

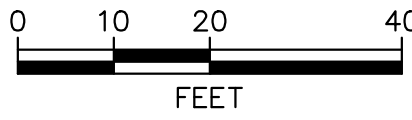
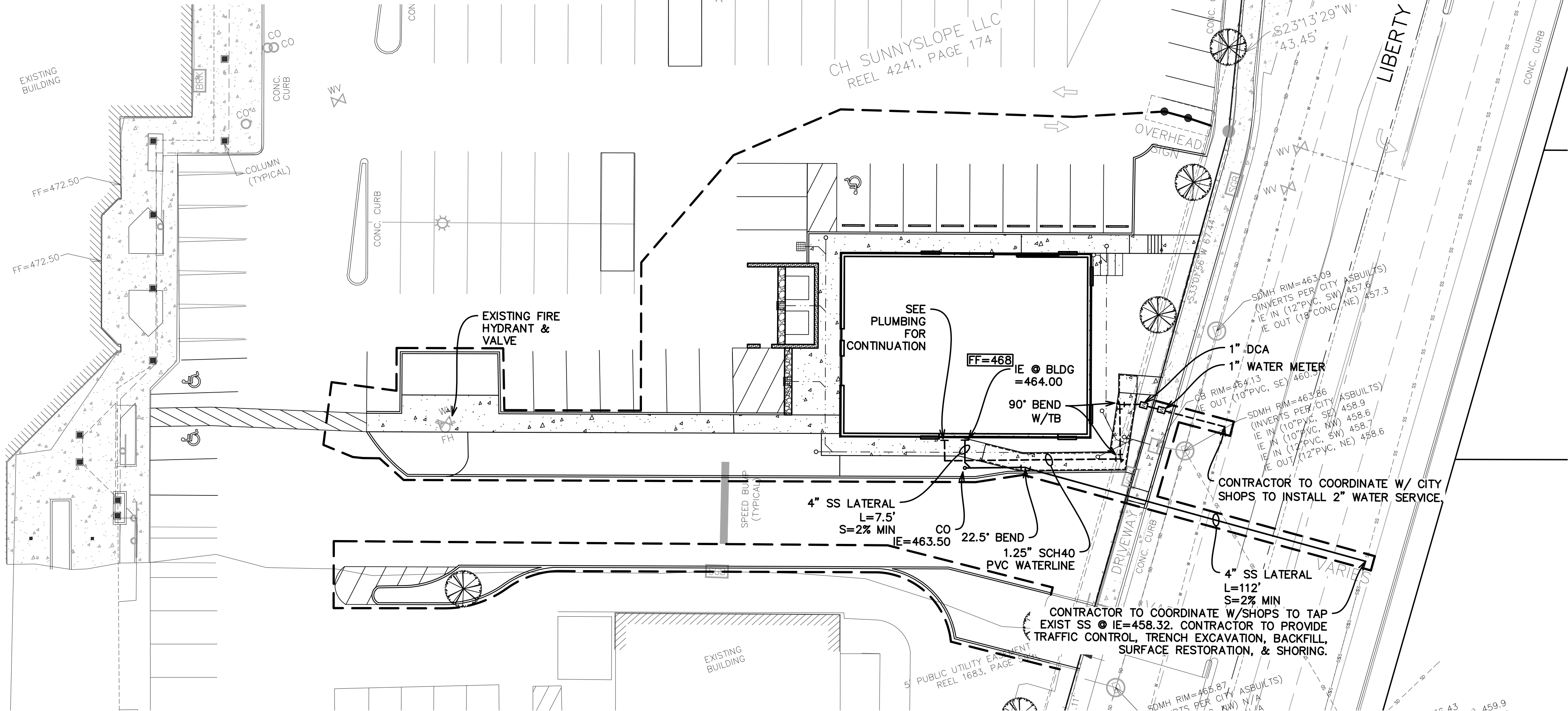
REVIEW REVIEW

REGISTERED PROFESSIONAL ENGINEER
STATE OF OREGON
NOV. 12, 2002
STILLMAN J.


RENEWING: 6/30/2022

STUDIO 3 ARCHITECTURE
SUNNYSLOPE SHOPPING CENTER –
SHERWIN WILLIAMS
GRADING & DRAINAGE PLAN

DRAWING
C2.0
JOB NUMBER
3278.0000.0



VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING

0  1"

IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

DSN.	JW
DRN.	IH
CKD.	JW
DATE:	JUNE 2021A

DATE: JUNE 2021/

REVIEW REVIEW



RENEWALS: 6/30/2022

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

VB

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

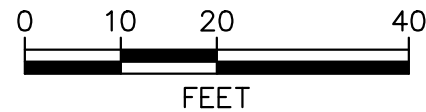
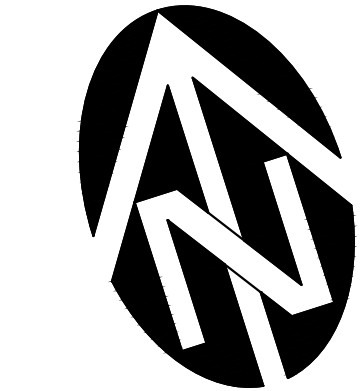
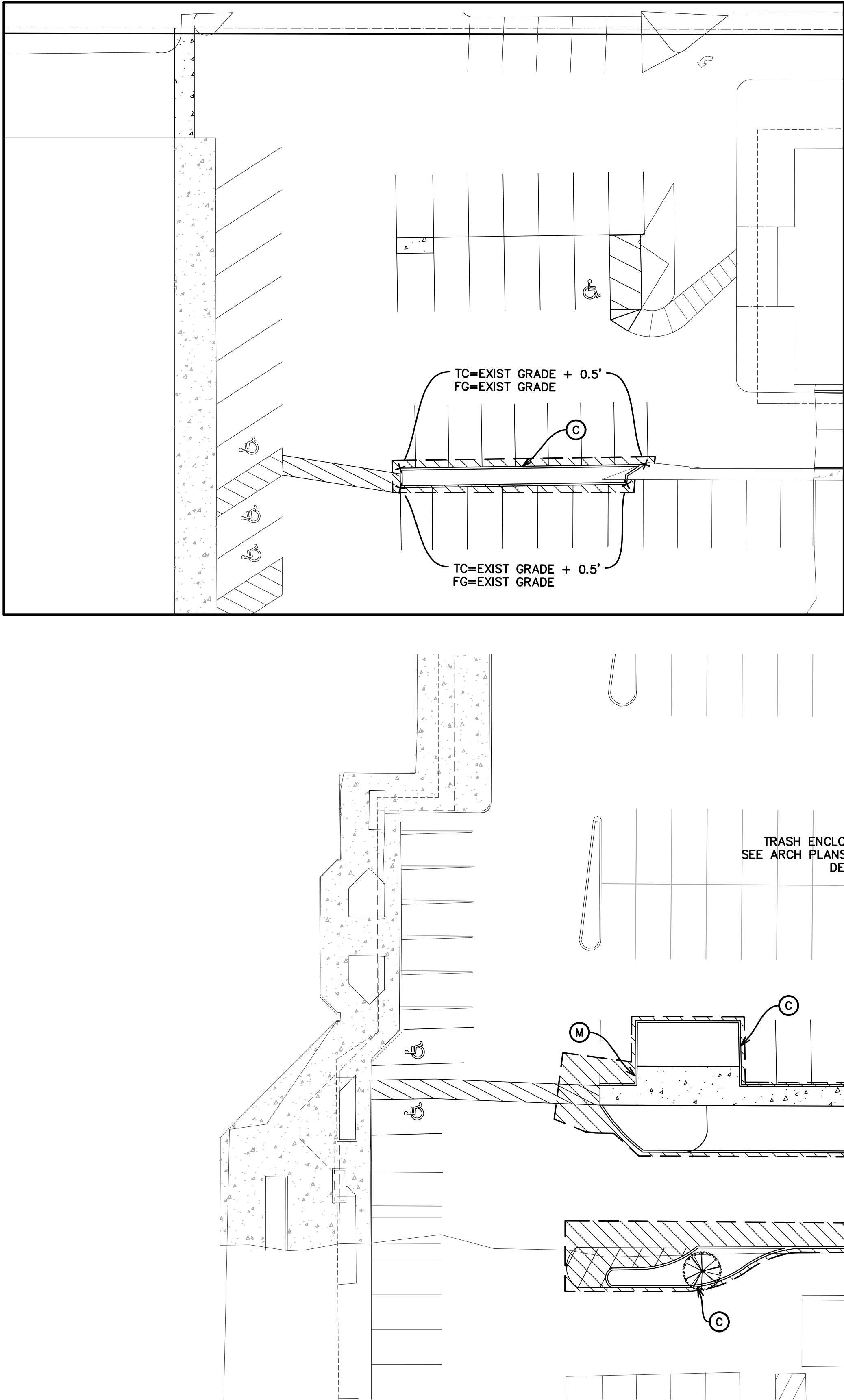
STUDIO 3 ARCHITECTURE
SUNNYSLOPE SHOPPING CENTER –
SHERWIN WILLIAMS

UTILITY PLAN

DRAWING
C3.0

JOB NUMBER

3278.0000.0



SURFACING LEGEND	
	3" OF 1/2" DENSE-GRADED HMAC OVER 10" OF 1"-0 CRUSHED ROCK OVER COMPACTED SUBGRADE.
	4" THICK PCC (4000 PSI) OVER 2" OF COMPACTED 1"-0'
	HEAVY DUTY PCC 8" OF 4000 PSI (@ 28 DAYS) CONCRETE OVER 6" OF COMPACTED 1"-0 OVER APPROVED SUBGRADE.
	TYPE "C" CURB.
	MONOLITHIC CURB & SIDEWALK.
	RAILING (SEE ARCH PLANS FOR DETAILS).
	RAMP (SEE ARCH PLANS FOR DETAILS).

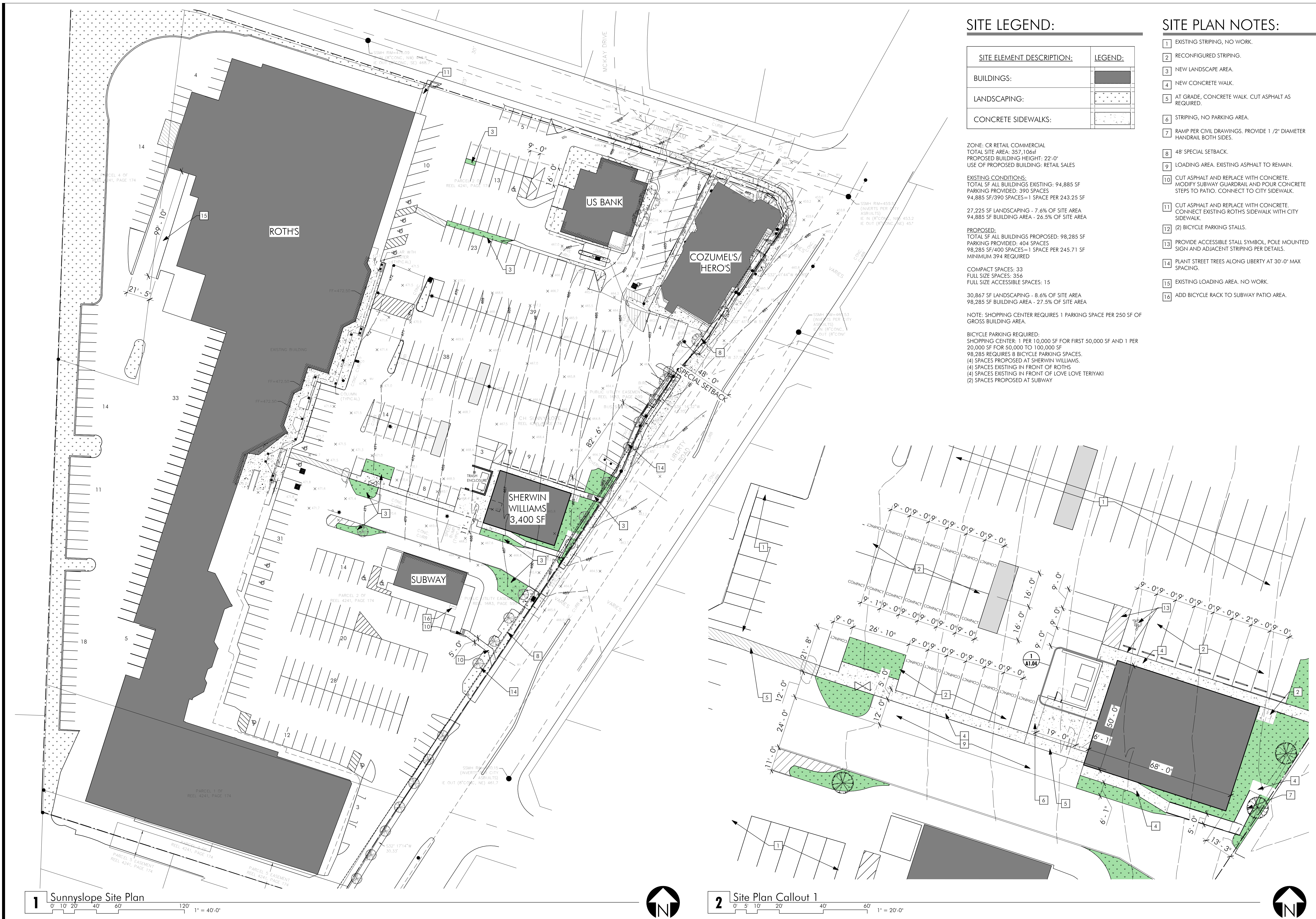
STUDIO 3 ARCHITECTURE
SUNNYSLOPE SHOPPING CENTER -
SHERWIN WILLIAMS
SURFACING PLAN

