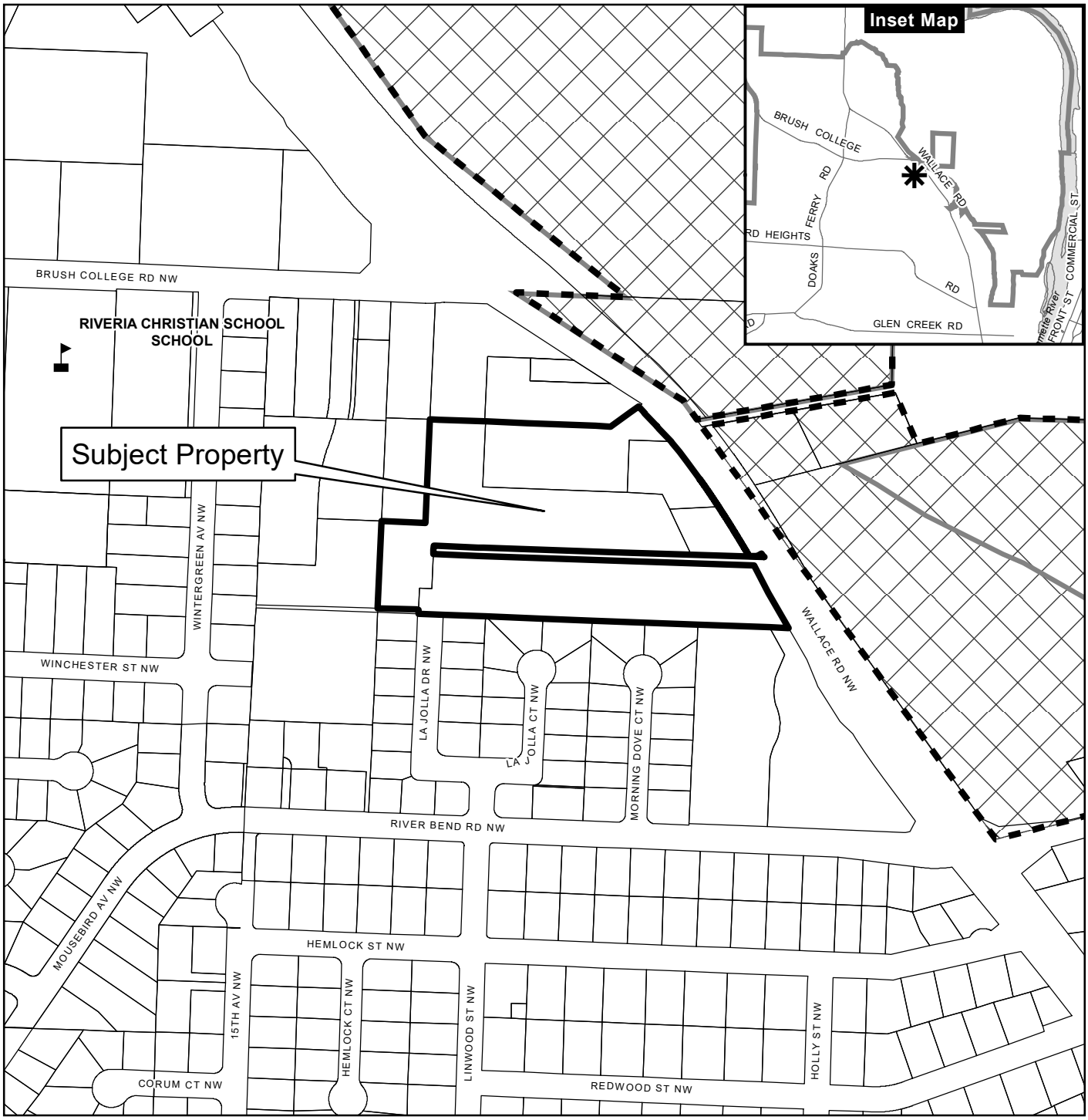
Vicinity Map
2499, 2501, 2519, 2539, 2551 Wallace Road NW



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks

0 100 200 400 Feet

CITY OF Salem AT YOUR SERVICE
Community Development Dept.

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RIVERBEND APARTMENTS PHASE 2
CLASS III SITE PLAN REVIEW

2499, 2501, 2519, 2539 WALLACE RD NW, SALEM, OR 97304

PROJECT TEAM:

OWNER:
3030 RIVERBEND LLC.
PO BOX 5850
SALEM, OR 97304

ARCHITECT:
LENITY ARCHITECTURE
3150 KETTLE CT, SE.
SALEM, OR 97301
PHONE: (503) 399-1090
FAX: (503) 399-0565
PROJECT ARCHITECT: LEE GWYN
lee@lenityarchitecture.com

