



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Modification of Phased Subdivision Case No. CPC-ZC-PUD-SUB-ADJ19-08MOD2
PROPERTY LOCATION:	255 Cordon Road Ne, Salem OR 97301
NOTICE MAILING DATE:	June 24, 2021
PROPOSAL SUMMARY:	A second modification to the East Park Estates Planned Unit Development Subdivision resulting in an adjustment to the southwestern property boundary and a change to the phasing schedule for the subdivision.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m., Thursday, July 8, 2021</u>. Please direct any questions and/or comments about the case to the Case Manager listed below. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Aaron Panko, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: APanko@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> East Lancaster Neighborhood Association (ELNA), Susann Kaltwasser, Land Use Chair; Phone: 503-363-3998; Email: susann@kaltwasser.com
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter 205.070(d) – Modification of Subdivision Approval Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	East Park LLC (Kiril Ivanov, Randy Myers)
APPLICANT(S):	Brandie Dalton, Multi-Tech Engineering Services Inc., on behalf of East Park LLC
PROPOSAL REQUEST:	A second modification to a previously approved phased Planned Unit Development and Subdivision (Case No. CPC-ZC-PUD-SUB-ADJ19-08 and CPC-ZC-PUD-SUB-ADJ19-08MOD1), resulting in an adjustment to the southwestern property boundary and a change to the phasing schedule for the subdivision, for property approximately 122 acres in size, zoned RS (Single Family Residential), RM-I and RM-II (Multi-Family Residential) and CR (Retail Commercial), and located at 255 Cordon Road NE, 4800-4900 Block of State Street and 4700-4800 Block of Auburn Road NE - 97301 (Marion County Assessors Map and Tax Lot numbers: 072W29B / 00200, 00201, 00300 and 00400 and 072W29C / 00100, 00101, 00199, 00200, 00300 and 00400).
APPLICATION PROCESS:	Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request. Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.
MORE INFORMATION:	Documents and evidence submitted by the applicant are available for review and paper copies can be obtained at a reasonable cost. You can also find out more information about the status of the proposed application on the City's online Permit Application Center at https://permits.cityofsalem.net . Just enter the permit number listed here: 21 107584

***PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>***

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development

Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

REGARDING: Modification of Phased Subdivision Case No. CPC-ZC-PUD-SUB-ADJ19-08MOD2

PROJECT ADDRESS: 255 Cordon Road Ne, Salem OR 97301

AMANDA Application No.: 21-107584-LD

COMMENT PERIOD ENDS: Thursday, July 8, 2021 at 5:00 P.M.

SUMMARY: A second modification to the East Park Estates Planned Unit Development Subdivision resulting in an adjustment to the southwestern property boundary and a change to the phasing schedule for the subdivision.

REQUEST: A second modification to a previously approved phased Planned Unit Development and Subdivision (Case No. CPC-ZC-PUD-SUB-ADJ19-08 and CPC-ZC-PUD-SUB-ADJ19-08MOD1), resulting in an adjustment to the southwestern property boundary and a change to the phasing schedule for the subdivision, for property approximately 122 acres in size, zoned RS (Single Family Residential), RM-I and RM-II (Multi-Family Residential) and CR (Retail Commercial), and located at 255 Cordon Road NE, 4800-4900 Block of State Street and 4700-4800 Block of Auburn Road NE - 97301 (Marion County Assessors Map and Tax Lot numbers: 072W29B / 00200, 00201, 00300 and 00400 and 072W29C / 00100, 00101, 00199, 00200, 00300 and 00400).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m., Thursday, July 8, 2021, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number.* ****PLEASE NOTE: City offices have very limited staffing due to COVID-19. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.****

CASE MANAGER: Aaron Panko, Planner III, Phone: 503-540-2356; E-Mail: APanko@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- ☐ 1. I have reviewed the proposal and have no objections to it.
- ☐ 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

