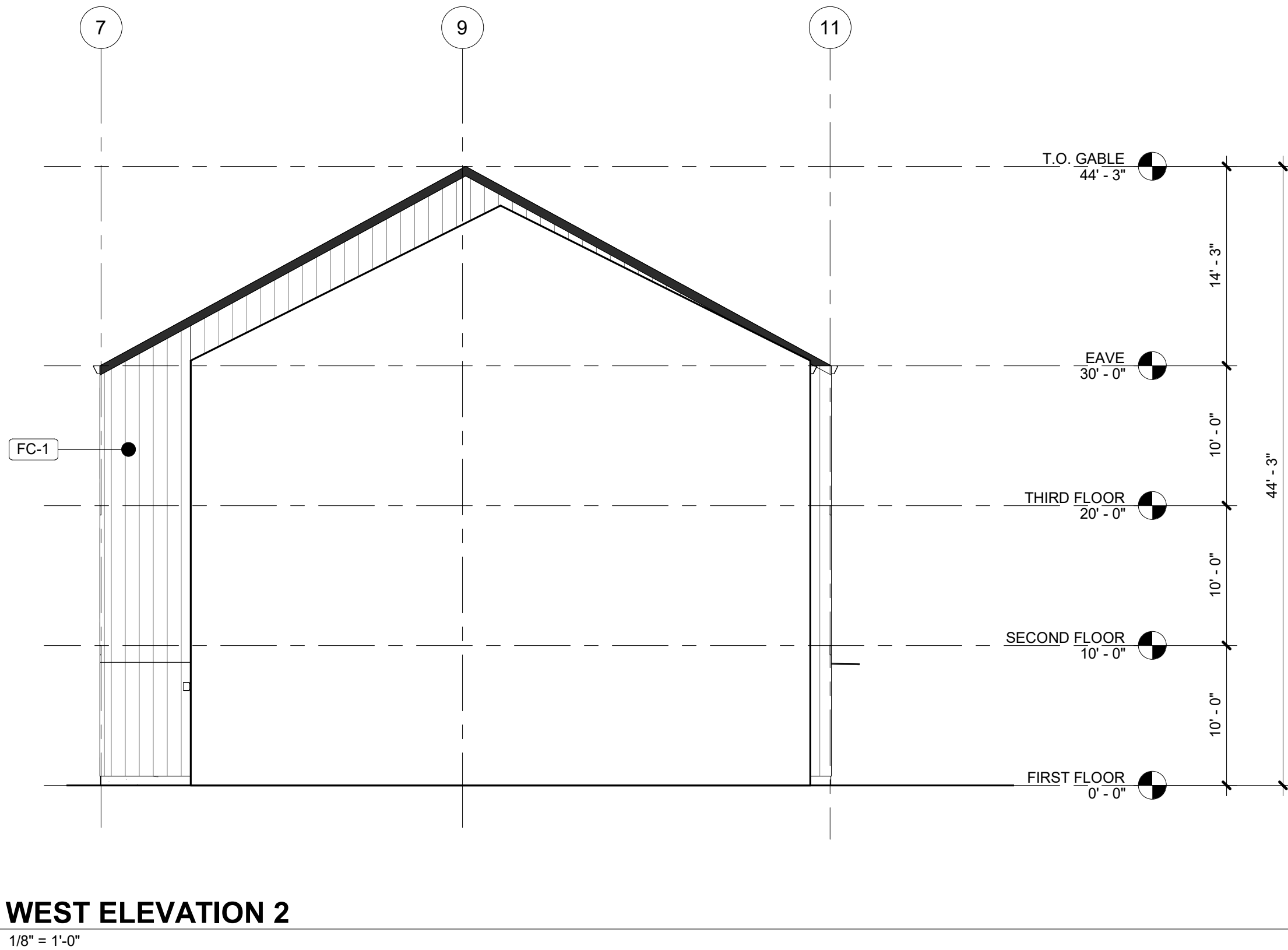
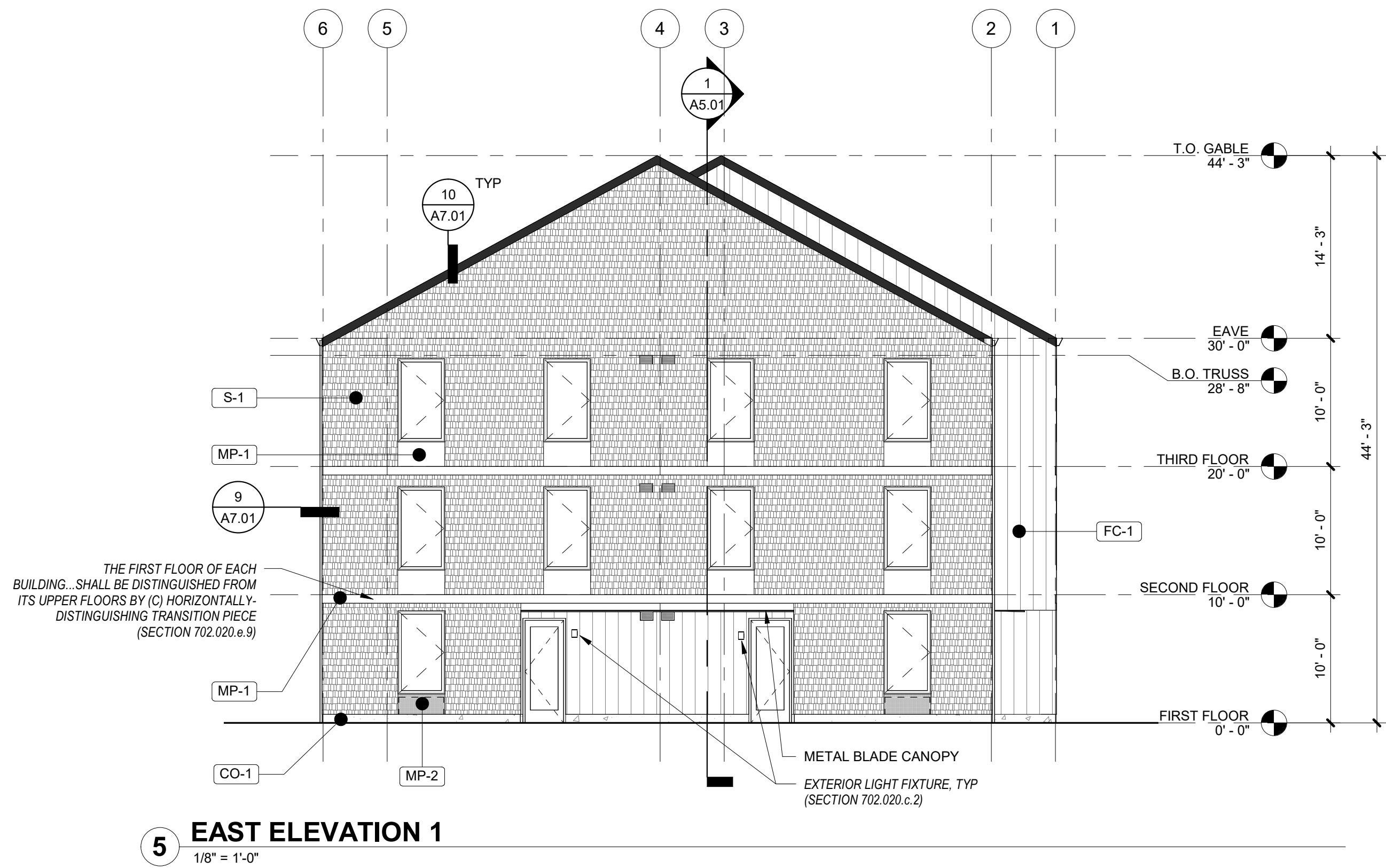
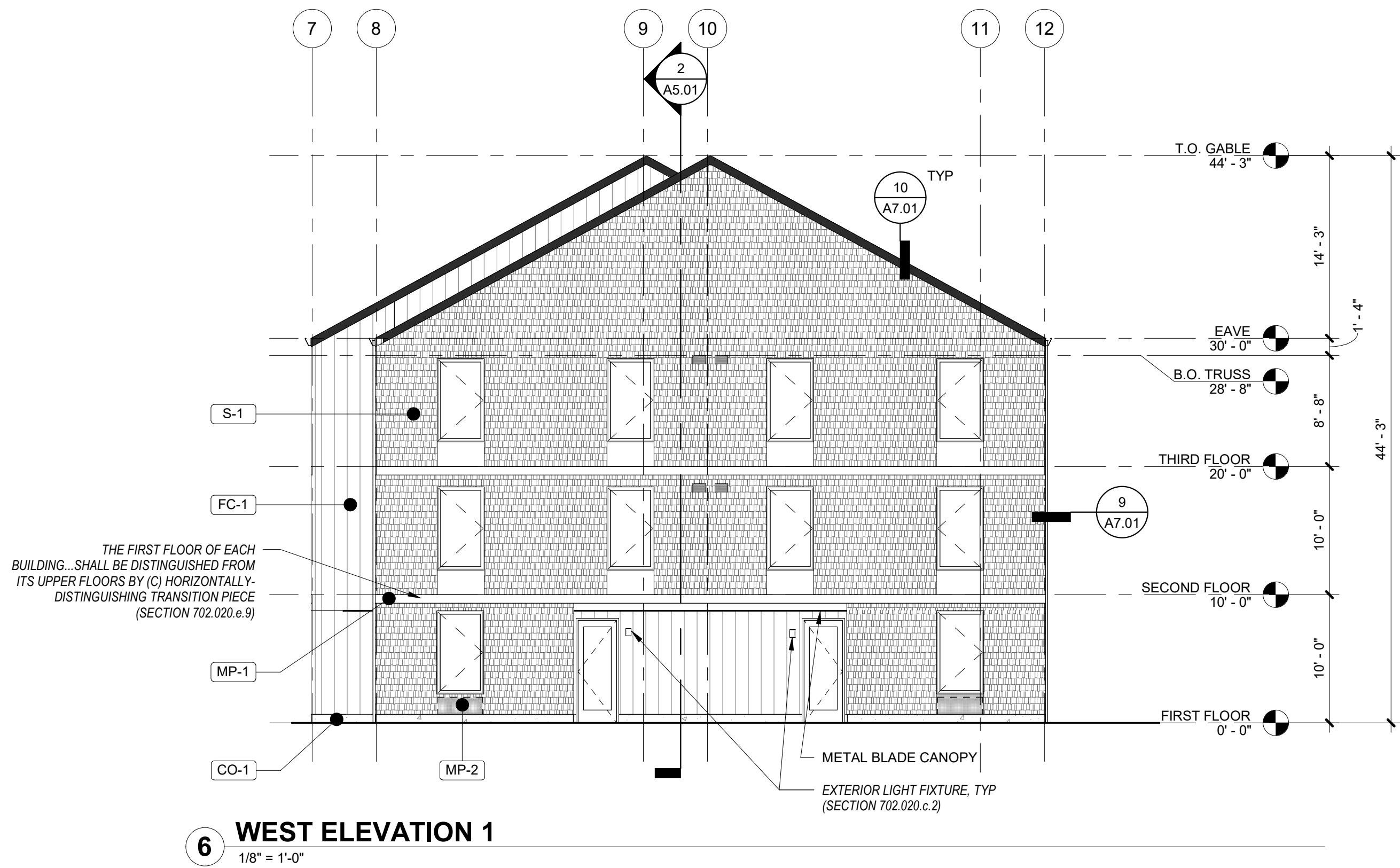
DATE