WE
WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

REVIEW
PROFESSIONAL ENGINEER
WILLIAM J. WILLIAMS
No. 12-00000001
REVIEW: 9/20/2022

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON ORIGINAL DRAWING SCALE ACCURACLY	DSN. JW	DRN. JH	NO. 1	DATE	DESCRIPTION	BY
DATE: JUNE 2021	CKD. JW				REVISIONS	

DRAWING
C4.0
JOB NUMBER
3278.0000.0



SITE LEGEND:

SITE ELEMENT DESCRIPTION:	LEGEND:
BUILDINGS:	[Solid Grey Box]
LANDSCAPING:	[Dotted Pattern Box]
CONCRETE SIDEWALKS:	[Stippled Pattern Box]

ZONE: CR RETAIL COMMERCIAL
TOTAL SITE AREA: 357,106sf
PROPOSED BUILDING HEIGHT: 22'-0"
USE OF PROPOSED BUILDING: RETAIL SALES

EXISTING CONDITIONS:
TOTAL SF ALL BUILDINGS EXISTING: 94,885 SF
PARKING PROVIDED: 390 SPACES
94,885 SF/390 SPACES=1 SPACE PER 243.25 SF

27,225 SF LANDSCAPING - 7.6% OF SITE AREA
94,885 SF BUILDING AREA - 26.5% OF SITE AREA

PROPOSED:
TOTAL SF ALL BUILDINGS PROPOSED: 98,285 SF
PARKING PROVIDED: 404 SPACES
98,285 SF/400 SPACES=1 SPACE PER 245.71 SF
MINIMUM 394 REQUIRED

COMPACT SPACES: 33
FULL SIZE SPACES: 356
FULL SIZE ACCESSIBLE SPACES: 15

30,867 SF LANDSCAPING - 8.6% OF SITE AREA
98,285 SF BUILDING AREA - 27.5% OF SITE AREA

NOTE: SHOPPING CENTER REQUIRES 1 PARKING SPACE PER 250 SF OF GROSS BUILDING AREA.

BICYCLE PARKING REQUIRED:
SHOPPING CENTER: 1 PER 10,000 SF FOR FIRST 50,000 SF AND 1 PER 20,000 SF FOR 50,000 TO 100,000 SF
98,285 REQUIRES 8 BICYCLE PARKING SPACES.
(4) SPACES PROPOSED AT SHERWIN WILLIAMS.
(4) SPACES EXISTING IN FRONT OF ROTH'S
(4) SPACES EXISTING IN FRONT OF LOVE LOVE TERIYAKI
(2) SPACES PROPOSED AT SUBWAY

SITE PLAN NOTES:

- 1 EXISTING STRIPING, NO WORK.
- 2 RECONFIGURED STRIPING.
- 3 NEW LANDSCAPE AREA.
- 4 NEW CONCRETE WALK.
- 5 AT GRADE, CONCRETE WALK. CUT ASPHALT AS REQUIRED.
- 6 STRIPING, NO PARKING AREA.
- 7 RAMP PER CIVIL DRAWINGS. PROVIDE 1/2" DIAMETER HANDRAIL BOTH SIDES.
- 8 48" SPECIAL SETBACK.
- 9 LOADING AREA. EXISTING ASPHALT TO REMAIN.
- 10 CUT ASPHALT AND REPLACE WITH CONCRETE. MODIFY SUBWAY GUARDRAIL AND POUR CONCRETE STEPS TO PATIO. CONNECT TO CITY SIDEWALK.
- 11 CUT ASPHALT AND REPLACE WITH CONCRETE. CONNECT EXISTING ROTH'S SIDEWALK WITH CITY SIDEWALK.
- 12 (2) BICYCLE PARKING STALLS.
- 13 PROVIDE ACCESSIBLE STALL SYMBOL, POLE MOUNTED SIGN AND ADJACENT STRIPING PER DETAILS.
- 14 PLANT STREET TREES ALONG LIBERTY AT 30'-0" MAX SPACING.
- 15 EXISTING LOADING AREA. NO WORK.
- 16 ADD BICYCLE RACK TO SUBWAY PATIO AREA.

