



STUDIO 3 ARCHITECTURE

SUNNYSLOPE SHOPPING CENTER - SHERWIN WILLIAMS FEE ESTIMATE

GRADING & DRAINAGE PLAN

DRAWING

C3.0

JOB NUMBER

3278.0000.0

WESTTECH ENGINEERING, INC.

CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302

Phone: (503) 585-2474 Fax: (503) 585-3986

E-mail: westtech@westtech-eng.com

REVIEW

PROFESSIONAL ENGINEER

WILLIAM J. WILLIAMS

NO. 12-00000001

REVIEW: 6/29/2022

VERIFY SCALE

1" = 40'

0 10 20 40

FEET

DATE: JUNE 2021

NO. 1

DATE

DESCRIPTION

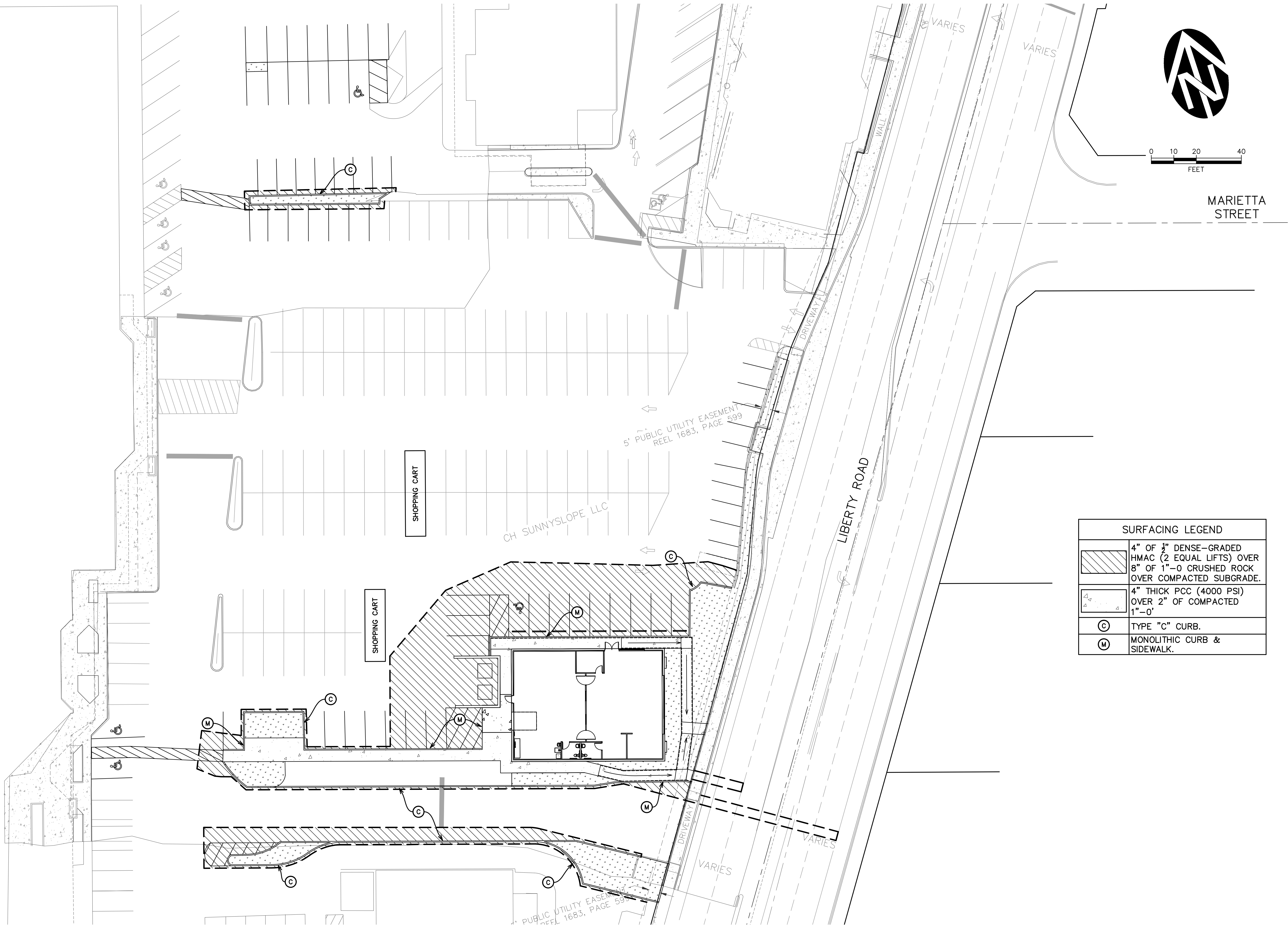
REVISIONS

BY

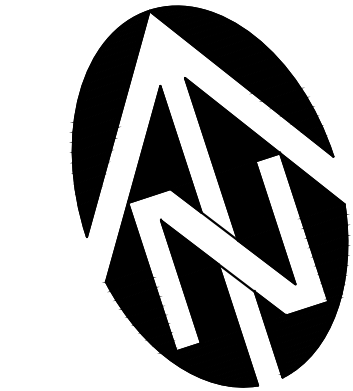




6/29/2021 10:25:14 AM  
R:\Dwg\Studies\Sunnyslope\Sherwin Williams - 3278.0000\Civil\Plots\C5.0 - SURFACING PLAN.dwg, (C2.0 tab)



SURFACING LEGEND	
	4" OF $\frac{3}{4}$ " DENSE-GRADED HMAC (2 EQUAL LIFTS) OVER 8" OF 1"-0 CRUSHED ROCK OVER COMPACTED SUBGRADE.
	4" THICK PCC (4000 PSI) OVER 2" OF COMPACTED 1"-0"
	TYPE "C" CURB.
	MONOLITHIC CURB & SIDEWALK.