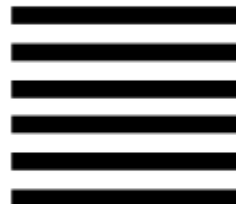
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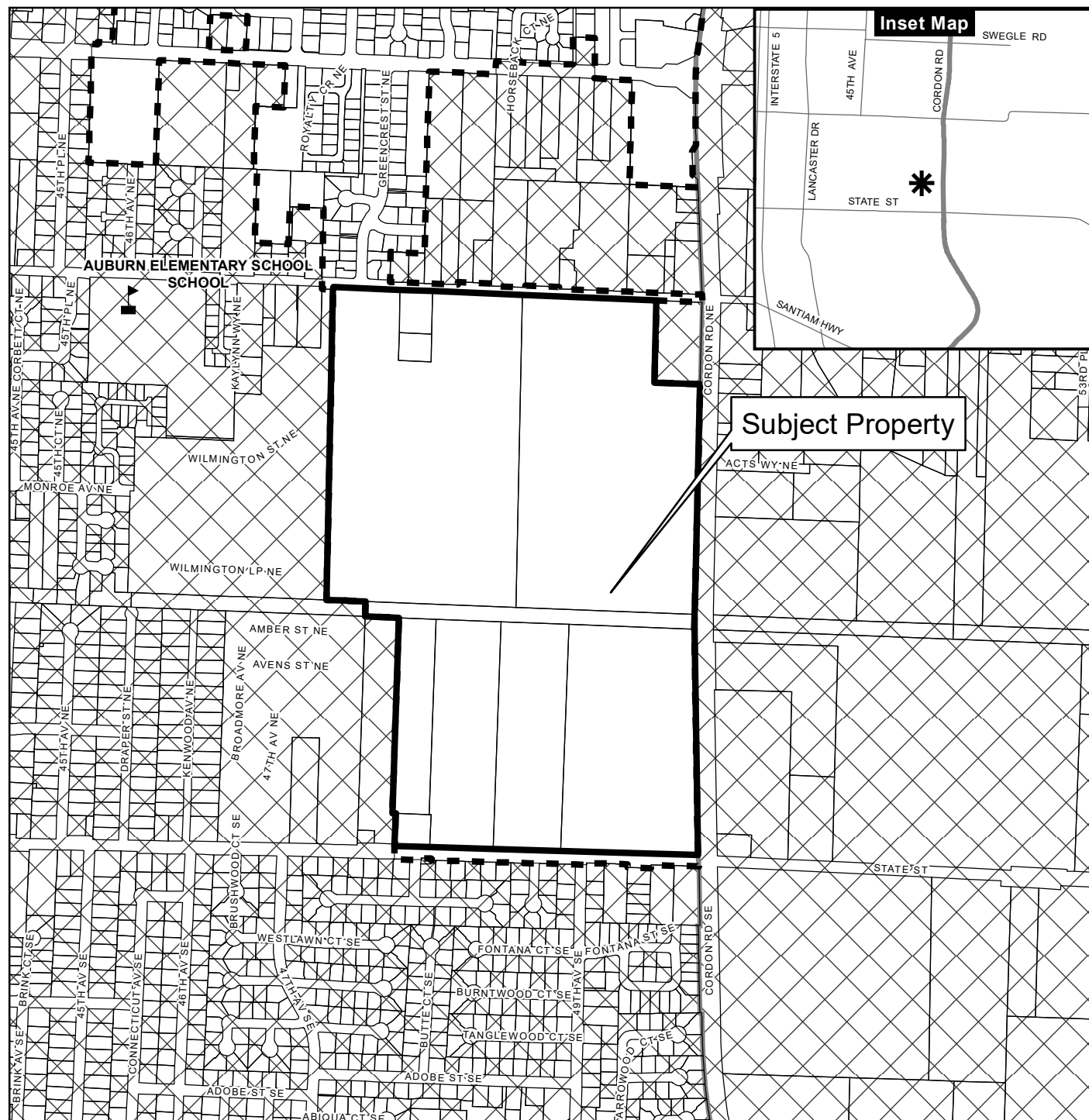
PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