Drawing:

EXTERIOR
ELEVATIONS

Sheet No:
Building B -

A3.01



GENERAL SHEET NOTES

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- TRANSITION BETWEEN FIBER CEMENT SIDING PROFILES TO FOLLOW MANUFACTURER DETAILING AND REQUIREMENTS.

LEGEND

- | | |
|--|--|
| | SHINGLE SIDING
PRODUCT: FIBER CEMENT SHINGLE SIDING, STRAIGHT EDGE PANEL
COLOR: TBD, DARK |
| | ASPHALT SHINGLE ROOF
PRODUCT: TBD
COLOR: TBD |
| | FLAT METAL PANEL
PRODUCT: TBD
FINISH: BLACK |
| | FLAT METAL PANEL, PERFORATED
PRODUCT: TBD
FINISH: BLACK |
| | BOARD & BATTEN SIDING
PRODUCT: FIBER CEMENT SMOOTH FLAT PANEL
COLOR: WHITE |
| | STANDING SEAM METAL ROOF
PRODUCT: TBD
COLOR: WHITE |
| | CONCRETE STEM WALL |
| | X-VENT |
| | PTHP (BEYOND) |

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D P
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Development
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01.11.2021
DATE

Drawing:

**EXTERIOR
ELEVATIONS**

Sheet No:
Building B -

A3.02

FILE PATH: C:\Revit_Local\21031_CDP Salem Gateway_Walk Up Building B_22_acano.rvt