CIVIL ENGINEER:
WESTECH ENGINEERING, INC.
STEVE WARD, PE
3841 FAIRVIEW IND. DR. STE 100
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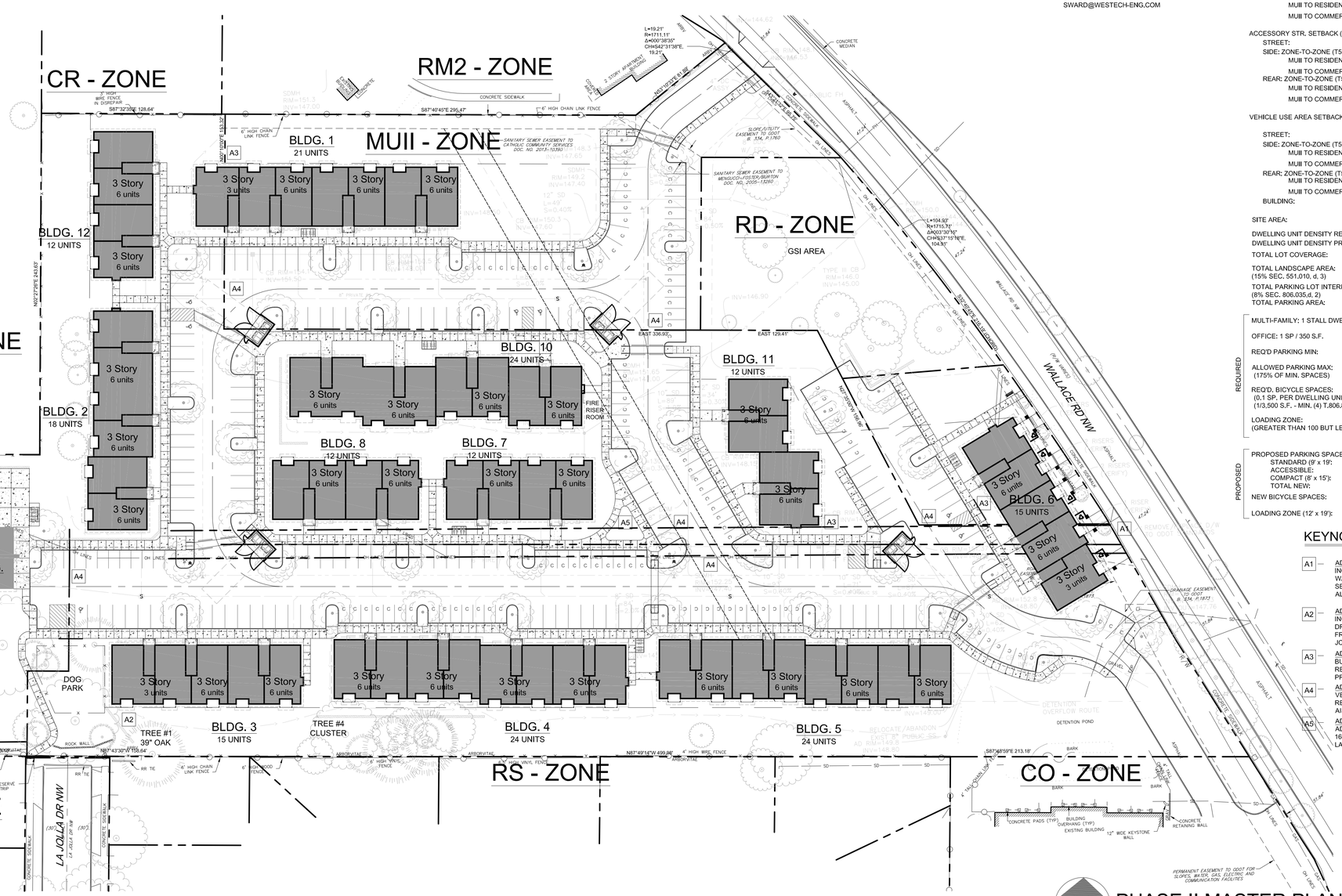
SWARD@WESTECH-ENG.COM



PROJECT STATISTICS:

RIVERBEND PHASE #2 MULTI-FAMILY DEVELOPMENT CONSISTING OF 189 UNIT APARTMENTS/ OFFICE AND POOL BLDGS
2499, 2501, 2519, 2551 & 2539 WALLACE RD
SALEM, OR 97304