0 10 20 40  
FEET

MARIETTA STREET

LIBERTY ROAD

VERIFY SCALE	DATE: JUNE 2021
BAR IS ONE INCH ON ORIGINAL DRAWING	
IF NOT ONE INCH ON ORIGINAL DRAWING, SCALES ACCORDINGLY	
DSN. JW	NO. 1
DRN. JH	DATE
CKD. JW	DESCRIPTION
	REVISIONS
	BY

**REVIEW**

REGISTERED PROFESSIONAL ENGINEER  
RECEIVED  
JUL 12 2022  
WILLIAM J. NELSON

DATE: JUNE 2021

**WESTTECH ENGINEERING, INC.**  
CONSULTING ENGINEERS AND PLANNERS

**WE**

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Phone: (503) 585-2474 Fax: (503) 585-3986  
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STUDIO 3 ARCHITECTURE

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**SURFACING PLAN**

DRAWING  
**C4.0**

JOB NUMBER  
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SITE LEGEND:

SITE ELEMENT DESCRIPTION:	LEGEND:
BUILDINGS:	
LANDSCAPING:	
CONCRETE SIDEWALKS:	

ZONE: CR RETAIL COMMERCIAL  
TOTAL SITE AREA: 357,106sf

EXISTING CONDITIONS:  
TOTAL SF ALL BUILDINGS EXISTING: 94,885 SF  
PARKING PROVIDED: 390 SPACES  
94,885 SF/390 SPACES= 1 SPACE PER 243.25 SF

27,225 SF LANDSCAPING - 7.6% OF SITE AREA  
94,885 SF BUILDING AREA - 26.5% OF SITE AREA

PROPOSED:  
TOTAL SF ALL BUILDINGS PROPOSED: 98,285 SF  
PARKING PROVIDED: 404 SPACES  
98,285 SF/404 SPACES= 1 SPACE PER 245.71 SF  
MINIMUM 394 REQUIRED

30,867 SF LANDSCAPING - 8.6% OF SITE AREA  
98,285 SF BUILDING AREA - 27.5% OF SITE AREA

SITE PLAN NOTES:

- 1 EXISTING STRIPING, NO WORK.
- 2 RECONFIGURED STRIPING.
- 3 NEW LANDSCAPE AREA.
- 4 NEW CONCRETE WALK.
- 5 AT GRADE, CONCRETE WALK. CUT ASPHALT AS REQUIRED.
- 6 STRIPING, NO PARKING AREA.
- 7 RAMP PER CIVIL DRAWINGS. PROVIDE 1/2" DIAMETER HANDRAIL BOTH SIDES.
- 8 42" HIGH GUARDRAIL ALONG DRIVEWAY.
- 9 LOADING AREA. EXISTING ASPHALT TO REMAIN.

