



Public Works Department

555 Liberty Street SE / Room 325 • Salem OR 97301-3513 • Phone 503-588-6211 • Fax 503-588-6025

June 2, 2021

Neighborly Ventures
2925 River Road S Suite 100
Salem OR 97302

**SUBJECT: Wetland Land Use Notification: 2110 Strong Road SE
Permit # 21-101926-ZO**

Tax lots 083W11A00600 and 083W0200100 at the above address may contain mapped wetlands or waterways as is indicated on the Salem-Keizer Local Wetland Inventory. *Oregon Revised Statute 227.350(5)* allows the City of Salem to issue development permits and approvals for activities for parcels identified as, or including wetlands on, the Local Wetland Inventory upon the following:

- Providing written notice to the applicant and landowner of the possible presence of wetlands on your property;
- Providing written notice to the applicant and landowner of the potential need for state and federal wetland permits; and
- Providing Department of State Lands (DSL) with a copy of the notification.

All, or a portion of this property has been identified as wetland and/or waterway on the Statewide Wetland Inventory *or in close proximity* to a mapped wetland and/or waterway site. If you have evidence to the contrary, please contact me as soon as possible at 503-588-6211. If the site contains a jurisdictional wetland, this proposal may require a permit from DSL and/or the Army Corps of Engineers. You must obtain any necessary state or federal permits before beginning your project. The City of Salem is not liable for any delays in the processing of state or federal permits. Enclosed is a copy of the wetland land use notice sent to DSL. DSL will contact you if any permits are required, or further information is necessary.

Jason Valyou
Program Coordinator

JP\\fileshare2\\PWCommon\\Common\\PAC\\DevSvcsLandUse\\21-101928-RP_2110 Strong Rd SE\\WLUN\\21-101928-RP_2110 Strong Rd SE_WLUN.docx

Enclosures: GIS Map; Site Map; Wetland Land Use Notification Form

cc: Zachary Diehl, Natural Resource Program Coordinator
File

**Transportation and Utility
Operations**

1410 20th Street SE / Building 2
Salem OR 97302-1209
Phone 503-588-6063
Fax 503-588-6480

Parks Operations

1460 20th Street SE / Building 14
Salem OR 97302-1209
Phone 503-588-6336
Fax 503-588-6305

**Willow Lake Water Pollution
Control Facility**

5915 Windsor Island Road N
Kelzer OR 97303-6179
Phone 503-588-6380
Fax 503-588-6387

08 3W 11A
SALEM



MARION COUNTY, OREGON
NE 1/4 SEC 11 T8S R3W W.M.
SCALE 1" = 200'

LEGEND

LINE TYPES

- Taxlot Boundary
- Road Right-of-Way
- Railroad Right-of-Way
- Private Road ROW
- Subdivision/Plat Boundary
- Waterline - Taxlot Boundary
- Waterline - Non Boundary
- Historical Boundary
- Easement
- Railroad Centerline
- Taxcode Line
- Map Boundary
- Waterline - Non Boundary

CORNER TYPES

- + 1/4 Section Cor
- + 1/16TH Section Cor
- © D/C Corner
- 15 15 Section Corner
- 21 22

