



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Site Plan Review Case No. SPR-ADJ21-32
PROPERTY LOCATION:	5125 Skyline Rd S, Salem OR 97306
NOTICE MAILING DATE:	November 23, 2021
PROPOSAL SUMMARY:	A proposal to improve ADA and pedestrian access throughout the development site.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m. Tuesday, December 7, 2021</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Kyle Kearns, Planner II , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2313; E-mail: kkearns@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Sunnyslope Neighborhood Association, Evan White, Land Use Chair; Phone: 503-585-4814; Email: epwhitehouse@comcast.net .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Kaiser Foundation Health Plan NW
APPLICANT(S):	Drew Schaefer
PROPOSAL REQUEST:	<p>A consolidated application containing a Class 3 Site Plan Review for improvements to existing ADA ramps and pedestrian access throughout the development site with a Class 2 Adjustment request to:</p> <p>1) Remove the requirement for a pedestrian accessway through the northern most off-street parking area.</p> <p>The subject property is 10.53 acres in size, zoned CR (Commercial Retail), and located at 5125 Skyline Road S (Marion County Assessor map and tax lot number(s): 083W17AA / 0200).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	<p>Documents and evidence submitted by the applicant are available for review and paper copies can be obtained at a reasonable cost. You can also find out more information about the status of the proposed application on the City's online Permit Application Center at https://permits.cityofsalem.net. Just enter the permit number listed here: 21 120436</p>

***PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:***

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development

Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Site Plan Review Case No. SPR-ADJ21-32

PROJECT ADDRESS: 5125 Skyline Rd S, Salem OR 97306

AMANDA Application No.: 21-120436-RP, 21-120438-ZO

COMMENT PERIOD ENDS: December 7, 2021

SUMMARY: A proposal to improve ADA and pedestrian access throughout the development site.

REQUEST: A consolidated application containing a Class 3 Site Plan Review for improvements to existing ADA ramps and pedestrian access throughout the development site with a Class 2 Adjustment request to:

- 1) Remove the requirement for a pedestrian accessway through the northern most off-street parking area.

The subject property is 10.53 acres in size, zoned CR (Commercial Retail), and located at 5125 Skyline Road S (Marion County Assessor map and tax lot number(s): 083W17AA / 0200).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Tuesday, December 7, 2021, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Kyle Kearns, Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2313; E-Mail: kkearns@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- ___ 1. I have reviewed the proposal and have no objections to it.
- ___ 2. I have reviewed the proposal and have the following comments: _____
- _____
- _____
- _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

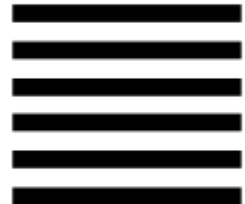


NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES



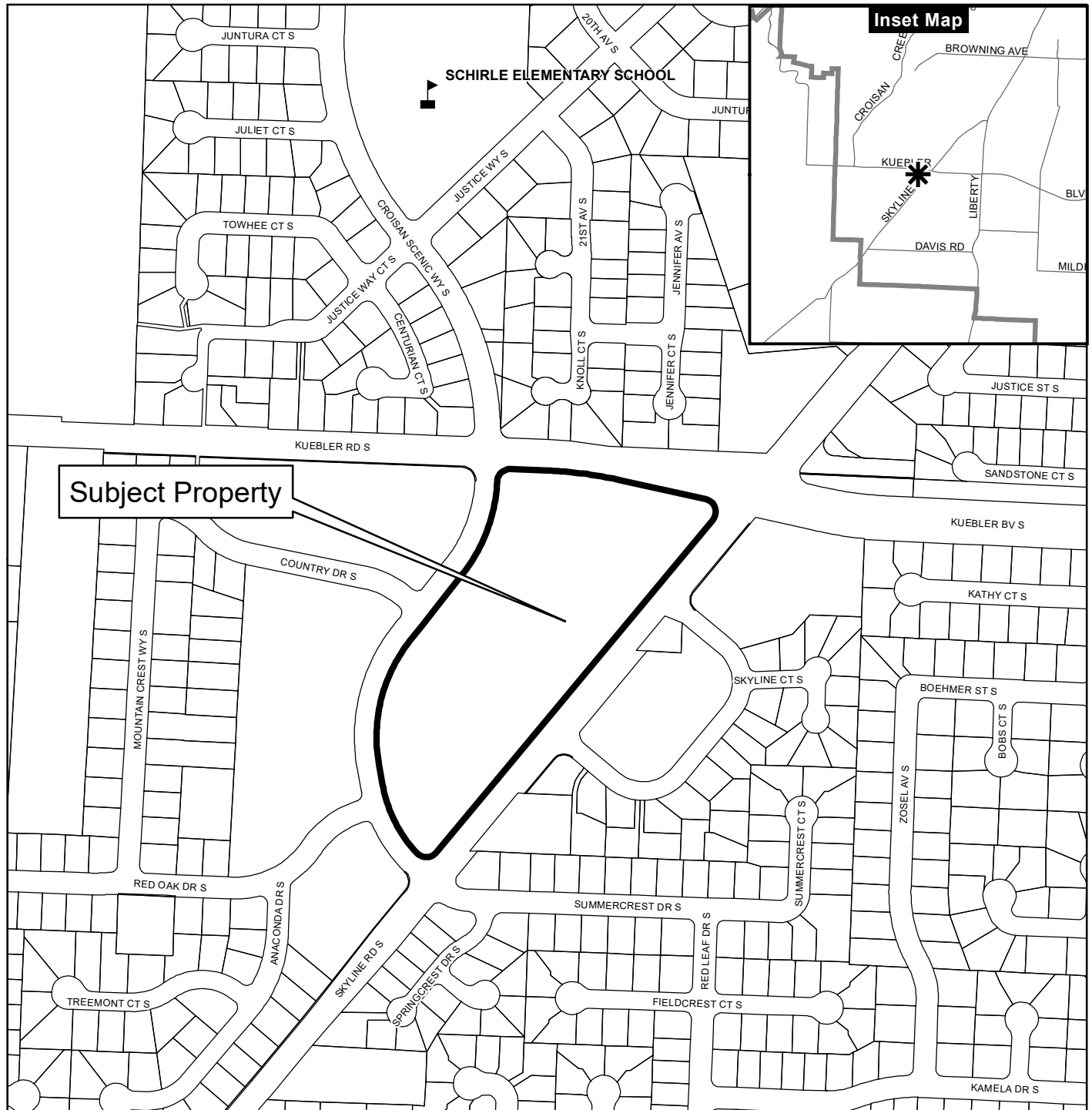
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map

5125 Skyline Road S



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

- Parks

CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.