1 Sunnyslope Site Plan  
0' 10' 20' 40' 60' 120' 1" = 40'-0"

2 Site Plan Callout 1  
0' 5' 10' 20' 40' 60' 1" = 20'-0"

PRELIMINARY,  
NOT FOR  
CONSTRUCTION

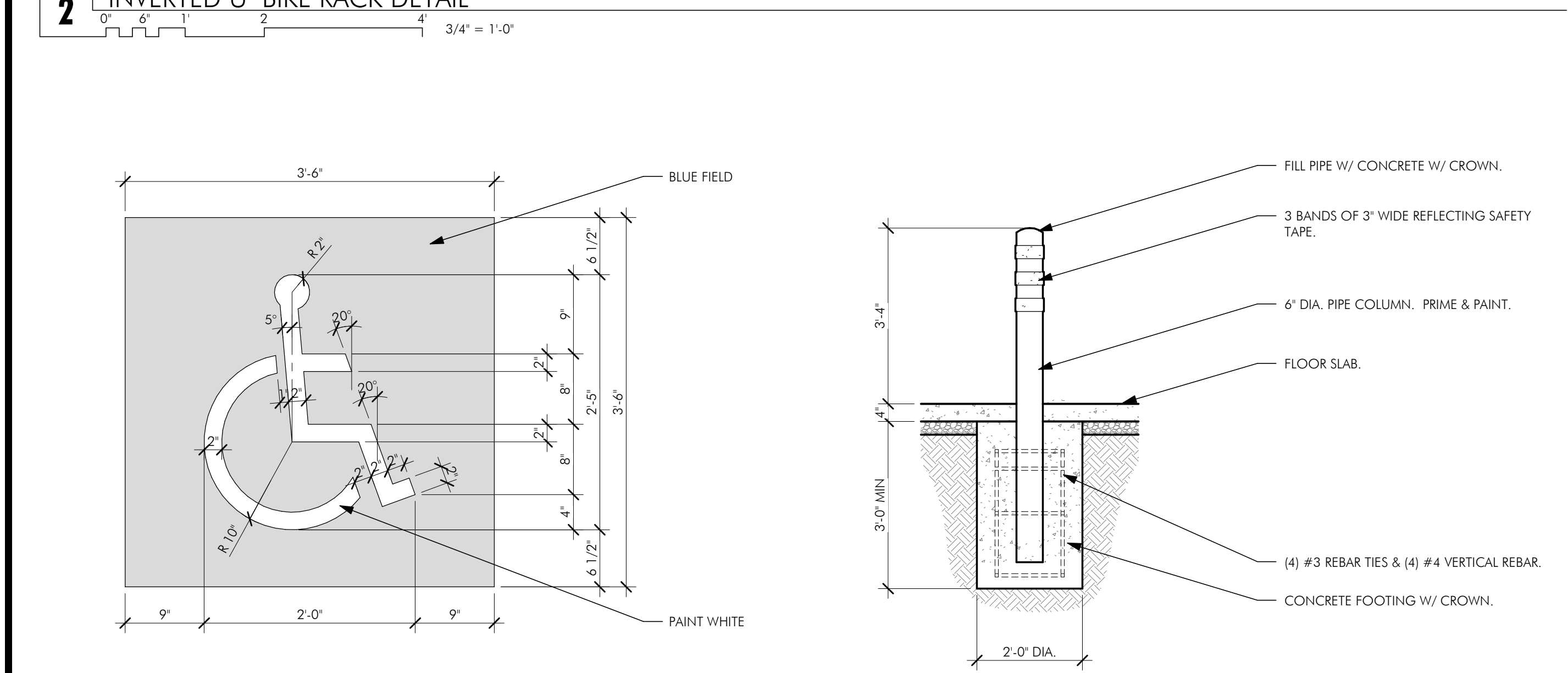
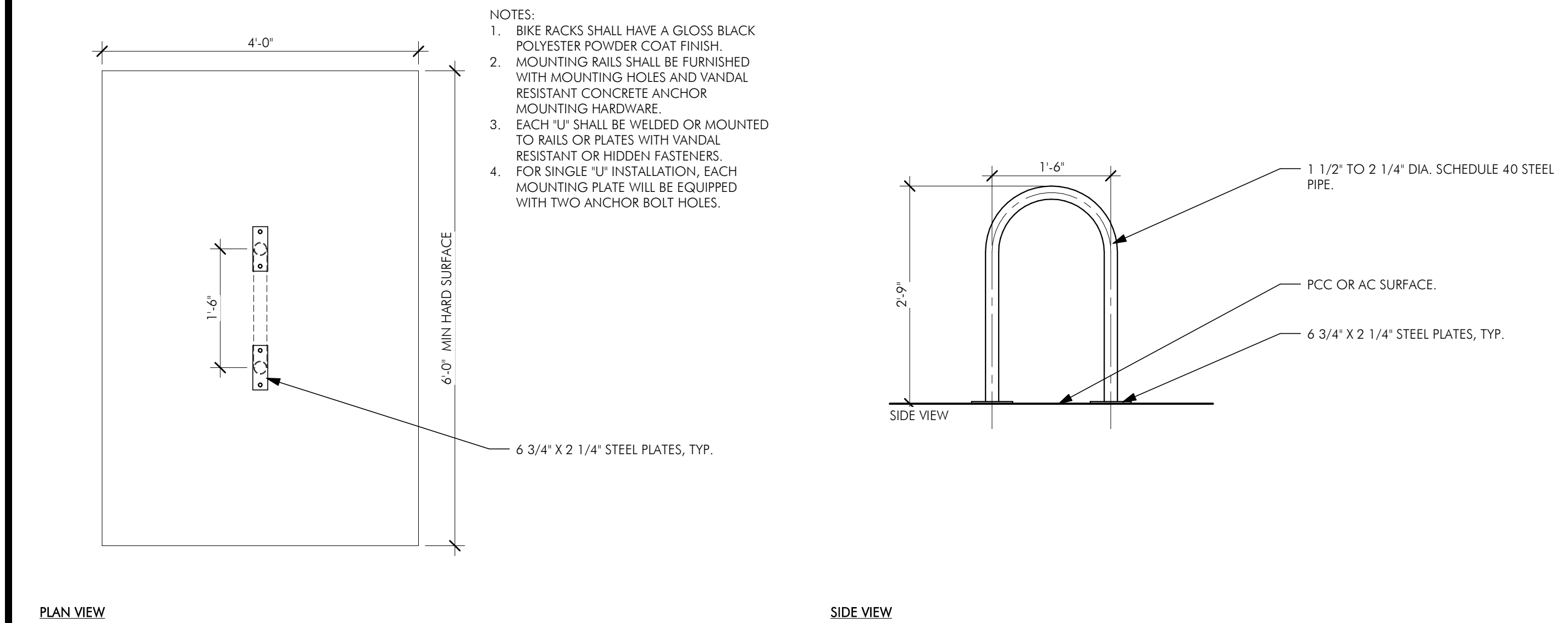
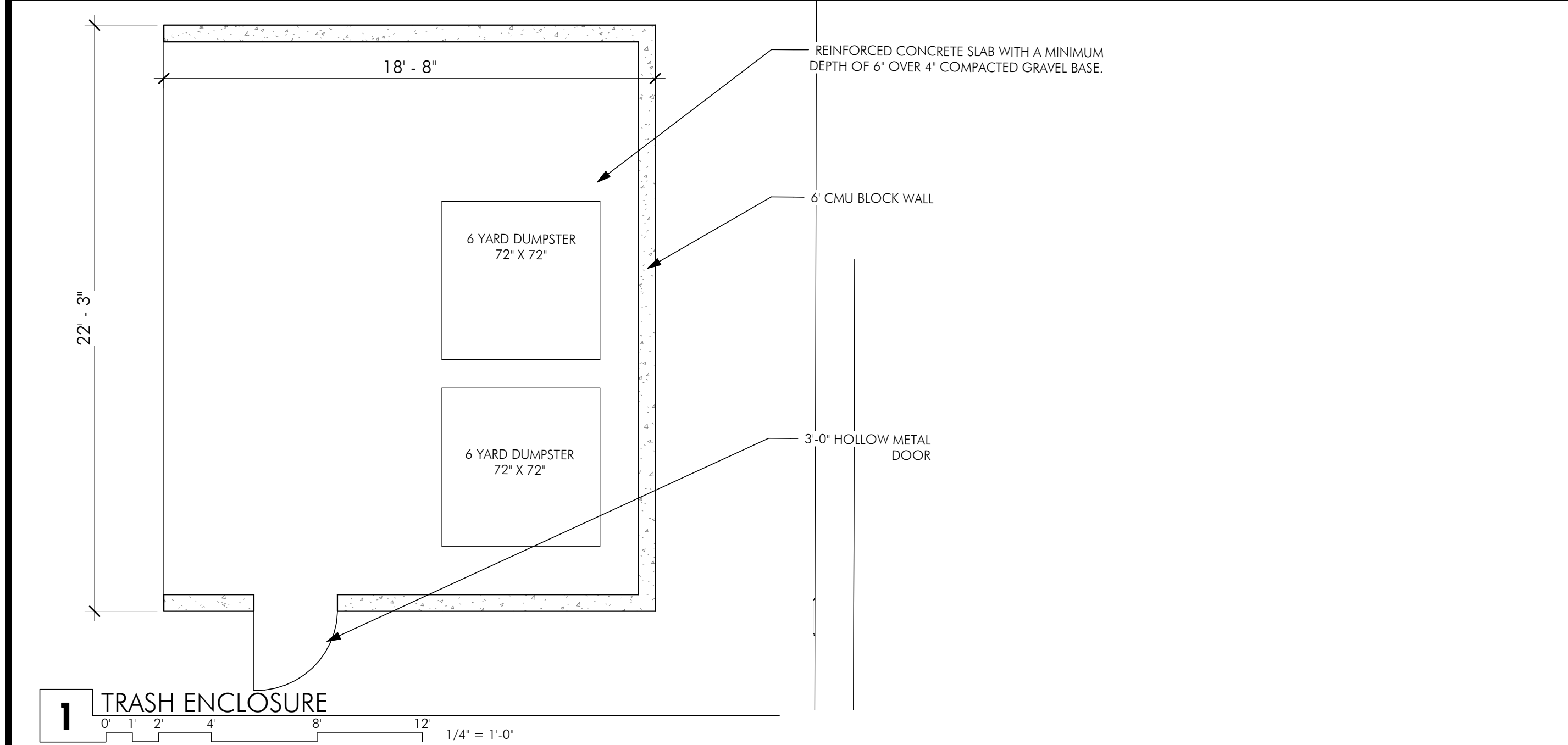
IN THE EVENT CONFLICTS ARE DISCOVERED  
BETWEEN THE ORIGINAL SIGNED AND SEALED  
DOCUMENTS PREPARED BY THE ARCHITECTS  
AND/OR THEIR CONSULTANTS, AND ANY COPY OF  
THE DOCUMENTS TRANSMITTED BY MAIL, FAX,  
ELECTRONICALLY OR OTHERWISE, THE ORIGINAL  
SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2020-063  
DATE: 6/30/2021