NUMBERS

Tax Code Number
00 00 0

Acreage
0.00 AC

NOTES

Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW

CANCELLED NUMBERS	
700	
800	

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY

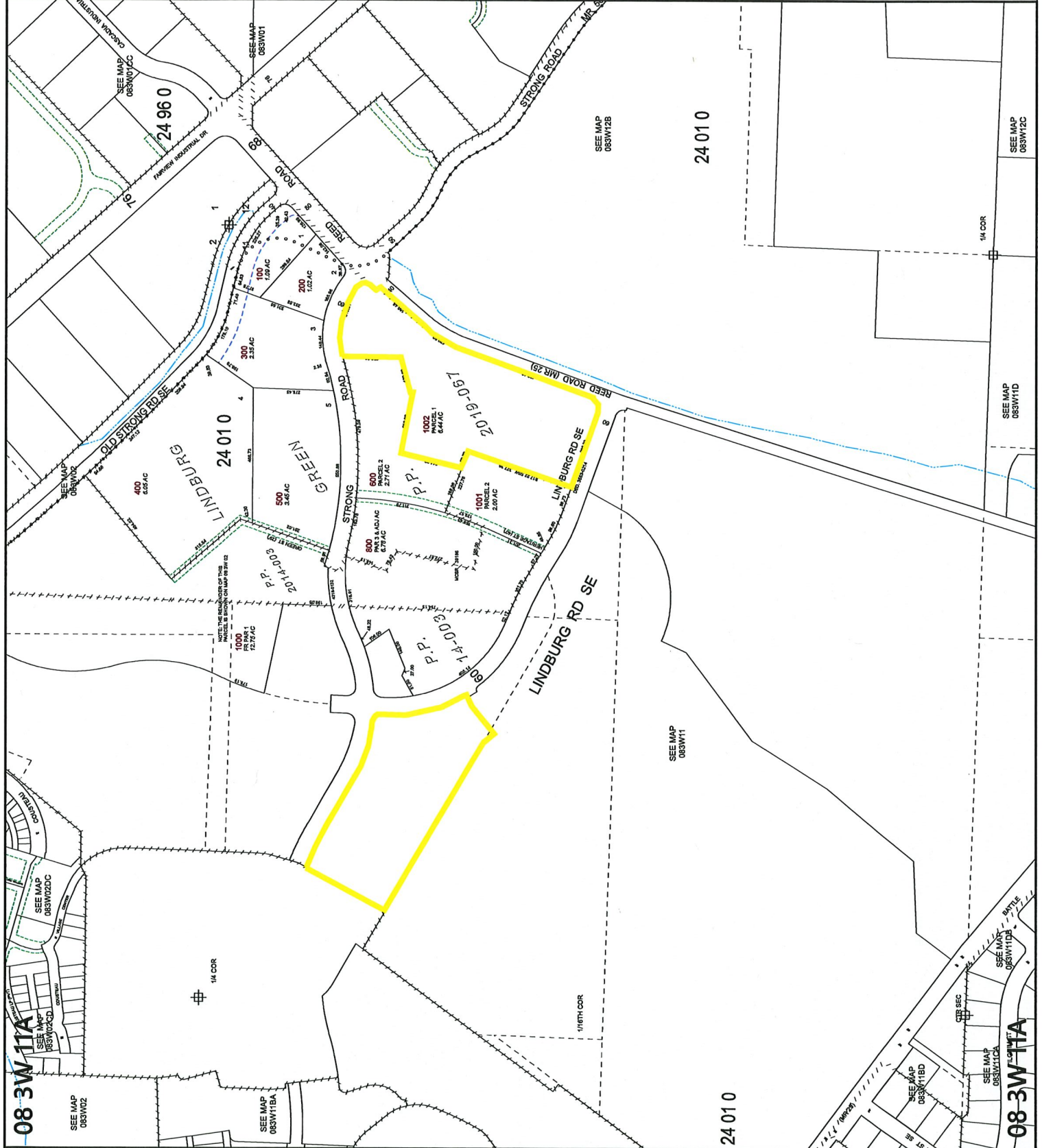


FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.marion.or.us

PLOT DATE: 10/16/2020

SALEM

08 3W 11A





Wetland Land Use Notification

OREGON DEPARTMENT OF STATE LANDS

775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Phone: (503) 986-5200

This form is to be completed by planning department staff for mapped wetlands and waterways.

