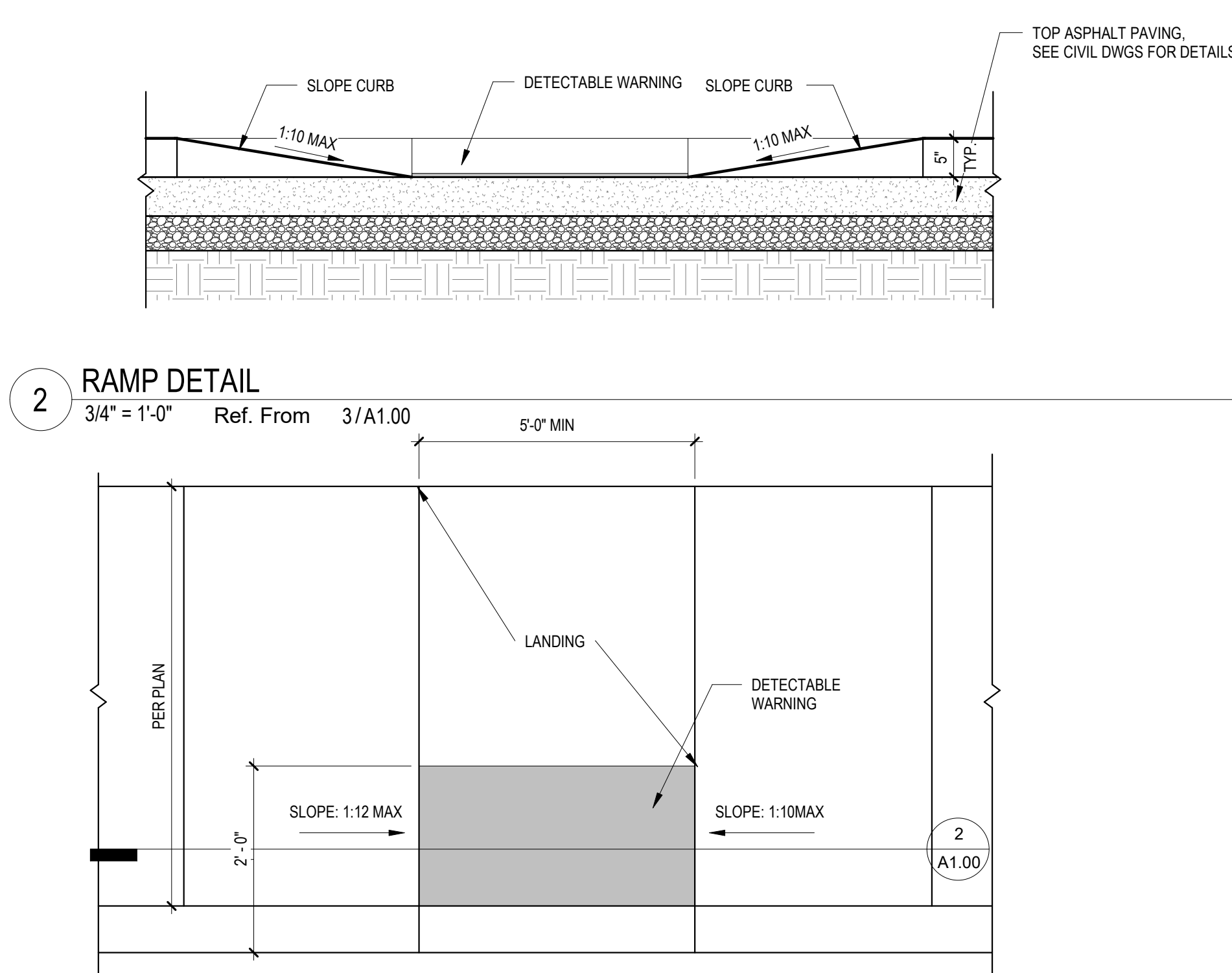