This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

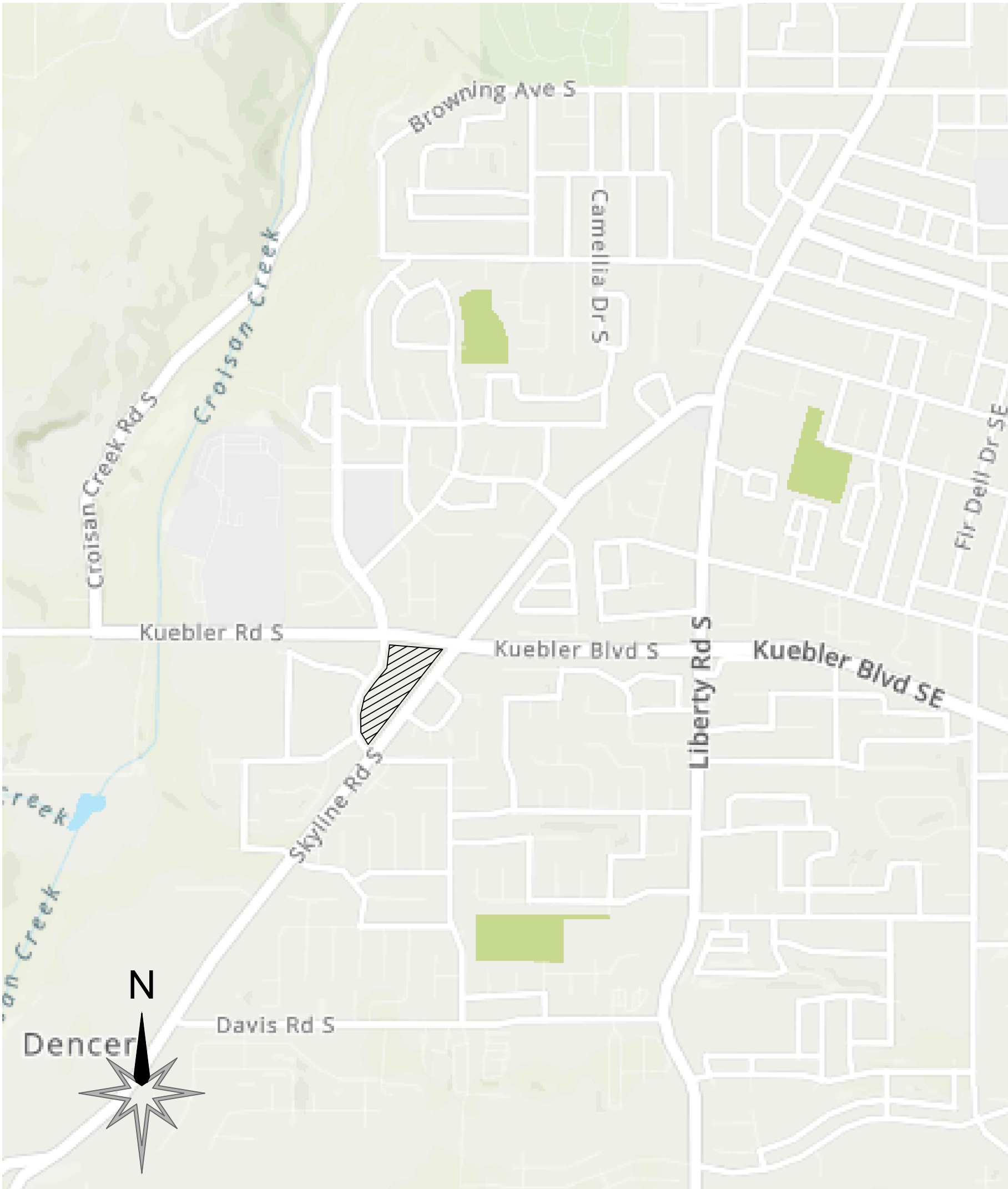
0 100 200 400 Feet



ADA PARKING UPGRADES

KAISER PERMANENTE SKYLINE MEDICAL OFFICE

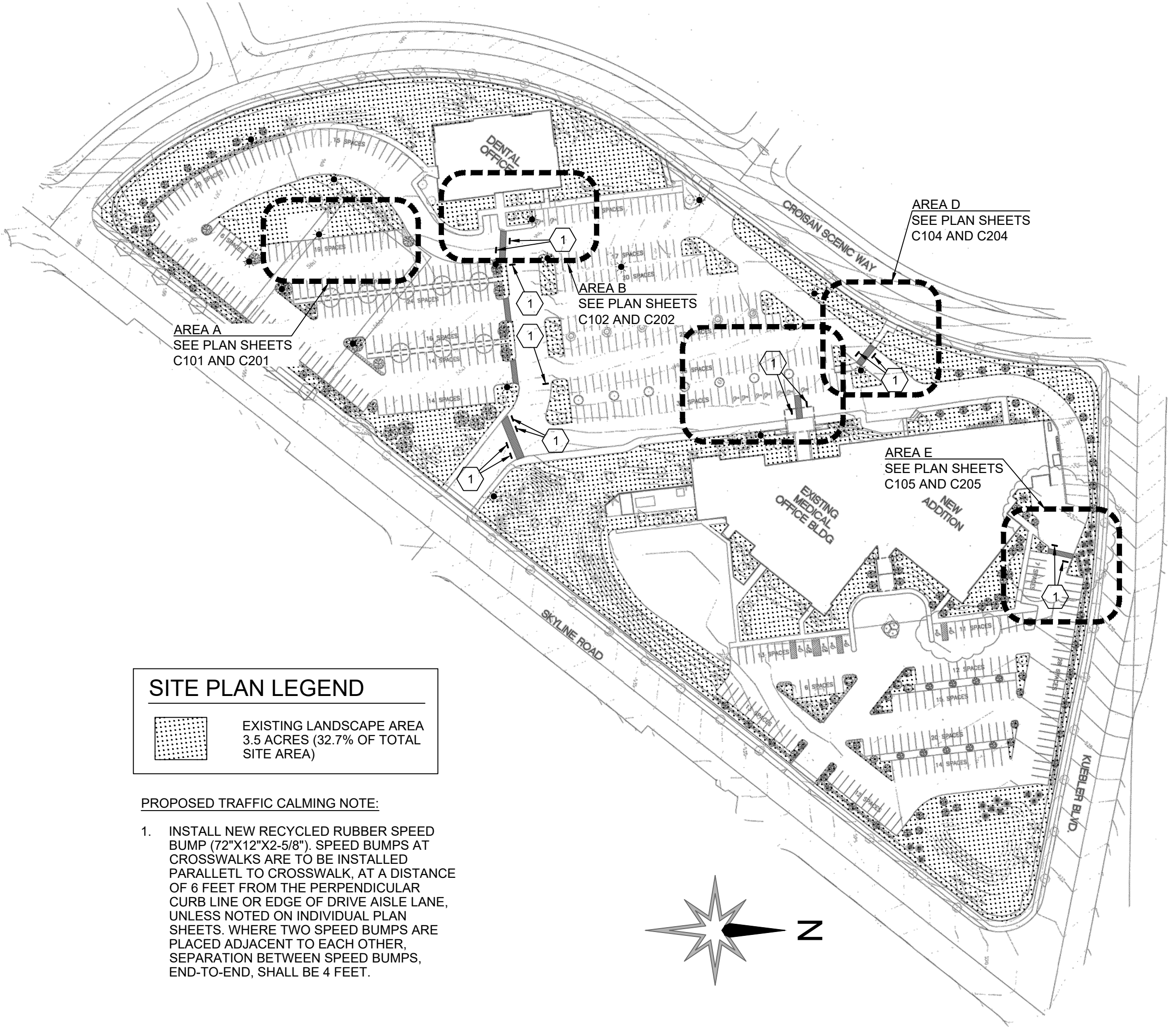
5125 SKYLINE RD S, SALEM, OREGON



AREA MAP
SCALE: 1"=1000'

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE CITY OF SALEM, THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (OR 811).
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITY CONNECTION POINTS PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF VEGA CIVIL ENGINEERING, LLC. POT HOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- VEGA CIVIL ENGINEERING, LLC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.



SITE PLAN LEGEND

EXISTING LANDSCAPE AREA
3.5 ACRES (32.7% OF TOTAL
SITE AREA)

PROPOSED TRAFFIC CALMING NOTE:

- INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"X12"X2-5/8"). SPEED BUMPS AT CROSSWALKS ARE TO BE INSTALLED PARALLEL TO CROSSWALK, AT A DISTANCE OF 6 FEET FROM THE PERPENDICULAR CURB LINE OR EDGE OF DRIVE AISLE LANE, UNLESS NOTED ON INDIVIDUAL PLAN SHEETS. WHERE TWO SPEED BUMPS ARE PLACED ADJACENT TO EACH OTHER, SEPARATION BETWEEN SPEED BUMPS, END-TO-END, SHALL BE 4 FEET.

SITE PLAN
SCALE: 1"=100'

GRADING & PAVING NOTES

- ALL SURFACES SHALL HAVE A MINIMUM 1.5% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS. ALL SURFACES SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY AND MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY VEGA CIVIL ENGINEERING, LLC IF THE GRADING PLAN DOES NOT PROVIDE POSITIVE DRAINAGE OR IF SLOPE CALLOUTS DO NOT MATCH SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND THE PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- THE CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING PER CITY OF PORTLAND TREE CODE, TITLE 11. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE LIMITS OF DEMOLITION. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY A QUALIFIED SURVEYOR, BASED ON INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER.