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Vicinity Map



Legend



Urban Growth Boundary



City Limits



Outside Salem City Limits



Historic District



Schools

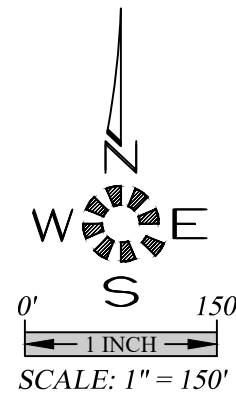


Parks

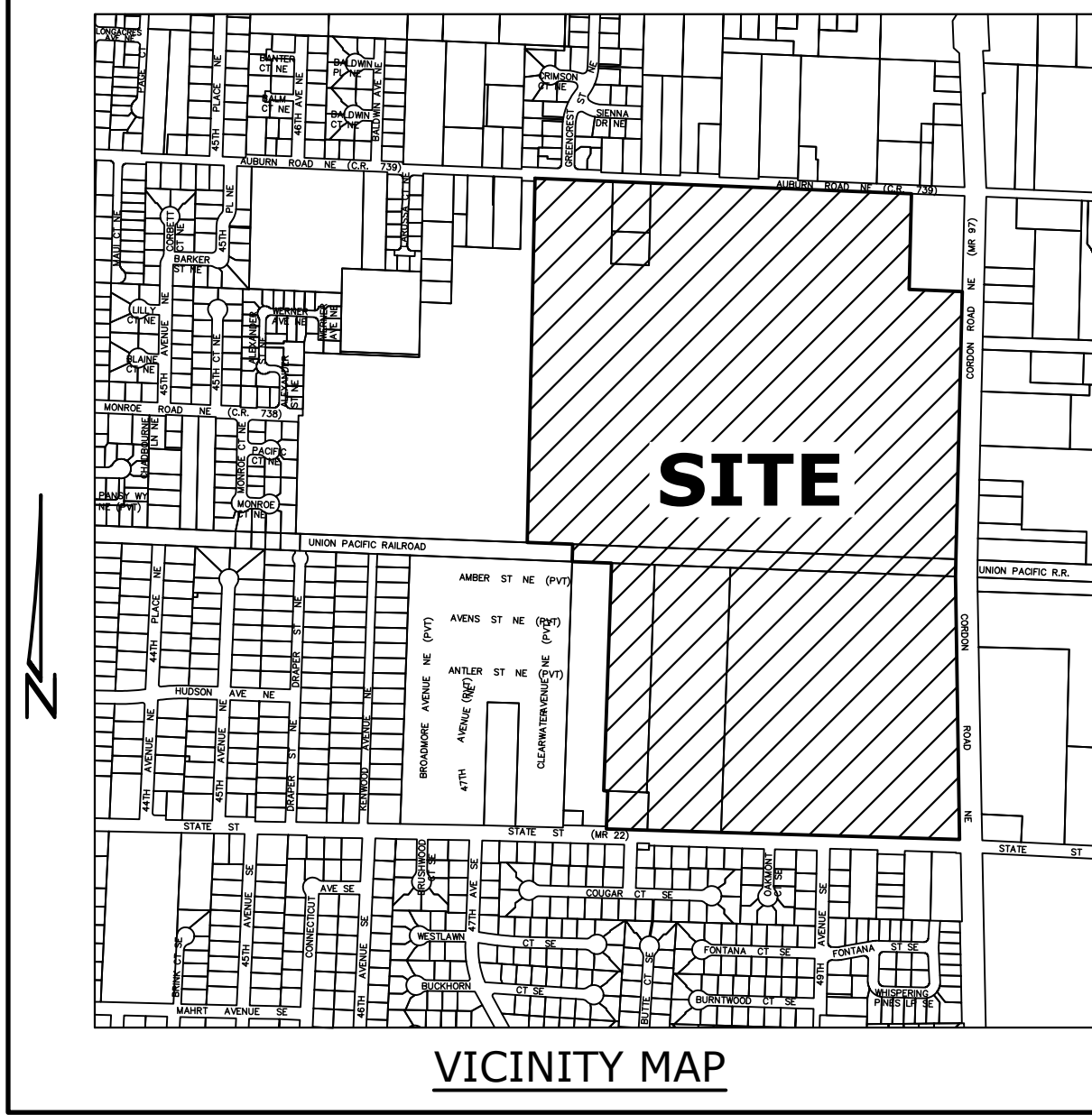


Community Development Dept.

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SHEET INDEX	
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P103	SITE PLAN - PHASE 3 & 4
P104	SITE PLAN - PHASE 4
P105	SITE PLAN - PHASE 5 & 6
P106	SITE PLAN - PHASE 3



EAST PARK ESTATES

A PLANNED UNIT DEVELOPMENT

SEC. 29, T. 7 S., R. 2 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON

Owner / Developer:
EAST PARK L.L.C.
27375 SW PARKWAY AVE
WILSONVILLE, OREGON 97070

UTILITIES:	
CABLE	COMCAST CABLE SERVICES
POWER	P.G.E.
PHONE	CENTURY LINK
GAS	N.W. NATURAL
SANITARY SEWER	
STORM DRAIN & WATER	CITY OF SALEM

EXISTING ZONE:
RS, RM-I, RM-II, CR

COMPREHENSIVE DESG.:
SINGLE FAMILY RESIDENTIAL,
MULTI-FAMILY RESIDENTIAL &
COMMERCIAL

AREA TABLE:			
BOUNDARY:	5,340,008 S.F.	122.59 Ac.	100.00%
LOT AREA:	2,728,279 S.F.	62.63 Ac.	51.01%
TRACT AREA:	387,211 S.F.	8.89 Ac.	7.25%
CITY PARK:	323,884 S.F.	7.44 Ac.	6.06%
COMMERCIAL:	574,966 S.F.	13.20 Ac.	10.77%

PARCEL SIZE:

PHASE 1	
TOTAL AREA	22.34 AC.
TRACTS	0.47 AC.
LOTS	14.83 AC.
NUMBER OF UNITS	148
DENSITY	9.98 UNITS/AC.
LARGEST	9,484 S.F.
SMALLEST	3,115 S.F.
AVERAGE	4,364 S.F.

PHASE 2	
TOTAL AREA	13.30 AC.
TRACTS	1.68 AC.
LOTS	8.91 AC.
NUMBER OF UNITS	93
DENSITY	10.44 UNITS/AC.
LARGEST	8,487 S.F.
SMALLEST	3,010 S.F.
AVERAGE	4,172 S.F.