CITY OF SALEM, POLK COUNTY
7,3,9 CD - 00900, 01000, 01101, 01301 & 01300

ZONE:	MU-II (MIXED USE#)
USE:	
EXISTING:	SINGLE-FAMILY DWELLINGS
PROPOSED:	MULTI-FAMILY
ALLOWED BLDG. HEIGHT:	55 FT MAX.
PROPOSED BLDG. HEIGHT/ FOOTPRINT:	
BUILDING #1	31 FT, 6 IN / 6,925 S.F.
BUILDING #2	31 FT, 6 IN / 5,581 S.F.
BUILDING #3	31 FT, 6 IN / 4,980 S.F.
BUILDING #4	31 FT, 6 IN / 7,797 S.F.
BUILDING #5	31 FT, 6 IN / 7,797 S.F.
BUILDING #6	33 FT, 4 IN / 4,980 S.F.
BUILDING #7	31 FT, 6 IN / 3,905 S.F.
BUILDING #8	31 FT, 6 IN / 3,905 S.F.
BUILDING #9	NOT USED
BUILDING #10	31 FT, 6 IN / 7,785 S.F.
BUILDING #11	31 FT, 6 IN / 3,907 S.F
BUILDING #12	31 FT, 6 IN / 3,907 S.F.
OFFICE BUILDING	27 FT, 4 IN / 2,616 S.F.
POOL BUILDING	15 FT / 1,551 S.F.
TRASH ENCLOSURE	6 FT / 248 S.F.
BLDG. SETBACK ((T534-3):	
STREET:	0' MIN, 10' MAX WITH PED, AMEN.
SIDE: ZONE-TO-ZONE (T534-4)	
MUII TO RESIDENTIAL:	10' MIN + ((BLDG. HT - 15 FT) x1.5') TYPE "C"
MUII TO COMMERCIAL:	NONE
REAR: ZONE-TO-ZONE (T534-4)	
MUII TO RESIDENTIAL:	10' MIN + ((BLDG. HT - 15 FT) x1.5') TYPE "C"
MUII TO COMMERCIAL:	NONE
ACCESSORY STR. SETBACK (T534-3):	
STREET:	5' MIN
SIDE: ZONE-TO-ZONE (T534-4)	
MUII TO RESIDENTIAL:	10' MIN + ((BLDG. HT - 15 FT) x1.5') TYPE "C"
MUII TO COMMERCIAL:	NONE
REAR: ZONE-TO-ZONE (T534-4)	
MUII TO RESIDENTIAL:	10' MIN + ((BLDG. HT - 15 FT) x1.5') TYPE "C"
MUII TO COMMERCIAL:	NONE
VEHICLE USE AREA SETBACK (TABLE 534-4);	
STREET:	10' MIN TYPE "A"
SIDE: ZONE-TO-ZONE (T534-4)	
MUII TO RESIDENTIAL:	5' MIN TYPE "C"
MUII TO COMMERCIAL:	5' MIN TYPE "A"
REAR: ZONE-TO-ZONE (T534-4)	
MUII TO RESIDENTIAL:	5' MIN TYPE "C"
MUII TO COMMERCIAL:	5' MIN TYPE "A"
BUILDING:	5' MIN TYPE "A"
SITE AREA:	8.08 AC (352,137 S.F.)
DWELLING UNIT DENSITY REQUIRED:	12 UNITS PER ACRE
DWELLING UNIT DENSITY PROVIDED:	24 UNITS PER ACRE
TOTAL LOT COVERAGE:	NO MAX.
TOTAL LANDSCAPE AREA: (15% SEC. 551,010, d, 3)	148,312 S.F. (42%)
TOTAL PARKING LOT INTERIOR LANDSCAPE AREA: (8% SEC. 806.035,d, 2)	7,278 S.F. (8.2%)
TOTAL PARKING AREA:	88,671 S.F.
REQUIRED	
MULTI-FAMILY: 1 STALL DWELLING UNIT	189 x 1 = 189 SPACES (1.5)
OFFICE: 1 SP / 350 S.F.	5,200 / 350 = 15 SPACES
REQ'D PARKING MIN:	204 SPACES
ALLOWED PARKING MAX: (175% OF MIN. SPACES)	204 * 1.75 = 357 SPACES MAX
REQ'D. BICYCLE SPACES:	
(0.1 SP. PER DWELLING UNIT- MIN. (4) T.806,8)	189 x 0.1 = 18.9 SPACE
(1/3,500 S.F. - MIN. (4) T.806,8	5,200 / 3,500 = 4 SPACES
	TOTAL REQ: 23 SPACES
LOADING ZONE: (GREATER THAN 100 BUT LESS THAN 199 UNITS T806,-9)	2
PROPOSED	
PROPOSED PARKING SPACES:	
STANDARD (9' x 19':	183 SPACES
ACCESSIBLE:	7 SPACES
COMPACT (8' x 15'):	92 SPACES (45%)
TOTAL NEW:	282 SPACES
NEW BICYCLE SPACES:	24 SPACES
LOADING ZONE (12' x 19'):	2

KEYNOTES SCHEDULE

A1 — ADJUSTMENT #1:
INCREASE MAXIMUM BUILDING SETBACK ADJACENT TO WALLACE RD. REQUEST TO INCREASE MAXIMUM BUILDING SETBACK FROM 10 FEET TO 12 FEET FOR BUILDING 6 ALONG WALLACE RD DUE TO ODOT EASEMENT

A2 — ADJUSTMENT #2:
INCREASE MAXIMUM BUILDING SETBACK ADJACENT TO LA JOLLA DRIVE. PROPOSE TO INCREASE MAXIMUM BUILDING SETBACK FROM 10 FEET TO 35 FEET FOR BUILDING 3 ADJACENT TO LA JOLLA DRIVE.

A3 — ADJUSTMENT #3:
BUILDING SETBACKS ADJACENT TO INTERNAL LOT LINES. REDUCE BUILDING SETBACKS TO 0 FEET FOR INTERNAL PROPERTY LINES.

A4 — ADJUSTMENT #4:
VEHICLE USE AREAS ADJACENT TO INTERNAL LOT LINES. REDUCE VEHICLE USE AREA SETBACKS TO 0 FEET FOR DRIVE AISLES AND PARKING AREAS

A5 — ADJUSTMENT #5:
ADJUSTMENT 5: REDUCE BUILDING FRONTAGE SETBACK FROM 16' TO 0' FEET FOR 2501 WALLACE ROAD NW, PROPERTY IS LANDLOCKED.

SITE / PARKING SUMMARY

PROPOSED PARKING
LOT SHADE TREE

0' 20' 40' 80'

PHASE II MASTER PLAN OVERALL SITE PLAN

SCALE: 1" = 40'

REGISTERED ARCHITECT
LEE FRANKIE GWYN
SALEM, OREGON
STATE OF OREGON

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3030 RIVERBEND LLC
PO BOX 5850 SALEM OR 97304
(503) 931-1739

RIVERBEND APARTMENTS
PHASE 2
WALLACE RD. NW SALEM OR 97304

SITE
PLAN REVIEW
CLASS III

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DATE	06/03/2021
REVISED DATE	
SHEET	A1.0

SITE PLAN REVIEW SET 07.19.21

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NOTE:
SEE CIVIL PLANS FOR EXISTING TREES TO BE PROTECTED/ REMOVED

SITE KEY NOTES:

1. SIDEWALK ACCESS W/ DETECTABLE WARNING STRIP PER JURISDICTION
2. FIRE HYDRANT PER CIVIL
3. BIKE RACK, SEE 3/A1.2
4. STEPS, NUMBER OF TREADS AND RISERS PER CIVIL, SEE GRADING PLAN
5. CONCRETE WALK
6. RETAINING WALL PER CIVIL
7. EXISTING FENCE AT PROPERTY TO REMAIN
8. AC PAVING PER CIVIL
9. CONCRETE CROSSWALK, WITH SPEED BUMPS ON EACH SIDE
10. BENCH SEE 12/A1.2