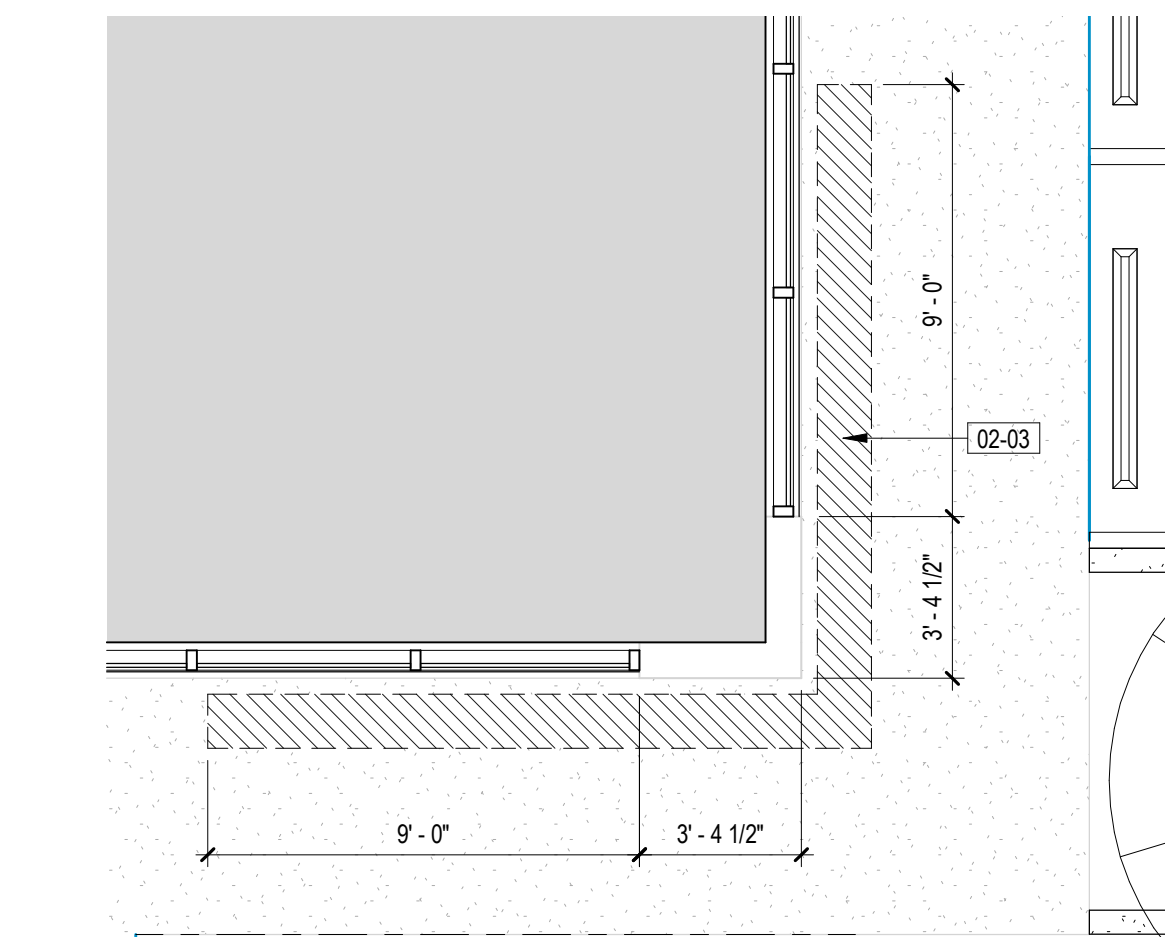