Responsible Jurisdiction

*

☒ City of ☐ County of

Municipality*

Salem

Date*

5/28/2021

Staff Contact

First Name*

JASON

Last Name*

VALYOU

Phone*

5039914581

Email*

jasonvalyou@yahoo.com

Applicant

First Name*

Neighborly

Last Name*

Ventures

Mailing Address*

Street Address

2925 River Road S Suite 100

Address Line 2

City

Salem

Postal / Zip Code

97302

State

OR

Country

USA

Phone

503-990-8909

Email (?)

Is the Property Owner name and address the same as the Applicant?*

☐ No ☒ Yes

Activity Location

Township* (?)

08S

Range* (?)

03W

Section* (?)

11

Quarter-quarter Section (?)

A

Tax Lot(s) *

00600

You can enter multiple tax lot numbers within this field. i.e. 100, 200, 300, etc.

To add additional tax map and lot information, please click the "add" button below.

Township * (?)

08S

Range * (?)

03W

Section * (?)

02

Quarter-quarter Section (?)**Tax Lot(s) ***

00100

You can enter multiple tax lot numbers within this field. i.e. 100, 200, 300, etc.

To add additional tax map and lot information, please click the "add" button below.

Address

Street Address

2110 Strong Road SE

Address Line 2

City

Salem

Postal / Zip Code

97302

State

OR

Country

USA

County*

Marion

Adjacent Waterbody**Proposed Activity****Local Case File #***

21-101926-ZO

Zoning

FMU

Proposed

- ☒ Building Permit (new structures)
- ☒ Grading Permit
- ☒ Site Plan Approval
- ☐ Other (please describe)

- ☐ Conditional use Permit
- ☐ Planned Unit Development
- ☐ Subdivision

Project*

An application to develop a 183-unit multiple family development, pursuant to the requirements of the Fairview Mixed-Use zone the Fairview Refinement Plan II refinement plan, as a second phase of The Grove apartments at Fairview on two portions of the former Fairview Training Center site totaling approximately 10.74 acres in size. The proposal includes 105 dwelling units on the portion of the site located at 2110 Strong Road SE and the remaining 78 dwelling units on the portion of the site located in the 4000 to 4100 Blocks of Reed Road SE.

Request: A consolidated application for a proposed 183-unit multiple family development on two portions of the former Fairview Training Center site totaling approximately 10.74 acres in size. The application includes the following:

- 1) A Class 1 Design Review and Class 3 Site Plan review for the proposed multiple family development.
- 2) A Major Amendment to the Fairview Refinement Plan II refinement plan to:
 - a) Increase the number of dwelling units allowed within the refinement plan from 280 to 457;
 - b) Allow the lot for the East development to exceed the maximum lot depth requirements of the AU (Adaptive Use) and MI (Mixed-Intensity) areas of the refinement plan;
 - c) Allow the minimum required floor-area-ratio (lot coverage) of the West development located within the VC (Village Center) area of the refinement plan to be less than 0.75 FAR;
 - d) Allow the proposed carports within the development to exceed the maximum 1,000 square-foot building footprint required in the VC, AU, and MI areas.
 - e) Allow less than 70 percent of the lot/street frontage of the West development within the VC area of the refinement plan along Lindburg Road and Strong Road to be occupied by buildings placed at the minimum setback line;
 - f) Allow Buildings 20, 23, 25, 26, 27, 28, 29, 30, 31, 32, 33, and 35 to be setback greater than the maximum 20-foot setback abutting a street required in the VC, AU, and MI areas of the refinement plan;
 - g) Allow Buildings 22 and 24 to be setback less than the minimum required 10-foot setback abutting a street required in the AU and MI areas of the refinement plan;
 - h) Allow the proposed off-street parking spaces on the south side of Chapel Drive within the East development and the proposed off-street parking spaces along the southern property line of the West development to be setback less than the minimum 20-foot setback abutting a street required in the VC and MI areas of the refinement plan;
 - i) Allow the off-street parking spaces located within one of the proposed parking lots within the East development abutting phase 1 of The Grove apartments to be less than the minimum 10-foot setback required abutting an interior side property line in the AU area of the refinement plan;
 - j) Allow three driveway approaches onto the private streets within the East development where a maximum of two driveway approaches per parcel are allowed onto private streets within the AU and MI areas of the refinement plan;
 - k) Allow the driveway approaches onto the proposed private streets within the East and West developments to exceed the maximum driveway approach widths required under the VC, AU, and MI areas of the refinement plan;
- 3) A Class 1 Adjustment to increase the maximum number of parking spaces allowed within the East development from 137 spaces to 146 spaces (SRC 806.015(d)).
- 4) A Class 2 Adjustment to:
 - a) Decrease the minimum number of trees required to be planted around the perimeter of buildings (SRC 702.020(b)(4));
 - b) Decrease the minimum number of trees required to be planted around the perimeter of off-street parking areas and allow some of the proposed parking lot planter bays within the development to be less than the minimum required nine feet in width (SRC 702.020(b)(7));
 - c) Allow less than 70 percent of the lot/street frontage of the West development within the VC area of the refinement plan along proposed Village Center Loop to be occupied by buildings placed.