MASTER SITE PLAN PHASE II

SCALE: 1" = 30'

REGISTERED ARCHITECT
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(503) 931-1739

RIVERBEND APARTMENTS
PHASE 2
WALLACE RD. NW SALEM OR 97304

SITE PLAN REVIEW CLASS III

DATE
06/03/2021

REVISED DATE

SHEET
A1.1

SITE PLAN REVIEW SET 07.19.21

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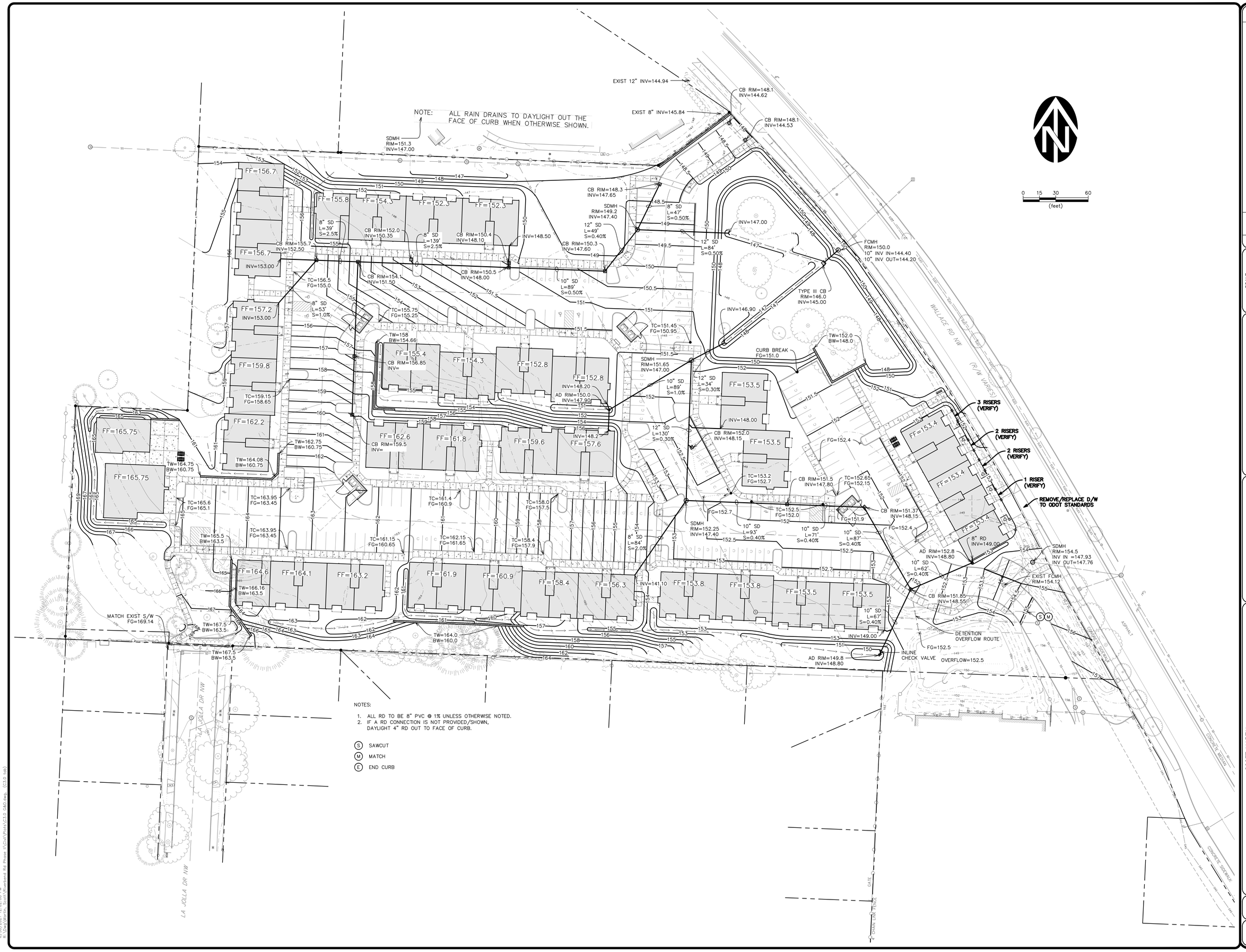

NOTES:

1. ALL RD TO BE 8" PVC @ 1% UNLESS OTHERWISE NOTED.
2. IF A RD CONNECTION IS NOT PROVIDED/SHOWN, DAYLIGHT 4" RD OUT TO FACE OF CURB.

(S) SAWCUT
(M) MATCH
(E) END CURB

NO.	DATE	DESCRIPTION	BY
1			

REVISIONS

SCALE
HORIZ:
VERT:

DSN: SAW
DRN: JR
CKD: SAW
DATE: JAN 2021

REGISTERED PROFESSIONAL ENGINEER
STEVEN A. WEST
OREGON
REVIEW
RENEWAL 6/30/2022

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

SCOTT MARTIN
RIVERBEND ROAD SITE PHASE II

GRADING & DRAINAGE PLAN

DRAWING
C3.0

JOB NUMBER
3048.0000.0

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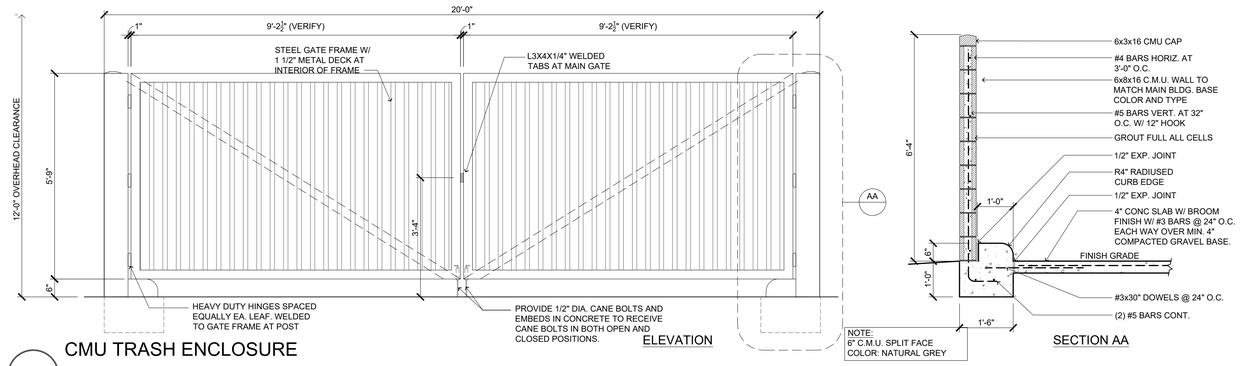
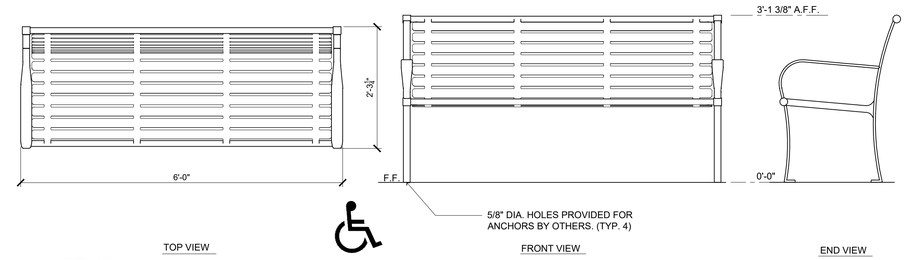


18 CMU TRASH ENCLOSURE

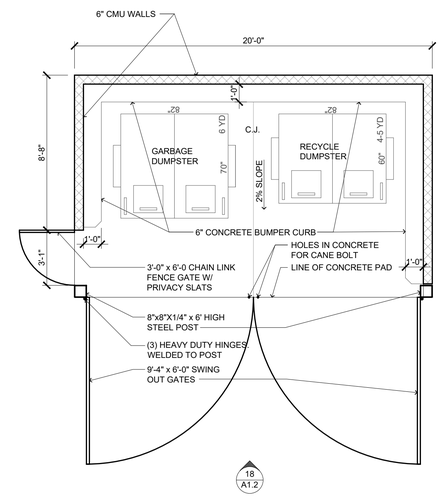
SCALE: 1/2"=1'-0"



12 BENCH

SCALE: 3/4" = 1'-0"

S:/COMMERCIAL/DETAILS/SITE/BENCH

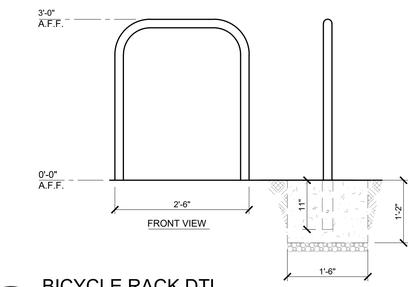


10 TRASH ENCLOSURE

ENLARGED PLAN

SCALE: 1/4"=1'-0"

Q:/1233 RIVERBEND RD NW SALEM MASTER PLAN/DETAILS/TRASH ENCLOSURE PLAN

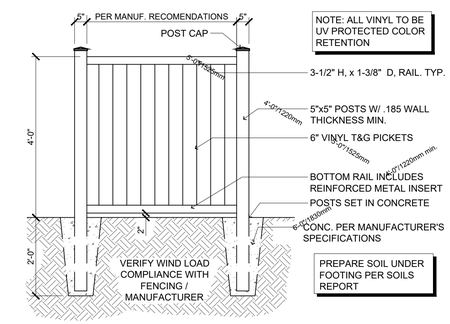


3 BICYCLE RACK DTL

"THE STAPLE" BY HUNTCO

SCALE: 3/4"=1'-0"

S:/COMMERCIAL/DETAILS/SITE/BIKE RACK-SALEM

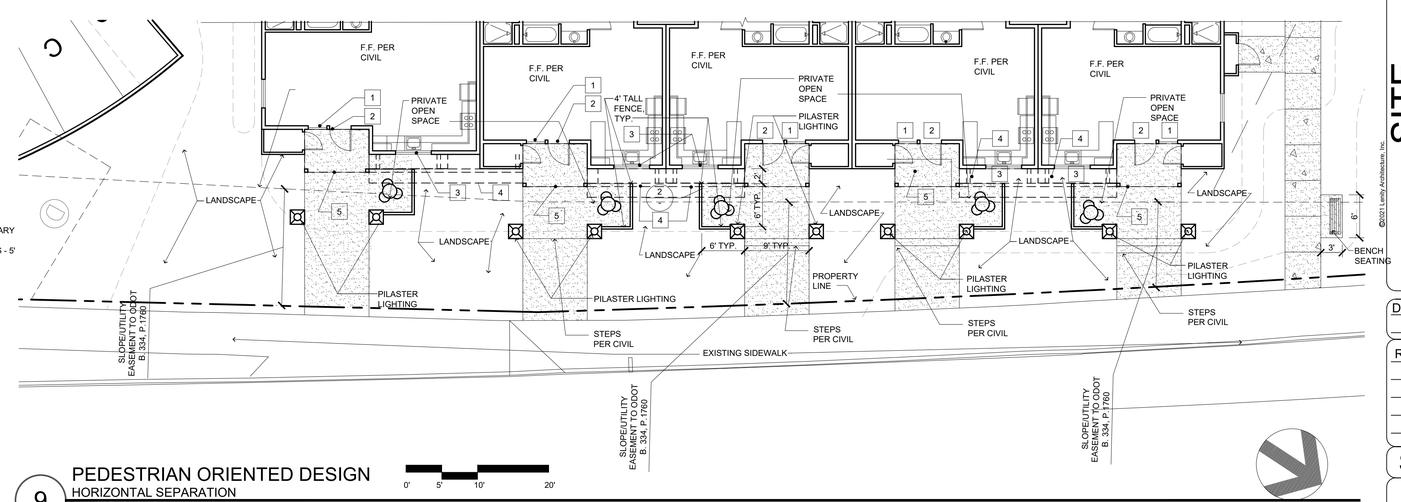


2 PATIO PRIVACY FENCE

(FENCE-VINYL-COLOR PER PLAN)

SCALE: N.T.S.