- ALL CONSTRUCTION WITHIN THE CITY OF SALEM RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN.

PROJECT DESCRIPTION

THERE ARE SEVERAL ADA PARKING AREAS THAT DO NOT MEET CURRENT ADA REQUIREMENTS. THIS PROJECT WILL REPLACE THE EXISTING ADA PARKING SPACES WITH NEW SPACES THAT MEET ADA REQUIREMENTS, INCLUDING SIGNAGE REQUIREMENTS.

CONSTRUCTION WILL REQUIRE THE REPLACEMENT OF PAVING, CURBS, RAMPS, SIDEWALKS, STRIPING, AND SIGNAGE.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	NO	NUMBER
BC	BOTTOM OF CURB	NTS	NOT TO SCALE
CONC	CONCRETE	PC	POINT OF CURVATURE
CONST	CONSTRUCT	PROP	PROPOSED
DTL	DETAIL	PT	POINT OF TANGENCY
EXIST/(E)	EXISTING	PVMT	PAVEMENT
EG	EXISTING GROUND	R	RADIUS
EXP	CURB EXPOSURE	ROW	RIGHT OF WAY
FF	GUTTER	STD	STANDARD
G/GUT	GRADE BREAK	TC	TOP OF CURB
GB	HORIZONTAL	TP	TOP OF PAVEMENT
L	LENGTH	TYP	TYPICAL
MAX	MAXIMUM		
MIN	MINIMUM		

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	MANHOLE	
	CATCH BASIN	
	LIGHT POLE	
	BOLLARD	
	SIGN	
	TREE	
	PROPERTY LINE	
	SAWCUT LINE	
	EDGE OF PAVEMENT	
	CURB	

CIVIL ENGINEER

ENGINEER:
VEGA CIVIL ENGINEERING, LLC
1300 SE STARK ST., #207
PORTLAND, OREGON 97214
(503) 349-1381
CONTACT: MARTHA WILLIAMSON, PE

SHEET INDEX

SHEET #	SHEET TITLE
C000	CIVIL NOTES
C101	DEMOLITION PLAN - AREA A
C102	DEMOLITION PLAN - AREA B
C103	DEMOLITION PLAN - AREA C
C104	DEMOLITION PLAN - AREA D
C105	DEMOLITION PLAN - AREA E
C201	LAYOUT AND GRADING PLAN - AREA A
C202	LAYOUT AND GRADING PLAN - AREA B
C203	LAYOUT AND GRADING PLAN - AREA C
C204	LAYOUT AND GRADING PLAN - AREA D
C205	LAYOUT AND GRADING PLAN - AREA E
C300	CIVIL DETAILS
C301	CIVIL DETAILS