Required attachments with site marked: Tax map and site plan(s). (?)

21-101926-ZO_LWI Map.pdf
21-101926-ZO_Tax Lot Map 1.pdf
21-101926-ZO_Plans.pdf

12.61MB
666.51KB
14.08MB

Additional Attachments

Date

5/28/2021

Owner / Developer

MMIC GROVE, LLC

201 FERRY STREET S.E.

SUITE 400

SALEM, OREGON 97301

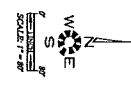
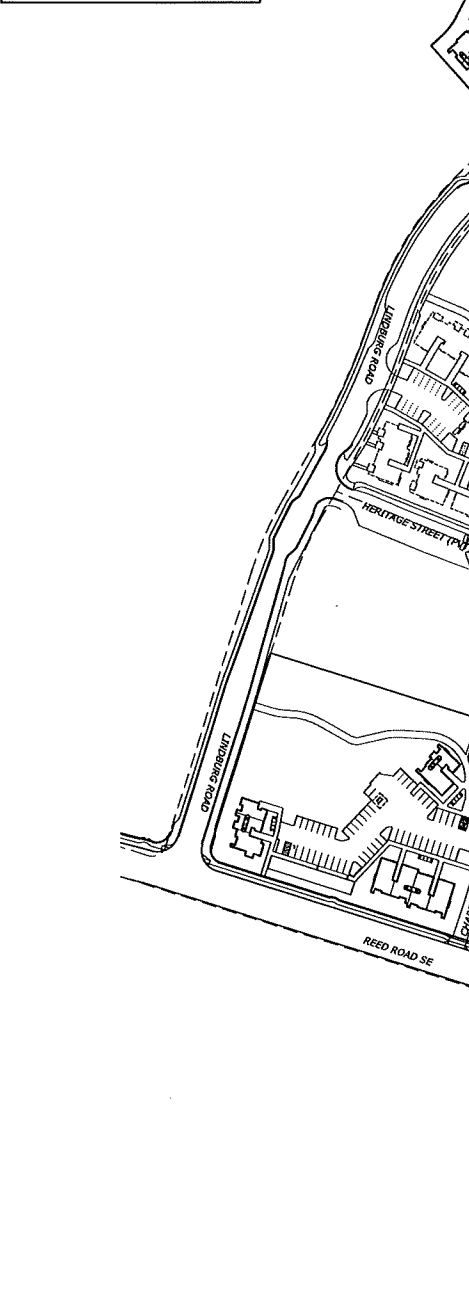
THE GROVE AT FAIRVIEW 2

SEC. 11, T. 8 S., R. 3 W., W.M.