PHASE 3	
TOTAL AREA	35.90 AC.
TRACTS	1.76 AC.
LOTS	29.79 AC.
NUMBER OF UNITS	106
DENSITY	3.56 UNITS/AC.
LARGEST	556,093 S.F.
SMALLEST	3,454 S.F.
AVERAGE	12,244 S.F.

PHASE 4	
TOTAL AREA	10.30 AC.
TRACTS	1.53 AC.
LOTS	7.13 AC.
NUMBER OF UNITS	80
DENSITY	11.23 UNITS/AC.
LARGEST	5,353 S.F.
SMALLEST	3,115 S.F.
AVERAGE	3,880 S.F.

PHASE 5	
TOTAL AREA	17.78 AC.
TRACTS	0.80 AC.
LOTS	12.24 AC.
NUMBER OF UNITS	130
DENSITY	10.62 UNITS/AC.
LARGEST	7,960 S.F.
SMALLEST	3,115 S.F.
AVERAGE	4,102 S.F.

PHASE 6	
TOTAL AREA	18.26 AC.
TRACTS	3.12 AC.
LOTS	7.44 AC.
NUMBER OF UNITS	80
DENSITY	10.75 UNITS/AC.
LARGEST	7,312 S.F.
SMALLEST	3,115 S.F.
AVERAGE	4,052 S.F.

PHASE 2B	
TOTAL AREA	1.44 AC.
TRACTS	0.00 AC.
LOTS	1.14 AC.
NUMBER OF UNITS	12
DENSITY	10.49 UNITS/AC.
LARGEST	4,450 S.F.
SMALLEST	3,960 S.F.
AVERAGE	4,153 S.F.

MULTI/TECH

ENGINEERING SERVICES, INC.
1155 13th ST. S.E. SALEM, OR. 97302
PH. (503) 363-9227 FAX (503) 364-1260
WWW.MTSIENGINEERING.COM

PLANNED UNIT DEVELOPMENT
TENTATIVE PLAN
COVER SHEET

EAST PARK ESTATES

NO CHANGES, MODIFICATIONS
OR REPRODUCTIONS TO BE
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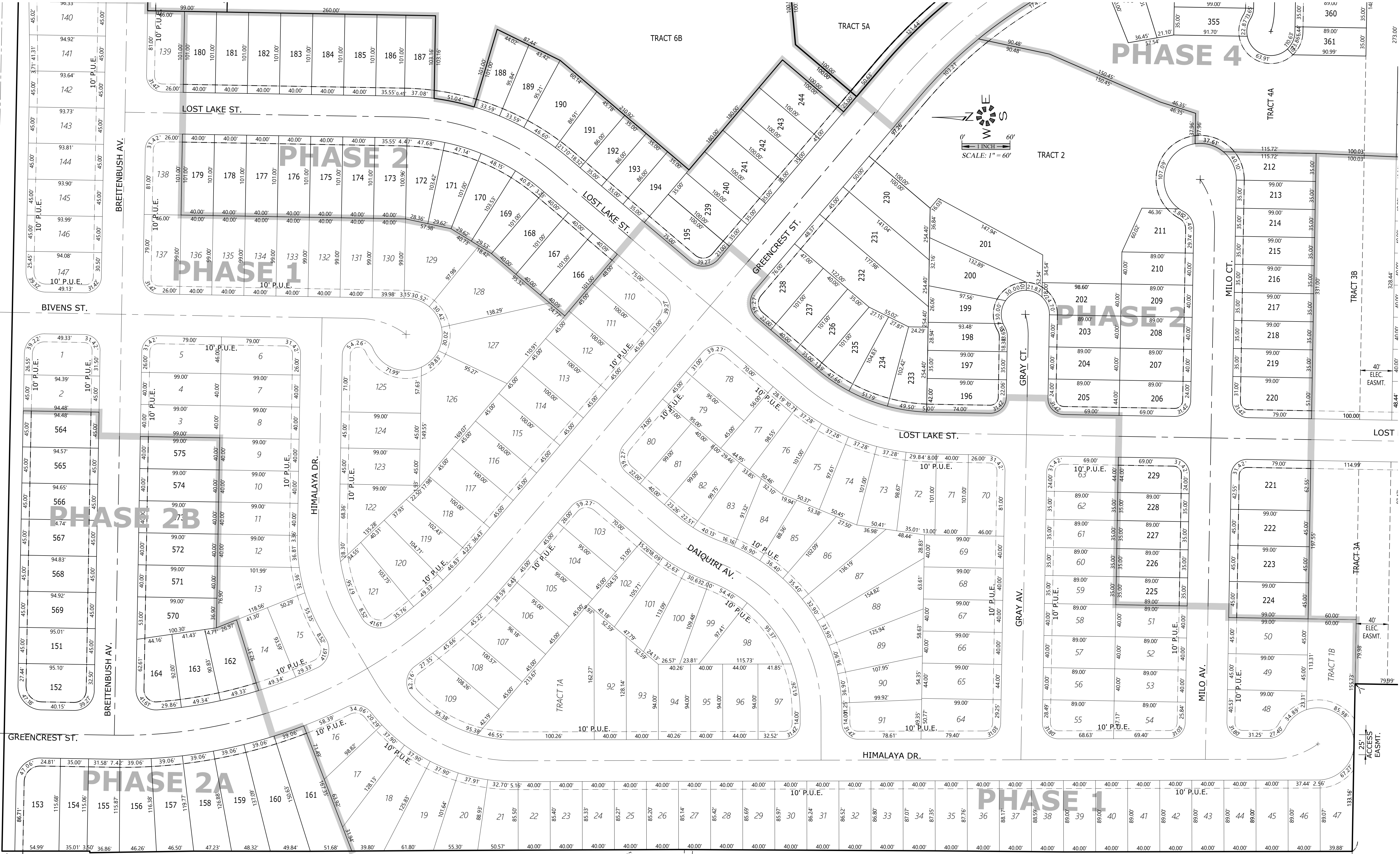
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Drawn:	L.J.L.
Checked:	J.G.
Date:	JUN 2021
Scale:	AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
MARK D. GEESE
JULY 14, 1978
EXPIRES 06-30-2019
JOB # 6437