4 SITE - ENLARGED PAVING PLAN
1/4" = 1'-0" Ref. From /

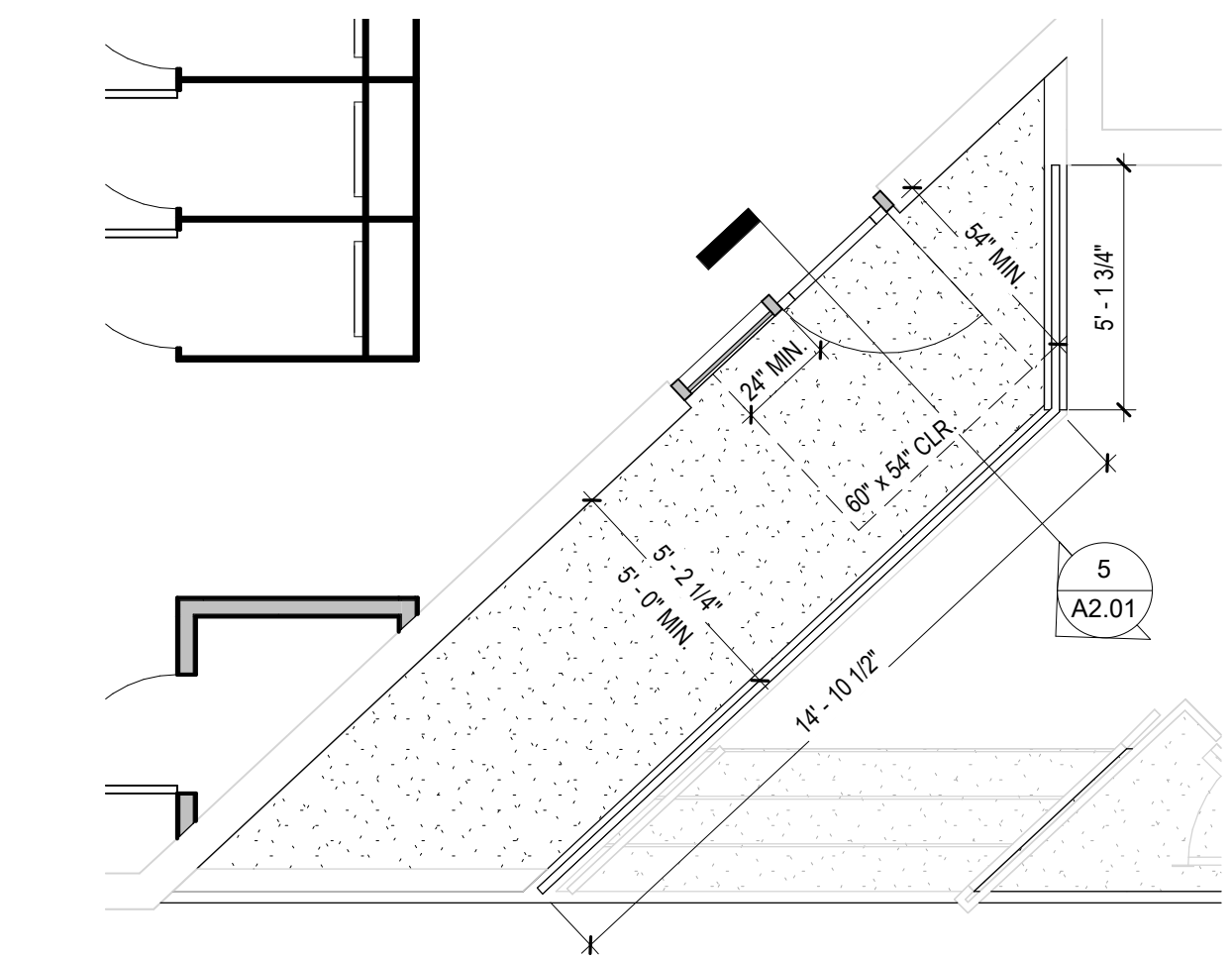


2 RAMP DETAIL