CITY OF SALEM

MARION COUNTY, OREGON

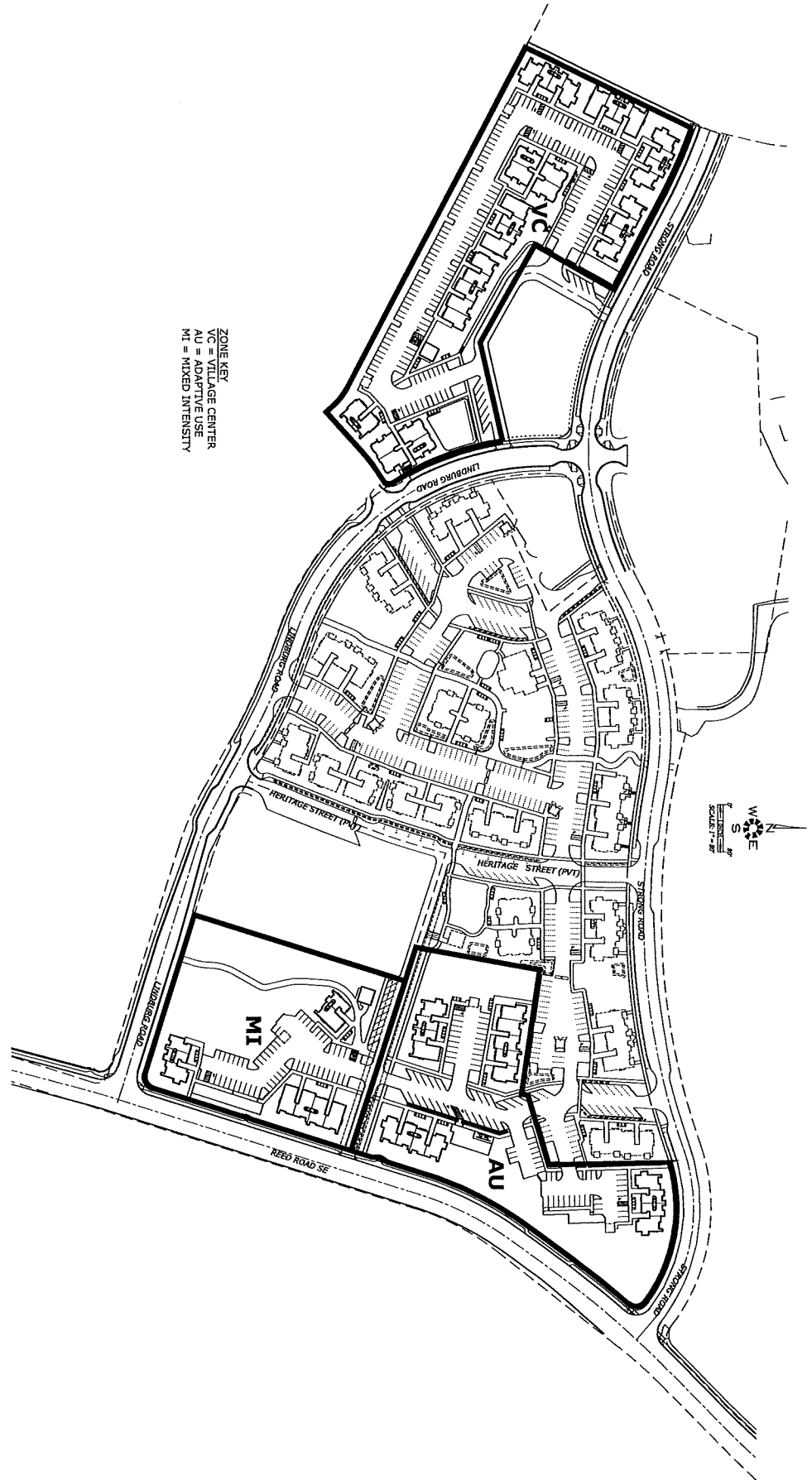
SHEET INDEX	
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SDR3	ZONING MAP
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SDR7	GRADING & DRAINAGE PLAN (EAST)
SDR8	RETAINING WALL DETAILS
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SDR100	PRIVATE DOMESTIC WATER & FIRE SERVICE PLAN (EAST)