275 COURT ST. NE
SALEM, OR 97301-3442
P: 503.390.6500
www.studio3architecture.com

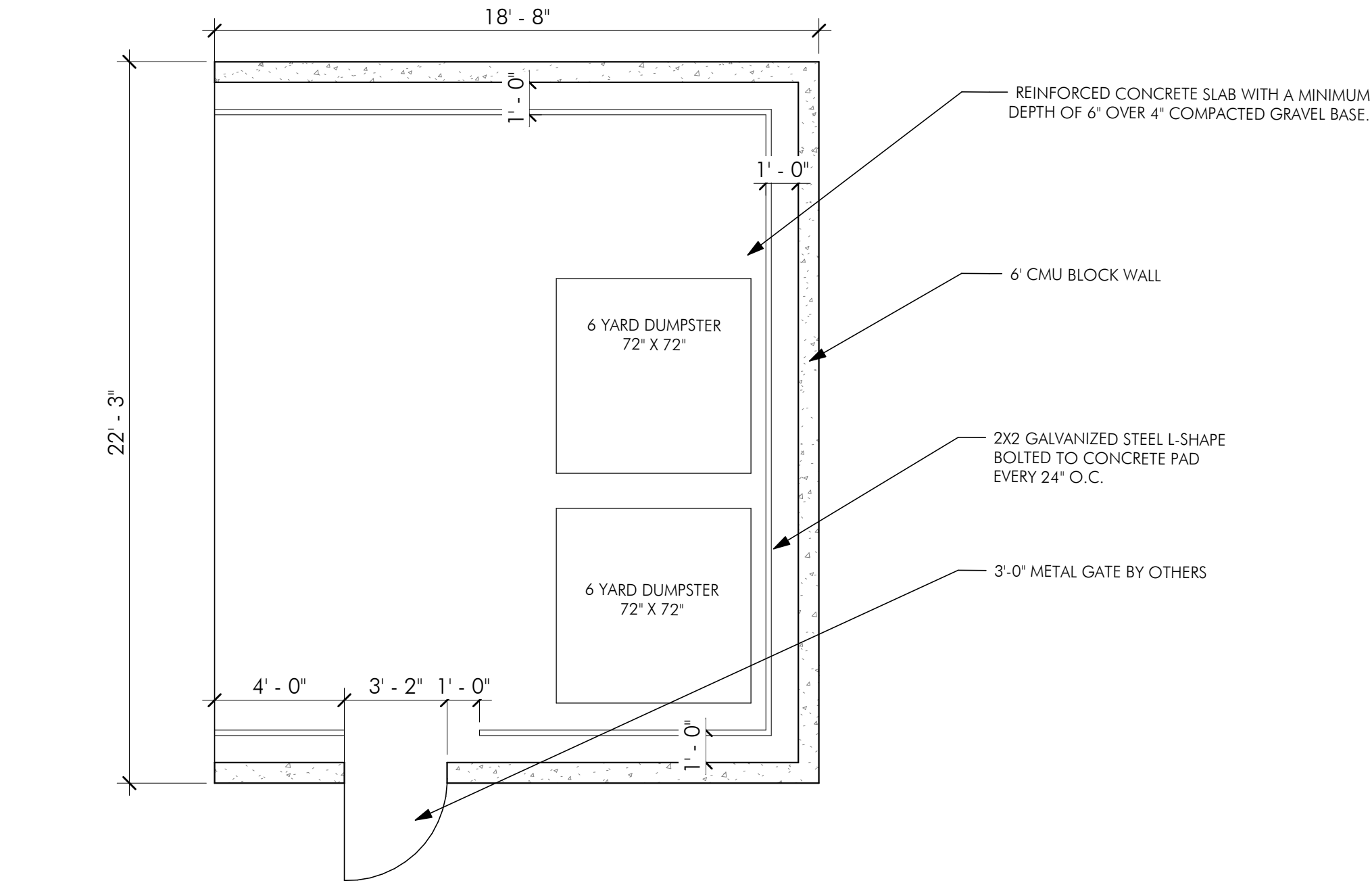


IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

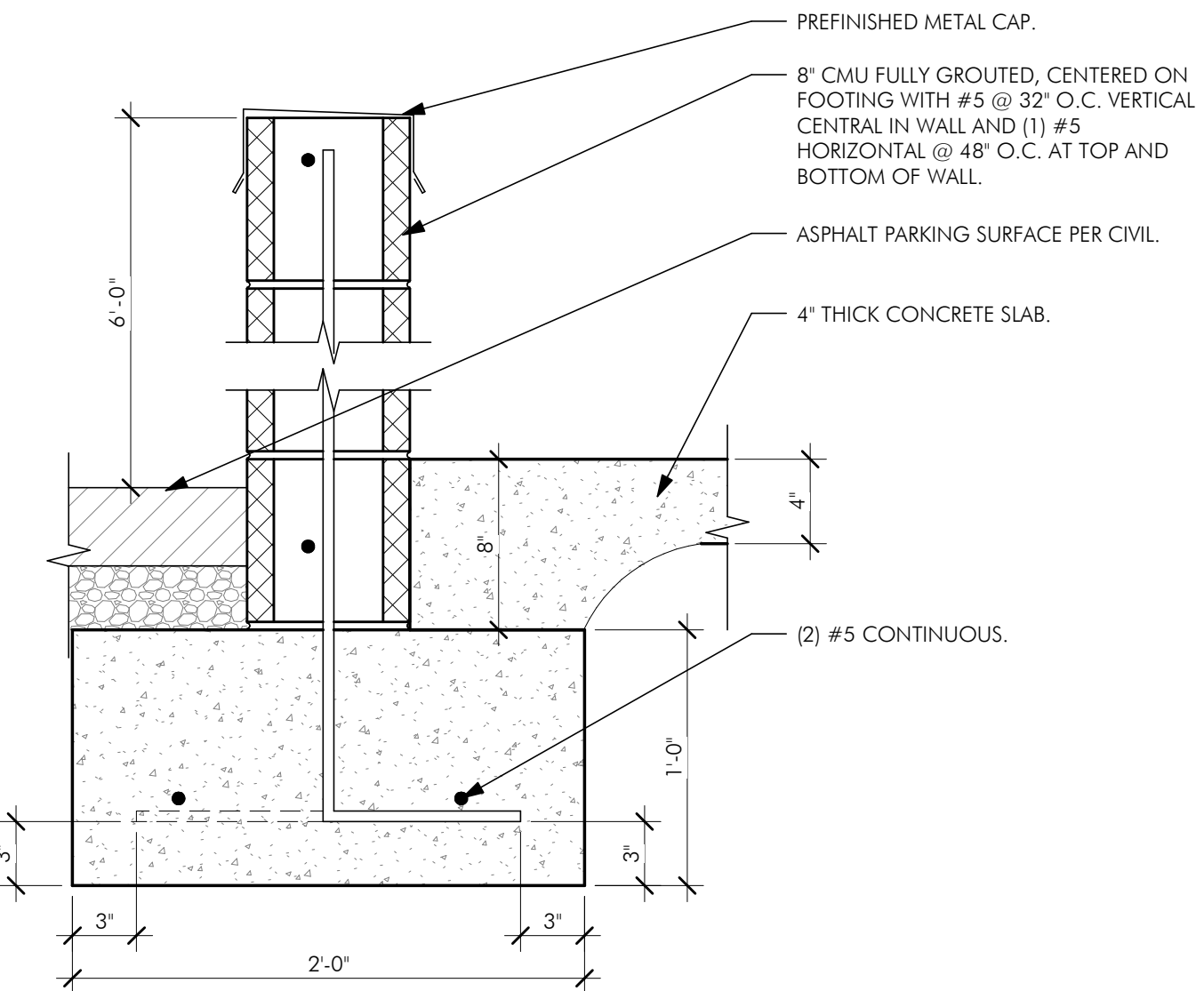
PROJECT # 2021-004
DATE: 9/26/2021

REVISIONS

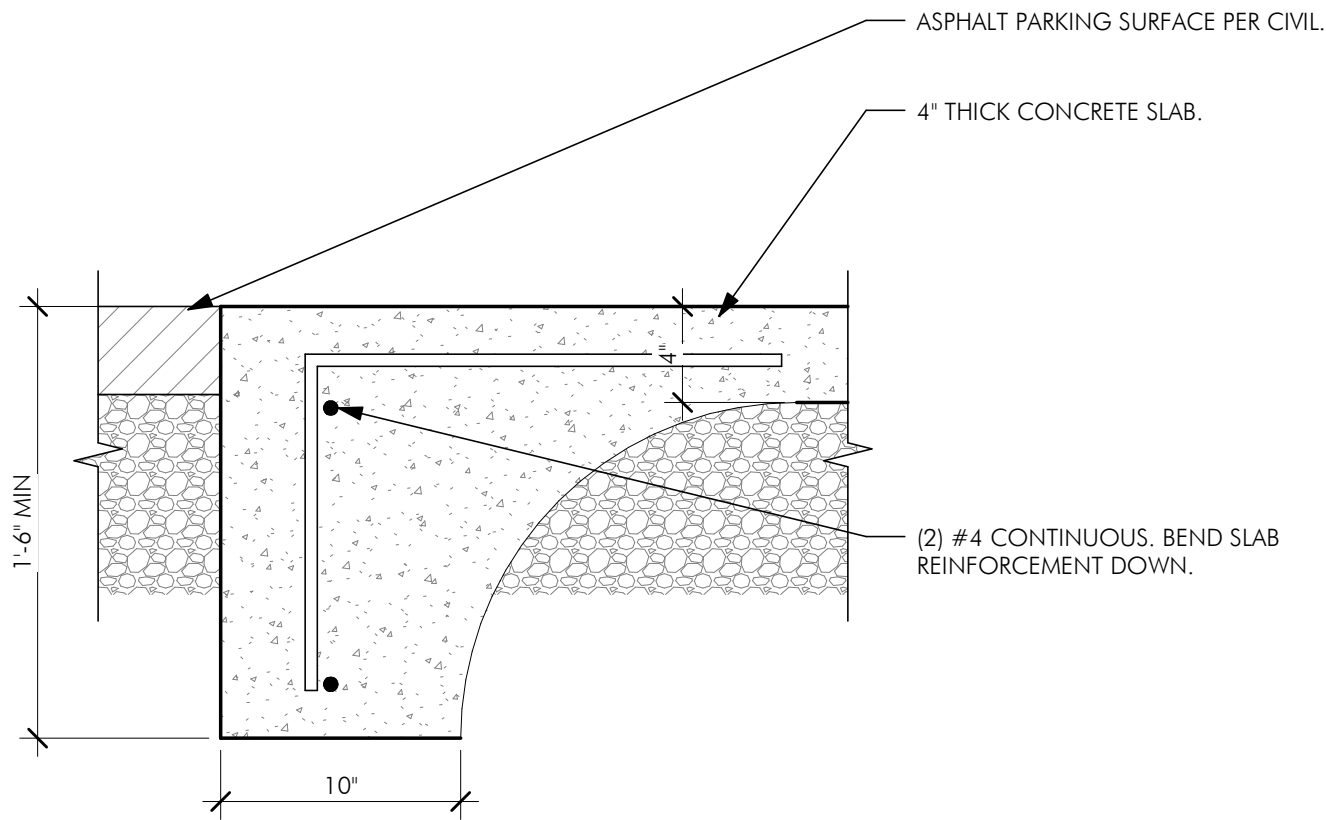
NEW BUILDING FOR:
SHERWIN WILLIAMS
SUNNYSLOPE PLAZA - LIBERTY ROAD S - SALEM, OR