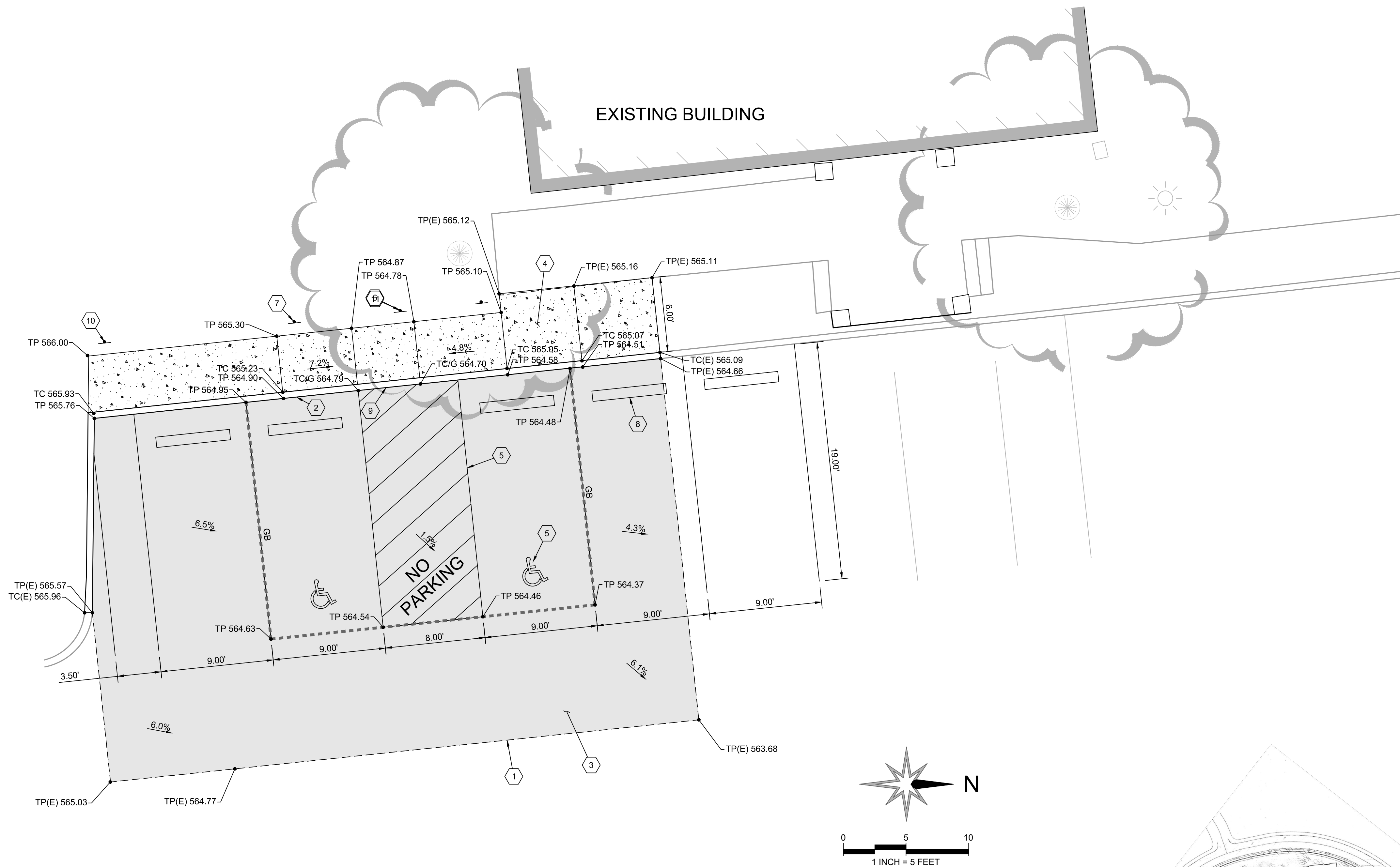
ADA PARKING UPGRADES
KAISER PERMANENTE
SKYLINE MEDICAL OFFICE
5125 SKYLINE RD S, SALEM, OREGON
CONSTRUCTION DRAWING SET

PERMIT SET

09.14.2021

CIVIL NOTES

C000



LAYOUT AND PAVING PLAN - AREA A
SCALE: 1"=5'

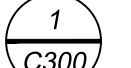
SHEET LEGEND

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

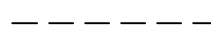
GRADE AT GUTTER
TOP OF CURB
TOP OF PAVEMENT
EXISTING