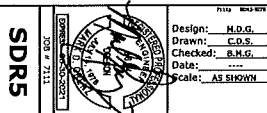


T.B.M. 238.63
INTERSECTION STRONG ROAD & HERITAGE STREET
(ELEV. 238.63)



	Design: M.D.G. Drawn: C.D.S. Checked: B.H.G. Date: 12/31/2024 Scale: AS SHOWN	NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.	THE GROVE AT FAIRVIEW 2	COVER SHEET	 ENGINEERING SERVICES, INC. 1122 S. 10TH ST., W. P. HALL, CO., WYOMING PO. BOX 1000, WYOMING, WY 82001 WWW.MULTITECHENGINEERING.COM
	SDR1				





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SITE PLAN (WEST)



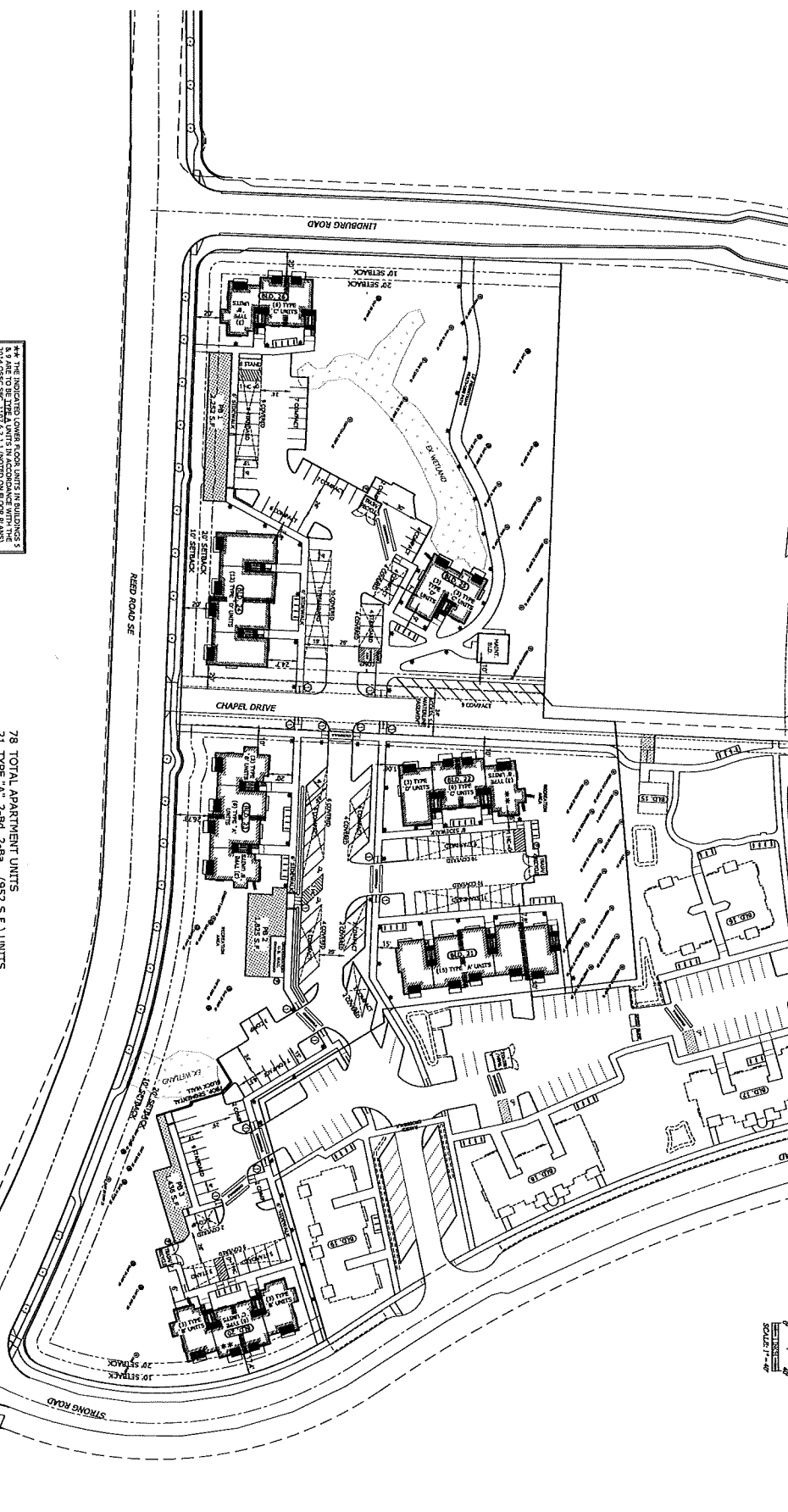
ALPHA MANIPULATING AND POSSIBILITIES

1. ALL NEW STAIR WALKWAYS, INTERESTING CONNECTIONS TO THE PUBLIC DECKWALK, AND DOCKS TO LANDING STAIRWAYS ARE ACCESSIBLE TO PEOPLE WITH PHYSICAL HANDICAPS AND MUST BE CONSTRUCTED TO MEET THE ACCESSIBILITY STANDARDS OF THE AMERICAN DISABILITY ACT AND THE FEDERAL ARCHITECTURAL AND BAROCH ACT OF 1990 IN THE DIRECTION OF TRAVEL, NOT TO EXCEED 2%.
2. HANDICAPPED PARKING SPACES AND ACCESSIBLE BUSSES MUST HAVE SLOPES IN ANY DIRECTION OF TRAVEL, NOT TO EXCEED 2%.
3. HANDICAPPED AND ACCESSIBLE STAIRS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 RATIO, AND A CORNER SLOPE NOT TO EXCEED 2%.