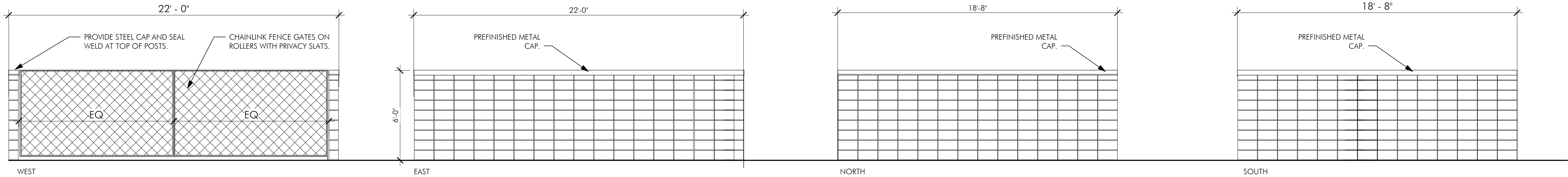
1 TRASH ENCLOSURE



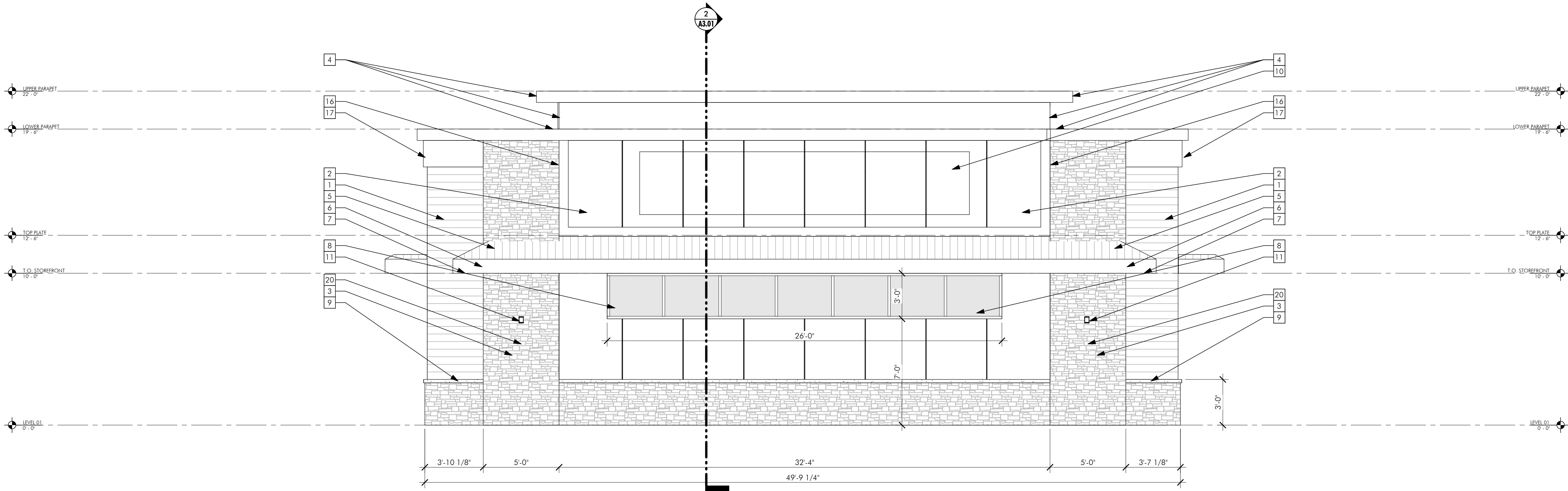
2 TRASH ENCLOSURE FOOTING



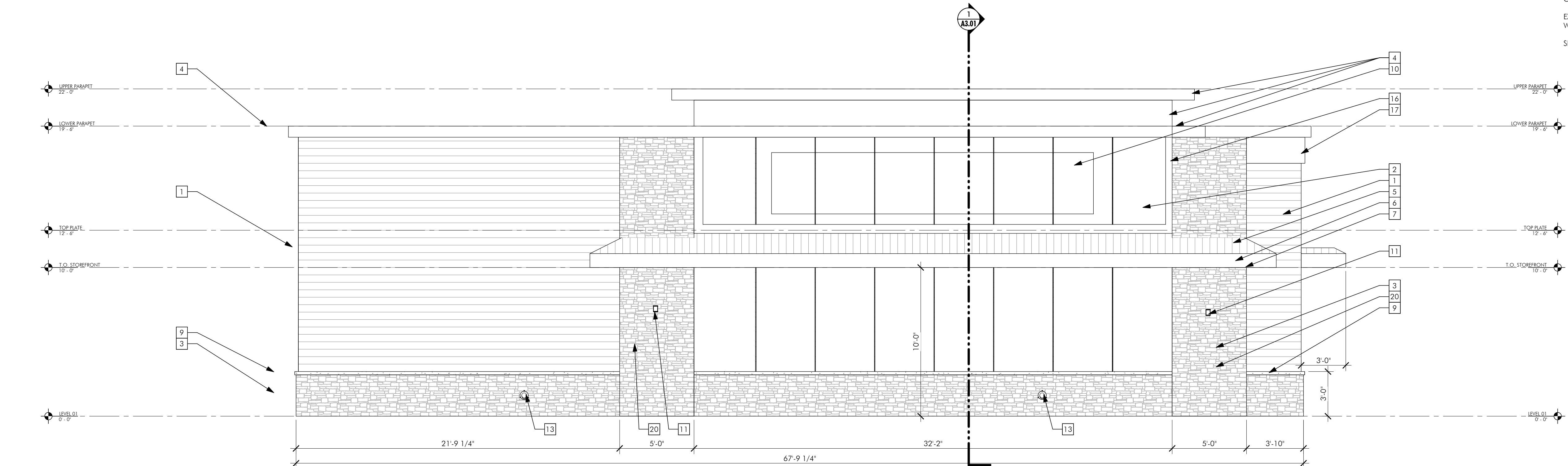
3 TRASH ENCLOSURE FOOTING @ OPENING



4 TRASH ENCLOSURE ELEVATIONS



1 East Elevation



2 South Elevation

ELEVATION NOTES:

- JAMES HARDIE ARTISAN BEVEL CHANNEL SIDING, 7" EXPOSURE W/ WITH XTREME TRIM EDGE FLASHINGS. COLOR: "QUIVER TAN" SW 6151
- JAMES HARDIE REVEAL PANEL, COMMERCIAL LINE, WITH XTREME TRIM 1/2" CHANNELS AND EDGE FLASHINGS. COLOR: "UNIVERSAL KHAKI" SW6150
- STONE VENEER: OWENS CORNING "CULTURED STONE" SUEDE DRYSTACK LEDGESTONE CVS-2010.
- PARAPET ROOF FLASHINGS TO BE MIN .032" ANODIZED ALUMINUM OR MIN 26 GA STEEL. ALL FLASHINGS TO BE FIELD PAINTED. COLOR: "ECLIPSE" SW6166
- STANDING SEAM METAL PANELS "MCBI" CRAFTSMEN SERIES #5812 (12") OVER STRUCTURAL STEEL SUPPORT FRAME. CONCEAL ATTACHMENTS AND MATCHING TRIM. MINI CLEAR SNOW/ICE BRAKE TABS TO BE INSTALLED ON ALL CANOPIES.
- CANOPY FASICA TO BE PRE-FINISHED GALVANIZED FLASHING. COLOR TO MATCH STOREFRONT FRAMING.