PHASE 1														
Parcel Table			Parcel Table			Parcel Table			Parcel Table			Parcel Table		
LOT	S.F.		LOT	S.F.		LOT	S.F.		LOT	S.F.		LOT	S.F.	
1	4,639		16	4,657		31	3,455		46	3,560		61	3,115	
2	4,249		17	5,316		32	3,466		47	4,041		62	3,115	
3	3,960		18	6,710		33	3,477		48	5,060		63	3,830	
4	3,960		19	5,338		34	3,488		49	4,455		64	4,850	
5	4,468		20	4,330		35	3,502		50	4,455		65	4,356	
6	4,468		21	3,819		36	3,519		51	3,560		66	3,960	
7	3,960		22	3,418		37	3,535		52	3,560		67	3,960	
8	3,960		23	3,415		38	3,552		53	3,560		68	3,960	
9	3,960		24	3,412		39	3,560		54	4,040		69	3,960	
10	3,960		25	3,409		40	3,560		55	4,184		70	4,560	
11	3,960		26	3,407		41	3,560		56	3,560		71	4,040	
12	3,996		27	3,411		42	3,560		57	3,560		72	4,287	
13	5,801		28	3,422		43	3,560		58	3,560		73	4,349	
14	4,225		29	3,433		44	3,560		59	3,115		74	4,322	
15	4,600		30	3,444		45	3,560		60	3,115		75	4,322	

PHASE 2														
Parcel Table			Parcel Table			Parcel Table			Parcel Table			Parcel Table		
LOT	S.F.		LOT	S.F.		LOT	S.F.		LOT	S.F.		LOT	S.F.	
167	4,040		182	4,040		197	3,465		212	3,643		227	3,115	
168	4,040		183	4,040		198	3,433		213	3,465		228	3,115	
169	3,774		184	4,040		199	3,456		214	3,465		229	3,830	
170	3,986		185	4,040		200	5,039		215	3,465		230	6,026	
171	3,932		186	3,636		201	6,988		216	3,465		231	7,178	
172	3,891		187	3,764		202	3,798		217	3,465		232	8,487	
173	4,041		188	3,788		203	3,560		218	3,465		233	3,846	
174	4,040		189	3,663		204	3,560		219	3,465		234	4,141	
175	4,040		190	4,793		205	3,830		220	4,963		235	3,914	
176	4,040		191	3,696		206	3,830		221	6,107		236	3,535	
177	4,040		192	3,010		207	3,560		222	4,455		237	4,040	
178	4,040		193	3,010		208	3,560		223	4,455		238	4,613	
179	4,040		194	3,010		209	3,560		224	4,455		239	3,500	
180	4,040		195	4,466		210	3,560		225	3,115		240	3,500	
181	4,040		196	4,078		211	4,099		226	3,115		241	3,500	

Parcel Table	
TRACT	S.F.
TRACT 1A	13,286
TRACT 1B	7,092
TRACT 2	73,059
TRACT 3A	31,869
TRACT 3B	32,973
TRACT 4A	58,571
TRACT 5A	20,089
TRACT 6A	184,880
TRACT 6B	128,562
TRACT 6C	22,613