Patio Fence



KEY NOTES

1. TRANSPARENT WINDOW AND DOOR - 4'-6" WIDE.
2. PRIMARY BUILDING ENTRANCE FACING PRIMARY STREET.
3. TRANSPARENT WINDOWS - 5' WIDE.
4. METAL ROOF WEATHER PROTECTION.
5. COVERED ENTRY

9 PEDESTRIAN ORIENTED DESIGN

HORIZONTAL SEPARATION

SCALE: 1"=10'

0' 5' 10' 20'

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REGISTERED ARCHITECT
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PO BOX 5850 SALEM OR 97304
(503) 931-1739

RIVERBEND APARTMENTS
PHASE 2
WALLACE RD. NW SALEM OR 97304

SITE PLAN REVIEW CLASS III

DATE 06/03/2021

REVISED DATE

SHEET A1.2

SITE PLAN REVIEW SET 07.19.21

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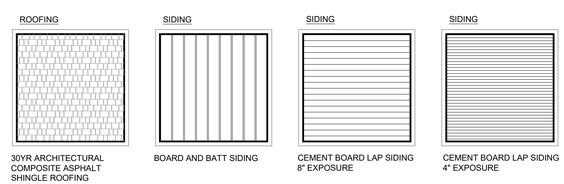
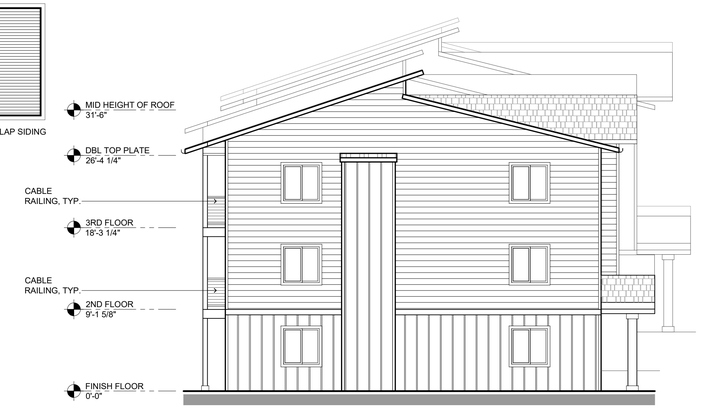
A FRONT ELEVATION
SCALE: 1/8"=1'-0"

C BACK ELEVATION
SCALE: 1/8"=1'-0"

B RIGHT ELEVATION
SCALE: 1/8"=1'-0"





D LEFT ELEVATION
SCALE: 1/8"=1'-0"

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REIVERBEND APARTMENTS
PHASE 2
2499 WALLACE RN NW SALEM OR 97304

BUILDING 4 ELEVATIONS TYPICAL BUILDING

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DATE
03/05/2021

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SITE PLAN REVIEW SET 03.05.21