3/4" = 1'-0" Ref. From 3/A1.00

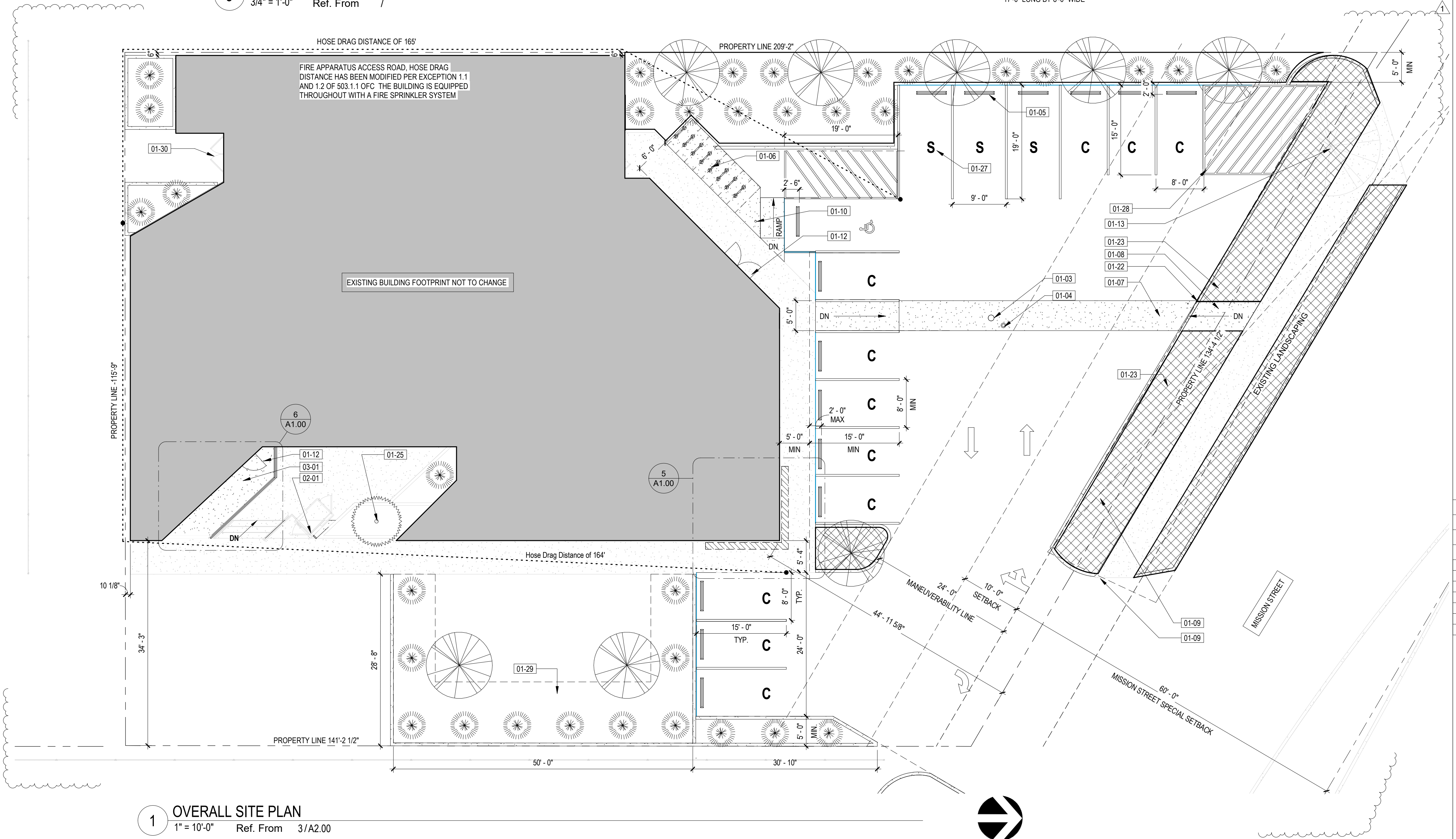
3 RAMP PLAN DETAIL
3/4" = 1'-0" Ref. From /