NEW ASPHALT



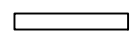
NEW CONCRETE
SIDEWALK PAVEMENT



SAWCUT



GRADE BREAK



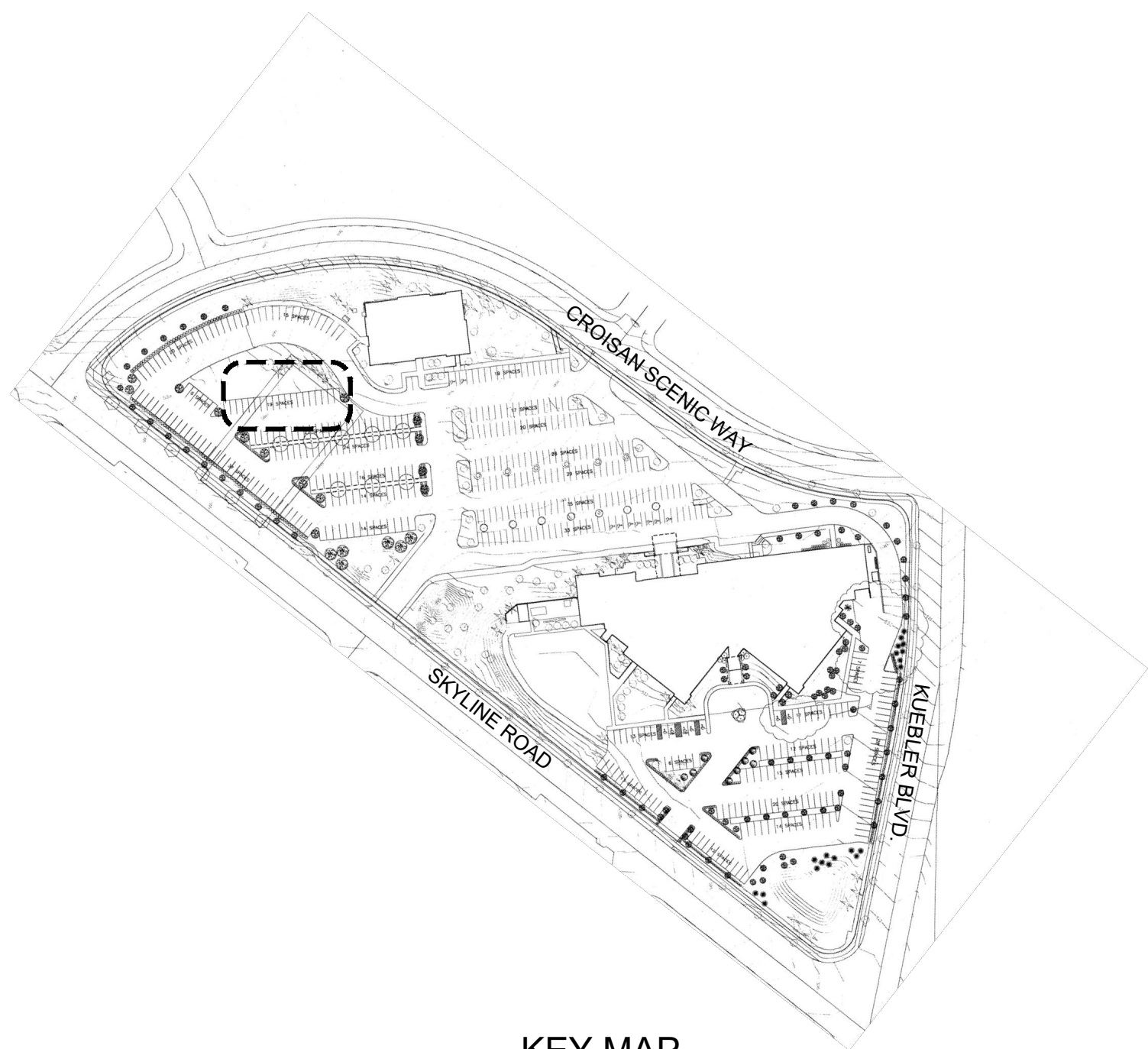
WHEELSTOP

CONSTRUCTION NOTES

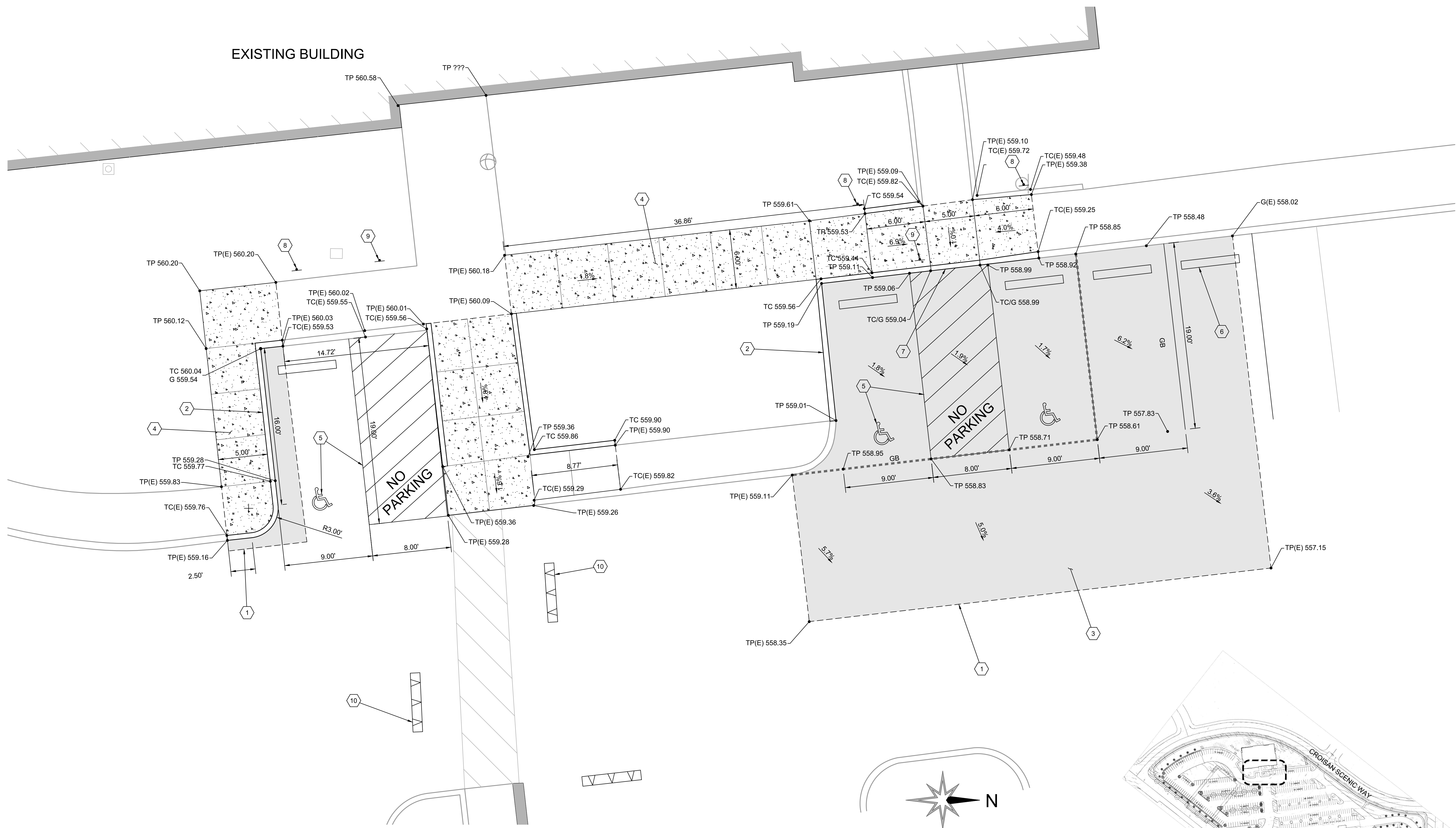
1. SAWCUT.
2. NEW STANDARD CONCRETE CURB PER STANDARD DETAIL 3/C300.
3. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
4. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
5. NEW PAVEMENT MARKINGS, TYP., SEE DETAILS 5/C300 AND 6/C300.
6. INSTALL NEW ACCESSIBLE PARKING SIGN AND VAN-ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5, THIS SHEET.
7. INSTALL NEW ACCESSIBLE PARKING SIGN, VAN-ACCESSIBLE ADA, AND WHEELCHAIR USER ONLY SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5, THIS SHEET.
8. REINSTALL PRESERVED WHEELSTOP OR INSTALL NEW WHEELSTOP, TYP., SEE DETAIL 9/C300.
9. NEW FLUSH CONCRETE CURB PER STANDARD DETAIL 4/C300.
10. INSTALL "MOTORCYCLE PARKING ONLY" SIGN.
11. INSTALL "ACCESS AISLE NO PARKING" SIGN OR7-9, SEE DETAIL 11/C300.