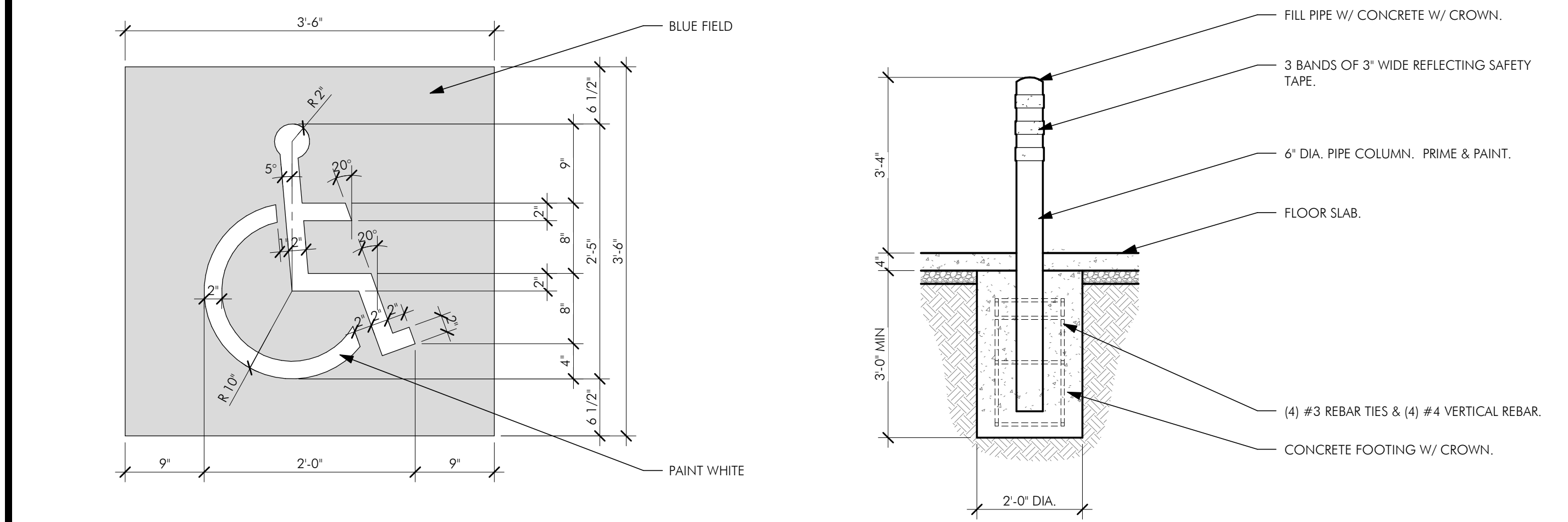
REVISIONS

NEW BUILDING FOR:  
**SHERWIN WILLIAMS**  
SUNNYSLOPE PLAZA - LIBERTY ROAD S - SALEM, OR

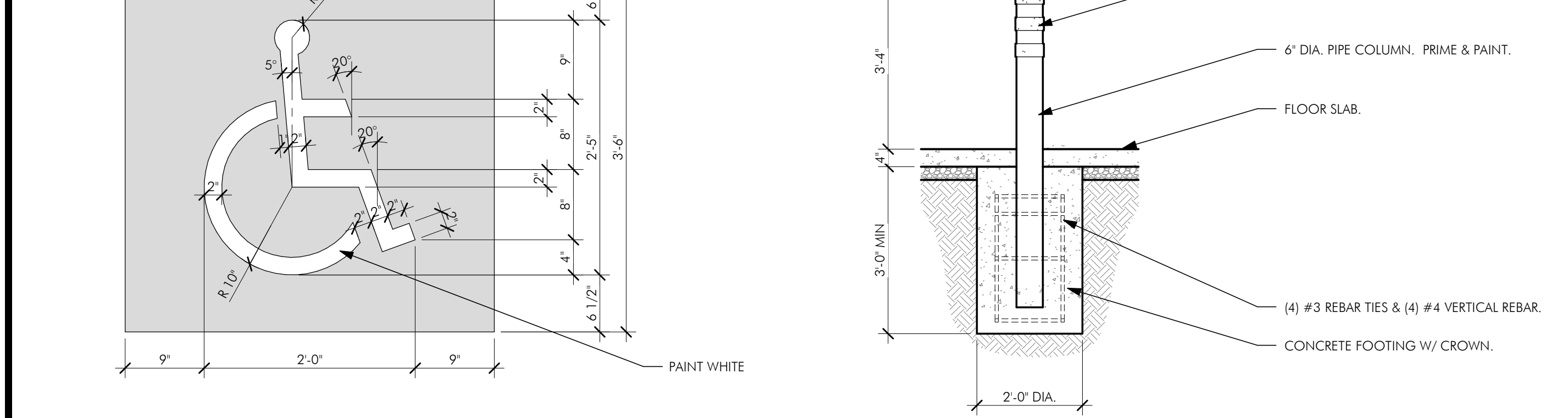




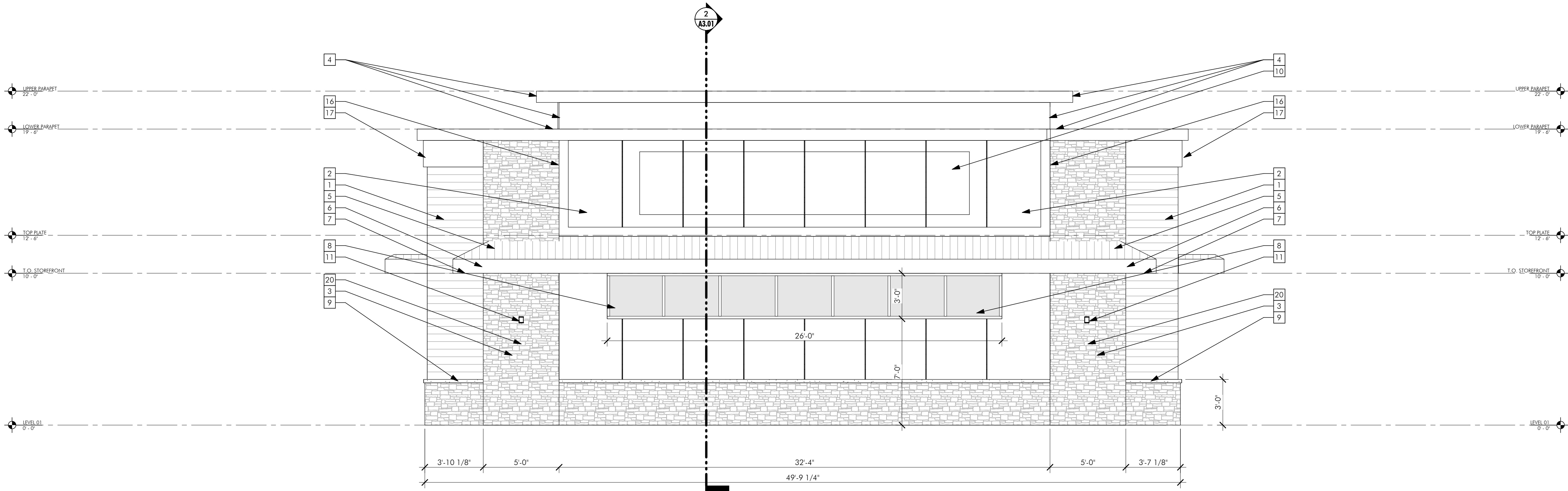
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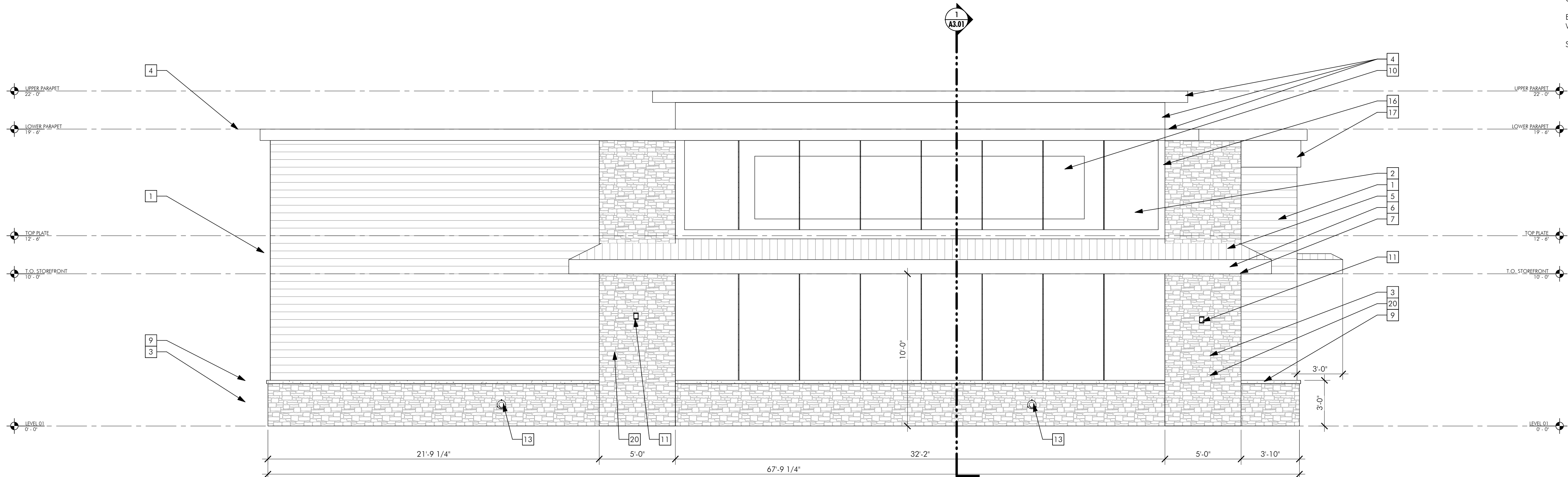


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**1** East Elevation

0' 1' 2' 4' 8' 12' 1/4" = 1'-0"



**2** South Elevation

0' 1' 2' 4' 8' 12' 1/4" = 1'-0"