- CANOPY SOFFIT TO BE PREFINISHED PANELS, "MCBI" ARTISAN SERIES #112 (12" W/ BEADS) SOFFIT PANELS W/ END CLOSURES. COLOR: WHITE.
- KAWNEER 2' X 4 1/2" EXTRUDED ALUMINUM STOREFRONT. THERMALLY BROKEN FRAMES. COLOR: NATURAL ALUMINUM, ANODIZED. 1" DOUBLE 1/4" PANE CLEAR GLAZING.
- PRE-CAST CONCRETE SILL. SLOPE TO DRAIN.
- LOCATION OF SIGNAGE, PROVIDE POWER. COORDINATE FINAL SIGNAGE AND LOCATION WITH OWNER AND SIGN COMPANY.
- LED UP/DOWN EXTERIOR LIGHT. FIXTURE: TBD.
- LED EXTERIOR WALL PACK LIGHT. FIXTURE: TBD.
- OVERFLOW NOZZLE, 2'-4" ABOVE FINISH FLOOR ELEVATION, TYP.
- PREFERRED GAS METER LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY.
- PREFERRED ELECTRICAL METER LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY.
- 6" NOMINAL FIBER CEMENT TRIM, SMOOTH. COLOR TO MATCH PARAPET FLASHING.
- 2X OVERFRAMING, WITH PREFINISHED METAL FLASHING. COLOR TO MATCH PARAPET FLASHING.
- 8X10 20 GA INSULATED STEEL SECTIONAL DOOR. COLOR: "QUIVER TAN" SW 6151
- HOLLOW METAL INSULATED DOOR. COLOR: "QUIVER TAN" SW 6151
- 2X6 WOOD FRAMED BUMP OUT AT CULTURED STONE PILASTERS.

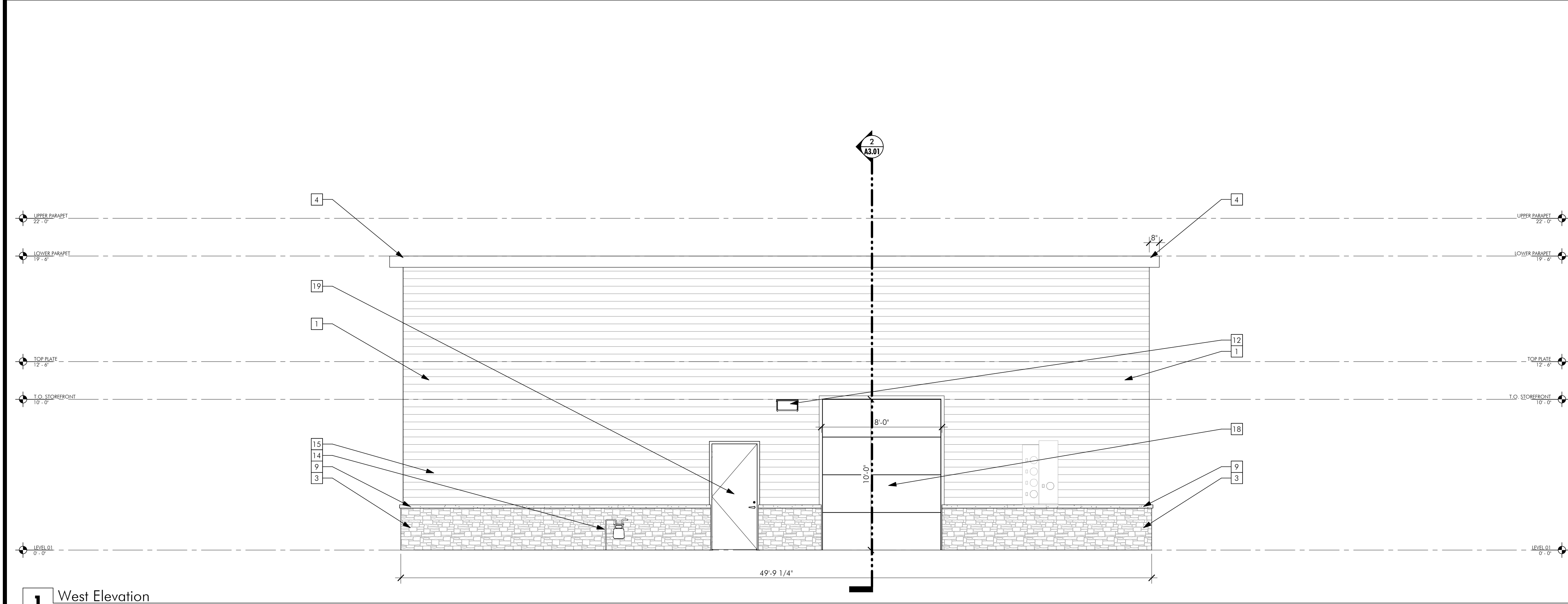
NOTES:

ROOF ASSEMBLY: 60 MIL SINGLE PLY WHITE TPO OR WHITE EPDM, FULLY ADHERED, OVER COVERBOARD, OVER RIGID INSULATION AS REQUIRED, OVER PLYWOOD PER STRUCTURAL OVER OPEN WEB JOISTS.

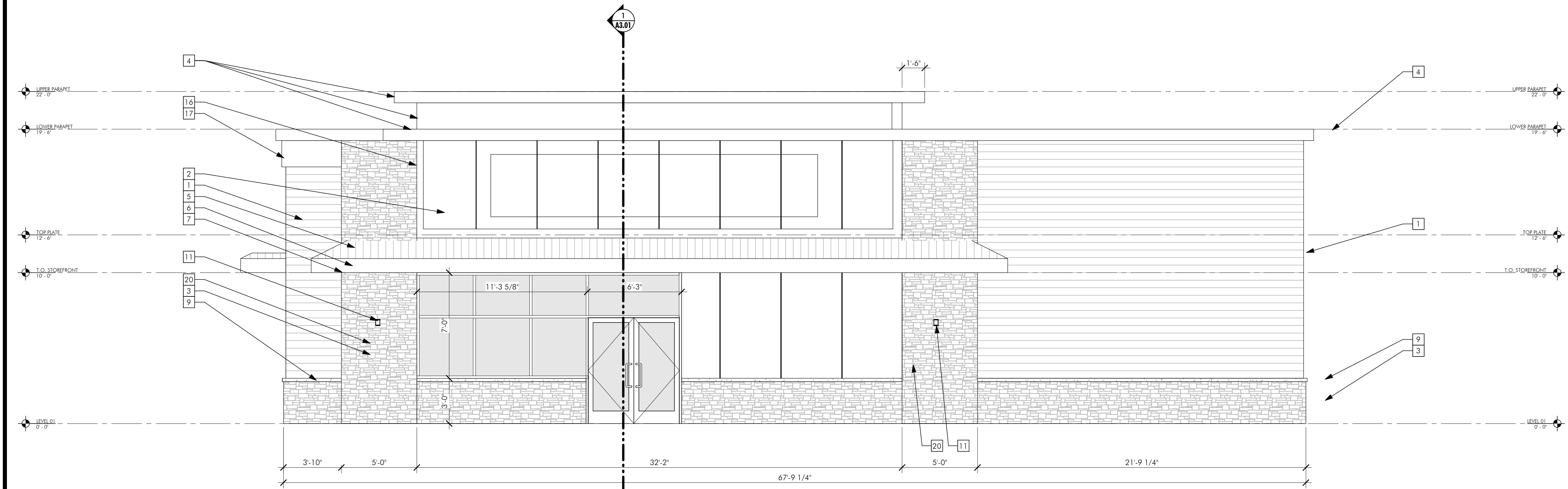
ROOF TO BE SINGLE SLOPE WITH TAPERED INSULATION CRICKETING, MIN. TWO ROOF DRAINS WITH OVERFLOWS.

EXTERIOR WALL ASSEMBLY: 2X8 (ASSUMED) WOOD STUDS WITH MIN R-21 BATT INSULATION.

SLAB ON GRADE.



1 West Elevation



2 North Elevation

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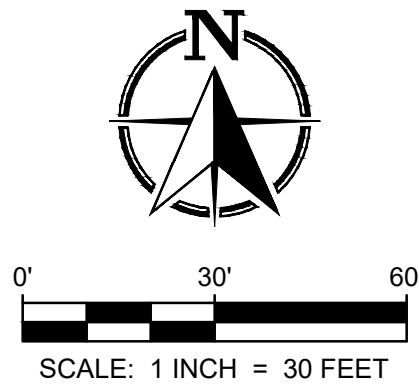
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EXTERIOR WALL ASSEMBLY: 2X8 (ASSUMED) WOOD STUDS WITH MIN R-21 BATT INSULATION.

SLAB ON GRADE.



