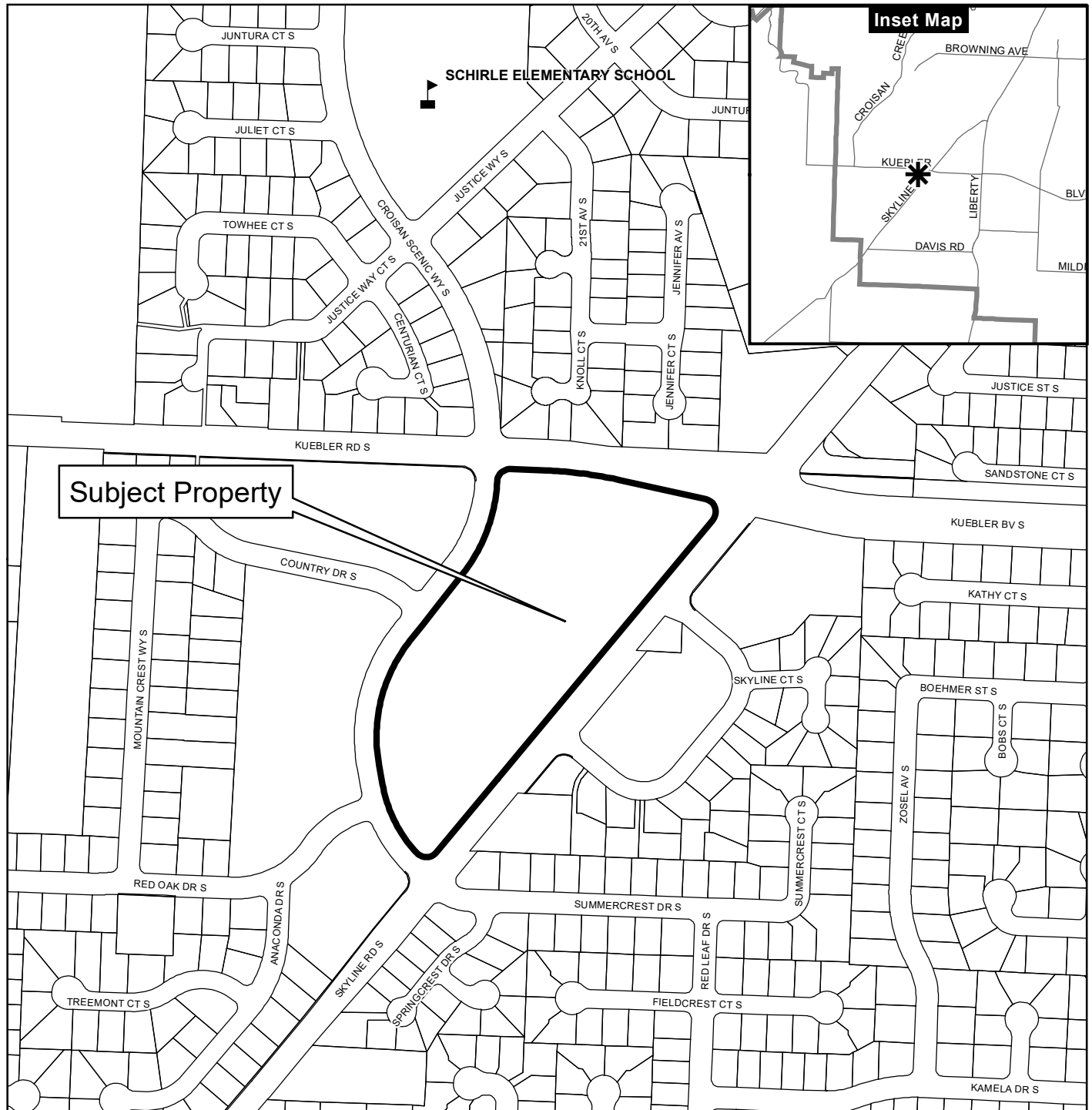


Vicinity Map

5125 Skyline Road S



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

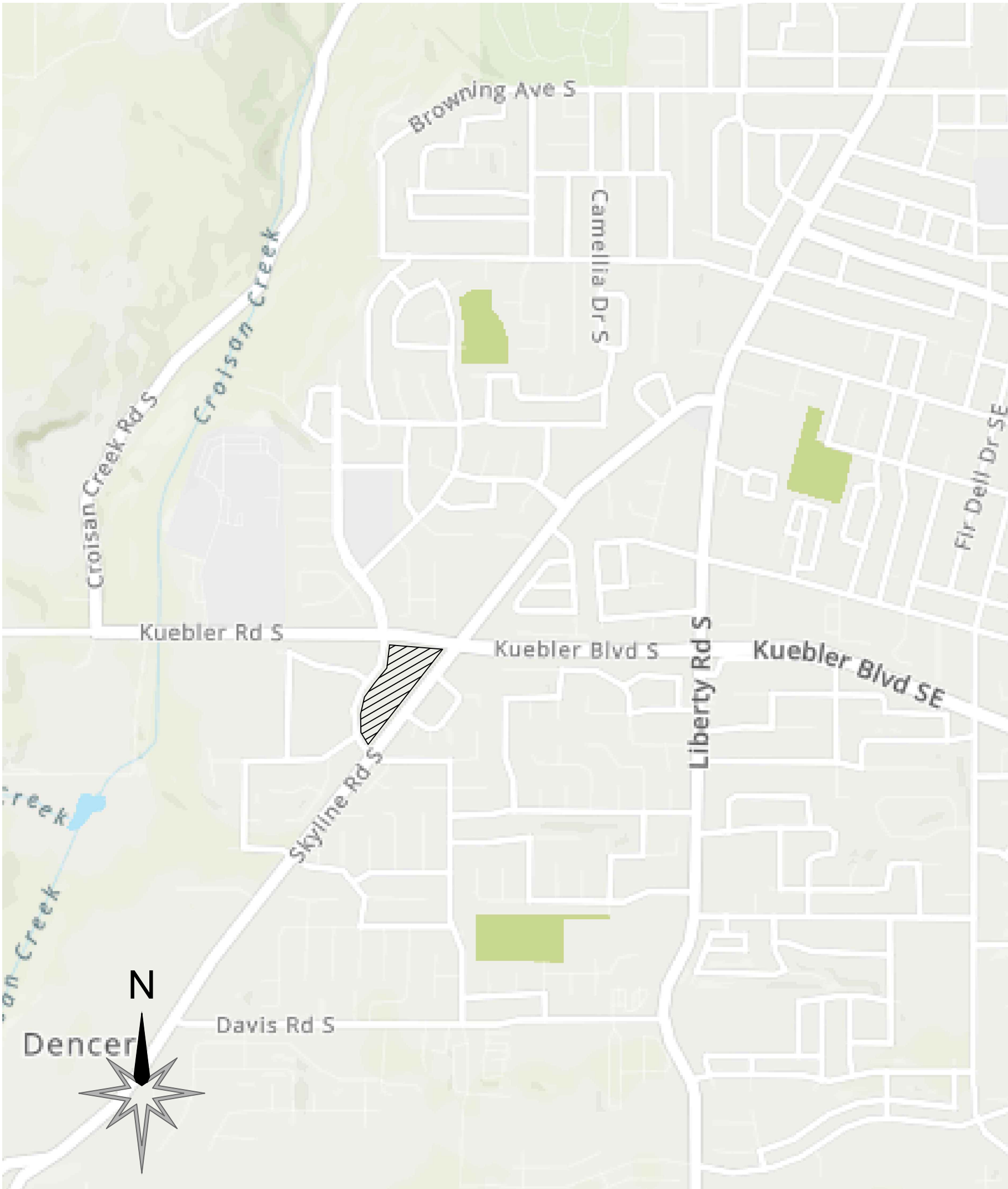
0 100 200 400 Feet



ADA PARKING UPGRADES

KAISER PERMANENTE SKYLINE MEDICAL OFFICE

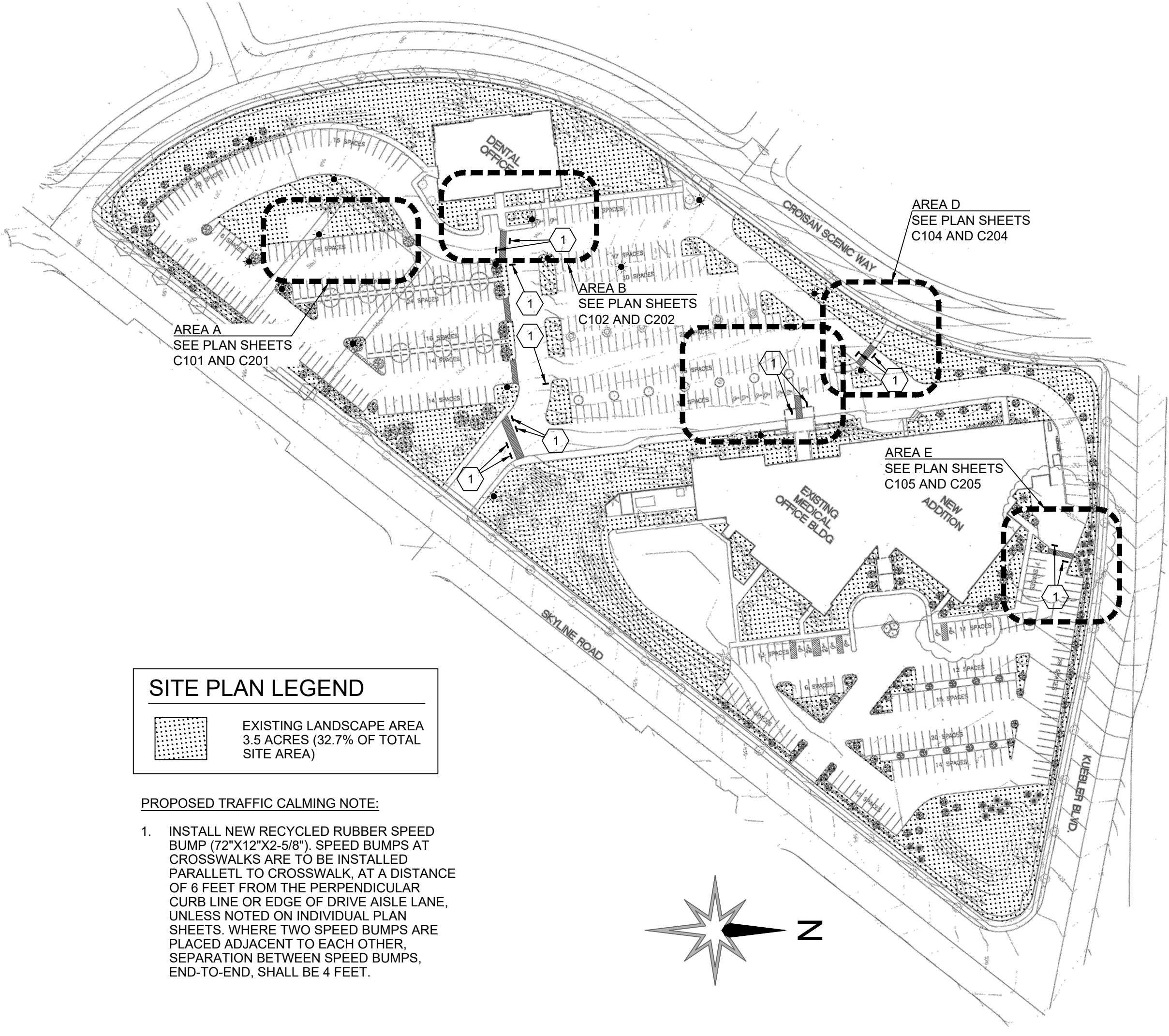
5125 SKYLINE RD S, SALEM, OREGON



AREA MAP
SCALE: 1"=1000'

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE CITY OF SALEM, THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (OR 811).
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITY CONNECTION POINTS PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF VEGA CIVIL ENGINEERING, LLC. POT HOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- VEGA CIVIL ENGINEERING, LLC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.



SITE PLAN
SCALE: 1"=100'

GRADING & PAVING NOTES

- ALL SURFACES SHALL HAVE A MINIMUM 1.5% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS. ALL SURFACES SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY AND MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY VEGA CIVIL ENGINEERING, LLC IF THE GRADING PLAN DOES NOT PROVIDE POSITIVE DRAINAGE OR IF SLOPE CALLOUTS DO NOT MATCH SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND THE PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- THE CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING PER CITY OF PORTLAND TREE CODE, TITLE 11. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE LIMITS OF DEMOLITION. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY A QUALIFIED SURVEYOR, BASED ON INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER.
- ALL CONSTRUCTION WITHIN THE CITY OF SALEM RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN.

PROJECT DESCRIPTION

THERE ARE SEVERAL ADA PARKING AREAS THAT DO NOT MEET CURRENT ADA REQUIREMENTS. THIS PROJECT WILL REPLACE THE EXISTING ADA PARKING SPACES WITH NEW SPACES THAT MEET ADA REQUIREMENTS, INCLUDING SIGNAGE REQUIREMENTS.

CONSTRUCTION WILL REQUIRE THE REPLACEMENT OF PAVING, CURBS, RAMPS, SIDEWALKS, STRIPING, AND SIGNAGE.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	NO	NUMBER
BC	BOTTOM OF CURB	NTS	NOT TO SCALE
CONC	CONCRETE	PC	POINT OF CURVATURE
CONST	CONSTRUCT	PROP	PROPOSED
DTL	DETAIL	PT	POINT OF TANGENCY
EXIST/(E)	EXISTING	PVMT	PAVEMENT
EG	EXISTING GROUND	R	RADIUS
EXP	CURB EXPOSURE	ROW	RIGHT OF WAY
FF	GUTTER	STD	STANDARD
G/GUT	GRADE BREAK	TC	TOP OF CURB
GB	HORIZONTAL	TP	TOP OF PAVEMENT
L	LENGTH	TYP	TYPICAL
MAX	MAXIMUM		
MIN	MINIMUM		

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	MANHOLE	
	CATCH BASIN	
	LIGHT POLE	
	BOLLARD	
	SIGN	
	TREE	
	PROPERTY LINE	
	SAWCUT LINE	
	EDGE OF PAVEMENT	
	CURB	

CIVIL ENGINEER

ENGINEER:
VEGA CIVIL ENGINEERING, LLC
1300 SE STARK ST., #207
PORTLAND, OREGON 97214
(503) 349-1381
CONTACT: MARTHA WILLIAMSON, PE

SHEET INDEX

SHEET #	SHEET TITLE
C000	CIVIL NOTES
C101	DEMOLITION PLAN - AREA A
C102	DEMOLITION PLAN - AREA B
C103	DEMOLITION PLAN - AREA C
C104	DEMOLITION PLAN - AREA D
C105	DEMOLITION PLAN - AREA E
C201	LAYOUT AND GRADING PLAN - AREA A
C202	LAYOUT AND GRADING PLAN - AREA B
C203	LAYOUT AND GRADING PLAN - AREA C
C204	LAYOUT AND GRADING PLAN - AREA D
C205	LAYOUT AND GRADING PLAN - AREA E
C300	CIVIL DETAILS
C301	CIVIL DETAILS