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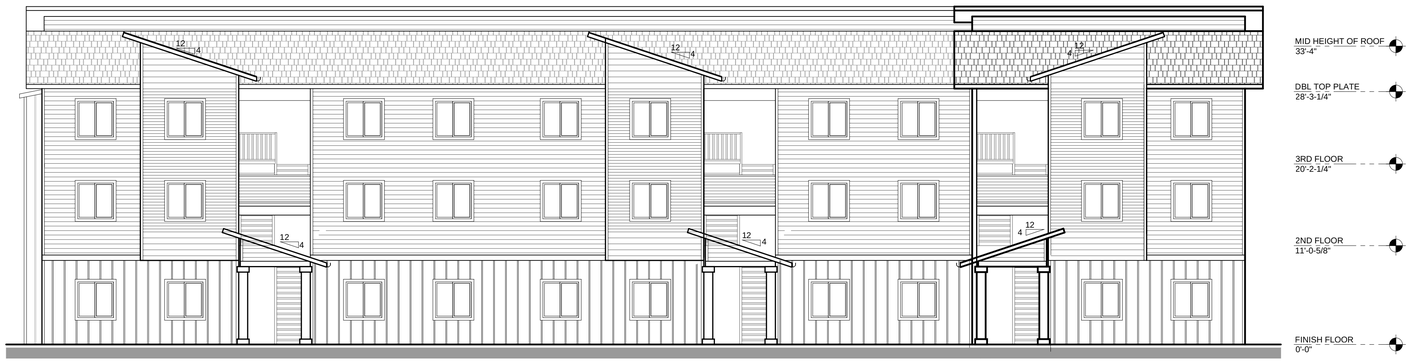
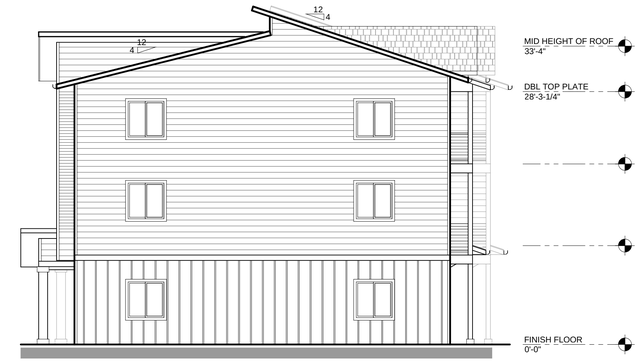
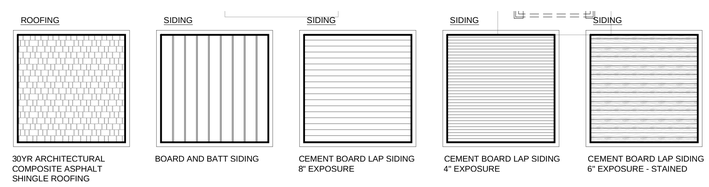
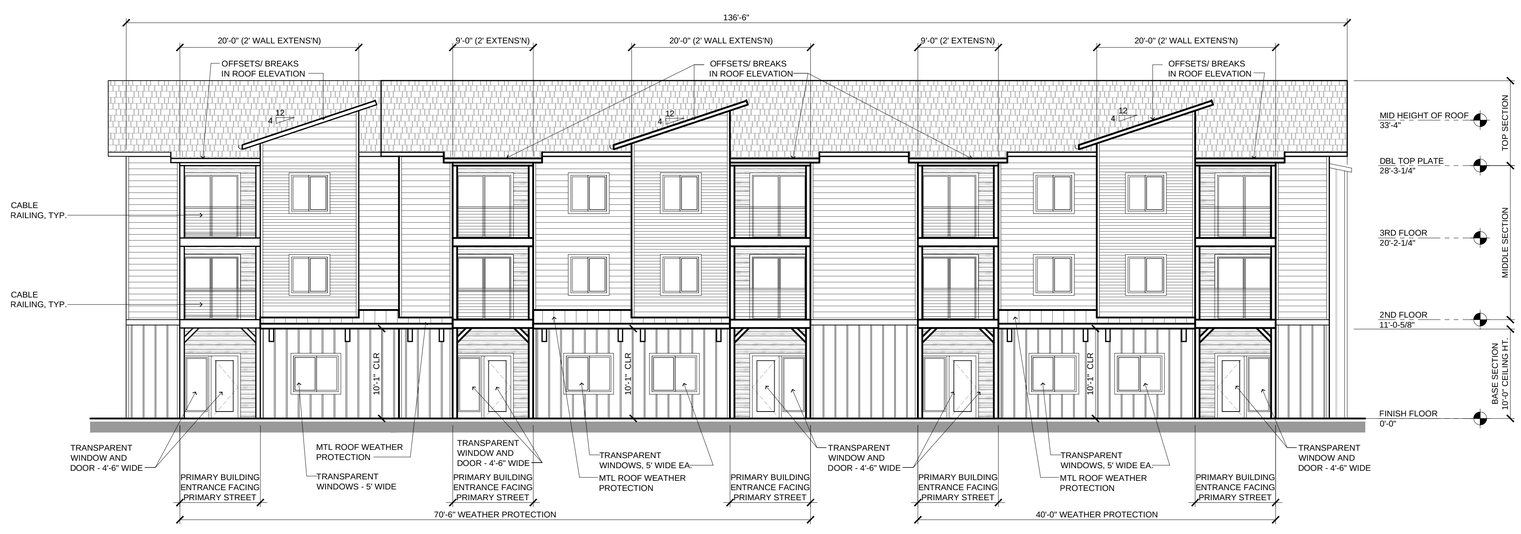


A WEST ELEVATION
SCALE: 1/8"=1'-0"



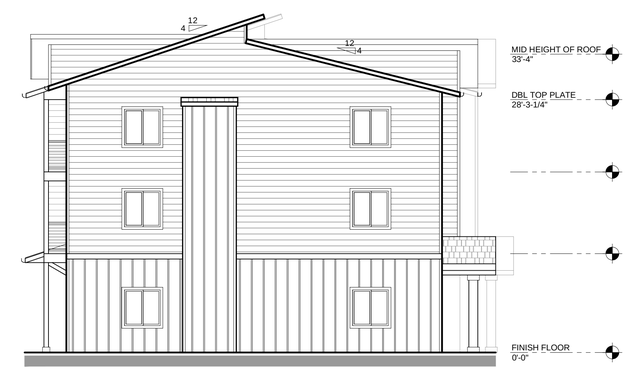
B SOUTH ELEVATION
SCALE: 1/8"=1'-0"





C EAST ELEVATION (AT WALLACE RD NW)
SCALE: 1/8"=1'-0"

BUILDING WIDTH = 136'-6"
GROUND FLOOR WINDOW LENGTH = 43'-6" (32%)



D NORTH ELEVATION
SCALE: 1/8"=1'-0"

REGISTERED ARCHITECT
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SALEM, OREGON
STATE OF OREGON

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RIVERBEND APARTMENTS
PHASE 2
WALLACE RD. NW SALEM OR 97304

BUILDING 6 ELEVATIONS AT WALLACE RD

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DATE
06/03/2021
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SITE PLAN REVIEW SET 07.19.21