TENTATIVE SITE PLAN
PHASE 3 & 4

EAST PARK ESTATES

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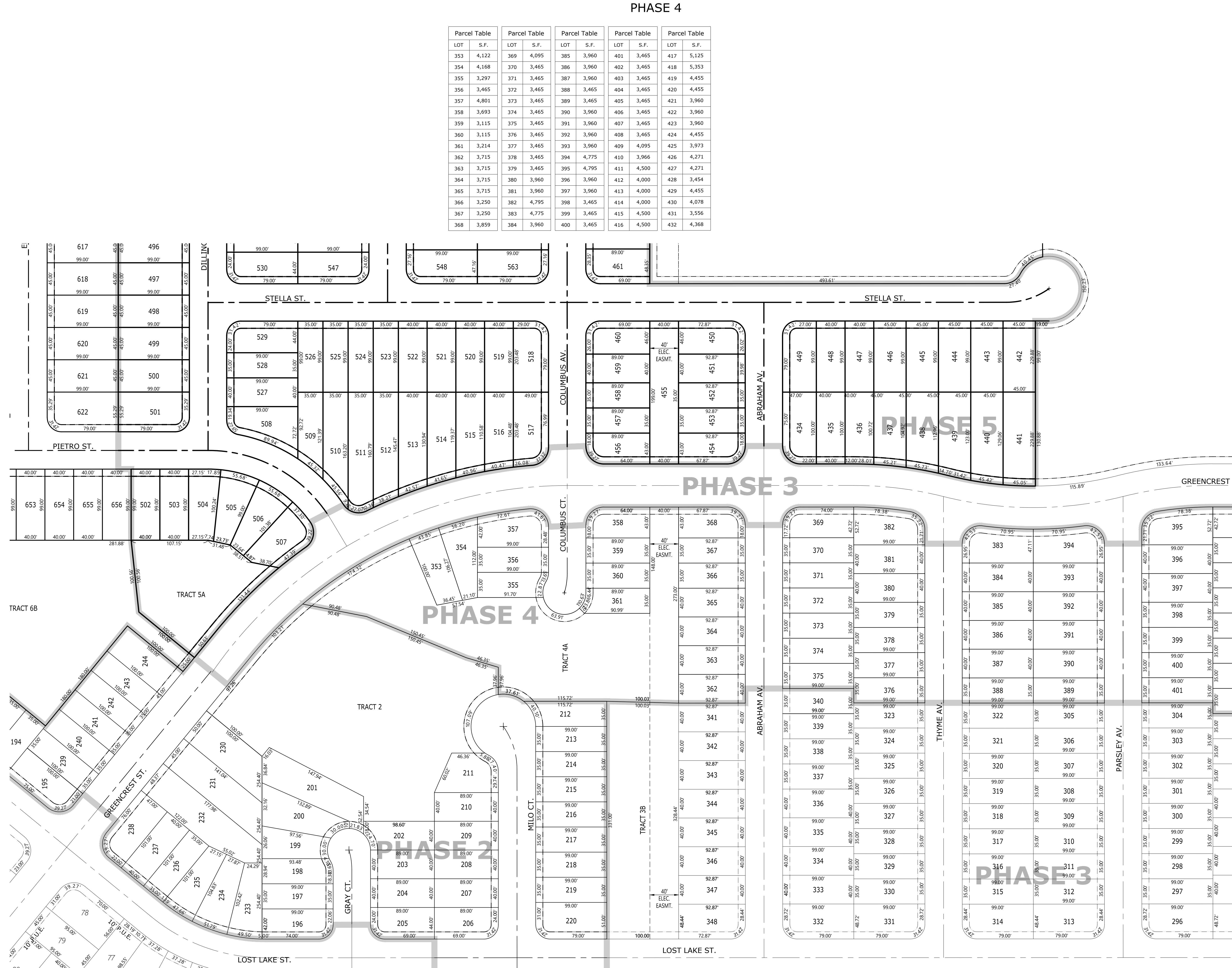
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Scale: AS SHOWN

REGISTERED PROFESSIONAL
ENGINEER
MARK D. GREENE
JULY 14, 1978
EXPIRES 06-30-2019
JOB # 6437

PHASE 3

Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.
246	3,930	262	3,873	278	4,455	294	3,960	310	3,465	326	3,465	342	3,715
247	3,917	263	3,868	279	4,455	295	4,738	311	3,465	327	3,465	343	3,715
248	3,905	264	3,860	280	4,523	296	4,738	312	3,465	328	3,465	344	3,715
249	3,897	265	3,849	281	4,523	297	3,465	313	4,710	329	3,465	345	3,715
250	3,897	266	3,839	282	4,455	298	3,465	314	4,710	330	3,465	346	3,715
251	3,898	267	3,835	283	4,455	299	3,465	315	3,465	331	4,738	347	3,715
252	3,899	268	3,838	284	4,455	300	3,465	316	3,465	332	4,738	348	4,413
253	3,899	269	3,532	285	4,455	301	3,465	317	3,465	333	3,960	349	294,153
254	3,900	270	3,862	286	4,455	302	3,465	318	3,465	334	3,960	350	556,093
255	3,900	271	4,147	287	3,454	303	3,465	319	3,465	335	3,960	351	53,638
256	3,898	272	3,617	288	3,465	304	3,465	320	3,465	336	3,960		
257	3,894	273	3,605	289	3,465	305	3,465	321	3,465	337	3,465		
258	3,890	274	4,106	290	3,465	306	3,465	322	3,465	338	3,465		
259	3,886	275	3,580	291	3,960	307	3,465	323	3,465	339	3,465		
260	3,882	276	4,455	292	3,960	308	3,465	324	3,465	340	3,465		
261	3,878	277	4,455	293	3,960	309	3,465	325	3,465	341	3,715		





Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.
353	4,122	369	4,095	385	3,960	401	3,465	417	5,125
354	4,168	370	3,465	386	3,960	402	3,465	418	5,353
355	3,297	371	3,465	387	3,960	403	3,465	419	4,455
356	3,465	372	3,465	388	3,465	404	3,465	420	4,455
357	4,801	373	3,465	389	3,465	405	3,465	421	3,960
358	3,693	374	3,465	390	3,960	406	3,465	422	3,960
359	3,115	375	3,465	391	3,960	407	3,465	423	3,960
360	3,115	376	3,465	392	3,960	408	3,465	424	4,455
361	3,214	377	3,465	393	3,960	409	4,095	425	3,973
362	3,715	378	3,465	394	4,775	410	3,966	426	4,271
363	3,715	379	3,465	395	4,795	411	4,500	427	4,271
364	3,715	380	3,960	396	3,960	412	4,000	428	3,454
365	3,715	381	3,960	397	3,960	413	4,000	429	4,455
366	3,250	382	4,795	398	3,465	414	4,000	430	4,078
367	3,250	383	4,775	399	3,465	415	4,500	431	3,556
368	3,859	384	3,960	400	3,465	416	4,500	432	4,368



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TENTATIVE SITE PLAN
PHASE 4

EAST PARK ESTATES

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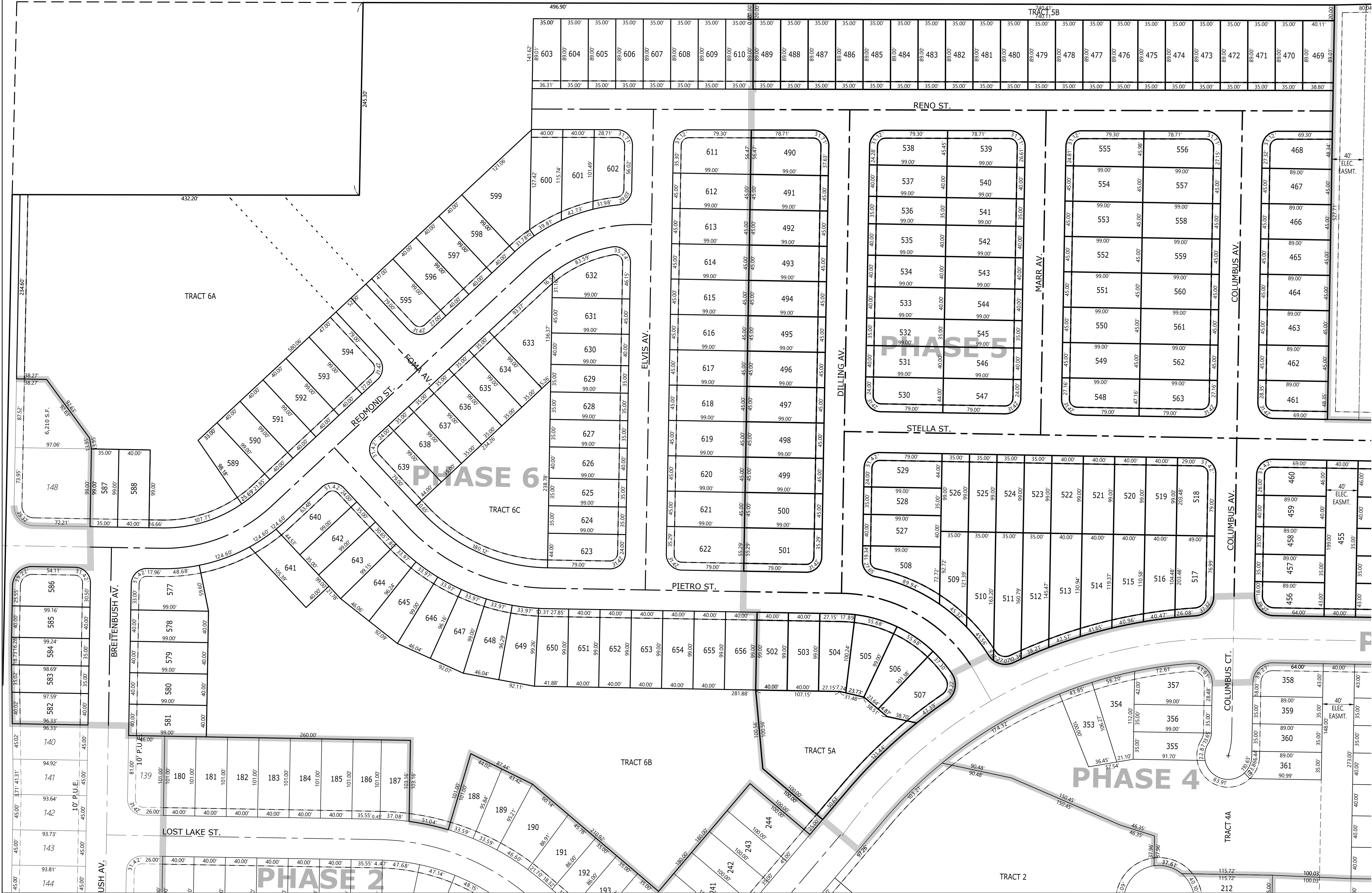
JOB # 6437