BUILDING FACING COURTYARD 1

MATERIALS



SHINGLE SIDING
PRODUCT: FIBER CEMENT
SHINGLE SIDING, STRAIGHT
EDGE PANEL
COLOR: TBD, DARK



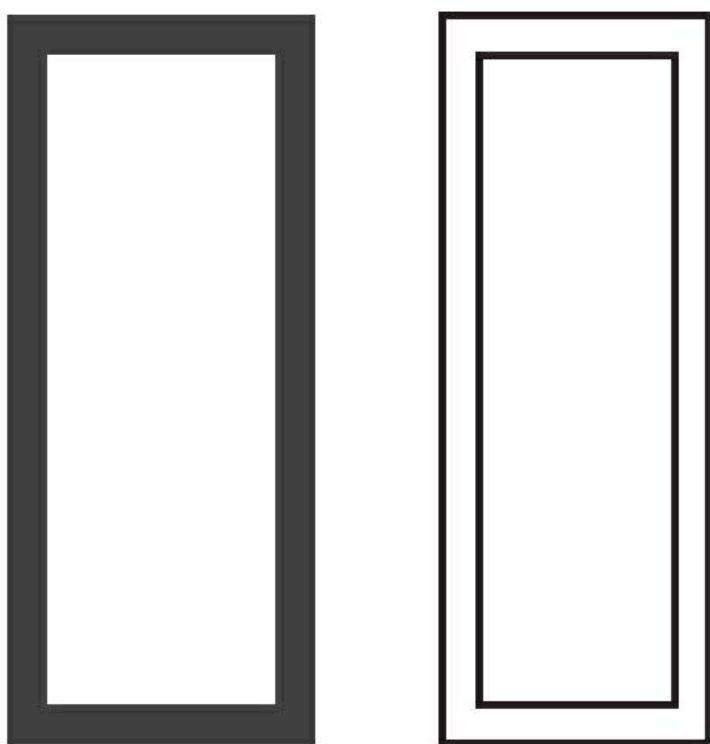
BOARD AND BATTEN SIDING
PRODUCT: FIBER CEMENT
SMOOTH FLAT PANEL
COLOR: WHITE



ASPHALT SHINGLE ROOF
PRODUCT: TBD
FINISH: TBD, DARK



FLAT METAL PANEL
PRODUCT: TBD
FINISH: TBD, DARK



VINYL WINDOWS
PRODUCT: PRODUCT: VPI
ENDURANCE AND KAWNEER
TRIFAB 451
FINISH: TBD, LIGHT & DARK



BUILDING FACING COURTYARD 2



BUILDING FACING PARKING



PATH FROM PARKING TO COURTYARD

* SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR FULL DESIGN.

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RENDERINGS

Sheet No:
Building B -

A3.10

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BUILDING B**

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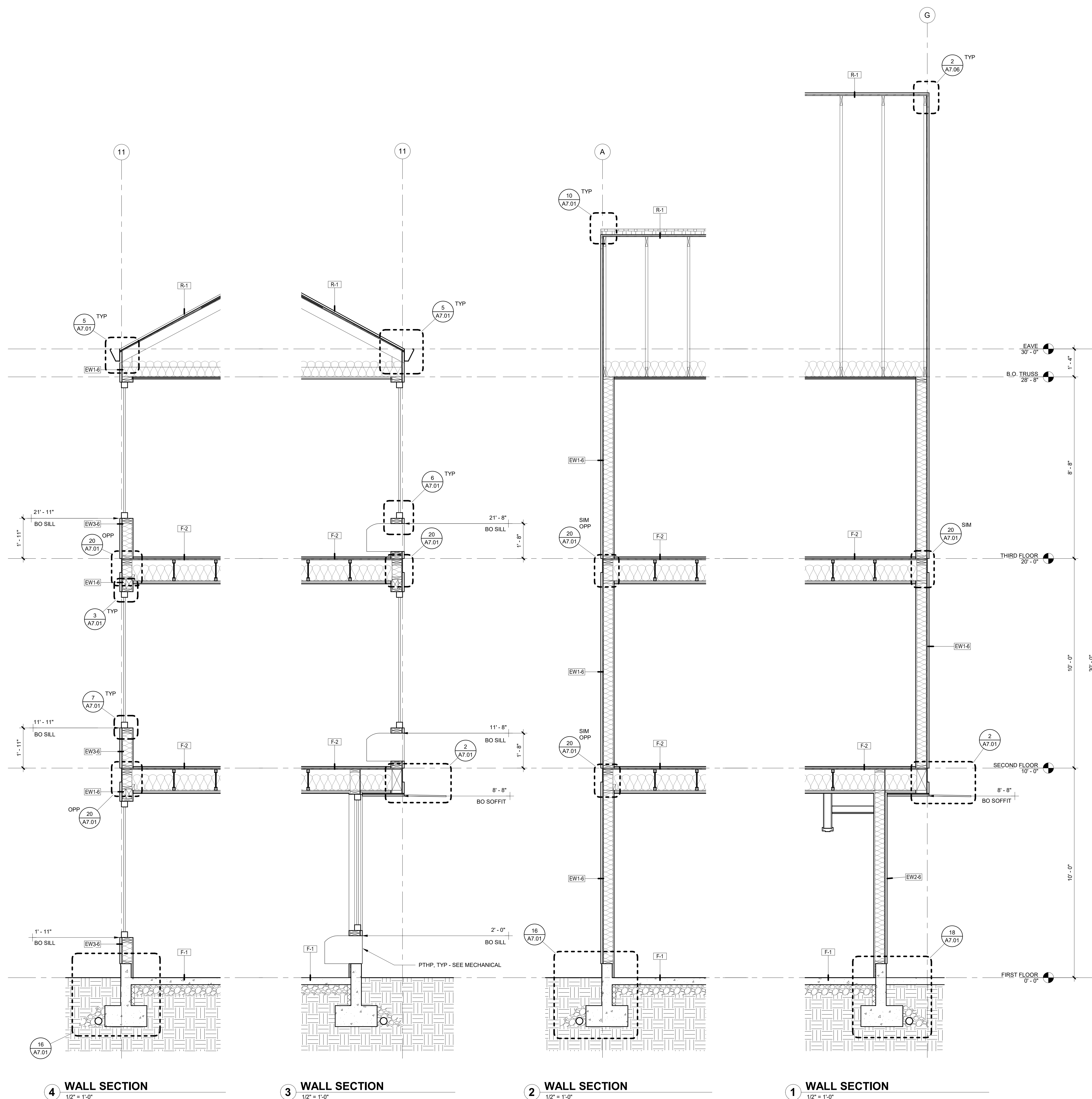
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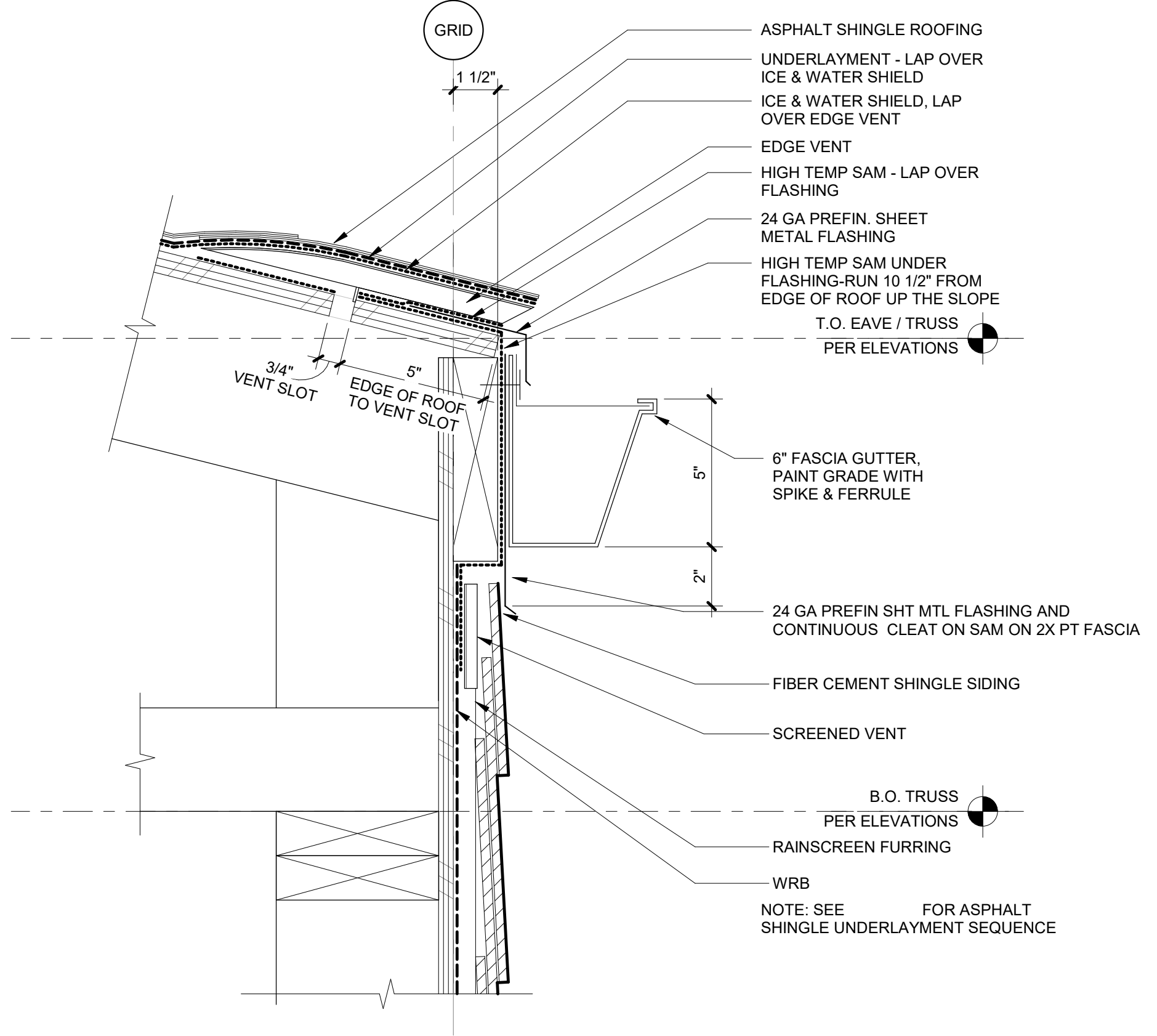
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Building B -