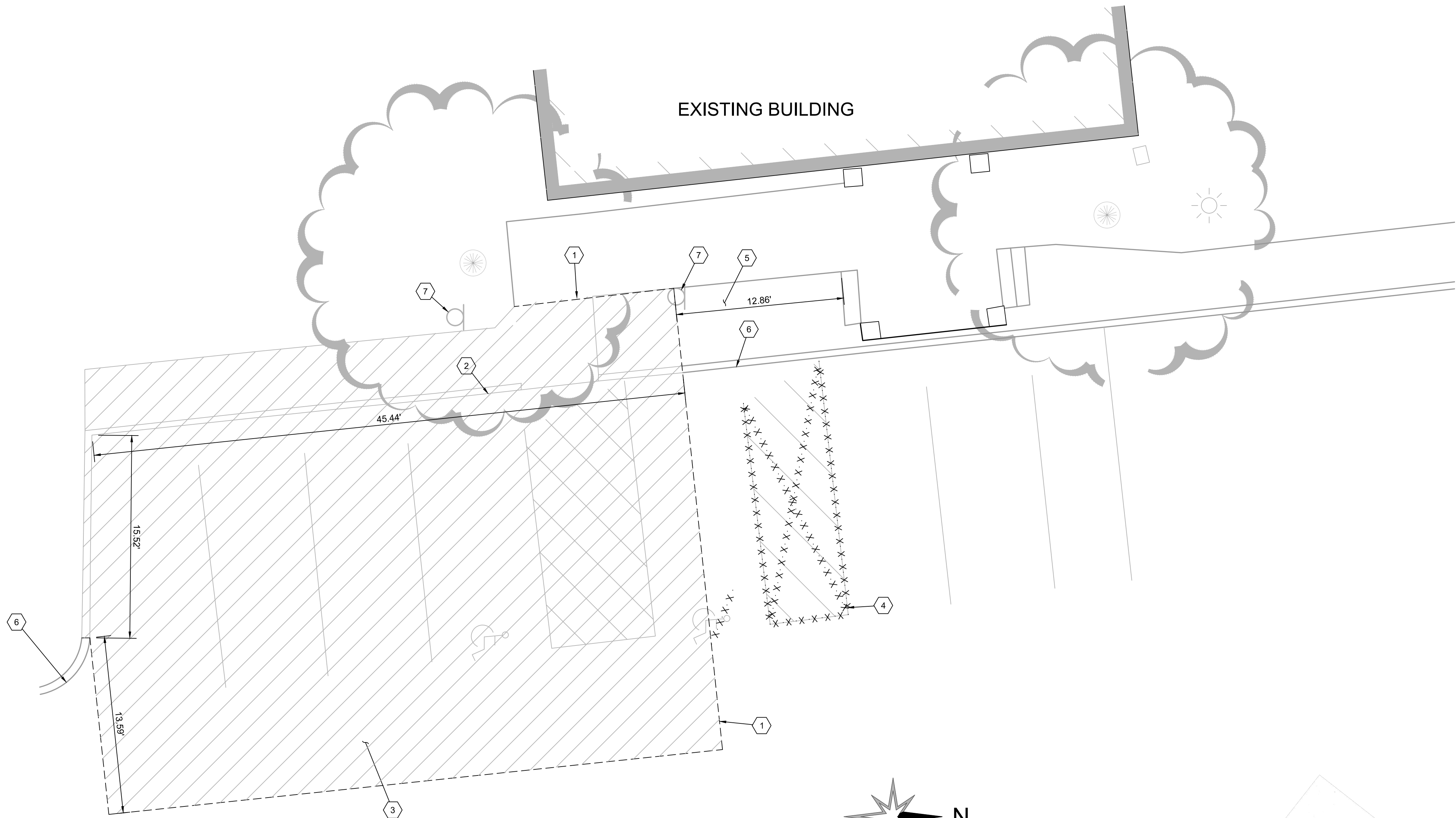


ADA PARKING UPGRADES
KAISER PERMANENTE
SKYLINE MEDICAL OFFICE
5125 SKYLINE RD S, SALEM, OREGON
CONSTRUCTION DRAWING SET

PERMIT SET
09.14.2021

CIVIL NOTES

C000



DEMOLITION PLAN - AREA A
SCALE: 1"=5'

SHEET LEGEND

- SAWCUT
- PAVEMENT AND CURB REMOVAL
- X - X - X -

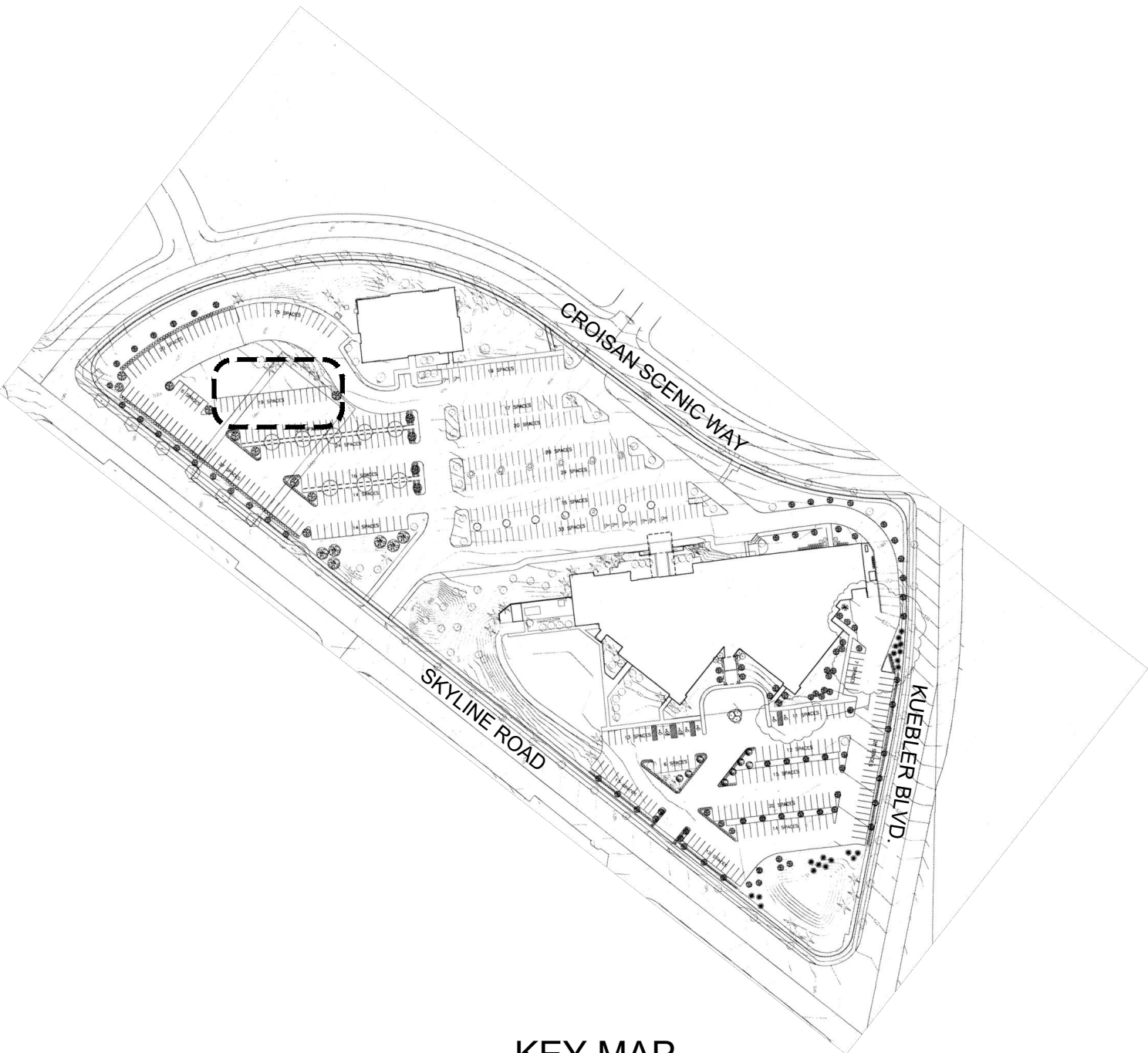
PAVEMENT MARKING REMOVAL

CONSTRUCTION NOTES

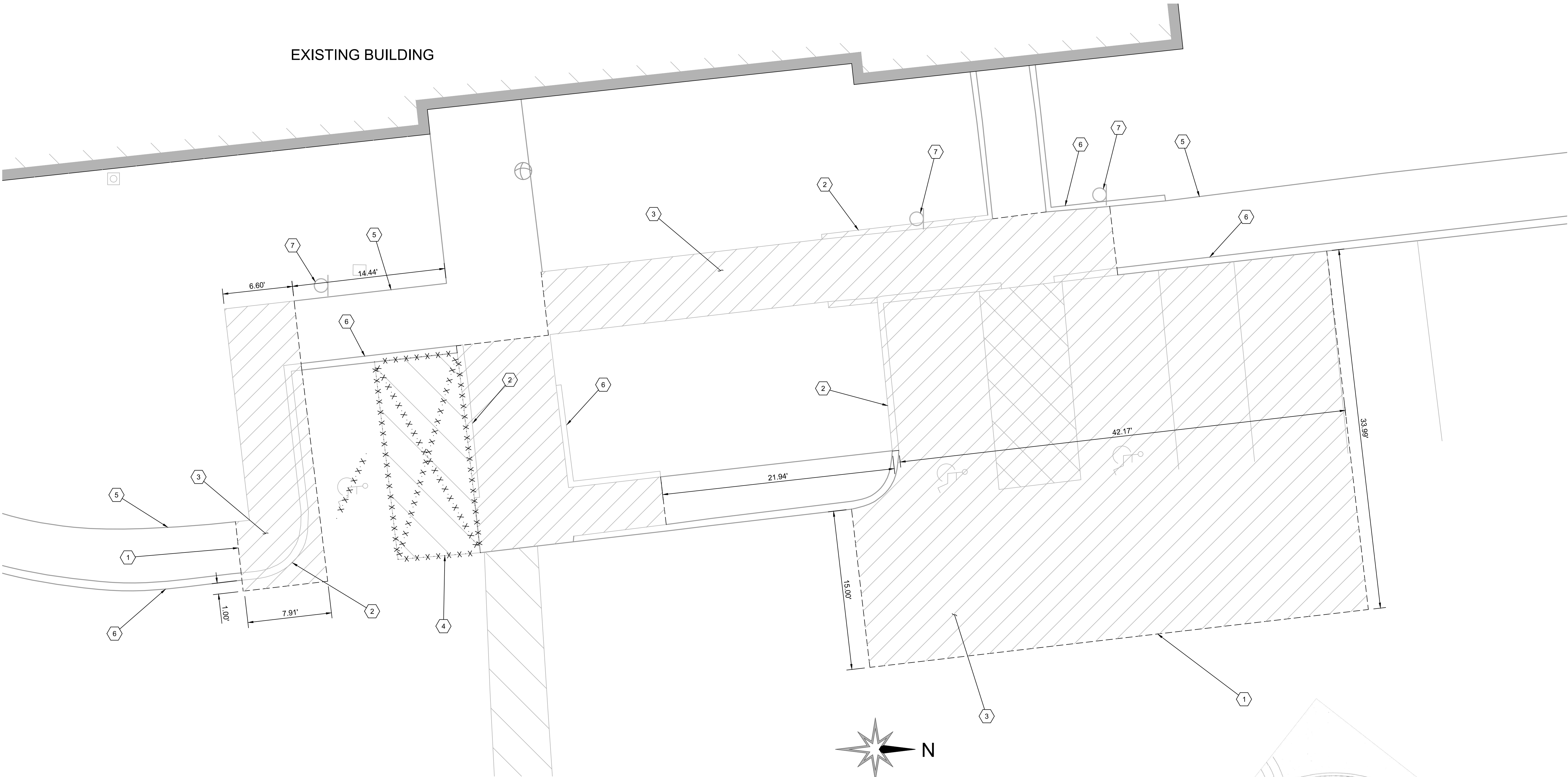
1. SAWCUT, TYPICAL
2. DEMOLISH EXISTING CURB.
3. REMOVE EXISTING PAVEMENT.
4. REMOVE EXISTING PAVEMENT MARKINGS BY GRINDING.
5. PROTECT EXISTING SIDEWALK.
6. PROTECT EXISTING CURB.
7. REMOVE EXISTING SIGN AND SIGN POST.

GENERAL NOTES

1. EXISTING WHEELSTOPS IN GOOD CONDITION IN AREAS OF DEMOLITION MAY BE PRESERVED AND REUSED AT DISCRETION OF OWNER.

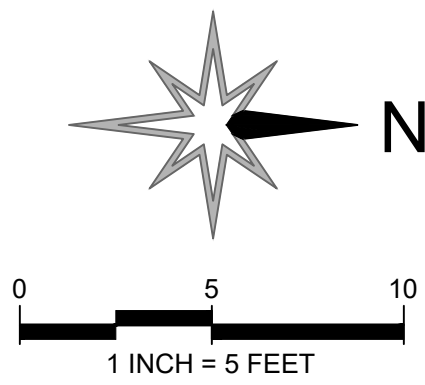


KEY MAP
SCALE: NTS



EXISTING BUILDING

DEMOLITION PLAN - AREA B
SCALE: 1"=5'



SHEET LEGEND

- SAWCUT
- [Hatched Box] PAVEMENT AND CURB REMOVAL
- X - X - X - PAVEMENT MARKING REMOVAL

CONSTRUCTION NOTES

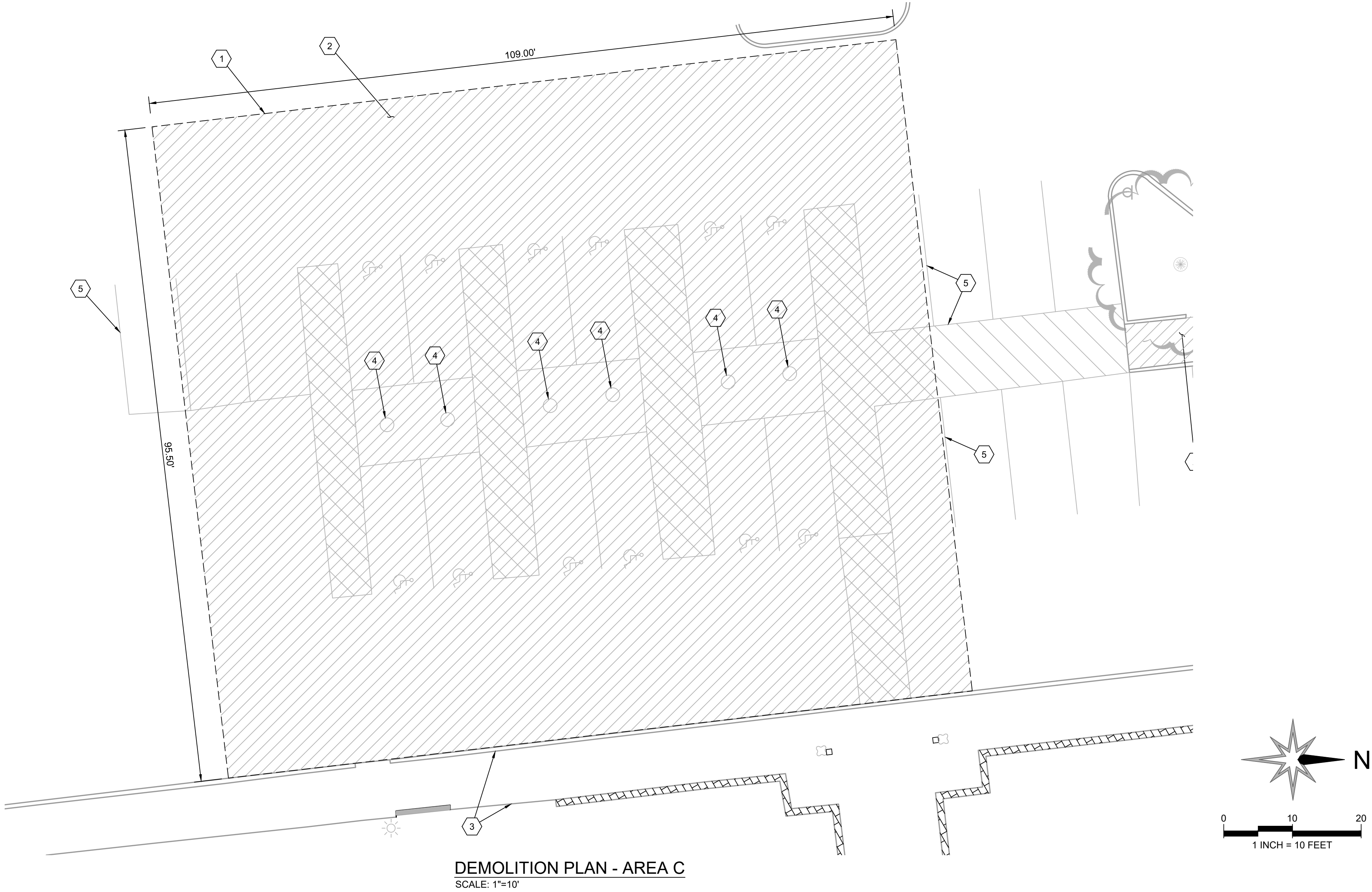
1. SAWCUT, TYPICAL
2. DEMOLISH EXISTING CURB.
3. REMOVE EXISTING PAVEMENT.
4. REMOVE EXISTING PAVEMENT MARKINGS BY GRINDING.
5. PROTECT EXISTING SIDEWALK.
6. PROTECT EXISTING CURB.
7. REMOVE EXISTING SIGN AND SIGN POST.