5 NEW FOOTING LOCATION @ SOUTHEAST LOCATION
1/4" = 1'-0" Ref. From 1/A1.00



6 FLOOR PLAN
1/4" = 1'-0" Ref. From 1/A1.00



1 OVERALL SITE PLAN
1" = 10'-0" Ref. From 3/A2.00

KEYNOTE LEGEND	
#	Keynote Description
01-03	CUT AND CAP EXISTING PLUMBING, REPAIR AND PATCH PAVING AS REQUIRED
01-04	REMOVE EXISTING BOLLARDS, PATCH PAVEMENT AS REQUIRED
01-05	WHEEL STOPS TYP
01-06	NEW BICYCLE PARKING, 8 MIN REQUIRED, 8 PROVIDED
01-07	PEDESTRIAN PATH TO BE PAVED IN STAINED CONCRETE
01-08	SIDEWALK CONNECTION TO BUILDING PROVIDE RAP FORM SIDEWALK LEVEL TO PARKING PAVING LEVEL
01-09	AREA OF VISION CLEARANCE MAINTAINED
01-10	PROVIDE ADA PARKING SIGNAGE ON POST
01-12	NEW BUILDING ENTRANCE / EXIT
01-13	(E) TREE
01-22	MISSION STREET 60'-0" SETBACK LINE
01-23	AREA OF GROUND COVER
01-25	EVERGREEN TREE
01-27	PARKING SPACE THAT MAY BE USED FOR LOADING
01-28	NO PARKING AREA
01-29	MINIMUM 750 SQ FT OF GROUND COVER
01-30	EXISTING ENTRANCE TO BE DECOMMISSIONED, ALL EXIT SIGNS AND LIGHTS ARE TO BE REMOVED, NEW EXIT LIGHTS AND DIRECTION SIGNS ARE TO BE PLACED TO DIRECT OCCUPANTS TO THE NEW EAST ENTRANCE / EXIT
02-01	(E) ADA LIFT
02-03	SAW CUT (E) SIDEWALK FOR (N) REQUIRED FOOTING, SEE STRUCTURAL DRAWINGS FOR DETAILS.
03-01	NEW SIDEWALK TO CONNECT W/ EXISTING

DEVELOPED SITE CONDITIONS- SUMMARY TABLE

SITE		PARKING REQUIRED		SITE LANDSCAPING LEGEND	
TAXLOT: 073W5AA0930 (OWNED PROPERTY)		RETAIL SALES 1 PER 250 SF		EXISTING SITE 20,298 SF	
ZONE - INDUSTRIAL COMMERCIAL		OCCUPIED BUILDING SQFT, 5,640 / 23 PARKING SPACES REQUIRED		LANDSCAPING 3,176 SF (15.6%) TOTAL	
FLOOD RISK: ZONE AE FULLY IN 100 YEAR PLAN		MANUFACTURING SPACE, 3,610 SQFT / 2.25 REQUIRED		450 SF @ MISSION STREET	
LANDSLIDE HAZARD: LOW		25 PARKING SPACES REQUIRED,		1,131 SF @ WEST SIDE OF LOT	
75% OR 15 MAY BE COMPACT SPACES		15 TOTAL PARKING SPACES PROVIDED		112 SF @ PATIO	
ALL ADJACENT PROPERTIES - IC		3 STANDARD PARKING SPACES PROVIDED		1,483 SF @ PARKING	
SITE TOTAL SIZE 20,962 SQFT		1 ADA PARKING SPACE		157 Pu REQUIRED	
15.6% LANDSCAPED		11 COMPACT SPOTS PROVIDED OR 74%		1 Mature tree (E) to remain	
84.4% PAVED		NOTE: ALL EXISTING COMPACT PARKING SPOTS ARE TO BE CLEARLY MARKED IN ACCORDANCE WITH CITY STANDARDS		8 Shade Trees	
NO CHANGE TO EXISTING UTILITIES CONNECTIONS		S - STANDARD PARKING AT 90 DEGREE ANGLE		1 Evergreen	
BUILDING		19'-0" LONG BY 9'-0" WIDE		34 Medium shrubs	
USE: RETAIL - 5,989		C - COMPACT PARKING AT 90 DEGREE ANGLE		1212 sq ft of ground cover	
MANUFACTURING - 3,184 SQFT		15'-0" LONG BY 8'-0" WIDE		Total PU	
BUILDING TOTAL 9,173 SQFT		C60 - COMPACT PARKING AT 60 DEGREE ANGLE			
BUILDING HEIGHT 23'-9"		17'-0" LONG BY 8'-0" WIDE			



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Issue: CD SET
Date: 05/25/2021

Revision: Date:
1 ASI #2 07-07-21

SITE PLAN

A1.00