A5.01

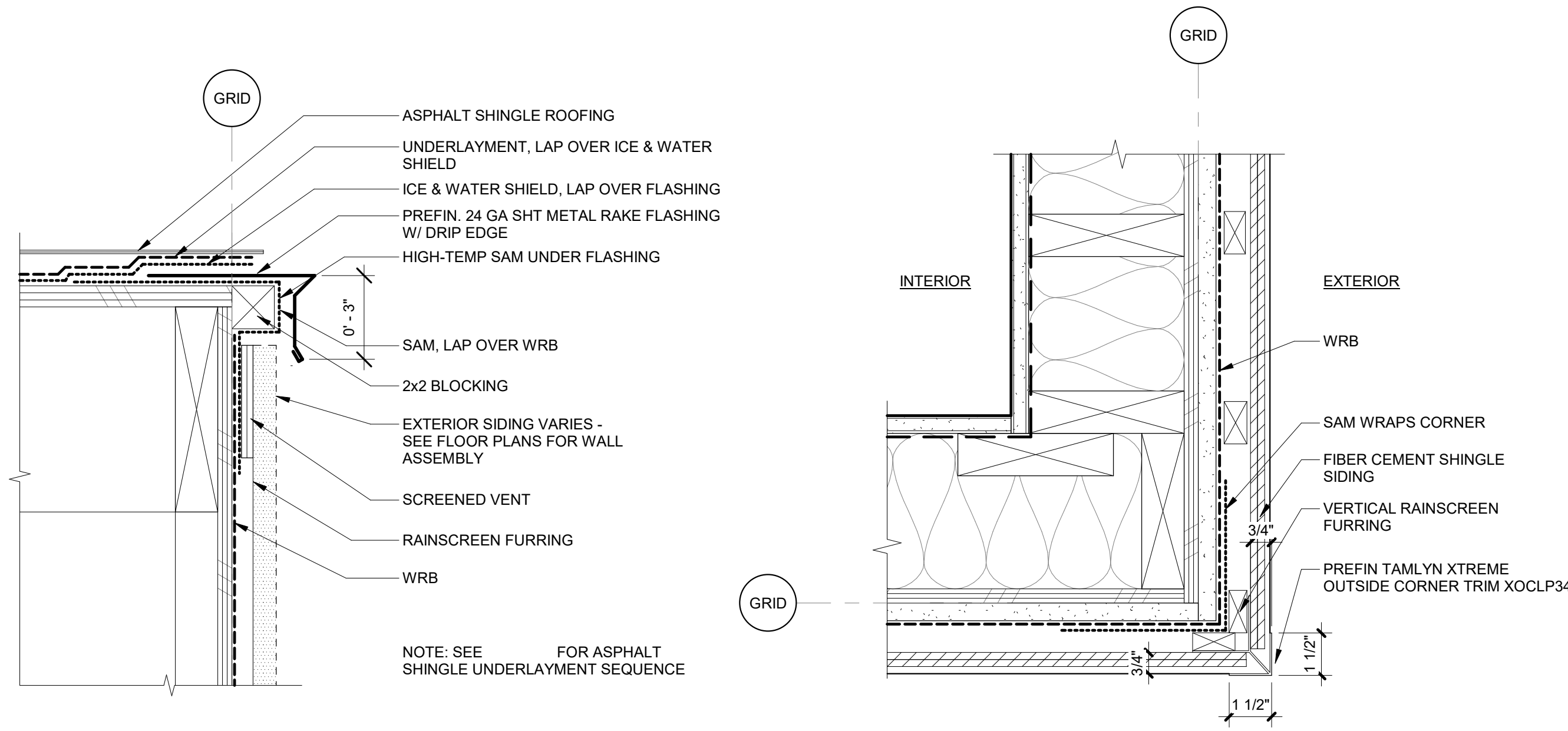
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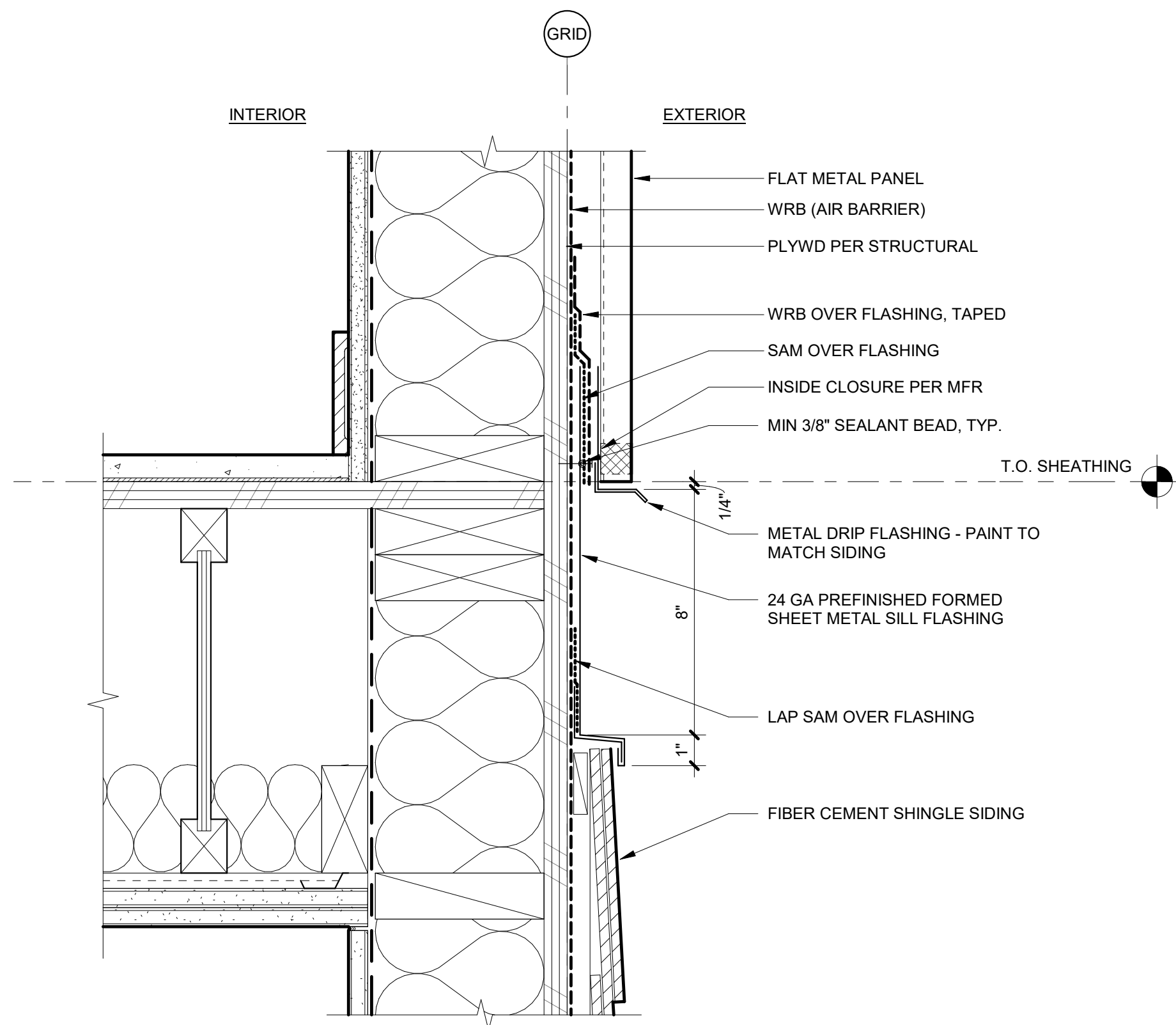