GENERAL NOTES

1. EXISTING WHEELSTOPS IN GOOD CONDITION IN AREAS OF DEMOLITION MAY BE PRESERVED AND REUSED AT DISCRETION OF OWNER.



KEY MAP
SCALE: NTS



DEMOLITION PLAN - AREA C
SCALE: 1"=10'

SHEET LEGEND

- SAWCUT
- PAVEMENT AND CURB REMOVAL
- X - X - X -

PAVEMENT MARKING REMOVAL

CONSTRUCTION NOTES

1.

SAWCUT, TYPICAL
2.

REMOVE EXISTING ASPHALT PAVEMENT.
3.

PROTECT EXISTING CURB AND SIDEWALK.
4.

REMOVE EXISTING SIGN AND BOLLARD. PRESERVE SIGN FOR REUSE.
5.

PROTECT EXISTING PAVEMENT MARKINGS.

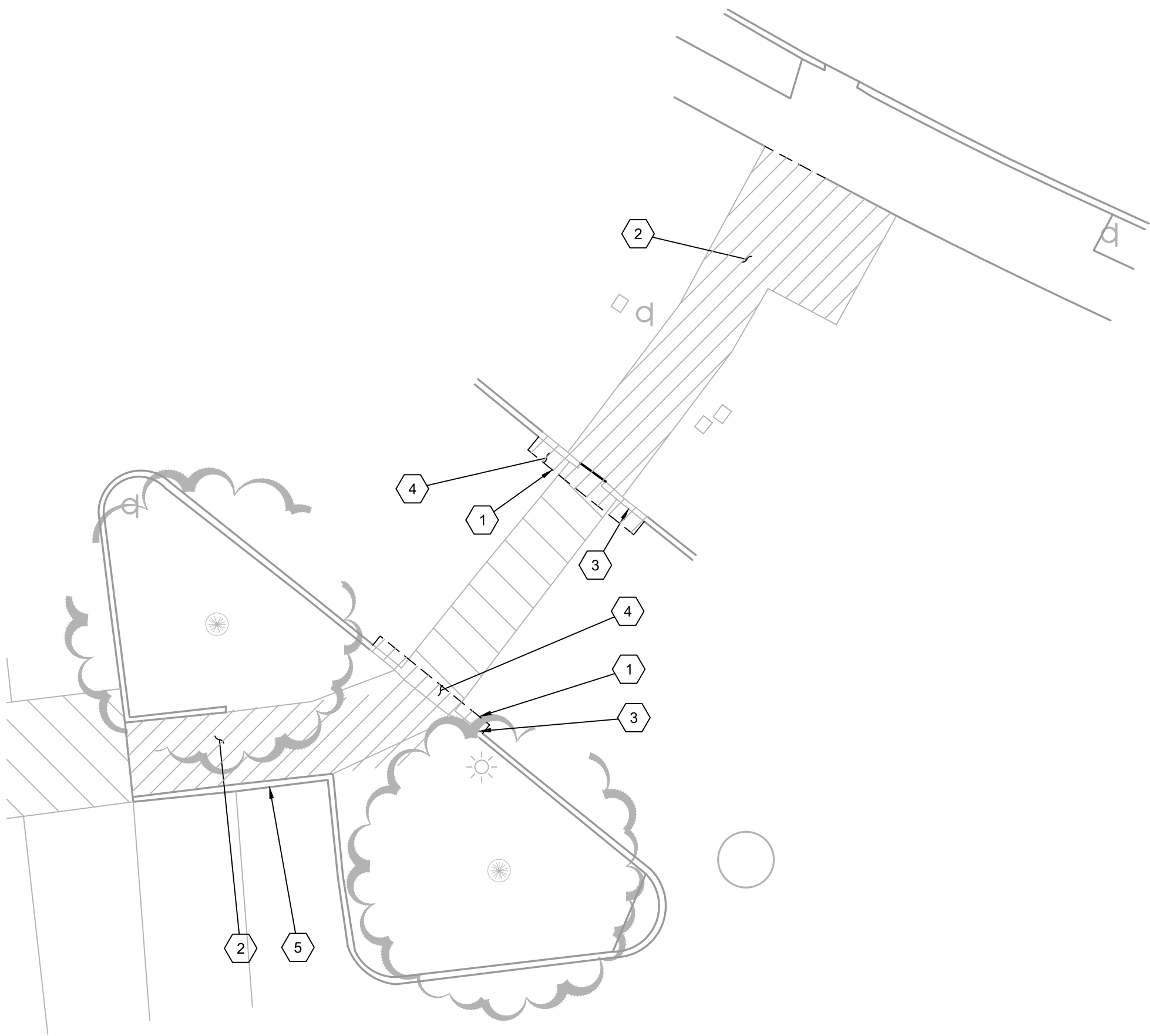
GENERAL NOTES

1.

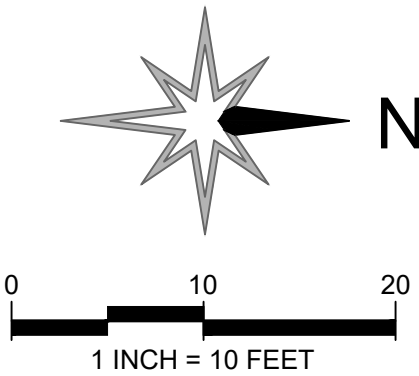
EXISTING WHEELSTOPS IN GOOD CONDITION IN AREAS OF DEMOLITION MAY BE PRESERVED AND REUSED AT DISCRETION OF OWNER.



KEY MAP
SCALE: NTS



DEMOLITION PLAN - AREA D
SCALE: 1"=10'