PHASE 5

Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.
434	4,566	449	4,567	464	4,005	479	3,115	494	4,455	509	3,713	524	3,465	539	4,483	554	4,455
435	4,000	450	4,187	465	4,005	480	3,115	495	4,455	510	4,965	525	3,465	540	3,960	555	4,397
436	4,007	451	3,714	466	4,005	481	3,115	496	4,455	511	5,800	526	3,465	541	3,465	556	4,536
437	4,613	452	3,250	467	4,005	482	3,115	497	4,455	512	5,352	527	3,960	542	3,960	557	4,455
438	4,888	453	3,250	468	4,161	483	3,115	498	4,455	513	5,518	528	3,465	543	3,960	558	4,455
439	5,318	454	3,859	469	3,511	484	3,115	499	4,455	514	4,997	529	4,270	544	3,960	559	4,455
440	5,687	455	7,960	470	3,115	485	3,115	500	4,455	515	4,590	530	4,270	545	3,465	560	4,455
441	5,864	456	3,693	471	3,115	486	3,115	501	5,387	516	4,293	531	3,960	546	3,960	561	4,455
442	4,455	457	3,115	472	3,115	487	3,115	502	3,960	517	4,892	532	3,465	547	4,270	562	4,455
443	4,455	458	3,115	473	3,115	488	3,115	503	3,960	518	4,765	533	3,960	548	4,583	563	4,583
444	4,455	459	3,560	474	3,115	489	3,115	504	3,960	519	3,960	534	3,960	549	4,455		
445	4,455	460	4,008	475	3,115	490	5,574	505	3,974	520	3,960	535	3,960	550	4,455		
446	4,455	461	4,217	476	3,115	491	4,455	506	3,988	521	3,960	536	3,465	551	4,455		

PHASE 6

Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.	LOT	S.F.
577	4,941	589	3,980	601	4,316	613	4,455	625	3,465	637	3,465	649	3,888				
578	3,960	590	3,960	602	4,605	614	4,455	626	3,960	638	3,465	650	3,963				
579	3,960	591	3,960	603	3,174	615	4,455	627	3,465	639	4,270	651	3,960				
580	3,960	592	3,960	604	3,115	616	4,455	628	3,465	640	4,273	652	3,960				
581	3,960	593	3,960	605	3,115	617	4,455	629	3,465	641	4,063	653	3,960				
582	3,878	594	4,567	606	3,115	618	4,455	630	3,960	642	3,465	654	3,960				
583	3,435	595	4,567	607	3,115	619	4,455	631	4,455	643	3,945	655	3,960				
584	3,469	596	3,960	608	3,115	620	4,455	632	5,410	644	3,884	656	3,960				
585	3,968	597	3,960	609	3,115	621	4,455	633	6,227	645	3,881						
586	4,786	598	3,960	610	3,115	622	5,387	634	3,465	646	3,879						
587	3,465	599	7,312	611	5,435	623	4,270	635	3,465	647	3,879						
588	3,960	600	5,038	612	4,455	624	3,465	636	3,465	648	3,882						



TENTATIVE SITE PLAN
PHASE 1, 2, 5 & 6

EAST PARK ESTATES

NO CHANGES, MODIFICATIONS
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WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

Design: M.D.G.
Drawn: L.J.L.
Checked: J.G.
Date: JUN 2021
Scale: AS SHOWN

REGISTERED PROFESSIONAL
ENGINEER
MARK D. GREGG
JULY 14, 1978
EXPIRES 06-30-2019
JOB # 6437



TENTATIVE SITE PLAN
PHASE 1, 2, 5 & 6

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