5 TYPICAL EAVE
3" = 1'-0"

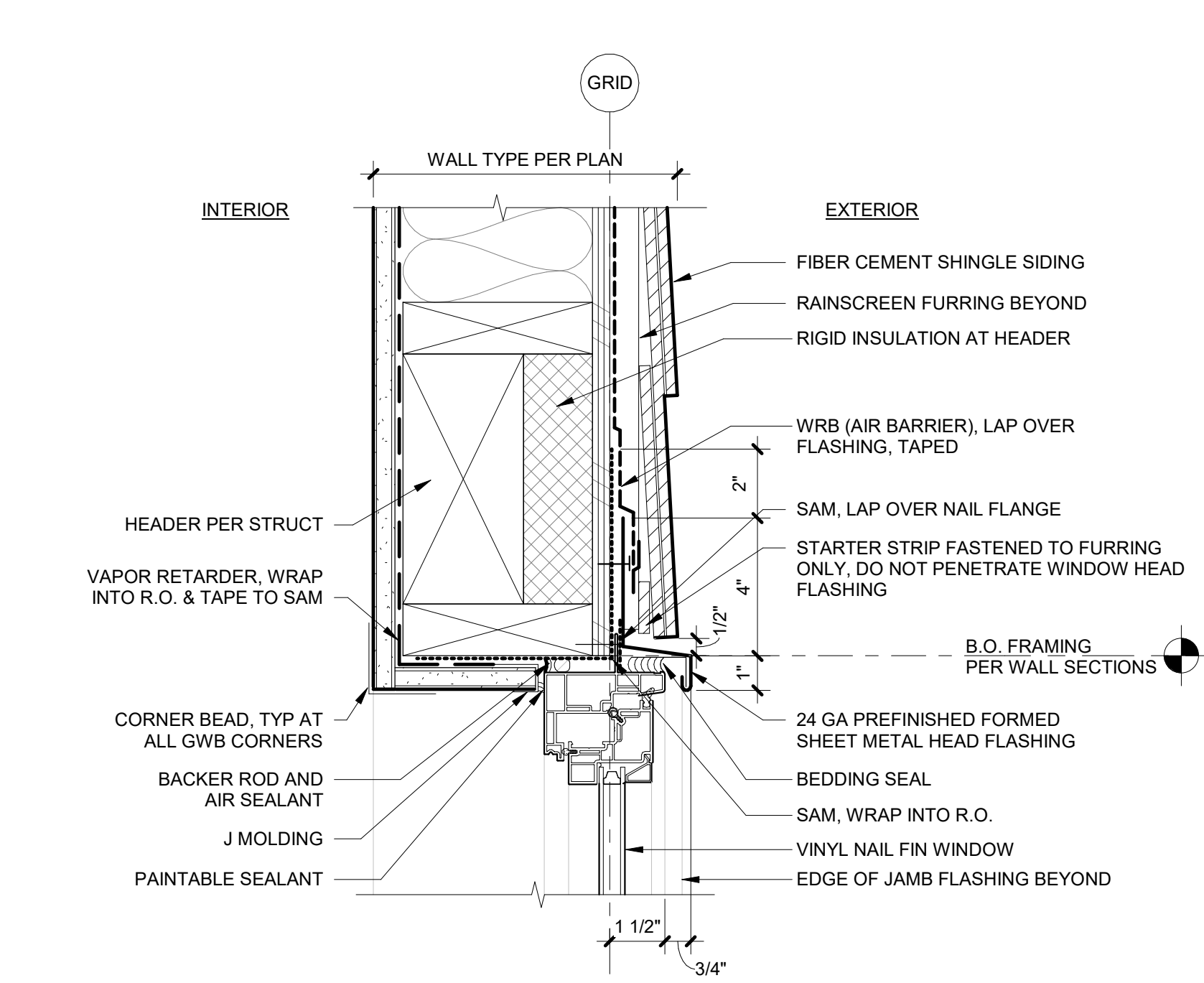


10 TYPICAL RAKE
3" = 1'-0"

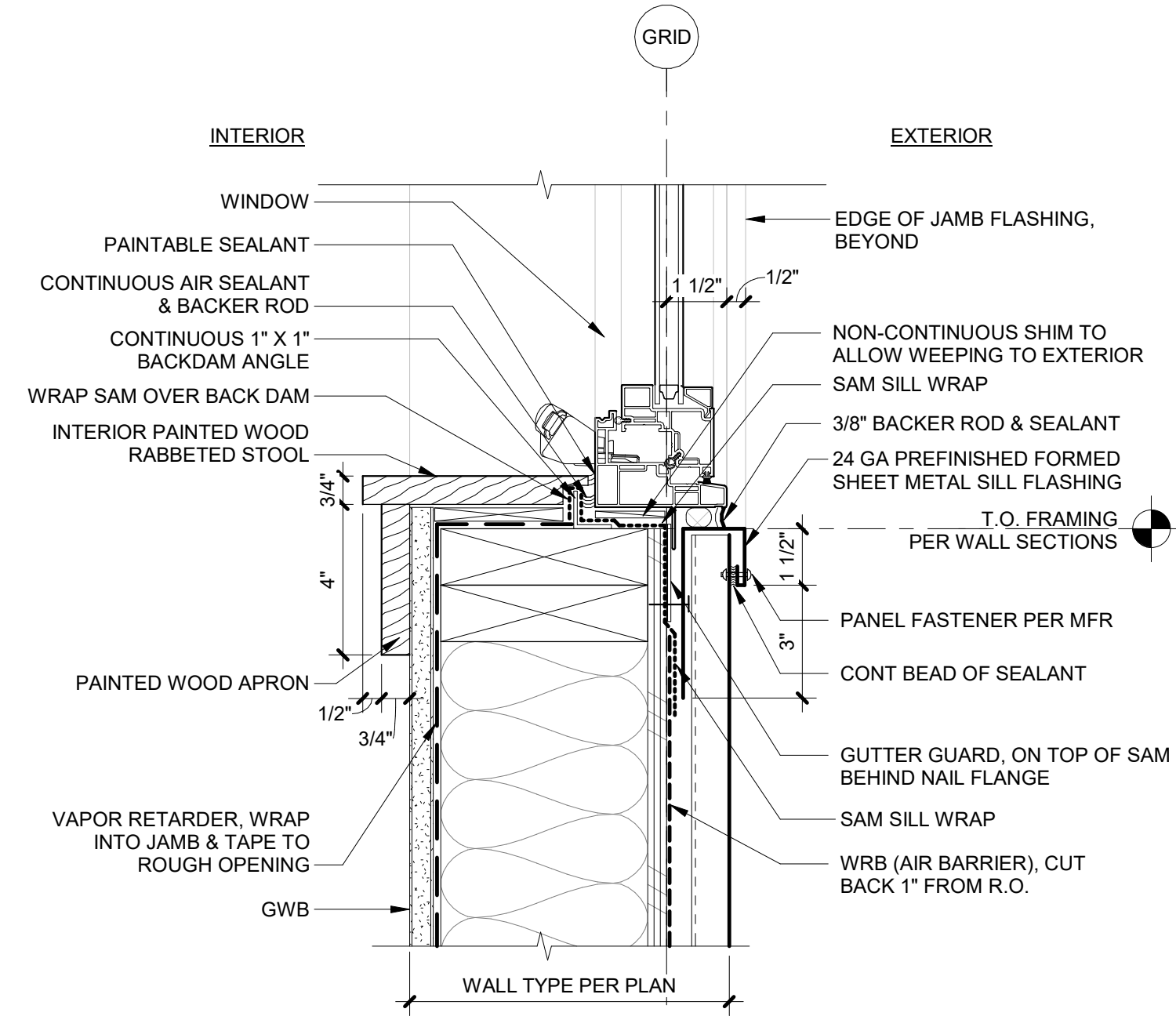