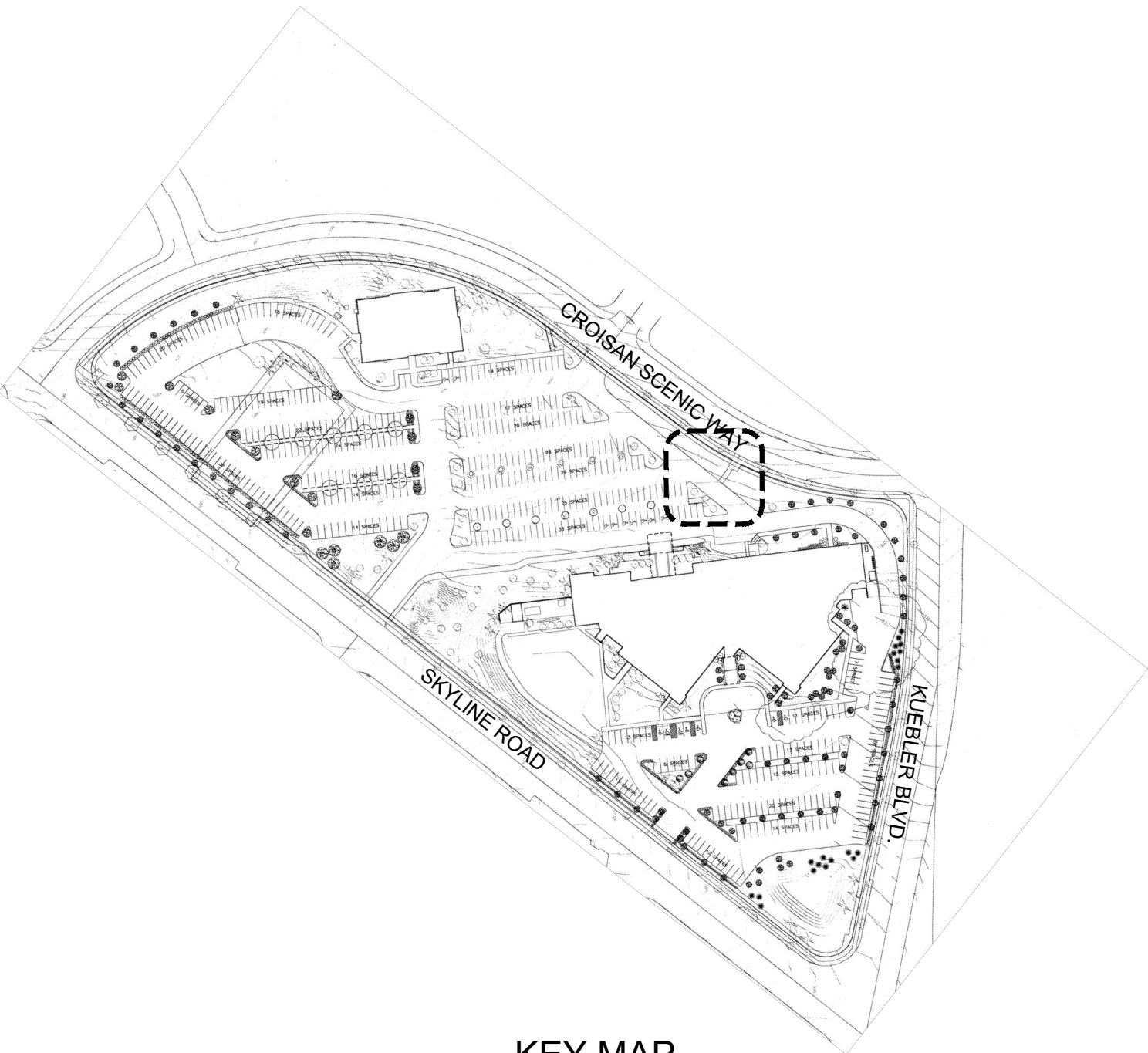


SHEET LEGEND

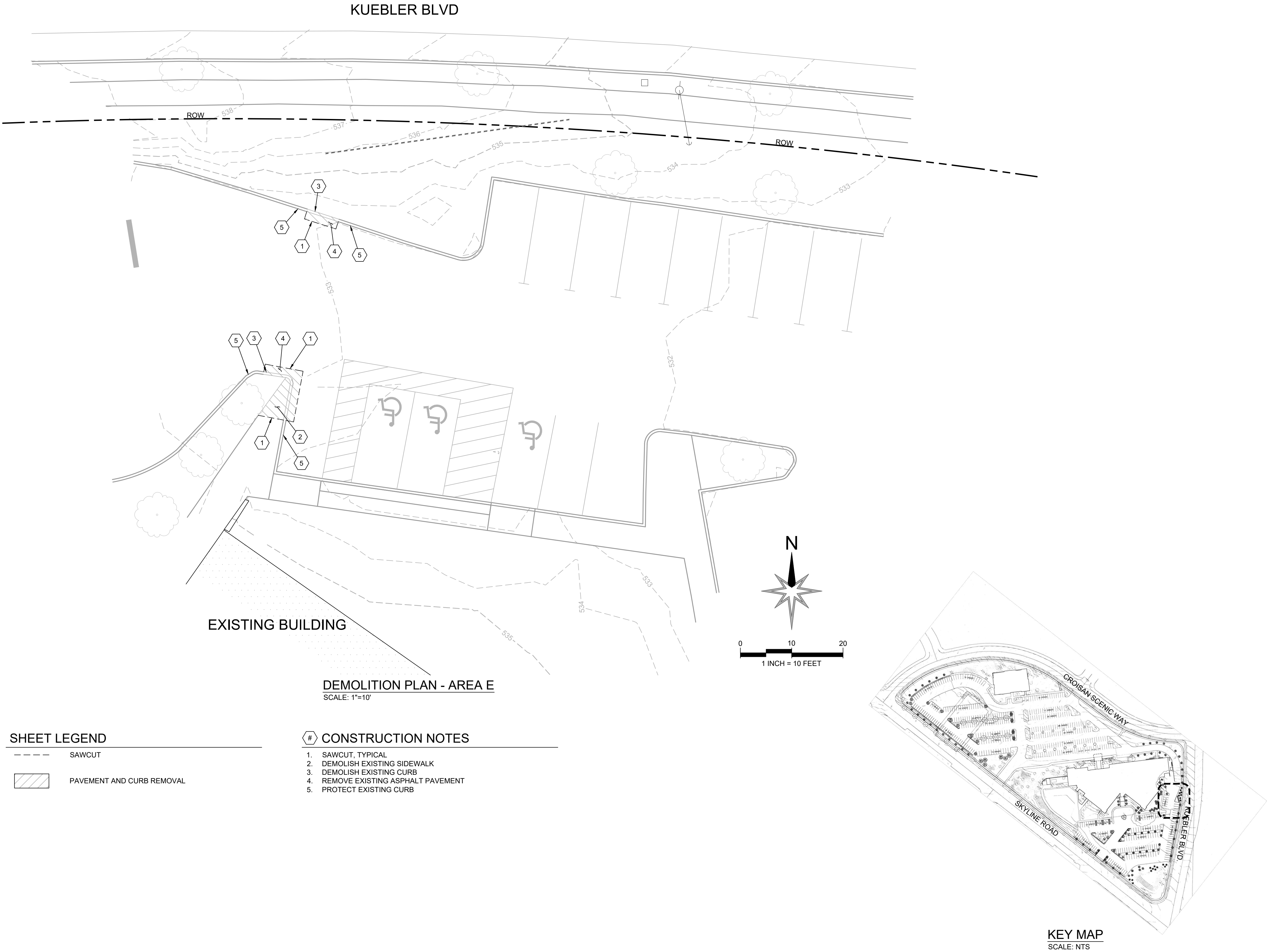
- SAWCUT
- PAVEMENT AND CURB REMOVAL

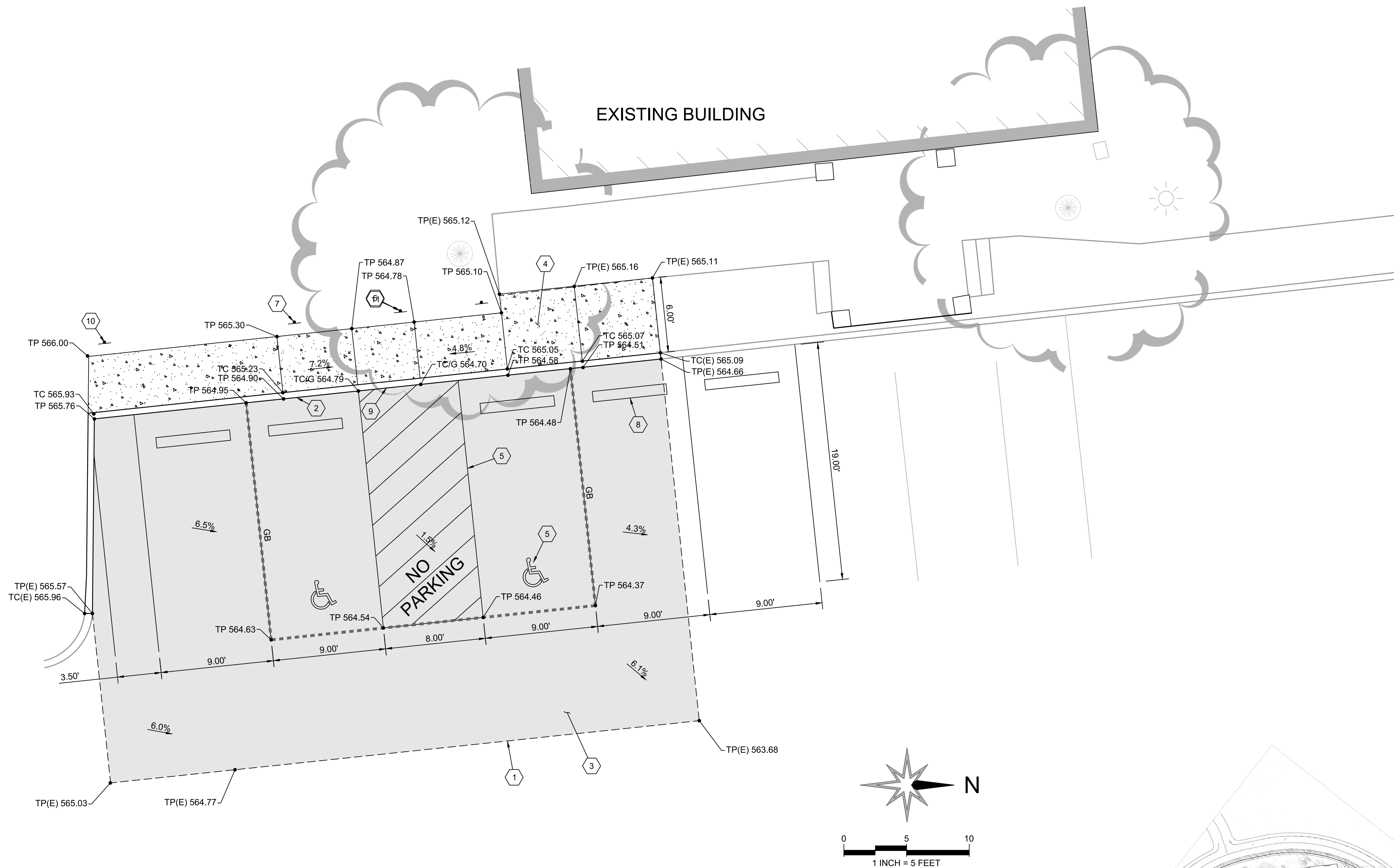
CONSTRUCTION NOTES

1. SAWCUT, TYPICAL
2. DEMOLISH EXISTING SIDEWALK
3. DEMOLISH EXISTING CURB
4. REMOVE EXISTING ASPHALT PAVEMENT
5. PROTECT EXISTING CURB



KEY MAP
SCALE: NTS



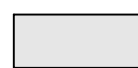


LAYOUT AND PAVING PLAN - AREA A
SCALE: 1"=5'

SHEET LEGEND

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

GRADE AT GUTTER
TOP OF CURB
TOP OF PAVEMENT
EXISTING



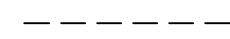
NEW ASPHALT

1
C300



NEW CONCRETE
SIDEWALK PAVEMENT

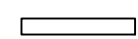
2
C300



SAWCUT



GRADE BREAK



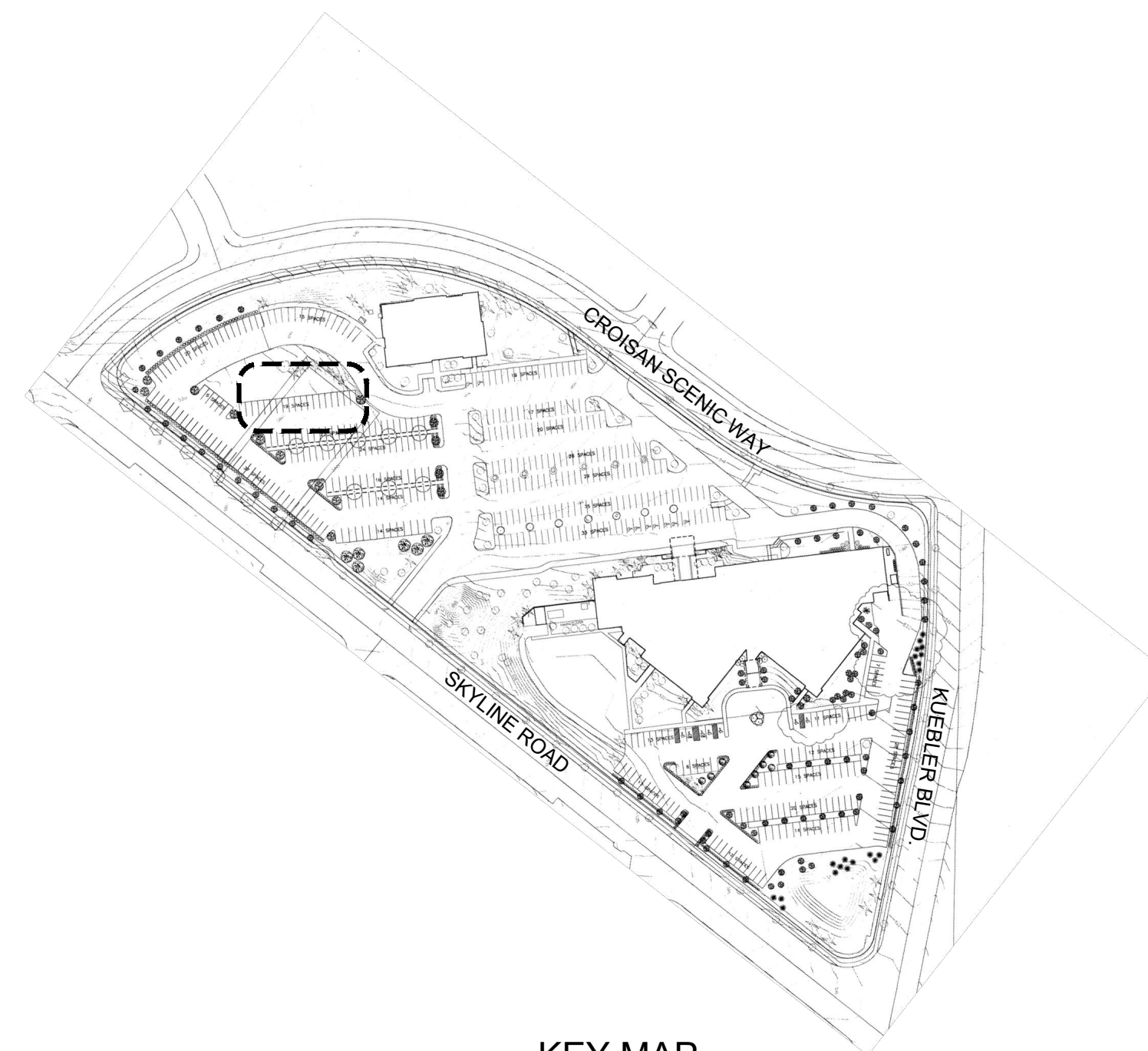
WHEELSTOP

CONSTRUCTION NOTES

1. SAWCUT.
2. NEW STANDARD CONCRETE CURB PER STANDARD DETAIL 3/C300.
3. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
4. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
5. NEW PAVEMENT MARKINGS, TYP., SEE DETAILS 5/C300 AND 6/C300.
6. INSTALL NEW ACCESSIBLE PARKING SIGN AND VAN-ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5, THIS SHEET.
7. INSTALL NEW ACCESSIBLE PARKING SIGN, VAN-ACCESSIBLE ADA, AND WHEELCHAIR USER ONLY SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5, THIS SHEET.
8. REINSTALL PRESERVED WHEELSTOP OR INSTALL NEW WHEELSTOP, TYP., SEE DETAIL 9/C300.
9. NEW FLUSH CONCRETE CURB PER STANDARD DETAIL 4/C300.
10. INSTALL "MOTORCYCLE PARKING ONLY" SIGN.
11. INSTALL "ACCESS AISLE NO PARKING" SIGN OR7-9, SEE DETAIL 11/C300.

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.



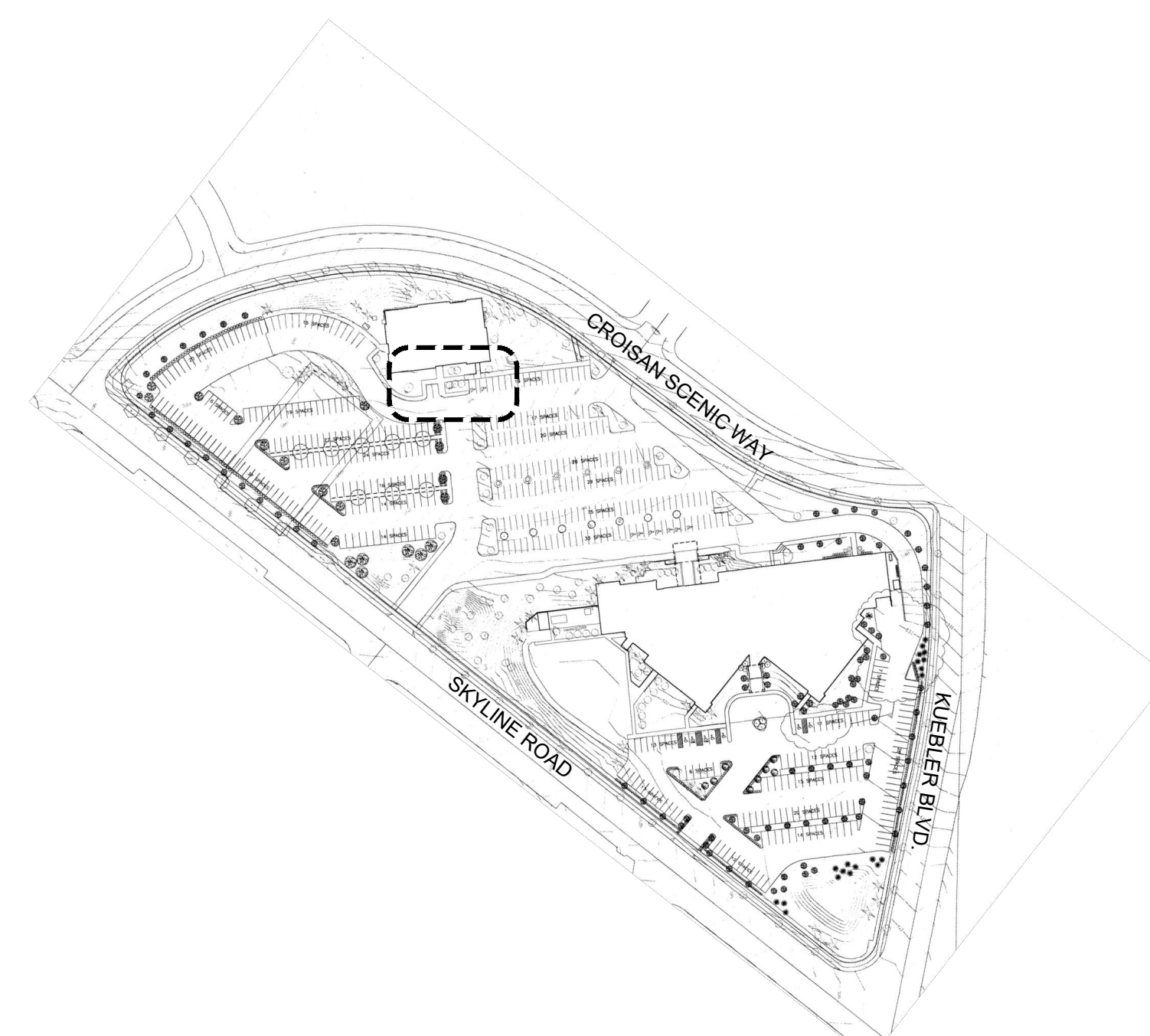
KEY MAP
SCALE: NTS



PERMIT SET
09.14.2021

LAYOUT AND
GRADING PLAN
AREA B

C202



Page 10

WHEELSTOP

1. SAWCUT.
2. NEW STANDARD CONCRETE CURB PER STANDARD DETAIL 3/C300.
3. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
4. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
5. NEW PAVEMENT MARKINGS, TYP., SEE DETAILS 5/C300 AND 6/C300.
6. REINSTALL PRESERVED WHEELSTOP OR INSTALL NEW WHEELSTOP, TYP., SEE DETAIL 9/C300.
7. NEW FLUSH CONCRETE CURB PER STANDARD DETAIL 4/C300.
8. INSTALL NEW ACCESSIBLE PARKING SIGN AND VAN-ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5 THIS SHEET.
9. INSTALL "ACCESS AISLE NO PARKING" SIGN OR7-9, SEE DETAIL 11/C300.
10. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMS ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.