## ELEVATION NOTES:

- JAMES HARDIE ARTISAN BEVEL CHANNEL SIDING, 7" EXPOSURE W/ WITH XTREME TRIM EDGE FLASHINGS. COLOR: "QUIVER TAN" SW 6151
- JAMES HARDIE REVEAL PANEL, COMMERCIAL LINE, WITH XTREME TRIM 1/2" CHANNELS AND EDGE FLASHINGS. COLOR: "UNIVERSAL KHAKI" SW6150
- STONE VENEER: OWENS CORNING "CULTURED STONE" SUEDE DRYSTACK LEDGESTONE CVS-2010.
- PARAPET ROOF FLASHINGS TO BE MIN .032" ANODIZED ALUMINUM OR MIN 26 GA STEEL. ALL FLASHINGS TO BE FIELD PAINTED. COLOR: "ECLIPSE" SW6166
- STANDING SEAM METAL PANELS "MCBI" CRAFTSMEN SERIES #5812 (12") OVER STRUCTURAL STEEL SUPPORT FRAME. CONCEAL ATTACHMENTS AND MATCHING TRIM. MINI CLEAR SNOW/ICE BRAKE TABS TO BE INSTALLED ON ALL CANOPIES.
- CANOPY FASICA TO BE PRE-FINISHED GALVANIZED FLASHING. COLOR TO MATCH STOREFRONT FRAMING.
- CANOPY SOFFIT TO BE PREFINISHED PANELS, "MCBI" ARTISAN SERIES #112 (12" W/ BEADS) SOFFIT PANELS W/ END CLOSURES. COLOR: WHITE.
- KAWNEER 2' X 4 1/2" EXTRUDED ALUMINUM STOREFRONT. THERMALLY BROKEN FRAMES. COLOR: NATURAL ALUMINUM, ANODIZED. 1" DOUBLE 1/4" PANE CLEAR GLAZING.
- PRE-CAST CONCRETE SILL. SLOPE TO DRAIN.
- LOCATION OF SIGNAGE, PROVIDE POWER. COORDINATE FINAL SIGNAGE AND LOCATION WITH OWNER AND SIGN COMPANY.
- LED UP/DOWN EXTERIOR LIGHT. FIXTURE: TBD.
- LED EXTERIOR WALL PACK LIGHT. FIXTURE: TBD.
- OVERFLOW NOZZLE, 2'-4" ABOVE FINISH FLOOR ELEVATION, TYP.
- PREFERRED GAS METER LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY.
- PREFERRED ELECTRICAL METER LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY.
- 6" NOMINAL FIBER CEMENT TRIM, SMOOTH. COLOR TO MATCH PARAPET FLASHING.
- 2X OVERFRAMING, WITH PREFINISHED METAL FLASHING. COLOR TO MATCH PARAPET FLASHING.
- 8X10 20 GA INSULATED STEEL SECTIONAL DOOR. COLOR: "QUIVER TAN" SW 6151
- HOLLOW METAL INSULATED DOOR. COLOR: "QUIVER TAN" SW 6151
- 2X6 WOOD FRAMED BUMP OUT AT CULTURED STONE PILASTERS.

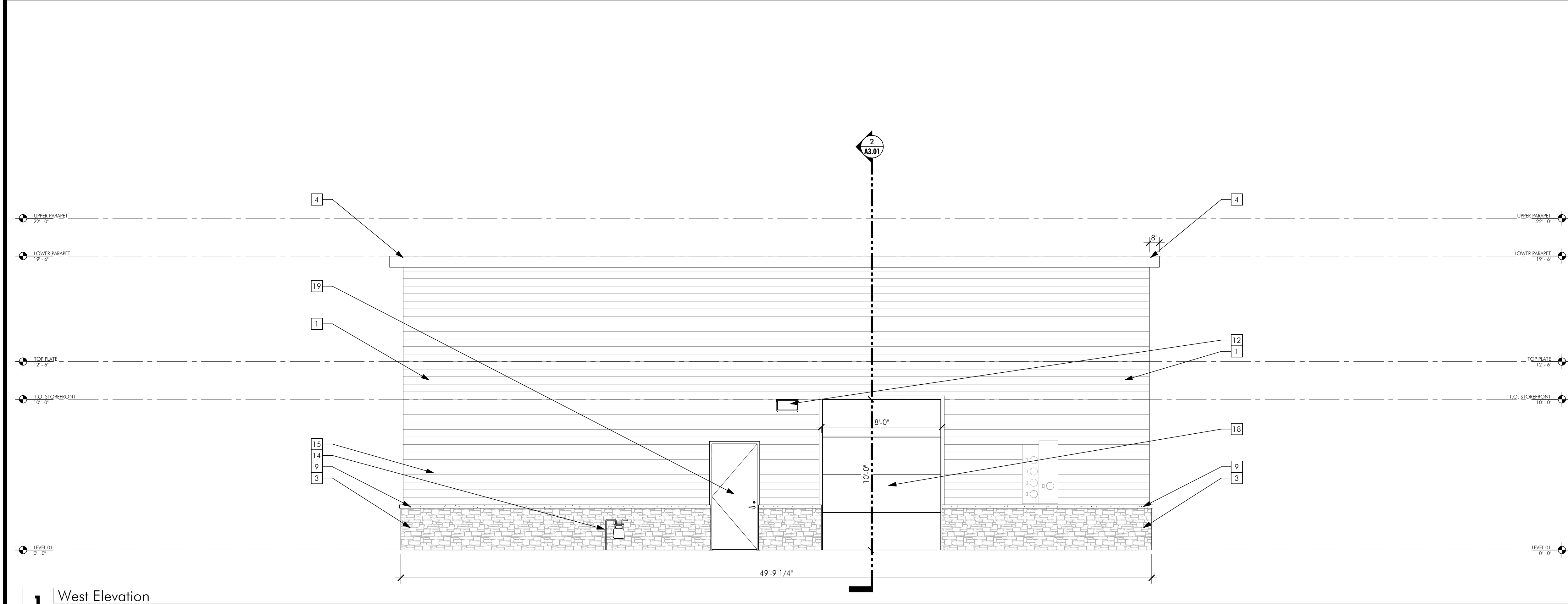
## NOTES:

ROOF ASSEMBLY: 60 MIL SINGLE PLY WHITE TPO OR WHITE EPDM, FULLY ADHERED, OVER COVERBOARD, OVER RIGID INSULATION AS REQUIRED, OVER PLYWOOD PER STRUCTURAL OVER OPEN WEB JOISTS.