9 FIBER CEMENT SHINGLE OUTSIDE CORNER
3" = 1'-0"



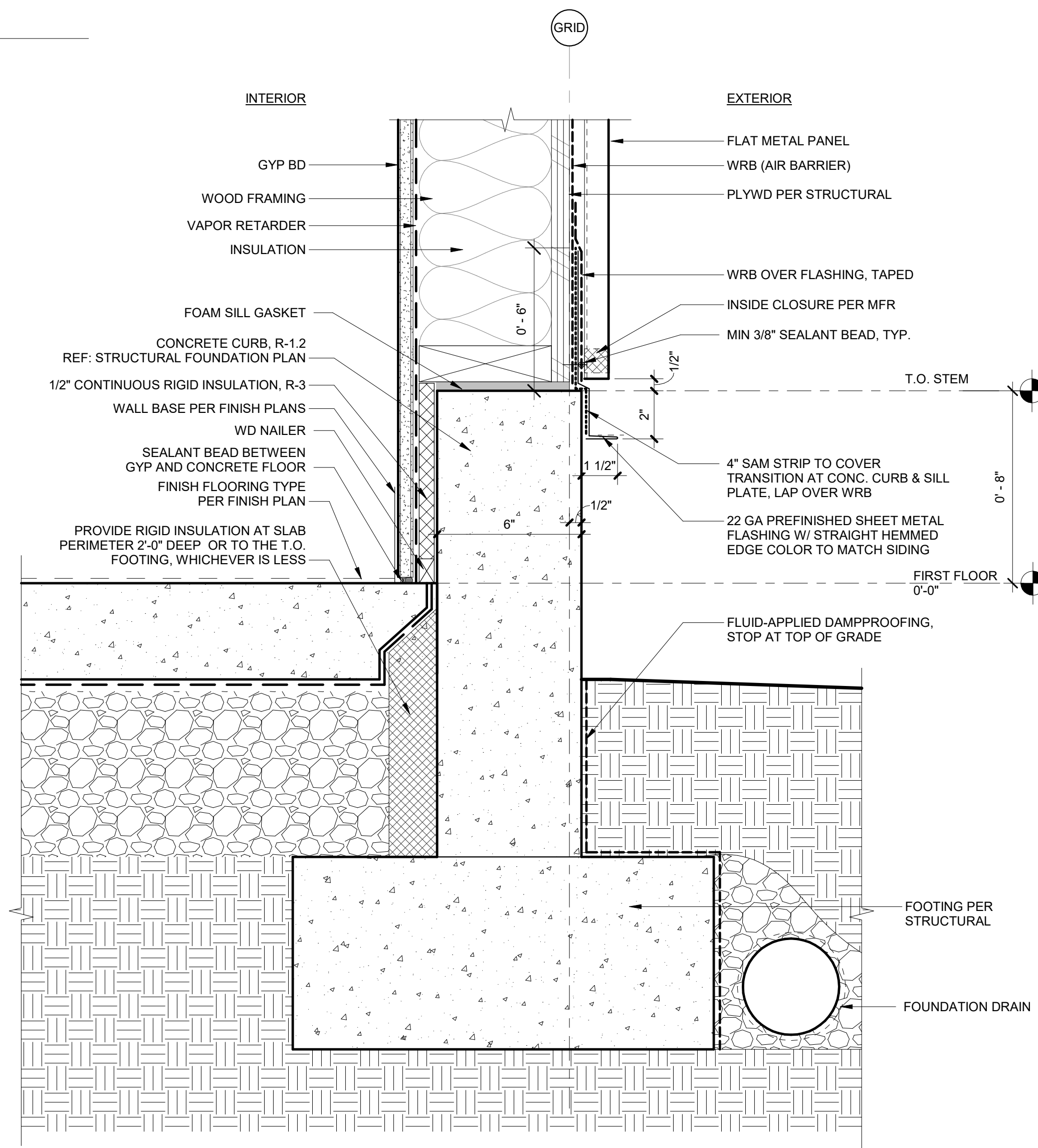
20 REVEAL @ METAL PANEL & SHINGLE SIDING
3" = 1'-0"