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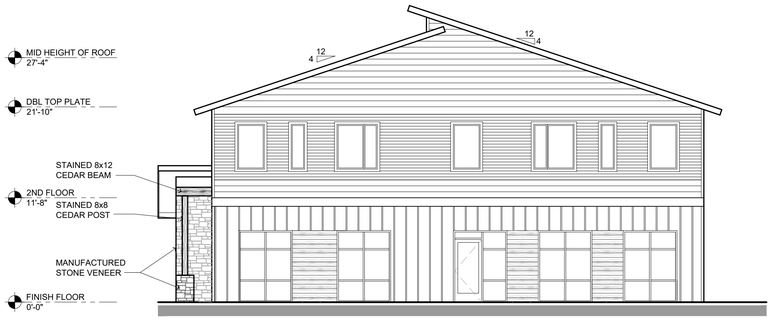
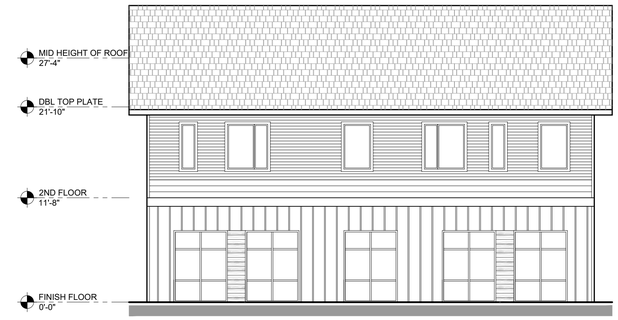
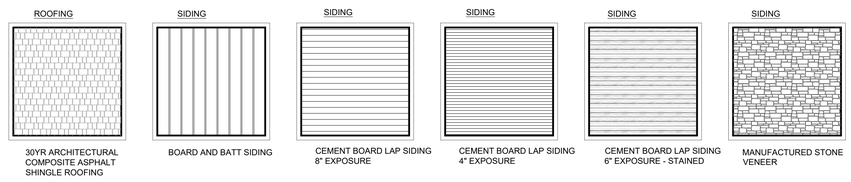
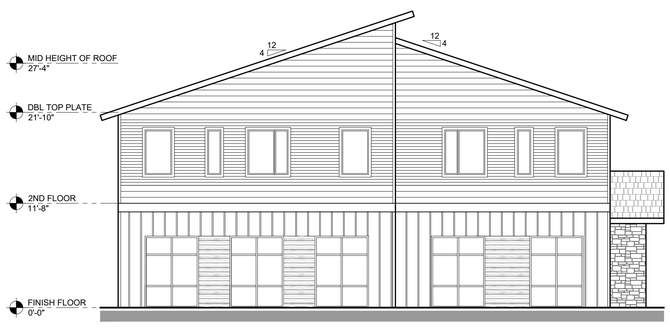


A NORTH ELEVATION
SCALE: 1/8"=1'-0"



B WEST ELEVATION
SCALE: 1/8"=1'-0"





C BACK ELEVATION
SCALE: 1/8"=1'-0"

D EAST ELEVATION
SCALE: 1/8"=1'-0"

REGISTERED ARCHITECT
LEE FRANKIE GWYN
SALEM, OREGON
STATE OF OREGON

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REIVERBEND APARTMENTS
PHASE 2
2499 WALLACE RN NW SALEM OR 97304

OFFICE BUILDING ELEVATIONS

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DATE
03/05/2021

REVISED DATE

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A6.3

SITE PLAN REVIEW SET 03.05.21

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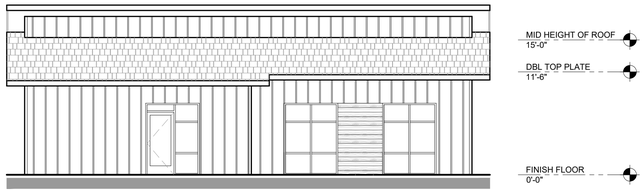
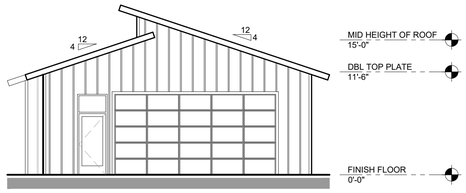
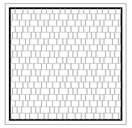


A SOUTH ELEVATION
SCALE: 1/8"=1'-0"



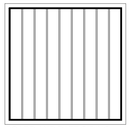
B EAST ELEVATION
SCALE: 1/8"=1'-0"

ROOFING



30YR ARCHITECTURAL
COMPOSITE ASPHALT
SHINGLE ROOFING

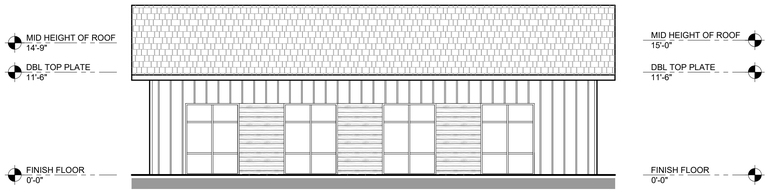
SIDING



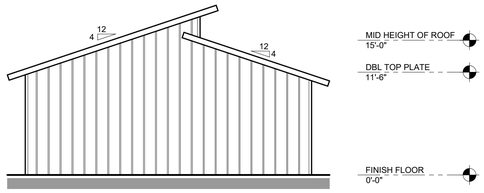
BOARD AND BATT SIDING

SIDING

CEMENT BOARD LAP SIDING
6" EXPOSURE - STAINED



C NORTH ELEVATION
SCALE: 1/8"=1'-0"



D WEST ELEVATION
SCALE: 1/8"=1'-0"

REGISTERED ARCHITECT
LEE FRANKIE GWYN
SALEM, OREGON
STATE OF OREGON

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ELEVATIONS
POOL BUILDING

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DATE
03/05/2021

REVISED DATE

SHEET
A6.4

SITE PLAN REVIEW SET 03.05.21

ve: 3/11/2021 4:53 PM map: plot: 3/11/2021 4:55 PM mas plaksh: files:j:\scott martin construction llc\1233 riverbend rd nw salem master plan\primlm\pool bldg\pool building elev.dwg A6.4