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.



KEY MAP
SCALE: NTS



LAYOUT AND GRADING PLAN - AREA B
SCALE: 1"=5'

SHEET LEGEND

G XXX.XX	GRADE AT GUTTER
TC XXX.XX	TOP OF CURB
TP XXX.XX (E)	TOP OF PAVEMENT EXISTING
	NEW ASPHALT
	NEW CONCRETE SIDEWALK PAVEMENT
	SAWCUT
	GRADE BREAK
	WHEELSTOP

CONSTRUCTION NOTES

1. SAWCUT.
2. NEW STANDARD CONCRETE CURB PER STANDARD DETAIL 3/C300.
3. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
4. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
5. NEW PAVEMENT MARKINGS, TYP., SEE DETAILS 5/C300 AND 6/C300.
6. REINSTALL PRESERVED WHEELSTOP OR INSTALL NEW WHEELSTOP, TYP., SEE DETAIL 9/C300.
7. NEW FLUSH CONCRETE CURB PER STANDARD DETAIL 4/C300.
8. INSTALL NEW ACCESSIBLE PARKING SIGN AND VAN-ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5, THIS SHEET.
9. INSTALL "ACCESS AISLE NO PARKING" SIGN OR7-9, SEE DETAIL 11/C300
10. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
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KEY MAP
SCALE: NTS



LAYOUT AND GRADING PLAN - AREA C
SCALE: 1"=10'

SHEET LEGEND

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

GRADE AT GUTTER
TOP OF CURB
TOP OF PAVEMENT
EXISTING



NEW ASPHALT

1
C300

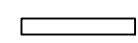


NEW CONCRETE
SIDEWALK PAVEMENT

2
C300

----- SAWCUT

--- GB --- GRADE BREAK



WHEELSTOP

CONSTRUCTION NOTES

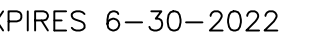
1. SAWCUT.
2. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
3. NEW PAVEMENT MARKINGS, TYP., SEE DETAILS 5/C300 AND 6/C300.
4. REINSTALL PRESERVED WHEELSTOP OR INSTALL NEW WHEELSTOP, TYP., SEE DETAIL 9/C300.
5. INSTALL NEW BOLLARD WITH ADA PARKING SIGN, SEE DETAIL 8/C300.SEE GENERAL NOTE 5, THIS SHEET.
6. INSTALL NEW BOLLARD WITH ACCESSIBLE PARKING SIGN AND VAN-ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 8/C300 AND 10/C300. SEE GENERAL NOTE 5, THIS SHEET.
7. INSTALL NEW BOLLARD WITH "ACCESS AISLE NO PARKING" SIGN OR7-9, SEE DETAILS 8/C300 AND 11/C300.
8. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
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3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.



KEY MAP
SCALE: NTS



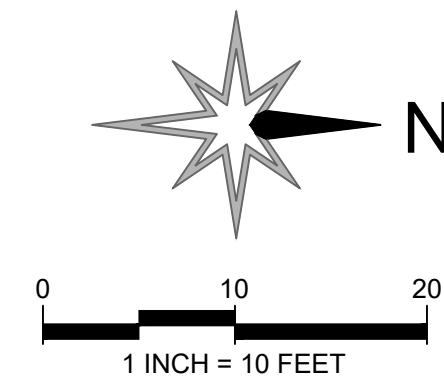
ADA PARKING UPGRADES
KAISER PERMANENTE
SKYLINE MEDICAL OFFICE
5125 SKYLINE RD S, SALEM, OREGON