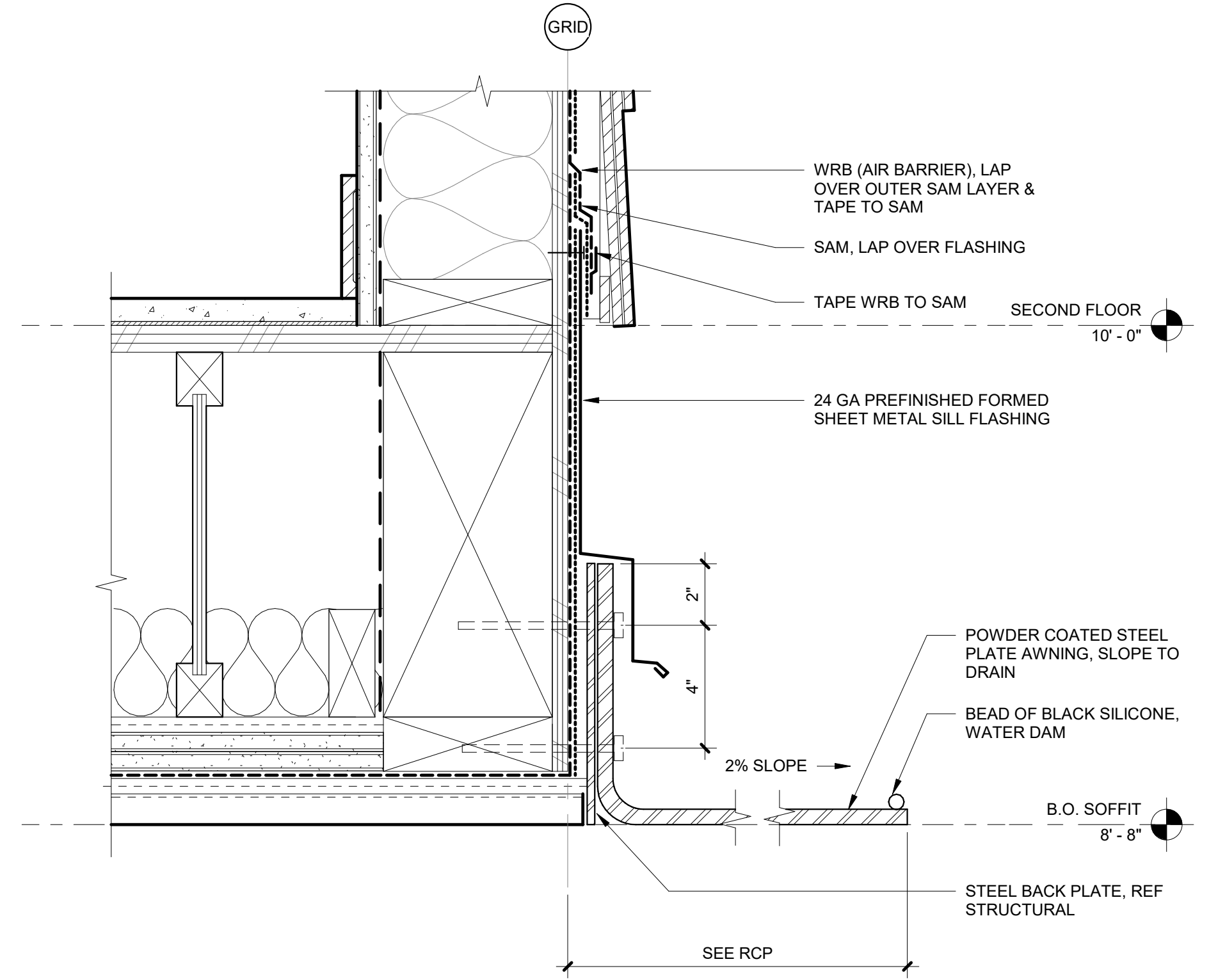
3 WINDOW HEAD @ F.C. SHINGLE SIDING
3" = 1'-0"