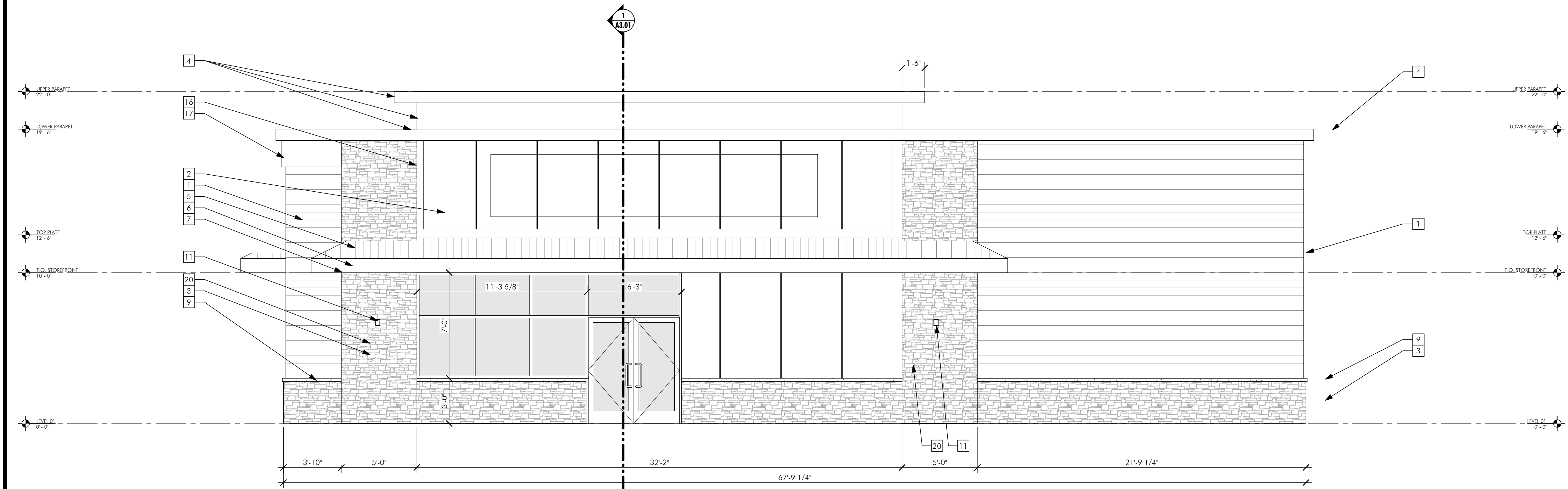
ROOF TO BE SINGLE SLOPE WITH TAPERED INSULATION CRICKETING, MIN. TWO ROOF DRAINS WITH OVERFLOWS.

EXTERIOR WALL ASSEMBLY: 2X8 (ASSUMED) WOOD STUDS WITH MIN R-21 BATT INSULATION.

SLAB ON GRADE.



1 West Elevation



2 North Elevation

ELEVATION NOTES:

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- PRE-CAST CONCRETE SILL. SLOPE TO DRAIN.
- LOCATION OF SIGNAGE, PROVIDE POWER. COORDINATE FINAL SIGNAGE AND LOCATION WITH OWNER AND SIGN COMPANY.
- LED UP/DOWN EXTERIOR LIGHT. FIXTURE: TBD.
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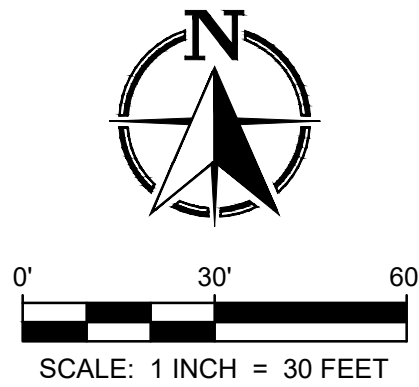
ROOF TO BE SINGLE SLOPE WITH TAPERED INSULATION CRICKETING, MIN. TWO ROOF DRAINS WITH OVERFLOWS.

EXTERIOR WALL ASSEMBLY: 2X8 (ASSUMED) WOOD STUDS WITH MIN R-21 BATT INSULATION.

SLAB ON GRADE.