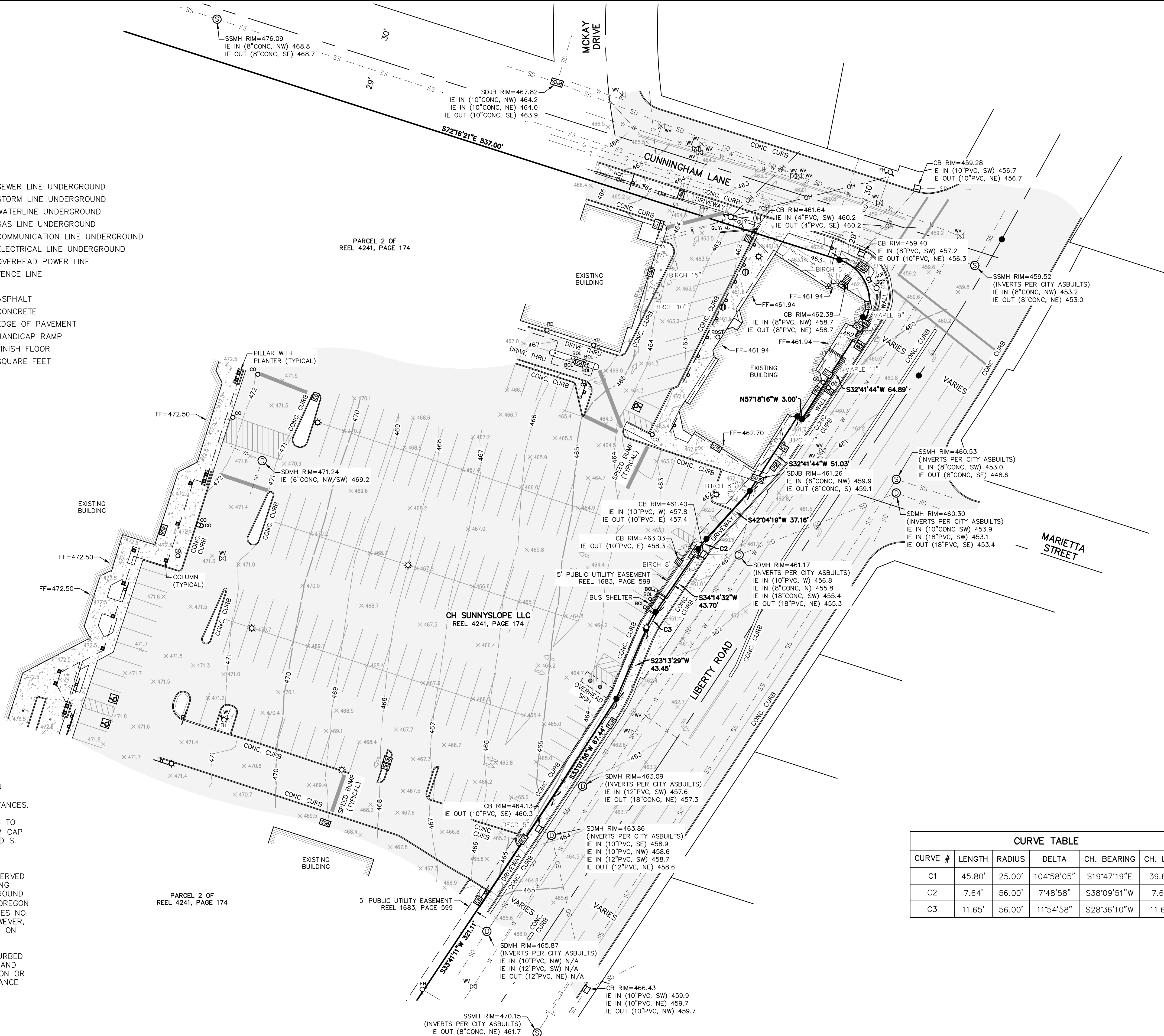
LEGEND

- FOUND MONUMENT
- ⊙ STORM DRAIN MANHOLE
- ⊙ STORM JUNCTION BOX
- ⊙ CATCH BASIN
- ⊙ CURB INLET
- ⊙ AREA DRAIN
- ⊙ ROOF DRAIN
- ⊙ SANITARY SEWER MANHOLE
- ⊙ CLEANOUT
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ WATER FAUCET
- ⊙ IRRIGATION VALVE
- ⊙ ELECTRICAL BOX
- ⊙ POWER METER
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ UTILITY STUB UP
- ⊙ UNKNOWN UTILITY BOX
- ⊙ GAS METER
- ⊙ TRAFFIC SIGNAL BOX
- ⊙ TRAFFIC SIGNAL POLE
- ⊙ SIGN
- ⊙ MISC. POST
- ⊙ BOLLARD
- ⊙ BIKE RACK
- ⊙ MAILBOX
- ⊙ HANDICAP PARKING
- ⊙ CONCRETE
- ⊙ ASPHALT
- ⊙ DECIDUOUS TREE & TRUNK SIZE

- SS --- SEWER LINE UNDERGROUND
- SD --- STORM LINE UNDERGROUND
- W --- WATERLINE UNDERGROUND
- G --- GAS LINE UNDERGROUND
- T --- COMMUNICATION LINE UNDERGROUND
- E --- ELECTRICAL LINE UNDERGROUND
- OH --- OVERHEAD POWER LINE
- X --- FENCE LINE
- AC ASPHALT
- CONC CONCRETE
- E.O.P. EDGE OF PAVEMENT
- HCR HANDICAP RAMP
- FF FINISH FLOOR
- SF SQUARE FEET

NOTES

1. BASIS OF BEARINGS AND COORDINATE SYSTEM IS BASED ON OREGON STATE PLANE NORTH ZONE, NAD83(2011), EPOCH 2010.00. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
2. ELEVATIONS WERE ESTABLISHED BY GPS RTK OBSERVATIONS TO CITY OF SALEM BENCHMARK "8207". MARK IS AN ALUMINUM CAP IN THE CURB AT THE NORTHEAST CORNER OF LIBERTY ROAD S. AND KUEBLER BOULEVARD SE. ELEVATION = 476.56' (CITY OF SALEM DATUM)
3. THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED VISIBLE EVIDENCE OF ABOVE GROUND APPURTENANCES ALONG WITH SURFACE UTILITY MARKINGS BY OTHERS. ALL UNDERGROUND UTILITIES SHOWN WERE MARKED ON THE SURFACE BY AN "OREGON ONE-CALL NOTIFICATION CENTER" REQUEST. SURVEYOR MAKES NO GUARANTEE AS TO THE ACCURACY OF SAID MARKINGS, HOWEVER, THEY ARE LOCATED AS ACCURATELY AS THEY ARE MARKED ON THE GROUND.
4. PER ORS 209.150, ANY SURVEY MONUMENT REMOVED, DISTURBED OR DESTROYED SHALL BE REPLACED BY A PROFESSIONAL LAND SURVEYOR WITHIN 90 DAYS AT THE EXPENSE OF THE PERSON OR PUBLIC AGENCY RESPONSIBLE FOR SAID REMOVAL, DISTURBANCE OR DESTRUCTION.
5. FIELD SURVEYED FEBRUARY, 2021.



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH. BEARING	CH. LEN.
C1	45.80'	25.00'	104°58'05"	S19°47'19"E	39.66'
C2	7.64'	56.00'	7°48'58"	S38°09'51"W	7.63'
C3	11.65'	56.00'	11°54'58"	S28°36'10"W	11.63'

FORTY FIVE NORTH
SURVEYING, LLC



7230 3rd Street SE #145, Turner, OR 97392
P: (503) 558-3330 E: info@ffnsurveying.com

TOPOGRAPHIC SURVEY
FOR: 4435 LIBERTY ROAD S.
IN THE NE 1/4 OF SECTION 9, T.8S., R.3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
SEPTEMBER 12, 2017
STEVEN J. HOWELL
91559

RENEWALS: 6-30-2021

REVISIONS

NO.	DATE	DESCRIPTION
0	01MAR21	INITIAL RELEASE

JOB NO. 21-252

SHEET 1/1