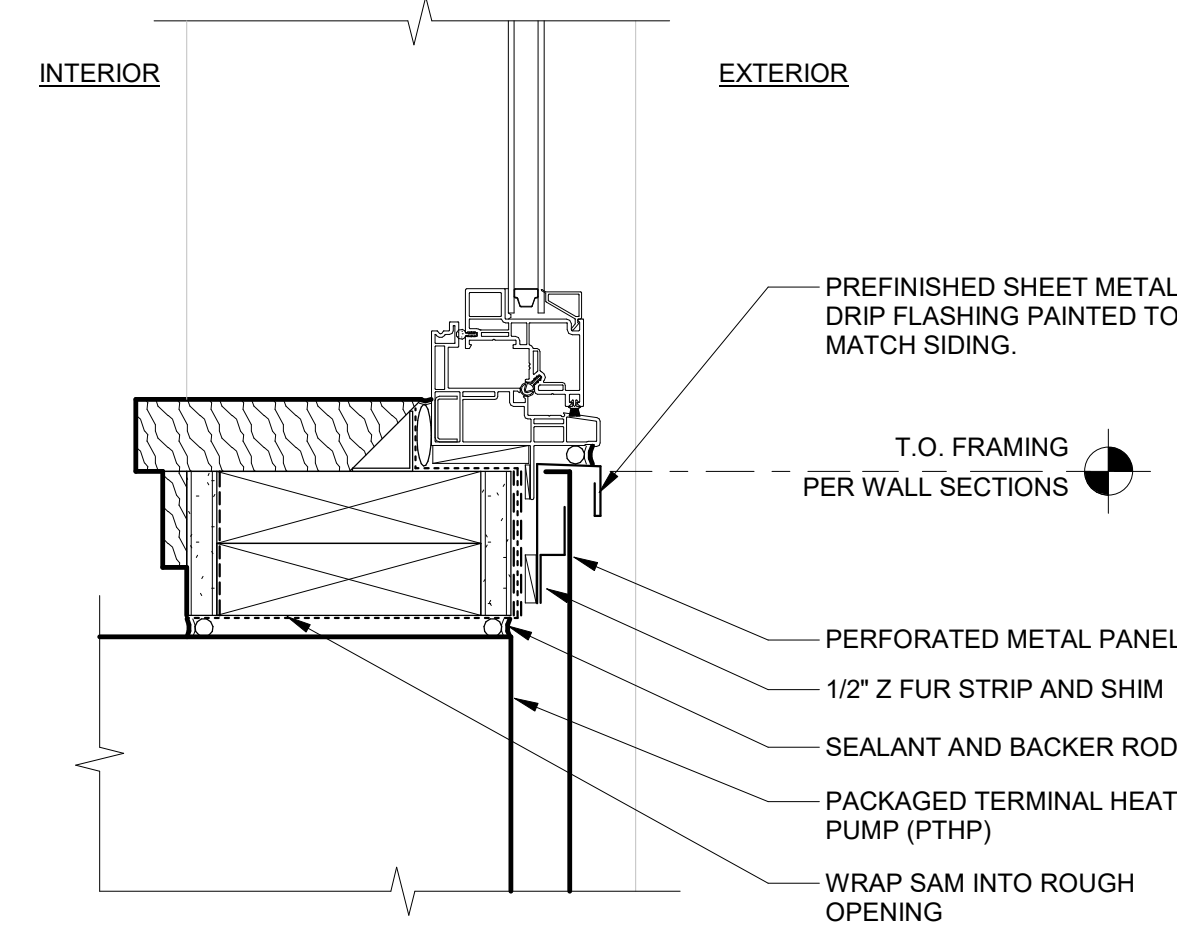
7 WINDOW SILL @ METAL PANEL SIDING
3" = 1'-0"



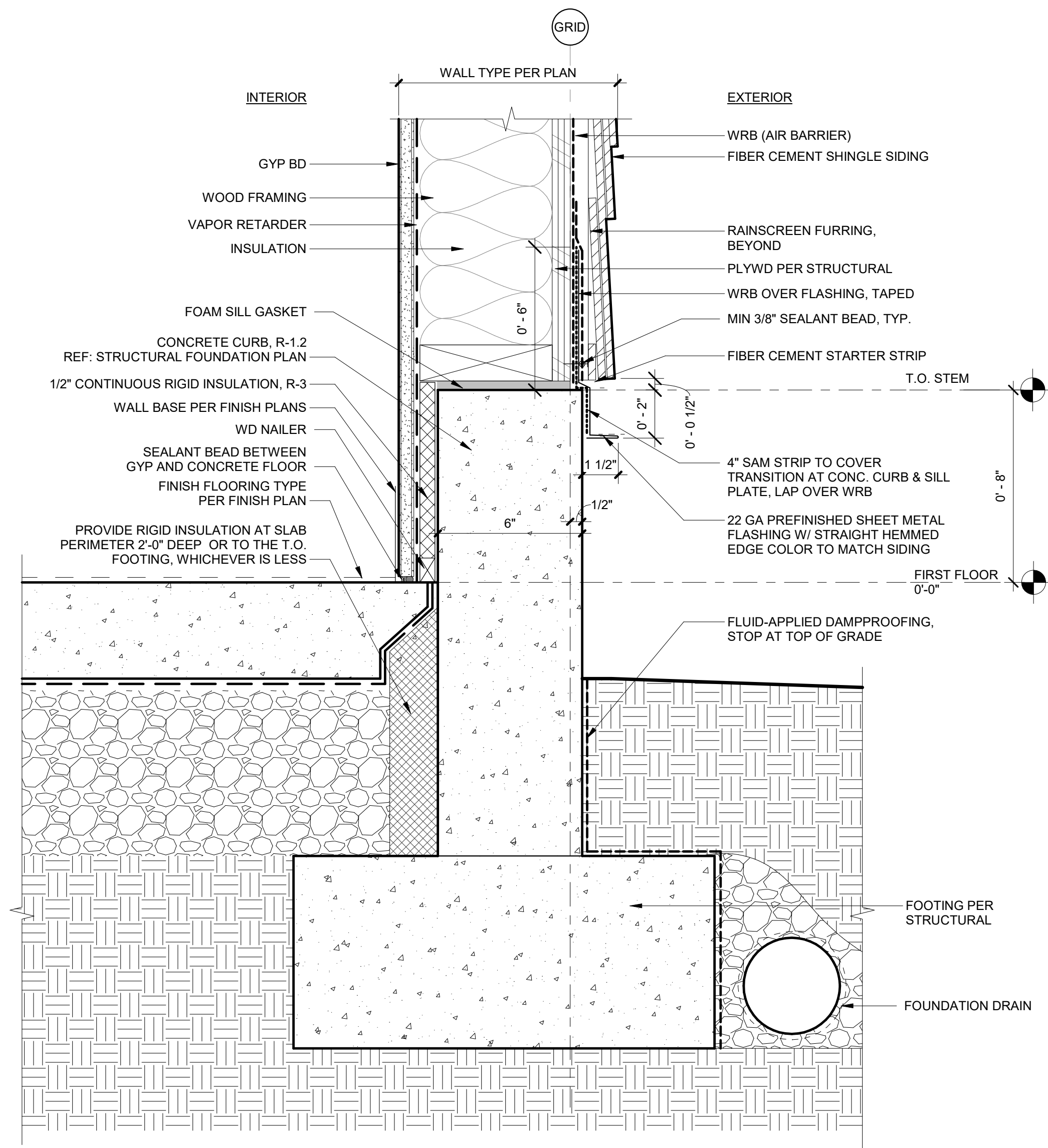
18 CURB AT METAL PANEL WALL
3" = 1'-0"



2 METAL BLADE CANOPY @ METAL PANEL SOFFIT
3" = 1'-0"



6 WINDOW SILL @ METAL PANEL W/ PTHP
3" = 1'-0"



16 CURB AT EXT FIBER CEMENT SHINGLE CLAD WALL
3" = 1'-0"