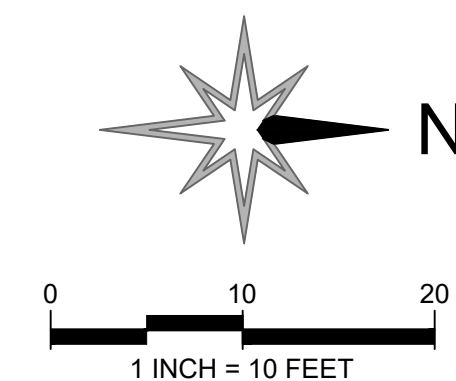
KEY MAP
SCALE: NTS



PERMIT SET
09.14.2021

LAYOUT AND
GRADING PLAN
AREA C

C203



KEY MAP
SCALE: NTS

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

TER
IENT

NEW CONCRETE
SIDEWALK PAVEMENT

— — — — — SAWCUT

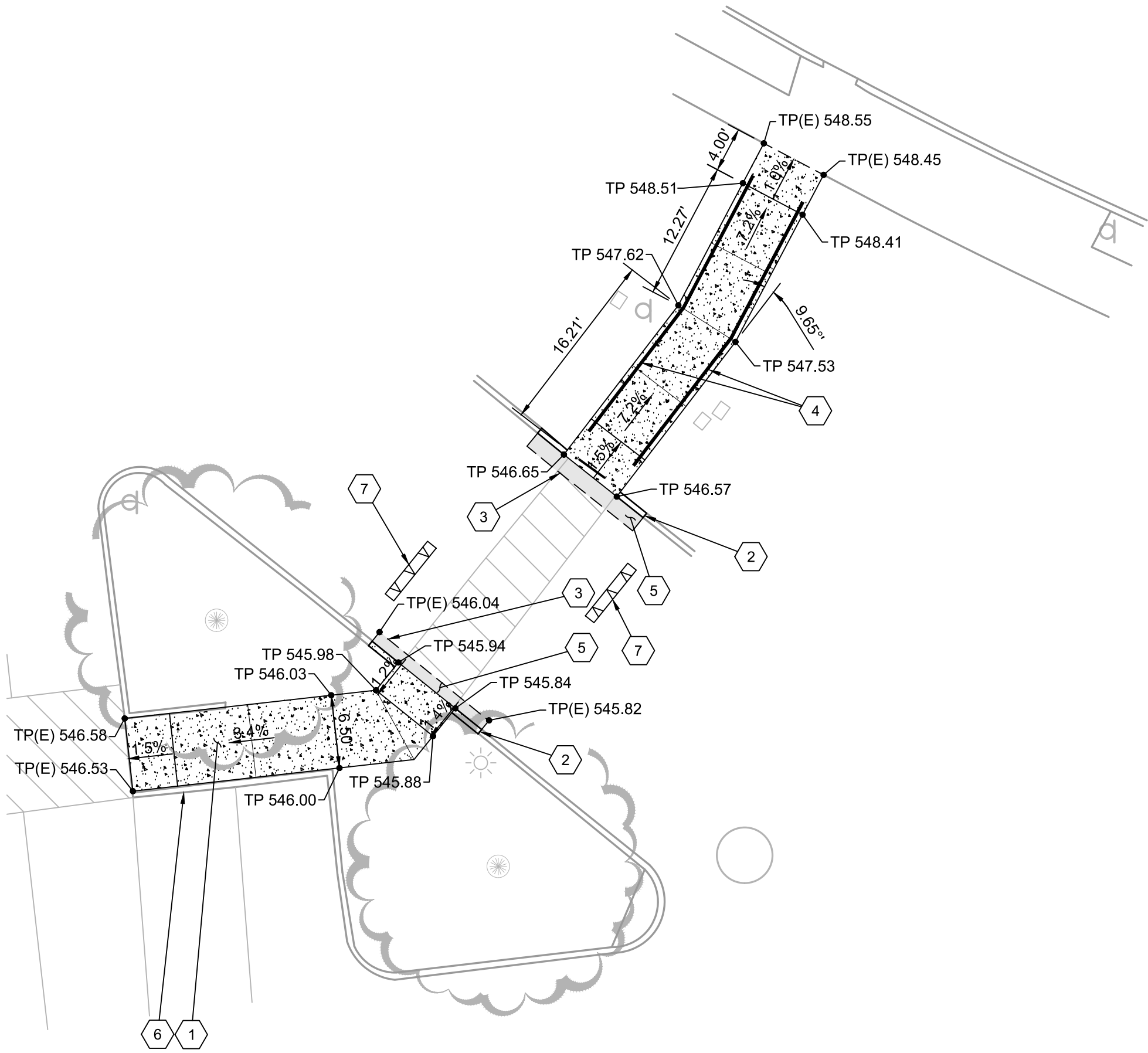
-----GB----- GRADE BREAK

10

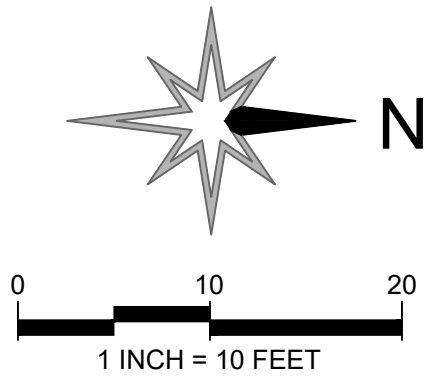
WHEELSTOP

1. SAWCUT.
2. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
3. NEW PAVEMENT MARKINGS, TYP., SEE DETAILS 5/C300 AND 6/C300.
4. REINSTALL PRESERVED WHEELSTOP OR INSTALL NEW WHEELSTOP, TYP., SEE DETAIL 9/C300.
5. INSTALL NEW BOLLARD WITH ADA PARKING SIGN, SEE DETAIL 8/C300 SEE GENERAL NOTE 5, THIS SHEET.
6. INSTALL NEW BOLLARD WITH ACCESSIBLE PARKING SIGN AND VAN-ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 8/C300 AND 10/C300 SEE GENERAL NOTE 5, THIS SHEET.
7. INSTALL NEW BOLLARD WITH "ACCESS AISLE NO PARKING" SIGN OR7-5 SEE DETAILS 8/C300 AND 11/C300.
8. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
3. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.



LAYOUT AND GRADING PLAN - AREA D
SCALE: 1"=10'



SHEET LEGEND

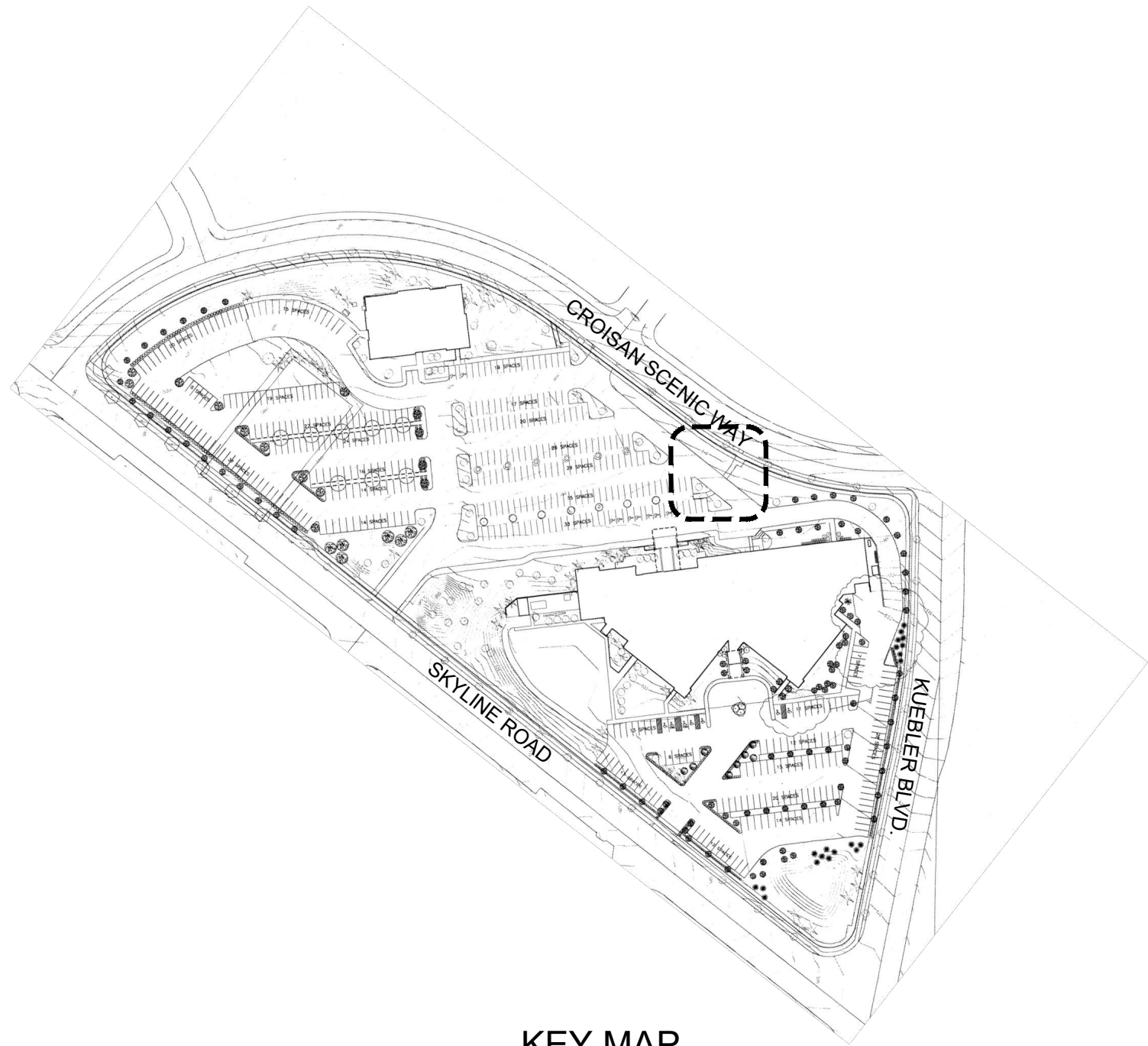
G XXX.XX	GRADE AT GUTTER
TC XXX.XX	TOP OF CURB
TP XXX.XX	TOP OF PAVEMENT
(E)	EXISTING
	NEW ASPHALT
	NEW CONCRETE SIDEWALK PAVEMENT
	SAWCUT
	GRADE BREAK
	WHEELSTOP

CONSTRUCTION NOTES

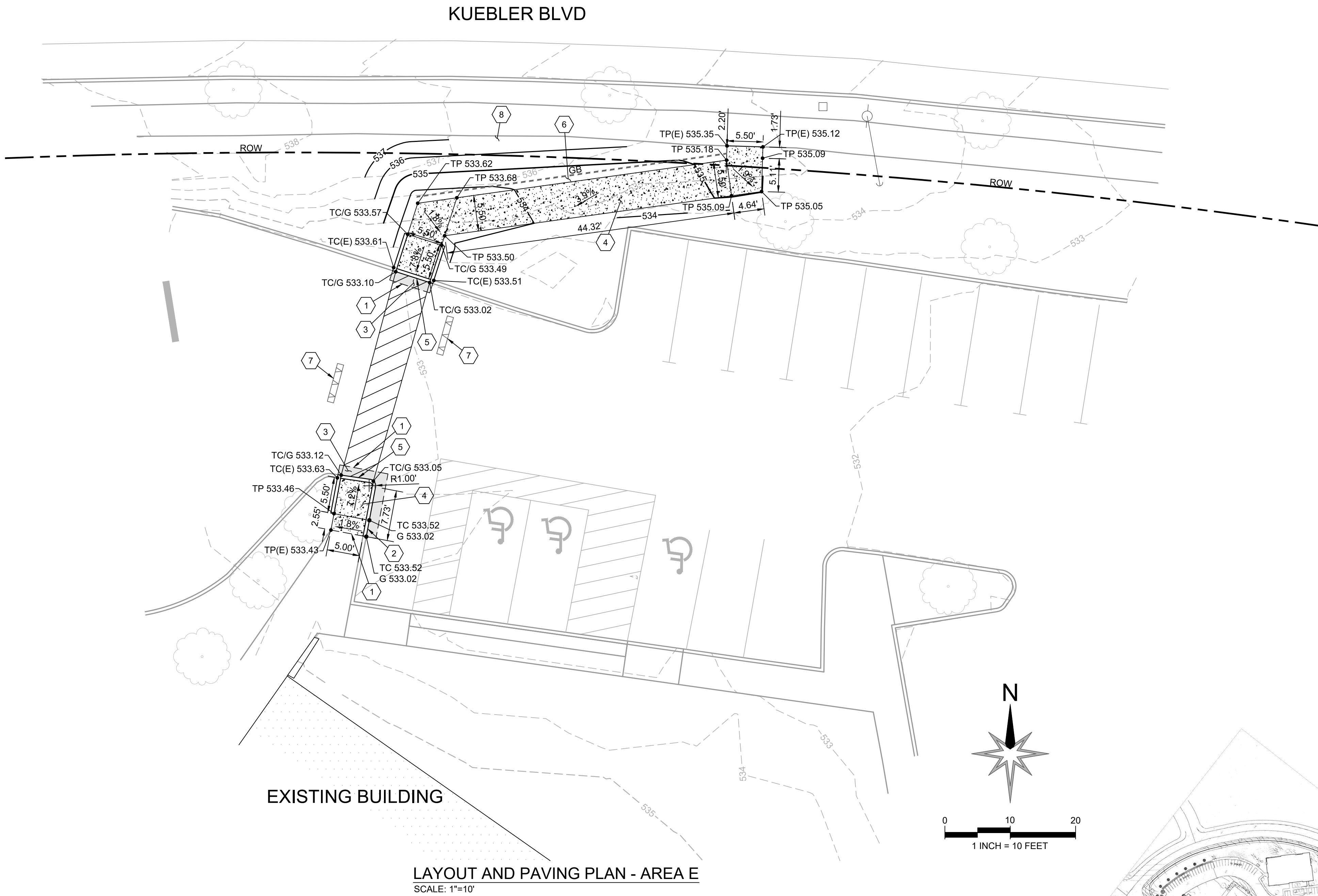
1. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
2. NEW STANDARD CONCRETE CURB PER DETAIL 3/C300.
3. SAWCUT
4. INSTALL NEW HANDRAILS AT SIDEWALK, PER DETAIL 1/C301.
5. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
6. PROTECT EXISTING CURB.
7. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"X12"X2-5/8").

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.



KEY MAP
SCALE: NTS



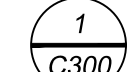
SHEET LEGEND

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

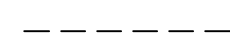
GRADE AT GUTTER
TOP OF CURB
TOP OF PAVEMENT
EXISTING



