

POPEYE’S

5503 Commercial Street SE

Salem, OR 97306

SITE PLAN REVIEW

06/10/2021

Ambrosia QSR, Inc., applicant

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PROJECT NARRATIVE REVIEWING CR (RETAIL COMMERCIAL) CODE

I. REVIEW REQUESTED

The applicant is requesting review and approval of the following applications:

1. Site Plan Review Class 3

II. PROJECT LOCATION AND IDENTIFICATION

The project site is located at 5503 Commercial St SE, Salem, OR 97306 Tax Acct R75492, Map Tax Lot 083W14CB00100 and is 0.76 acres in size. The property is zoned CR (Commercial Retail) and is in the Southgate Overlay Zone.

One existing driveway access from Commercial Street SE would serve the subject site.

III. PROJECT DESCRIPTION

The proposal is to develop the site for a Popeye's Louisiana Kitchen restaurant with parking, driveways, landscaping and double drive-through. The proposed Popeye's development will provide a 2,333-sf one-story building with a double drive-through. The restaurant will provide dine-in and take-out service and will provide 48 indoor seats. The restaurant will operate during the hours of 10:30 a.m. to 11 p.m. Deliveries will occur in the morning or afternoon.

This site is a vacant lot between Commercial St SE and Woodside Dr SE. The City of Salem is the jurisdiction having authority. The minimum setback is 10 feet on the south, east, and west sides of the property. On the north side of the property, a 15 foot setback is required as it abuts a Residential zone.

Construction of the project will start on 11/15/2021. The project will include construction of associated parking areas, landscaping, sidewalk connections to the public right-of-way, driveway access connections to the shared private access drive, and required utility connections.

IV. LAND USE REVIEWS

SITE PLAN REVIEW CLASS 3

Application Procedure

- Neighborhood association contact is required prior to submitting this land use application. The applicant shall contact the City-recognized neighborhood association(s) whose boundaries include, or are adjacent to, the subject property, pursuant to SRC 300.310.
- Applicant submits application (including all items in the attached checklist). The site plan review application may be submitted for review prior to or concurrent with the building permit application.
- Staff reviews application for completeness within 30 days of submittal. If the application is not complete, the applicant will be notified as to what information is missing and allowed 180 days to submit the additional information.

- Applicant may track the status of their application online at the City of Salem permit tracking webpage: <https://permits.cityofsalem.net>
- After all required information is submitted and the application is deemed complete, staff sends notice of application, indicating a public comment period of 14 days, to the applicant, property owner, neighborhood association, property owners within 250 ft., all addresses within 250 ft., all addresses on the subject property, and any active and duly incorporated Homeowner's Association (HOA) involving the subject property.
- The Planning Administrator issues a decision to grant or deny the application based upon whether the site plan meets the applicable criteria for a Class 3 Site Plan Review under SRC 220.005(f)(3).
- Staff sends copy of decision (*noting 15-day appeal period*) to the applicant, property owner, neighborhood association, property owners within 250 ft., all addresses within 250 ft., all addresses on the subject property, and any active and duly incorporated Homeowner's Association (HOA) involving the subject property.
- The appeal procedure for Class 3 Site Plan Review is found in SRC 300.520(f).
- **The associated building permit for the proposed development will not be issued until the site plan review is approved.**

Application Submission Requirements

An application for Class 3 Site Plan review shall contain the following:

- **COMPLETED APPLICATION FORM.** The application form must be signed by the applicant(s), property owner(s), and/or duly authorized representative(s). If the applicant and/or property owner is a Limited Liability Company (LLC), please also provide a list of all members of the LLC with your land use application.
- **APPLICATION FEE.** The application fee must be paid at the time of filing your application.
- **NEIGHBORHOOD ASSOCIATION CONTACT.** Neighborhood association contact, pursuant to SRC 300.310, is required prior to submitting this land use application. A copy of the required e-mail or letter to the neighborhood association, and a list of the e-mail or postal addresses to which the e-mail or letter was sent shall be submitted or the land use application will not be accepted.
- **RECORDED DEED/LAND SALES CONTRACT WITH LEGAL DESCRIPTION.** A copy of the recorded deed/land sales contract of the total contiguous ownership of the applicant.
- **HOMEOWNERS ASSOCIATION INFORMATION.** A statement indicating whether the subject property is subject to an active and duly incorporated Homeowner's Association (HOA) registered with the Oregon Secretary of State. If so, the applicant shall provide the HOA name, name of the registered agent and the mailing address for the registered agent.
- **TRIP GENERATION ESTIMATE (TGE) FORM.** A Trip Generation Estimate (TGE) form must be completed by the applicant and submitted to the Department of Public Works, Traffic Engineering Section, Room 325, to determine whether a Transportation Impact Analysis (TIA) is required for the application.
- **TRANSPORTATION IMPACT ANALYSIS (TIA).** If required for the development, a TIA shall be provided in the format, and based on thresholds, specified in standards established by the Director of Public Works.
- **GEOLOGICAL ASSESSMENT OR GEOTECHNICAL REPORT.** If required by SRC Chapter 810, or a statement from an engineer certifying that landslide risk on the site is low, and that there is no need for further landslide risk assessment.
- **SITE PLAN.** The site plan must include the following information:

- The total site area, dimensions, and orientation relative to north;
 - The location of all proposed primary and accessory structures and other improvements, including fences, walls, and driveways, indicating distance from the structures and improvements to all property lines and adjacent on-site structures;
 - The size and location of solid waste and recyclables storage and collection areas, and amount of overhead clearance above such enclosures, if included with proposed development;
 - An indication of future phases of development on the site, if applicable;
 - All proposed landscape areas on the site, with an indication of square footage and their percentage of the total site area (*complete landscape and irrigation plans are required with the building permit application*);
 - The location, height, and material of fences, berms, walls, and other proposed screening as they relate to landscaping and screening required by SRC Chapter 807;
 - The location of all trees and vegetation required to be protected pursuant to SRC Chapter 808;
 - The location of all street trees, if applicable, or proposed location of street trees required to be planted at time of development pursuant to SRC Chapter 86; and
 - Identification of vehicle, pedestrian, and bicycle parking and circulation areas, including handicapped parking stalls, disembarking areas, accessible routes of travel, and proposed ramps.
- **EXISTING CONDITIONS PLAN.** The existing conditions plan must include the following information:
 - The total site area, dimensions, and orientation relative to north;
 - The location of existing structures and other improvements on the site, including accessory structures, fences, walls, and driveways, noting their distance from property lines;
 - The location of the 100-year flood plain, if applicable.
 - The zoning district, comprehensive plan designation, and land uses for all properties abutting the site;
 - Driveway locations, public and private streets, bike paths, transit stops, sidewalks, and other bike and pedestrian pathways, curbs, and easements;
 - The elevation of the site at 2-foot contour intervals, with specific identification of slopes in excess of 15 percent; and
 - The location of drainage patterns and drainage courses, if applicable.
 - **PRELIMINARY UTILITY PLAN.** A preliminary utility plan shall be submitted showing capacity needs for municipal water, stormwater management, and sewer service, and schematic location of connection points to existing municipal water and sewer services. It is suggested that the utility plan contain the following items:
 - Existing drainage plan and drainage courses
 - Water service connection and meter location
 - Maximum water meter size required
 - Maximum fire flow needs for development
 - Sanitary sewer location and connection to public main
 - Maximum sanitary sewer service size required; and
 - Storm drain service location and point of disposal
 - **PRELIMINARY GRADING PLAN.** A preliminary utility plan shall be submitted depicting proposed site conditions following completion of the proposed development, when grading of the subject property will be necessary to accommodate the proposed development.
 - **ARCHITECTURAL DRAWINGS.** For development in the Mixed Use-I (MU-I) and Mixed Use-II (MU-II) zones, architectural drawings, renderings, or sketches showing all elevations of the existing buildings and the proposed buildings as they will appear on completion.

- **SUMMARY TABLE.** A summary table shall be submitted which identifies the zoning designation for the subject property; total site area; gross floor area by use (i.e. manufacturing, office, retail, storage); building height; itemized number of full size, compact, and handicapped parking stalls, and the collective total number; total lot coverage proposed, including areas to be paved for parking and sidewalks.
- **WRITTEN STATEMENT.** A written statement is recommended to be submitted describing how the proposed development meets the following approval criteria for Class 3 Site Plan Review:
 - The application meets all applicable standards of the UDC.
 - The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately.
 - Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; and
 - The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development.

V. SITE DEVELOPMENT CR CODE REVIEW

Sec. 522.005 Uses.

Eating and drinking establishments are a permitted use per Table 522.1.

- The Project meets this requirement as quick serve restaurants are eating and drinking establishments.

Sec. 522.22.010 Development Standards

Lot Standards: Per Table 522-2. There is no standard requirement on Lot Area, Lot width, or lot depth. Standard street frontage is required to be a minimum of 16 feet.

- The Project meets this requirement as the Commercial Street frontage is +/- 203 feet and the Woodside Drive frontage is +/- 279 feet.