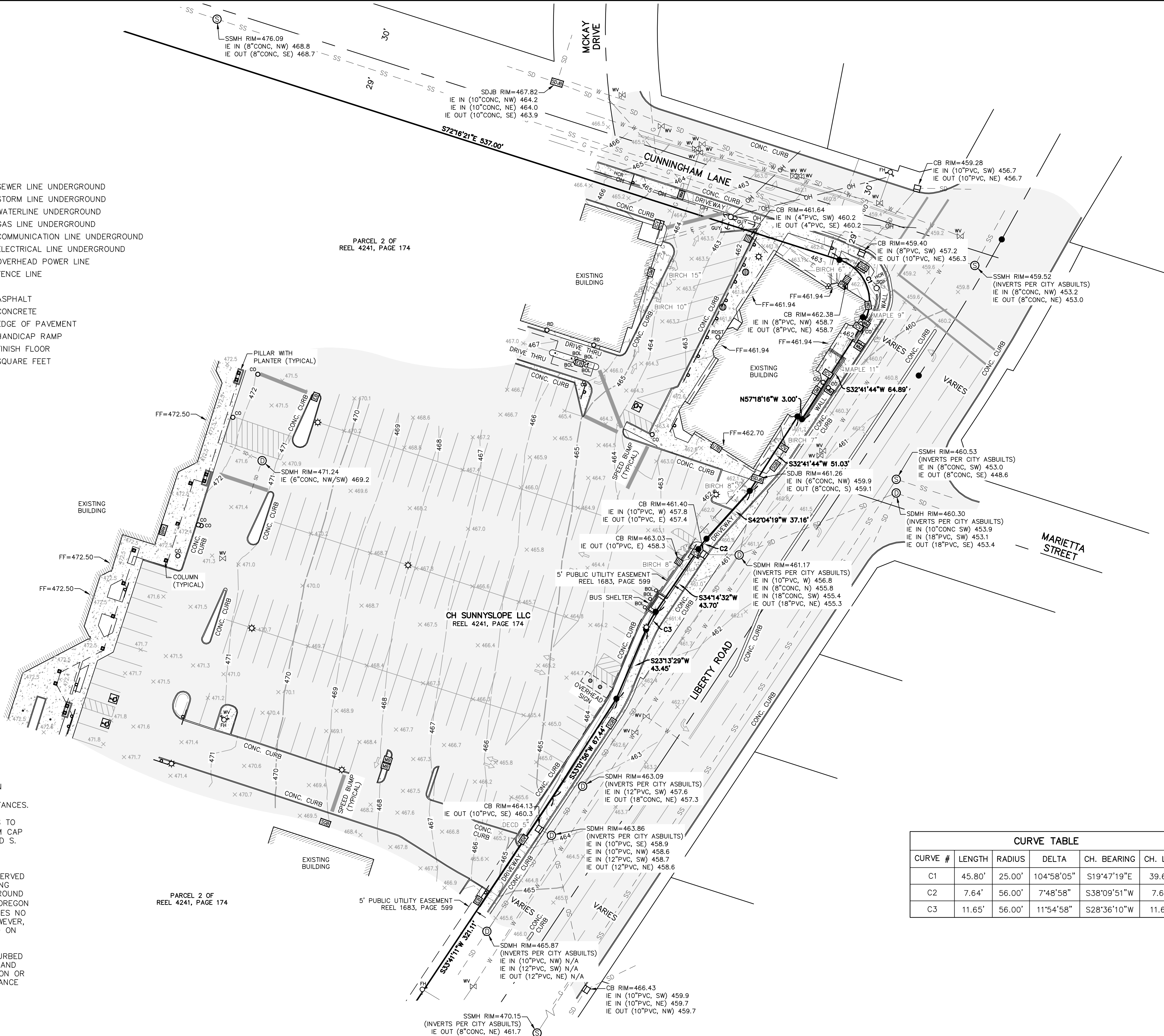
#### LEGEND

- FOUND MONUMENT
- ⊙ STORM DRAIN MANHOLE
- ⊕ STORM JUNCTION BOX
- ⊕ CATCH BASIN
- ⊕ CURB INLET
- ⊕ AREA DRAIN
- ⊕ ROOF DRAIN
- ⊕ SANITARY SEWER MANHOLE
- ⊕ CLEANOUT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER FAUCET
- ⊕ IRRIGATION VALVE
- ⊕ ELECTRICAL BOX
- ⊕ POWER METER
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ UTILITY STUB UP
- ⊕ UNKNOWN UTILITY BOX
- ⊕ GAS METER
- ⊕ TRAFFIC SIGNAL BOX
- ⊕ TRAFFIC SIGNAL POLE
- ⊕ SIGN
- ⊕ MISC. POST
- ⊕ BOLLARD
- ⊕ BIKE RACK
- ⊕ MAILBOX
- ⊕ HANDICAP PARKING
- ⊕ CONCRETE
- ⊕ ASPHALT
- ⊕ DECIDUOUS TREE & TRUNK SIZE

- SS --- SEWER LINE UNDERGROUND
- SD --- STORM LINE UNDERGROUND
- W --- WATERLINE UNDERGROUND
- G --- GAS LINE UNDERGROUND
- T --- COMMUNICATION LINE UNDERGROUND
- E --- ELECTRICAL LINE UNDERGROUND
- OH --- OVERHEAD POWER LINE
- X --- FENCE LINE
- AC ASPHALT
- CONC CONCRETE
- E.O.P. EDGE OF PAVEMENT
- HCR HANDICAP RAMP
- FF FINISH FLOOR
- SF SQUARE FEET

#### NOTES

1. BASIS OF BEARINGS AND COORDINATE SYSTEM IS BASED ON OREGON STATE PLANE NORTH ZONE, NAD83(2011), EPOCH 2010.00. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
2. ELEVATIONS WERE ESTABLISHED BY GPS RTK OBSERVATIONS TO CITY OF SALEM BENCHMARK "8207". MARK IS AN ALUMINUM CAP IN THE CURB AT THE NORTHEAST CORNER OF LIBERTY ROAD S. AND KUEBLER BOULEVARD SE. ELEVATION = 476.56' (CITY OF SALEM DATUM)
3. THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED VISIBLE EVIDENCE OF ABOVE GROUND APPURTENANCES ALONG WITH SURFACE UTILITY MARKINGS BY OTHERS. ALL UNDERGROUND UTILITIES SHOWN WERE MARKED ON THE SURFACE BY AN "OREGON ONE-CALL NOTIFICATION CENTER" REQUEST. SURVEYOR MAKES NO GUARANTEE AS TO THE ACCURACY OF SAID MARKINGS, HOWEVER, THEY ARE LOCATED AS ACCURATELY AS THEY ARE MARKED ON THE GROUND.
4. PER ORS 209.150, ANY SURVEY MONUMENT REMOVED, DISTURBED OR DESTROYED SHALL BE REPLACED BY A PROFESSIONAL LAND SURVEYOR WITHIN 90 DAYS AT THE EXPENSE OF THE PERSON OR PUBLIC AGENCY RESPONSIBLE FOR SAID REMOVAL, DISTURBANCE OR DESTRUCTION.
5. FIELD SURVEYED FEBRUARY, 2021.



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH. BEARING	CH. LEN.
C1	45.80'	25.00'	104°58'05"	S19°47'19"E	39.66'
C2	7.64'	56.00'	7°48'58"	S38°09'51"W	7.63'
C3	11.65'	56.00'	11°54'58"	S28°36'10"W	11.63'

FORTY FIVE NORTH  
SURVEYING, LLC



7230 3rd Street SE #145, Turner, OR 97392  
P: (503) 558-3330 E: info@ffnsurveying.com

TOPOGRAPHIC SURVEY  
FOR: 4435 LIBERTY ROAD S.  
IN THE NE 1/4 OF SECTION 9, T.8S., R.3W., W.M.  
CITY OF SALEM, MARION COUNTY, OREGON

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
SEPTEMBER 12, 2017  
STEVEN J. HOWELL  
91559

RENEWALS: 6-30-2021

REVISIONS

NO.	DATE	DESCRIPTION
0	01MAR21	INITIAL RELEASE

JOB NO. 21-252

SHEET 1/1