NEW ASPHALT



NEW CONCRETE
SIDEWALK PAVEMENT



SAWCUT



GRADE BREAK

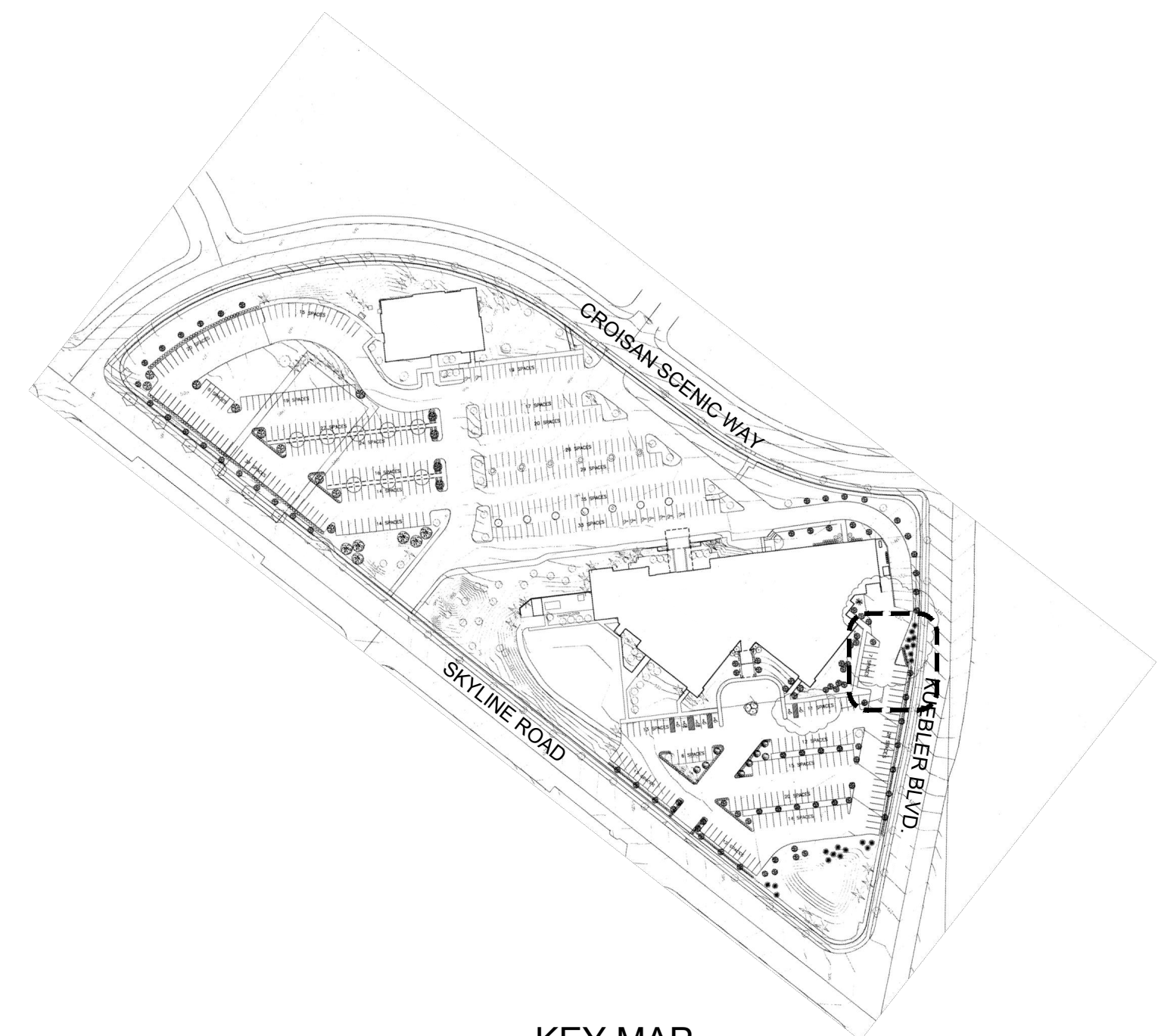
WHEELSTOP

CONSTRUCTION NOTES

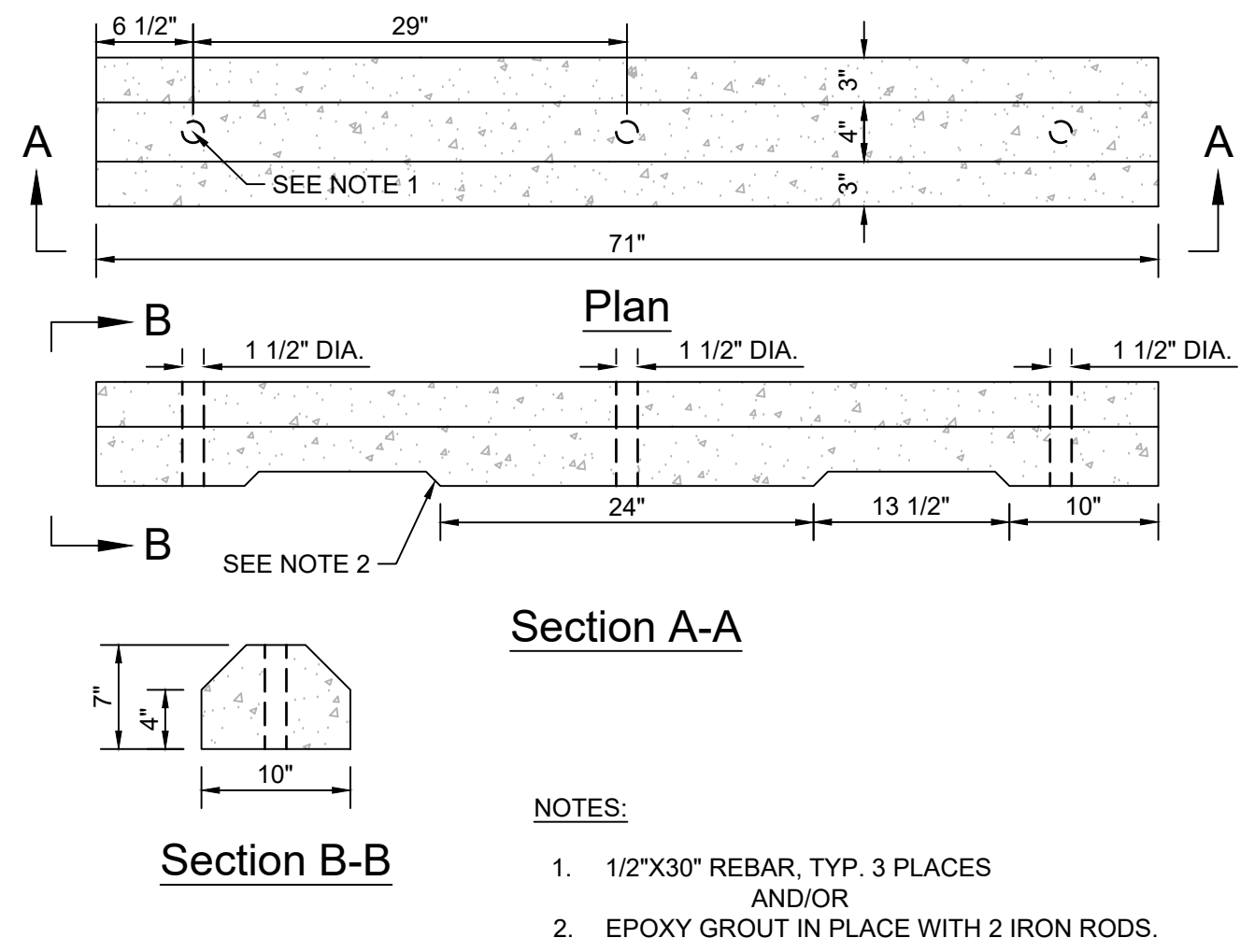
1. SAWCUT.
2. NEW STANDARD CONCRETE CURB PER STANDARD DETAIL 3/C300.
3. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
4. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
5. NEW FLUSH CONCRETE CURB PER STANDARD DETAIL 4/C300.
6. PROVIDE 1-FOOT WIDE EARTHEN BENCH BETWEEN SIDEWALK AND SLOPE.
7. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").
8. PROVIDE EARTHEN BENCH AT TOP OF PROPOSED SLOPE, TO SEPARATE EXISTING PUBLIC SIDEWALK FROM SLOPE.

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.