CONSTRUCTION DRAWING SET

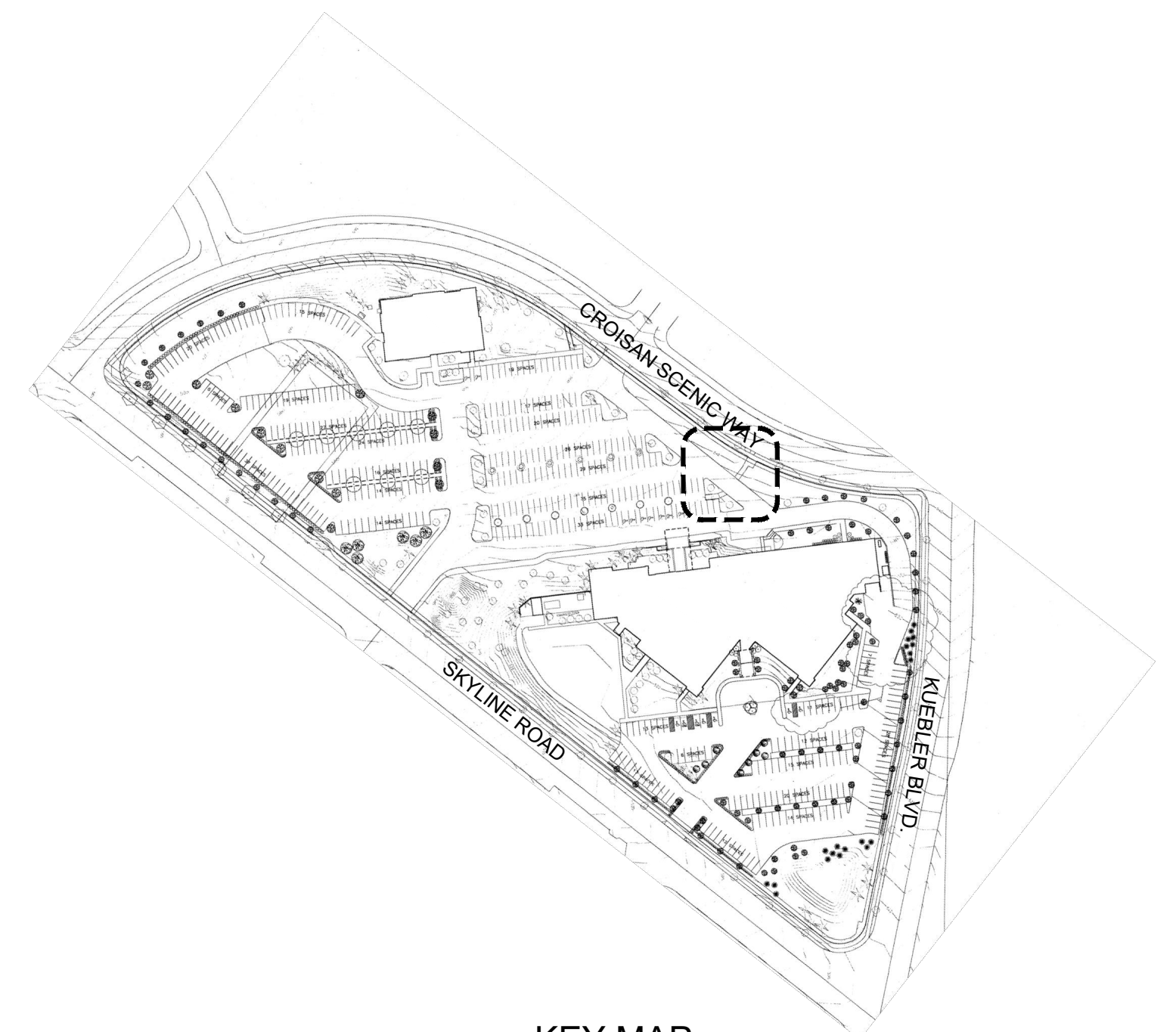
PERMIT SET
09.14.2021

LAYOUT AND
GRADING PLAN
AREA D

C204




LAYOUT AND GRADING PLAN - AREA D
SCALE: 1"=10'



KEY MAP
SCALE: NTS

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

TER
ENT

NEW CONCRETE
SIDEWALK PAVEMENT

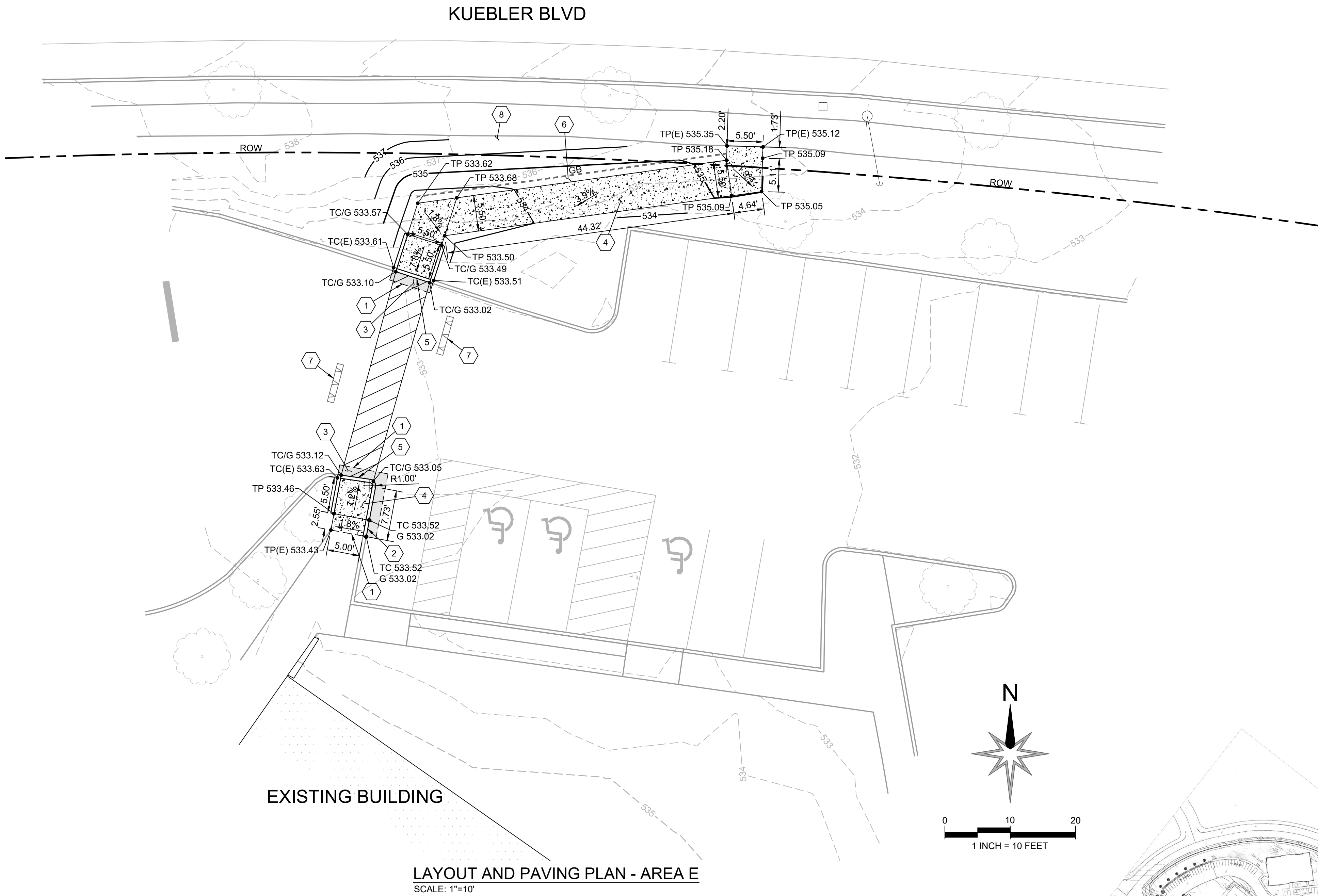
SAWCUT

GRADE BREAK

WHEELSTOP

1. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
2. NEW STANDARD CONCRETE CURB PER DETAIL 3/C300.
3. SAWCUT
4. INSTALL NEW HANDRAILS AT SIDEWALK, PER DETAIL 1/C301.
5. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
6. PROTECT EXISTING CURB.
7. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TERRA PLATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.
5. IF IN GOOD CONDITION, EXISTING ACCESSIBLE PARKING SIGNS THAT MEET CURRENT STANDARDS FOR MUTCD R7-8 AND R7-8a SIGNS MAY BE REUSED FOR NEW LOCATIONS AND ACCESSIBLE SIGNAGE.