Setbacks: Per Table 522-3 and 522-4, the required setbacks on the project are:

North side abutting RM 2 zone: 15 ft

West side along Woodside Drive: 10 ft

South side abutting IC Zone: 10 ft

East side along Commercial St. SE: 10 ft

- The project meets this requirement on all sides-please see attached site plan.

Lot Coverage: Per Table 522-5, there is no standard lot coverage required.

- Noted.

Height: Per Table 522-5, the maximum allowed height is 50'.

- This project meets this requirement as Popeye's prototypical restaurants are one story and less than 50 feet tall.

Landscaping:

Setbacks: setbacks listed above must be on landscaping plan submittal per Chapters 806 and 807.

Vehicle Use Areas: Abutting residential zone requires Type C screening per Chapters 806 and 807.

Development Site: 15% of site to be landscaped in Type A landscaping per Chapter 807.

- Our site plan meets all the above Landscaping criteria.

Sec. 522.020-Other Provisions

Trees and Shrubs: per SRC chapter 86.

- Not applicable-Chapter 86 addresses city owned property. Our site is privately owned.

Wireless Communications Facilities: SRC chapter 703.

- Not applicable-Our site is a quick serve restaurant.

General Development Standards: SRC chapter 800 (addressing only sections not previously addressed above)

Sect 800.020 Lot Lines

- Not applicable-our project does not cross over lot lines.

Sect 800.035 Setback Projections

- Not applicable-we have no fires escapes, stair, or patios that project into required setbacks.

Sect 800.055 Solid Waste Service Area

- The project will meet Section 800.055 requirements in pad area and design, minimum separation, vertical clearance, enclosure gates, screening, access, and placement.

Sect 800.060 Exterior Lighting

- The Project will meet the exterior lighting standards:
 - No shine or reflection on adjoining properties
 - All exterior fixtures when viewed from five feet above ground distance, will be completely shielded or less than five foot-candles in illumination.

Sect 800.065 Pedestrian Access

- The site plan includes pedestrian connectivity between buildings entrances and streets, and off-street parking areas.

Public Improvements: SRC chapter 802.

- The site will be served by city utilities.
- The development will not encroach on any easements.
- Utilities will be placed underground.

Streets and Right-of-Way Improvements: SRC chapter 803.

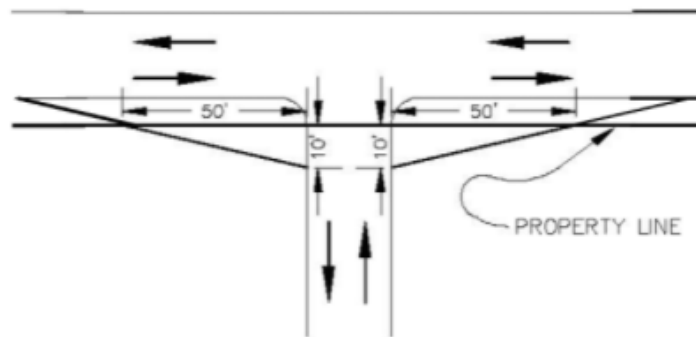
- Traffic Impact Analysis not required as project will produce less than 1000 daily vehicle trips on Commercial Street (Major Arterial).

Driveway Approaches: SRC chapter 804.

- A Class 2 Driveway approach permit will be obtained before improving driveway.

Vision Clearance: SRC chapter 805.

- Project will conform with vision clearance requirements. The vision clearance area shall have ten-foot legs along the driveway and 50-foot legs along the intersecting street or alley.



Off-Street Parking, Loading and Driveways: per SRC chapter 806. Table 806-1, eating and drinking establishments require 1 parking spot for each 250 sf of floor space. Driveway must be 22 ft. wide for two-way traffic, 25 ft., measured at curb or pavement edge.

- Project will meet or exceed parking requirement:
 $2333 / 250 = 9.332 = 10$ parking spaces required. 16 spaces provided.
- Project driveways will be designed to the above standard.

Preservation of Trees and Vegetation: SRC chapter 808.

- Not applicable to this project. Site is vacant lot.

Wetlands: SRC chapter 809.

- Not applicable to this project/

Landslide Hazards: SRC chapter 810.

- Not applicable to this project

Sign Code: SRC chapter 900.

- The Project signage plan will comply with all regulations in this chapter.

PROJECT NARRATIVE REVIEWING SOUTH GATEWAY OVERLAY ZONE-CHAPTER 630

SECT 630.015-DEVELOPMENT STANDARDS

Continued Development:

- Not applicable to this project

Outdoor display and storage of merchandise:

- Restaurant will not display or store merchandise within 50 feet of the right-of-way of Commercial Street SE.