KEY MAP
SCALE: NTS

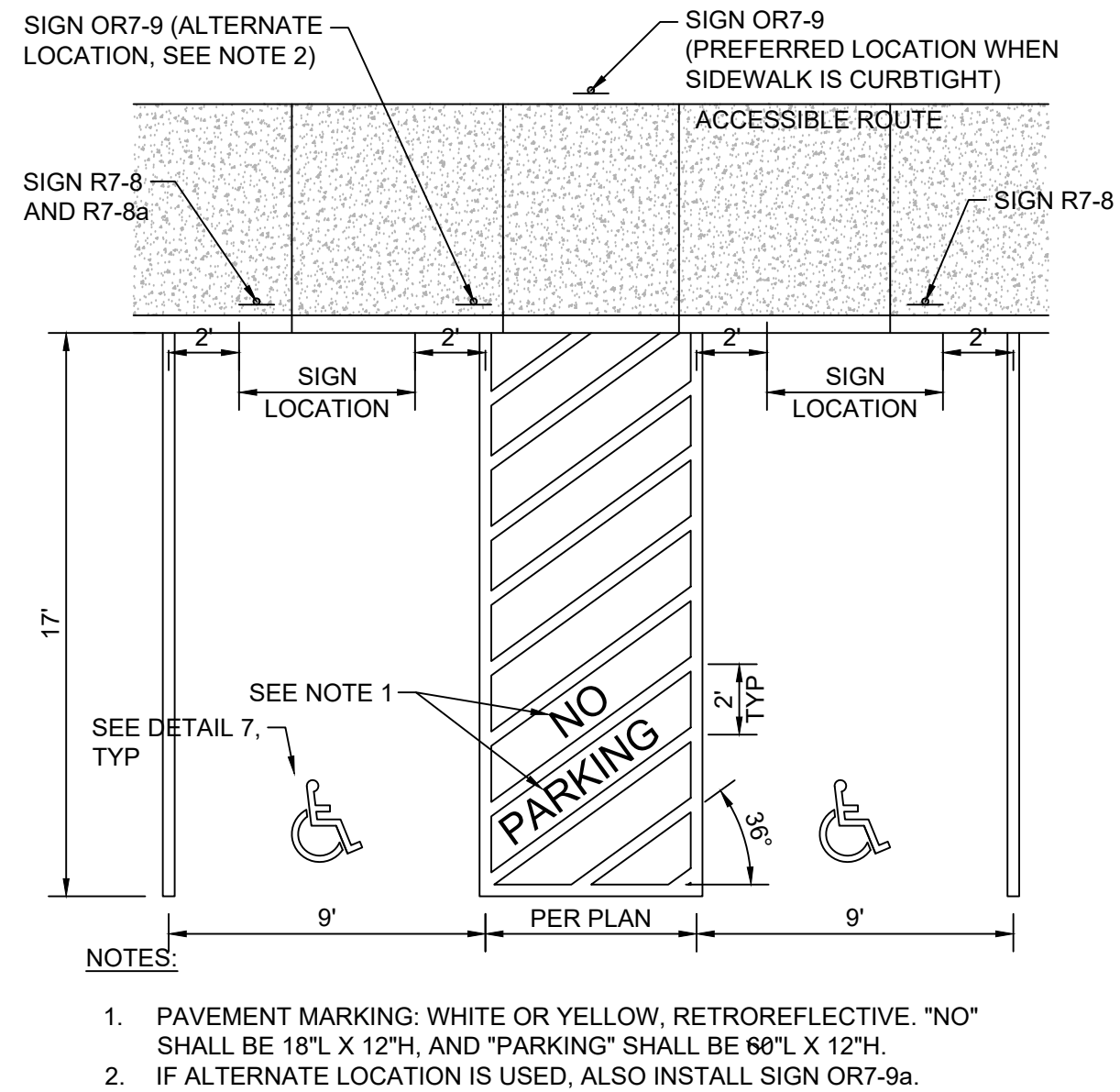


9 PRECAST CONCRETE WHEELSTOP

NTS

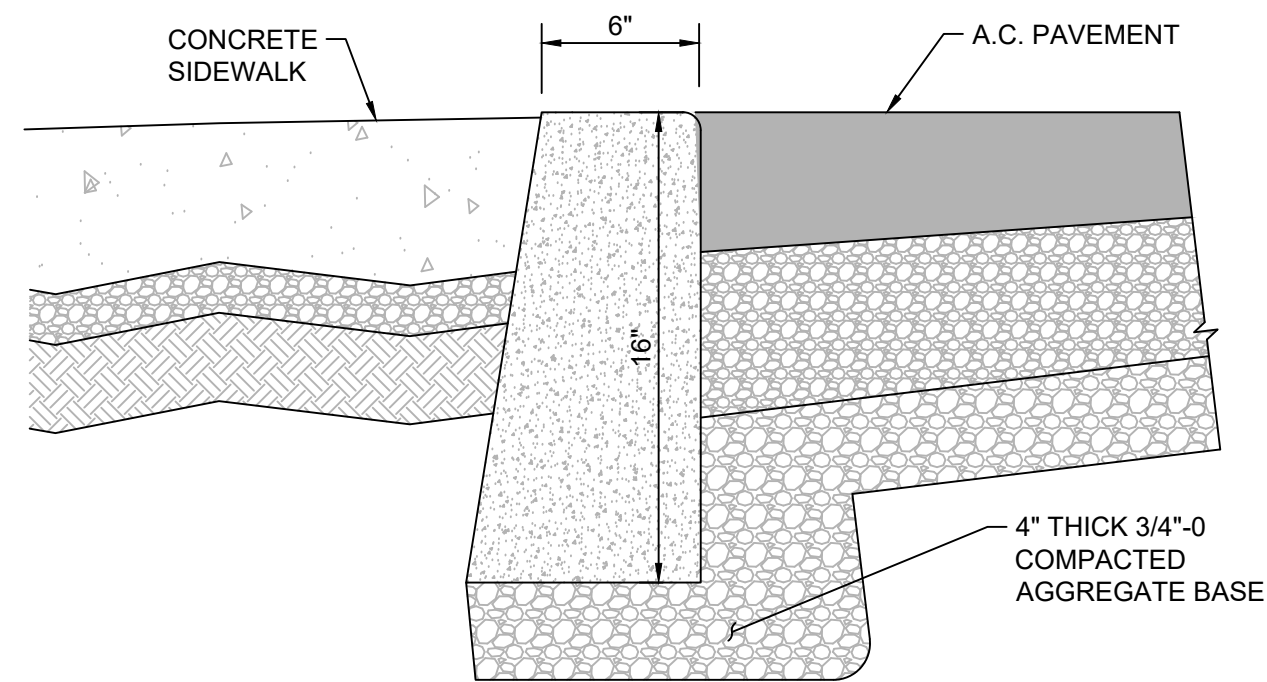
6 ACCESSIBLE PARKING EMBLEM

NTS



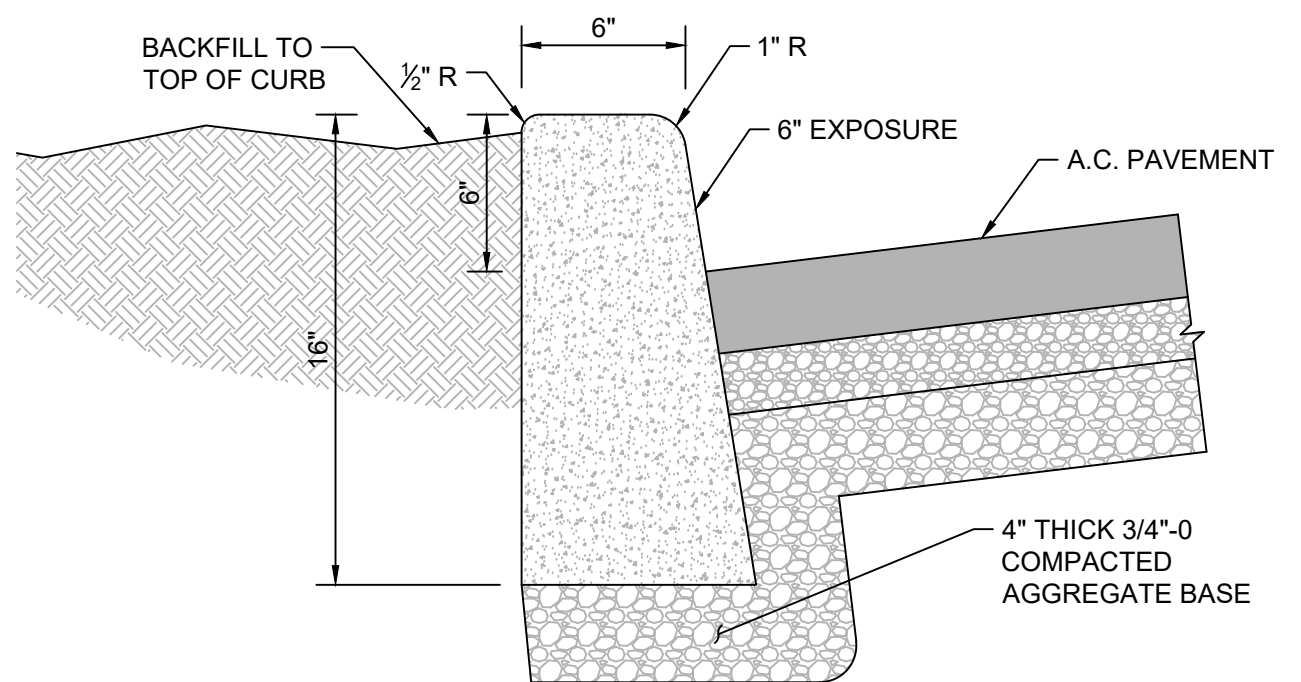
5 ADA PARKING STALL, TYPICAL

NTS



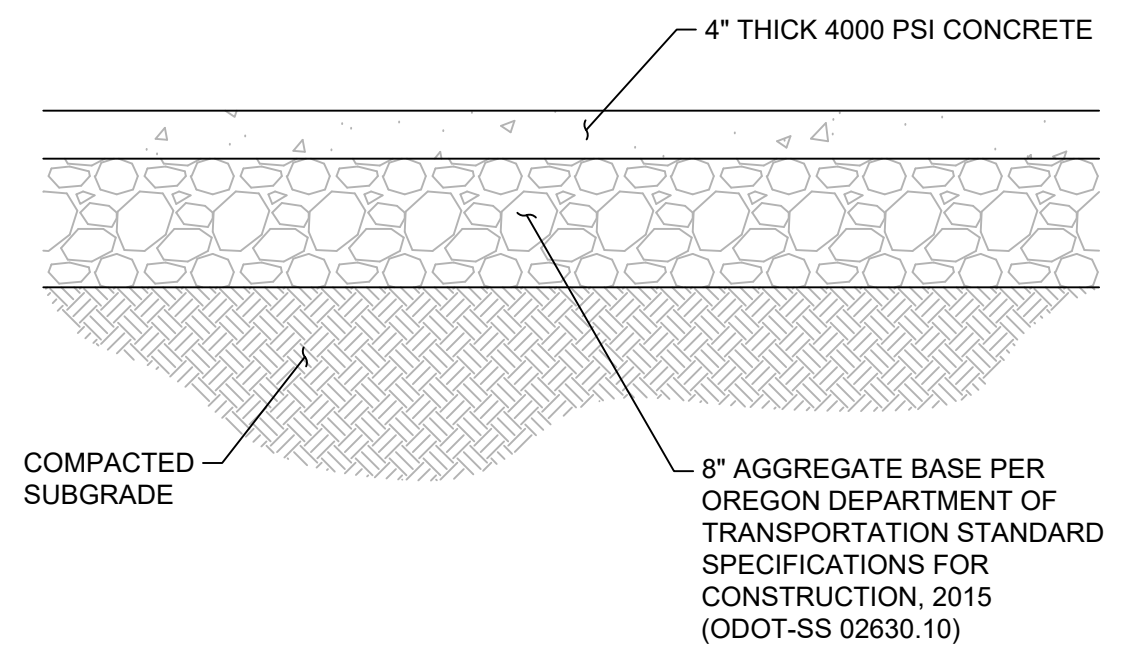
4 FLUSH CONCRETE CURB

NTS



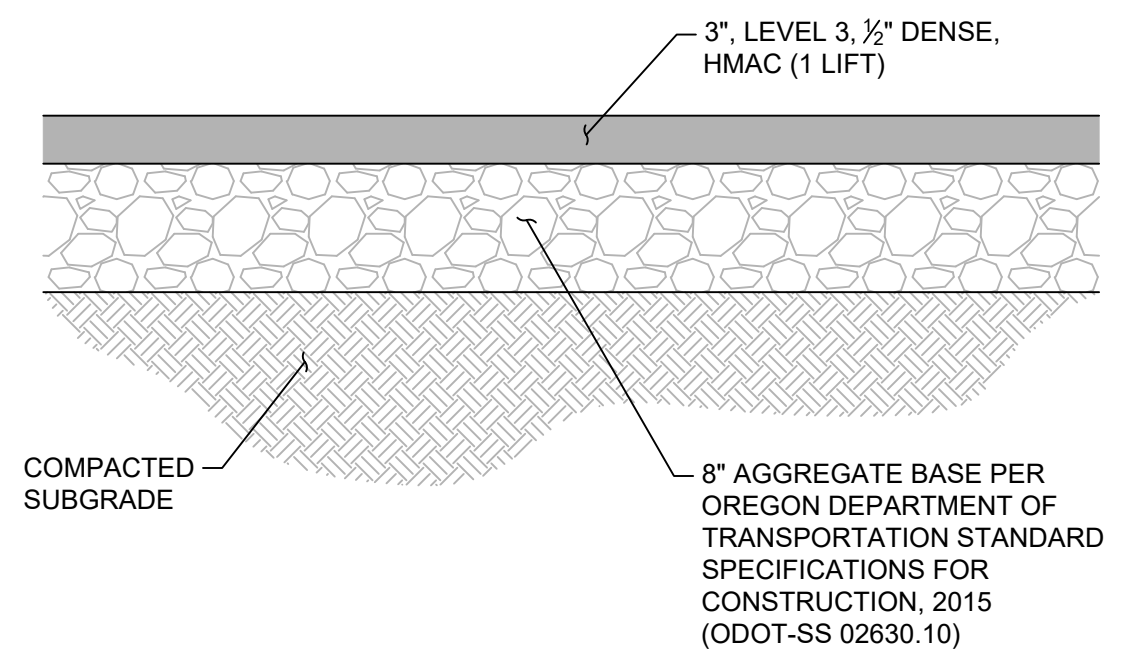
3 STANDARD CONCRETE CURB

NTS



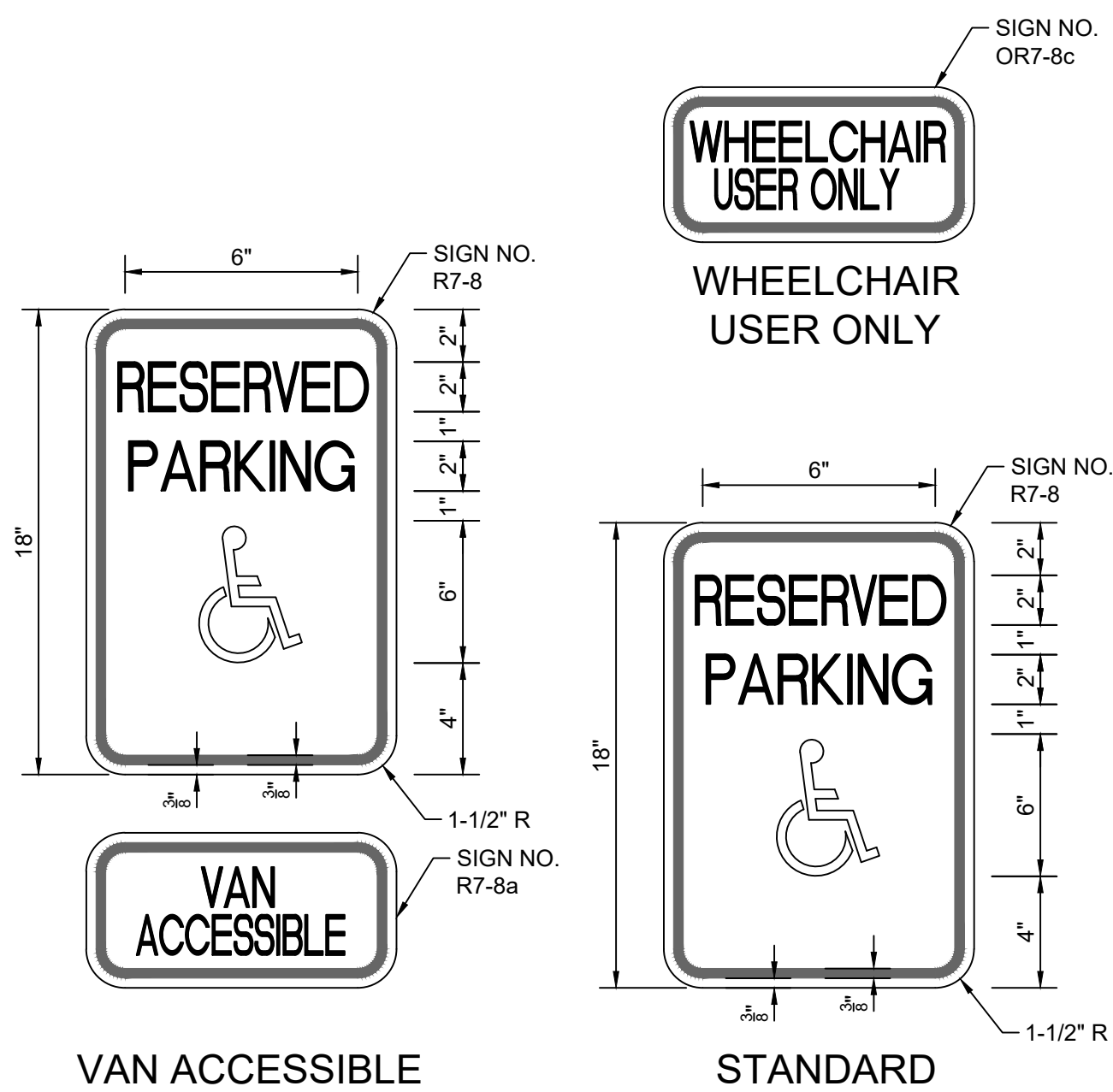
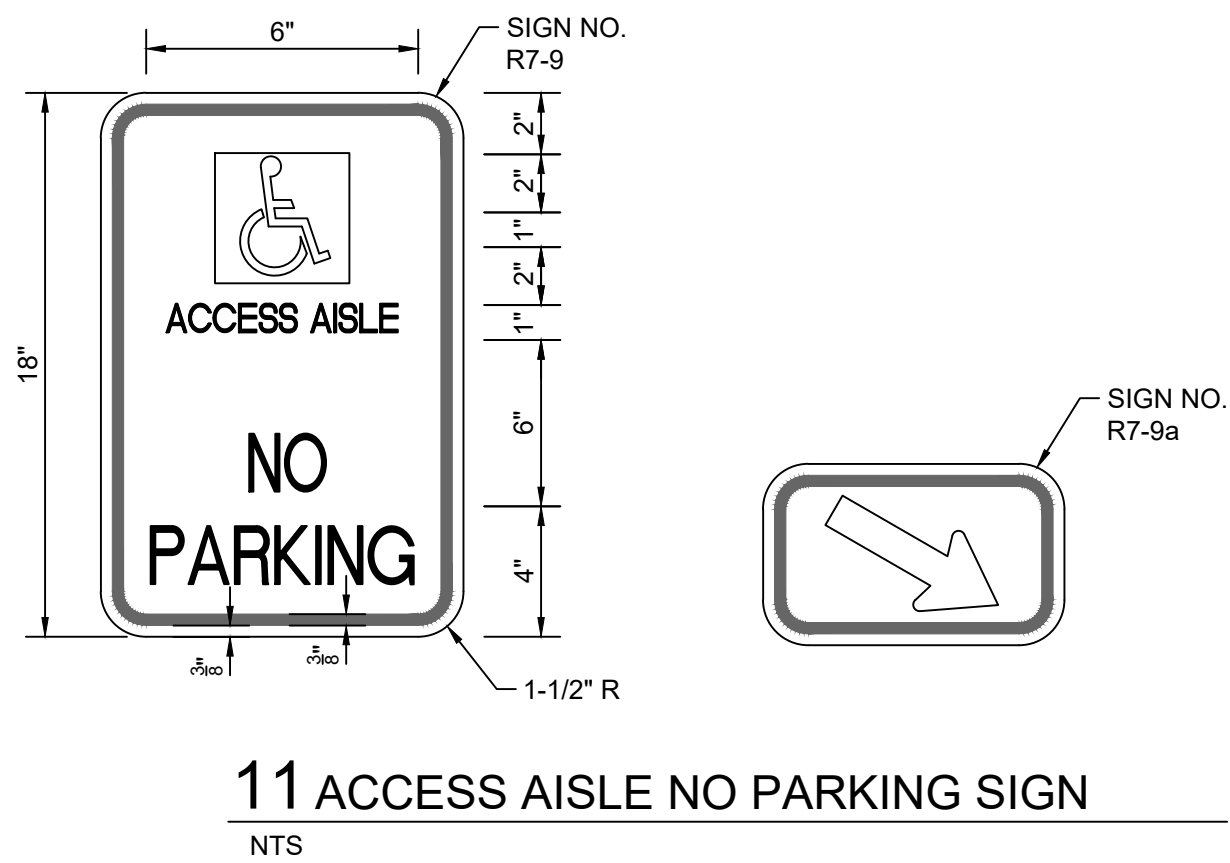
2 CONCRETE SECTION