SHEET LEGEND

G XXX.XX
TC XXX.XX
TP XXX.XX
(E)

GRADE AT GUTTER
TOP OF CURB
TOP OF PAVEMENT
EXISTING



NEW ASPHALT

1
C300



NEW CONCRETE
SIDEWALK PAVEMENT

2
C300

--- SAWCUT

--- GB ---

GRADE BREAK

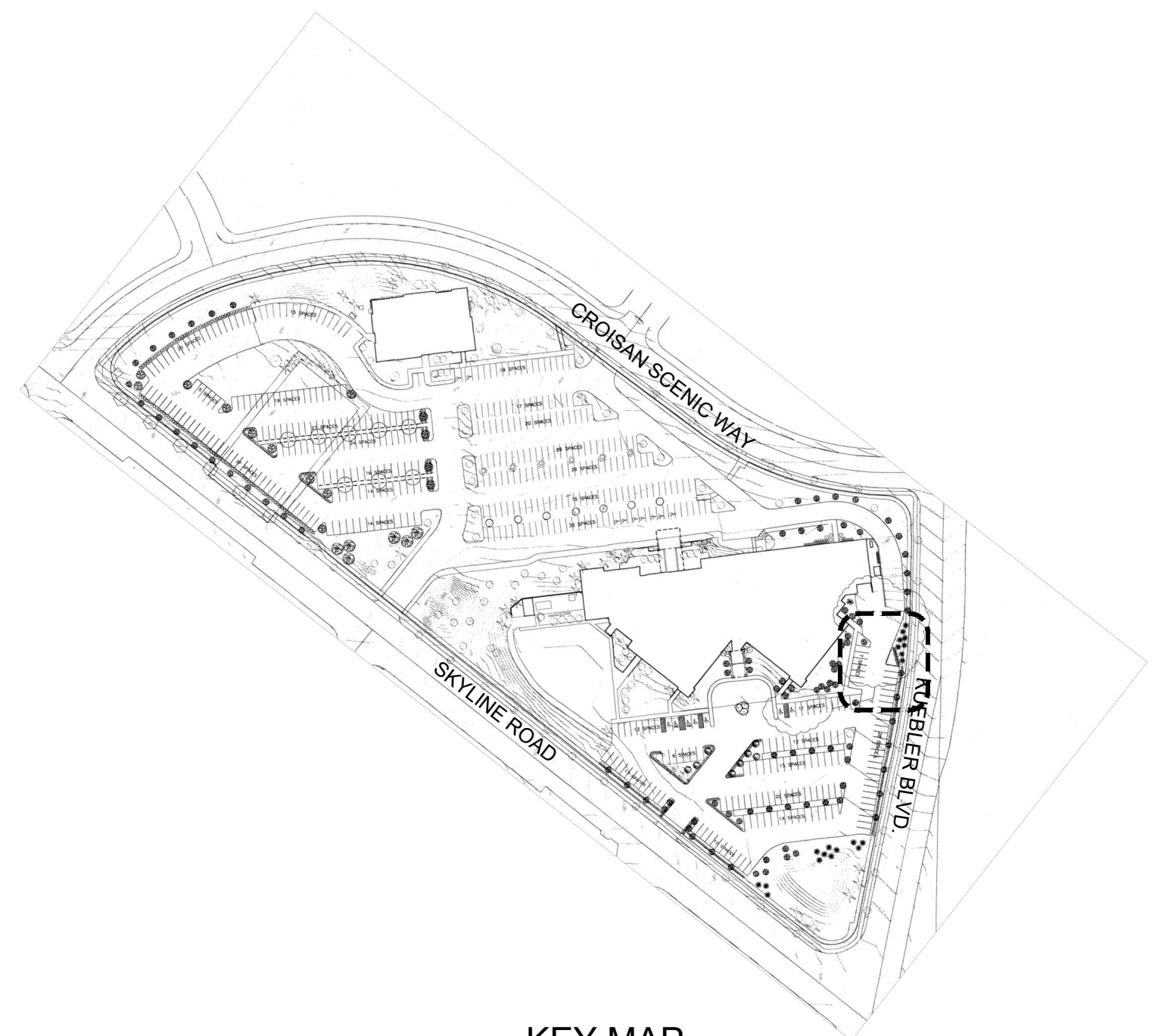
WHEELSTOP

CONSTRUCTION NOTES

1. SAWCUT.
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3. ASPHALT PAVING PER STANDARD DETAIL 1/C300.
4. NEW CONCRETE PAVING PER STANDARD DETAIL 2/C300.
5. NEW FLUSH CONCRETE CURB PER STANDARD DETAIL 4/C300.
6. PROVIDE 1-FOOT WIDE EARTHEN BENCH BETWEEN SIDEWALK AND SLOPE.
7. INSTALL NEW RECYCLED RUBBER SPEED BUMP (72"x12"x2-5/8").
8. PROVIDE EARTHEN BENCH AT TOP OF PROPOSED SLOPE, TO SEPARATE EXISTING PUBLIC SIDEWALK FROM SLOPE.

GENERAL NOTES

1. PROPOSED DESIGN IS BASED ON SURVEYED GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS.
2. TRUNCATED DOMES ARE NOT REQUIRED ON PRIVATE PROPERTY.
3. ANY STRIPING DAMAGED DUE TO CONSTRUCTION TO BE REPLACED IN KIND.
4. CONSTRUCTION STAKING BY SURVEYOR IS NEEDED TO ENSURE ACCURACY FOR ADA COMPLIANCE.



KEY MAP
SCALE: NTS