NTS



1 ASPHALT PAVEMENT SECTION

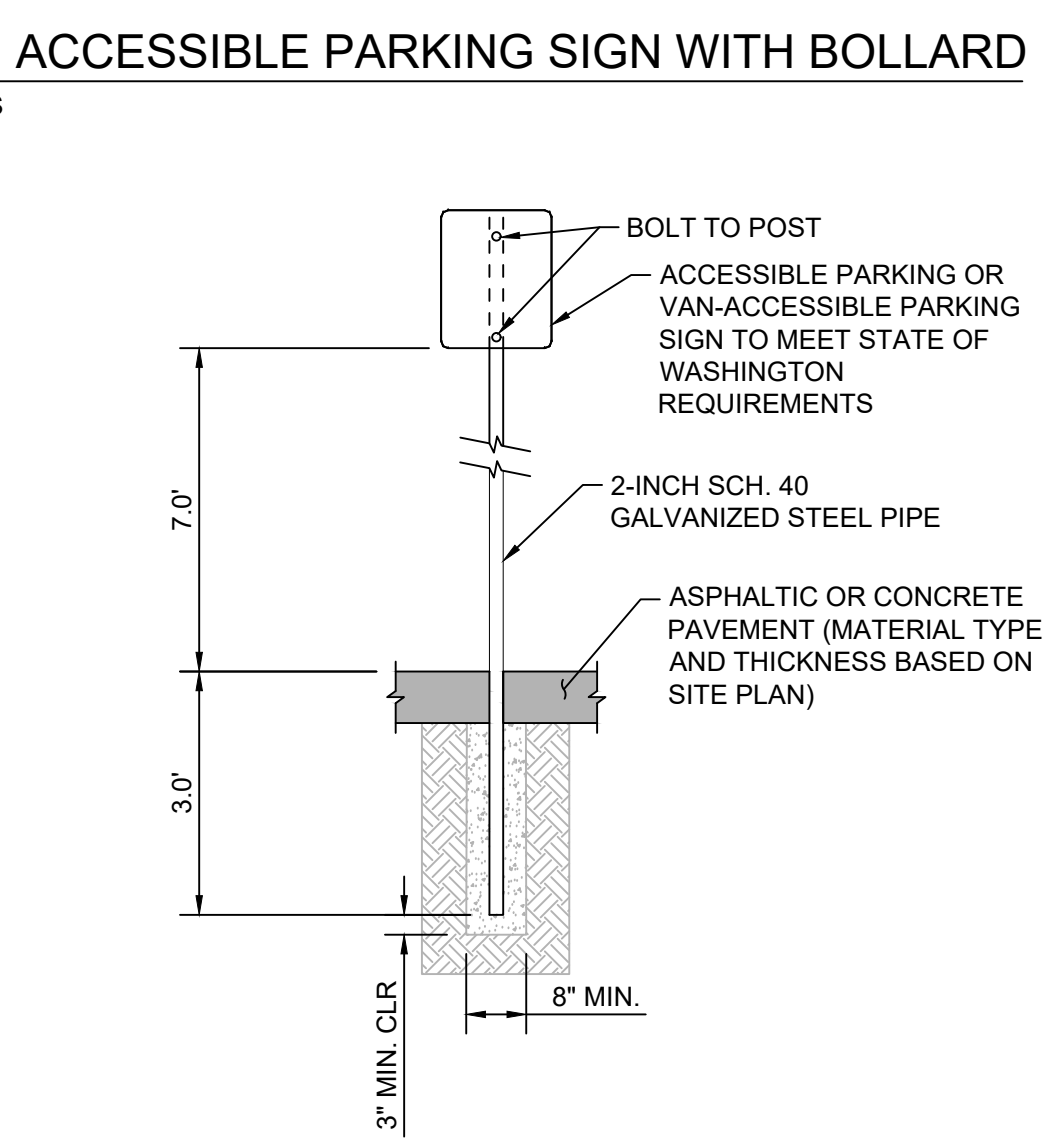
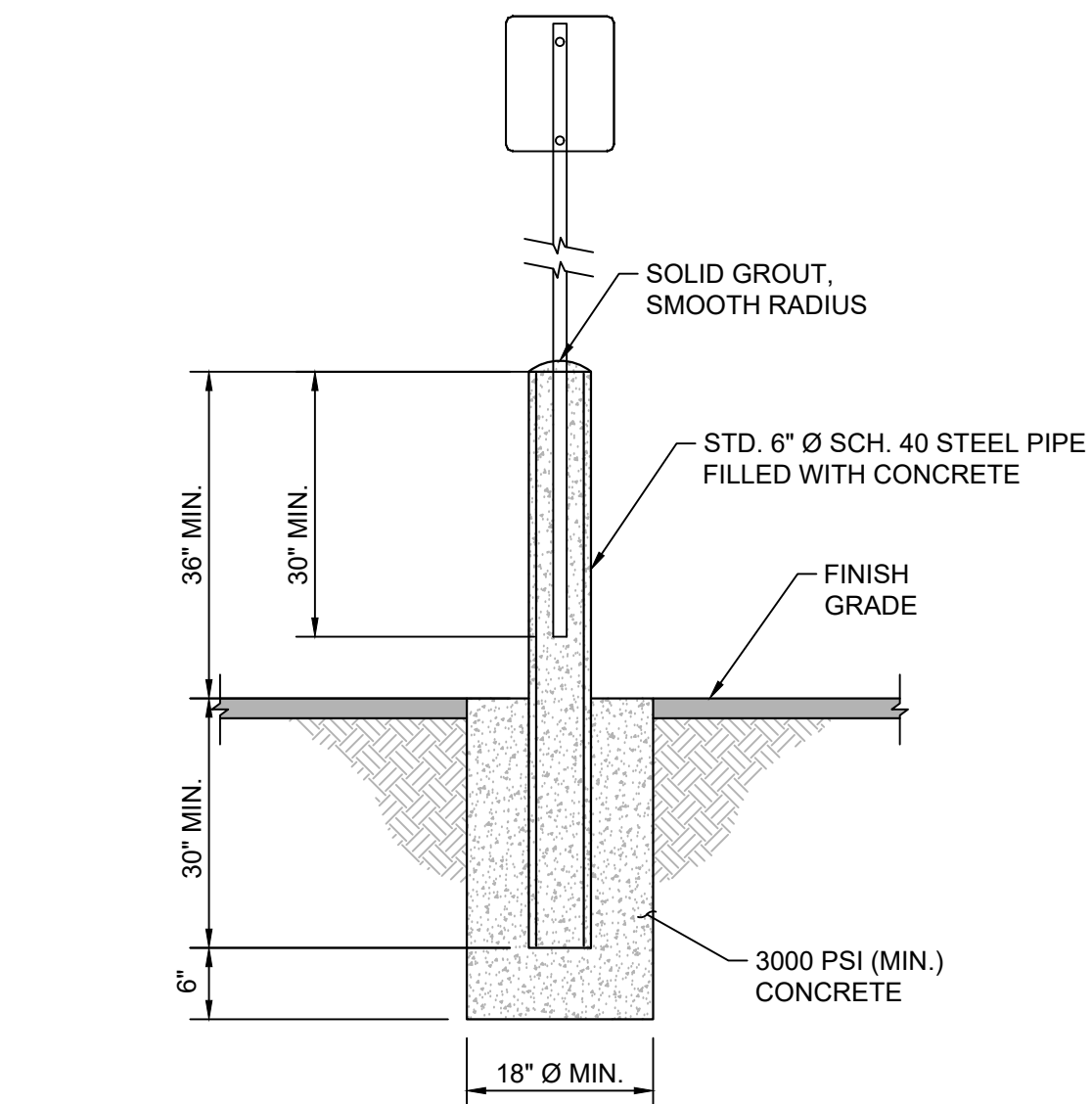
NTS



- NOTES:**
- SIGN BACKGROUND: WHITE, RETROFLECTIVE SHEETING
 - SIGN LEGEND: GREEN, RETROFLECTIVE SHEETING
 - SIGN SYMBOL (R7-8 ONLY): WHITE ON BLUE, RETROFLECTIVE SHEETING

10 ACCESSIBLE PARKING SIGNS

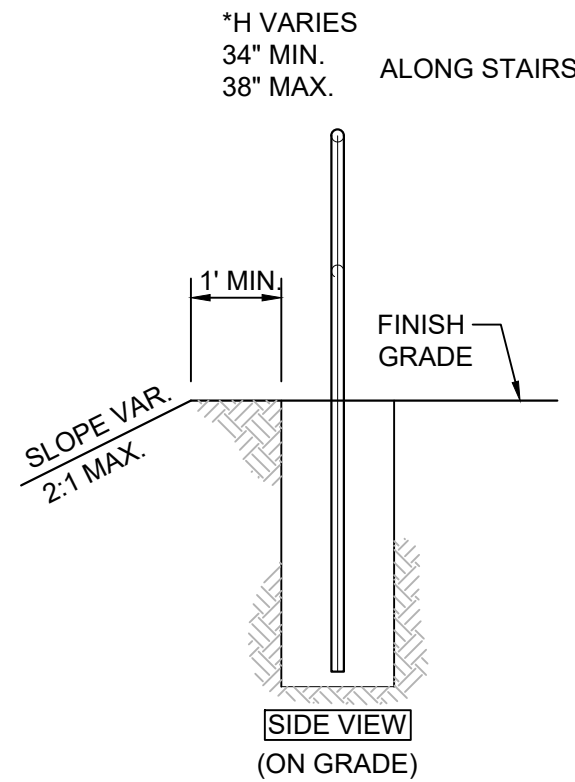
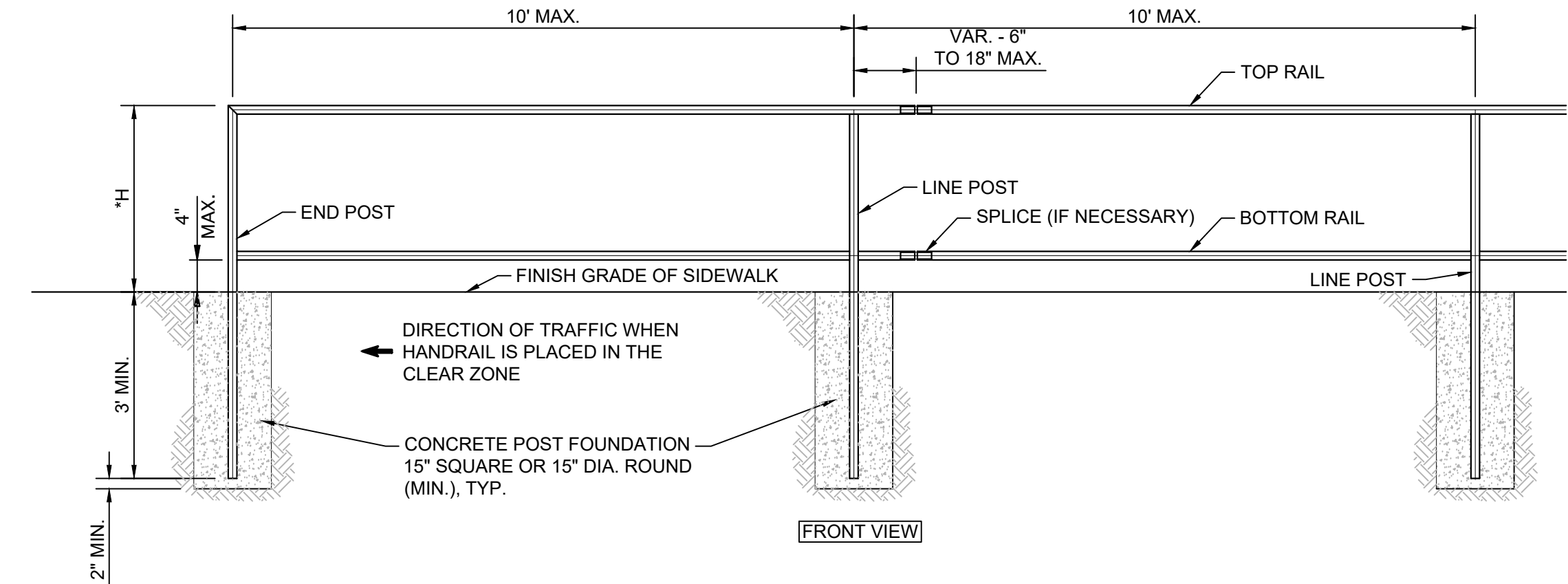
NTS



- NOTES:**
- POST FOUNDATION DETAILS TYPICAL FOR ALL POSTS.
 - POSTS TO BE LOCATED AS SHOWN IN LAYOUT PLAN.
 - REFER TO WSDOT SIGN FABRICATION MANUAL FOR INFORMATION ON SIGNAGE DETAILS FOR R7-801 AND R7-801 SIGNS.

7 ACCESSIBLE PARKING SIGN

NTS



NOTES:

- HANDRAIL DETAILS ARE BASED ON ODOT APPLICABLE STANDARDS.
- SEE ODOT STD. DWG. RD771 FOR DETAILS NOT SHOWN.
- HOT-DIP GALVANIZE ALL METAL PARTS AFTER FABRICATION.
- STRUCTURE VARIES, SEE PROJECT PLANS.
- HANDRAIL HEIGHT (H) SHALL BE CONSTANT WITHIN A RUN.
- SEE PROJECT PLANS FOR DETAILS NOT SHOWN.



November 18, 2021

Subject Property
Kaiser Skyline
5125 Skyline Rd S, Salem, OR 97306

Contact:
Drew Schaefer

Applicant:
Dallas Jannett
500 NE Multnomah Street, Suite 200
Portland, OR 97232

Class-2 Adjustment to Section Sec 800.065(a)(3):

(A) A pedestrian connection shall be provided between the primary building entrance of each building on the development site and each adjacent street. Where a building has more than one primary building entrance, a single pedestrian connection from one of the building's primary entrances to each adjacent street is allowed; provided each of the building's primary entrances are connected, via a pedestrian connection, to the required connection to the street (see Figure 800-11).

Adjustment Criteria-SRC 250.005(d)(2) Criteria

(A) The purpose underlying the specific development standard proposed for adjustment is:

- (i) Clearly inapplicable to the proposed development; or**
- (ii) Equally or better met by the proposed development.**

(B) If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.

(C) If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.


- (A) This pedestrian standard is equally or better met in the NW parking lot because we are providing a pedestrian access from the building to Kuebler and therefore the surrounding sidewalks for access through the parking lot.**
- (B) N/A**
- (C) Only one adjustment requested.**





MEMO

TO: Kyle Kearns, Planner II
Community Development Department

FROM: Glenn J. Davis, PE, CFM, Chief Development Engineer 
Public Works Department

DATE: December 8, 2021

**SUBJECT: PUBLIC WORKS RECOMMENDATIONS
SPR-ADJ-DAP 21-32 (21-120436-RP)
5125 SKYLINE ROAD S
ADA AND PEDESTRIAN ACCESS UPGRADES**

PROPOSAL

A consolidated application containing a Class 3 Site Plan Review for improvements to existing ADA ramps and pedestrian access throughout the development site with a Class 2 Adjustment request to pedestrian access standards. The subject property is 10.53 acres in size, zoned CR (Commercial Retail), and located at 5125 Skyline Road S (Marion County Assessor map and tax lot number(s): 083W17AA / 0200).

SUMMARY OF FINDINGS

The proposed development meets applicable criteria related to Public Works infrastructure.

FACTS

Streets

1. Skyline Road S

- a. Standard—This street is designated as a Major Arterial street in the Salem TSP. The standard for this street classification is a 68-foot-wide improvement within a 96-foot-wide right-of-way.
- b. Existing Conditions—This street has an approximate 60-foot improvement within a 77-foot-wide right-of-way abutting the subject property.

Code authority references are abbreviated in this document as follows: *Salem Revised Code* (SRC); *Public Works Design Standards* (PWDS); *Salem Transportation System Plan* (Salem TSP); and *Stormwater Management Plan* (SMP).

2. Kuebler Boulevard S

- a. Standard—This street is designated as a Parkway street in the Salem TSP. The standard for this street classification is a 66-foot-wide improvement within a 120-foot-wide right-of-way according to Appendix G of the Salem TSP.
- b. Existing Conditions—This street has an approximate 60-foot improvement within an 80-foot-wide right-of-way abutting the subject property.

3. Croisan Scenic Way S

- a. Standard—This street is designated as a Minor Arterial street in the Salem TSP. The standard for this street classification is a 46-foot-wide improvement within a 72-foot-wide right-of-way.
- b. Existing Conditions—This street has an approximate 40-foot improvement within a 60-foot-wide right-of-way abutting the subject property.

Storm Drainage

1. Existing Conditions

- a. There are 10-inch and 12-inch storm mains located in Kuebler Boulevard S.
- b. A 24-inch storm main is located in Skyline Road S.
- c. An 8-inch storm main is located in Croisan Scenic Way S.
- d. There are multiple public storm mains of various sizes located on the site within easements.

Water

1. Existing Conditions

- a. The subject property is located in the S-3 water service level.
- b. There are 12-inch water mains located in Skyline Road S, Kuebler Boulevard S, and Croisan Scenic Way S. Mains of this size generally convey flows of 2,100 to 4,900 gallons per minute.

Sanitary Sewer

1. Existing Conditions

- a. An 8-inch sewer main is located in Skyline Road S and Croisan Scenic Way S.

CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

Criteria: SRC 220.005(f)(3)(A) The application meets all applicable standards of the UDC (*Unified Development Code*)

Finding—The subject property meets all applicable standards of the following chapters of the UDC: 601 – Floodplain; 802 – Public Improvements; 803 – Streets and Right-of-Way Improvements; 804 – Driveway Approaches; 805 – Vision Clearance; 809 – Wetlands; and 810 - Landslides.

Public Works staff has reviewed the Flood Insurance Study and Flood Insurance Rate Maps and has determined that no floodplain or floodway areas exist on the subject property.

According to the Salem-Keizer Local Wetland Inventory (LWI), the subject property does not contain any wetland areas or hydric soils.

According to the City's adopted landslide hazard susceptibility maps and SRC Chapter 810 (Landslide Hazards), there are no mapped landslide hazard areas on the subject property within the development area.

Criteria: SRC 220.005(f)(3)(B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

Finding—The existing street system is adequate to serve the proposed development and the development is not proposing a building addition subject to SRC 803.040(a); therefore, no right-of-way dedication or street improvements are required.

Criteria: SRC 220.005(f)(3)(C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians

Finding—The driveway access onto Skyline Road S provides for safe turning movements into and out of the property.

Criteria: SRC 220.005(f)(3)(D) The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development

Finding—The Public Works Department has reviewed the applicant's preliminary plan for this site. The water, sewer, and storm infrastructure are available within surrounding streets/areas and are adequate to serve the proposed development. The applicant does not show any new connections to public infrastructure.

Prepared by: Laurel Christian, Program Coordinator
cc: File