4. THE STAIRS SHALL BE BUILT IN A CONCRETE SLAB WITH A MINIMUM OF 18" WALKWAY WIDTH TO THE STAIRS.
5. 75% OF THE LANDING UNITS OR 10 UNITS WILL BE THE 1:12 HANDICAPPED ACCESSIBLE, THE OTHER 25% OF THE LANDING UNITS WILL BE 2:12 HANDICAPPED ACCESSIBLE. THERE WILL BE 2 AND 3 PERSON UNIT AS INDICATED ON THE STAIR PLAN. THE HANDICAPPED ACCESSIBLE UNITS WILL BE 10' X 10' AND THE OTHER UNITS WILL BE 8' X 10'.
6. THE HANDICAPPED ACCESSIBLE UNITS WILL BE IN ACCORDANCE WITH UNIT A17.2.

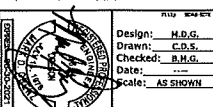
ALL OTHER LOWER FLOOR UNITS TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2014 OSSC SEC. 1107.6.2.1.2

- [illegible]

78	TOTAL APARTMENT UNITS	
21	TYPE "A" 2-Bd., 2-Ba (952 S.F.) UNITS	
21	TYPE "B" 2-Bd., 2-Ba (1029 S.F.) UNITS	
18	TYPE "C" 1-Bd., 1-Ba (728 S.F.) UNITS	
18	TYPE "D" 3-Bd., 2-Ba (1204 S.F.) UNITS	
146	TOTAL PARKING SPACES	
62	STANDARD STALLS	76
79	COMPACT STALLS	40
5	HANDICAP STALLS*	24
1	LOADING ZONE	
78	BICYCLE SPACES	
1	MAINTENANCE BUILDING	
3	TRASH/RECYCLE	
1	PLAY AREA	
1	U.S. MAIL BOX AREA	
		(* 1-MARKED "WHEELCHAIR USE ONLY")



SDR6



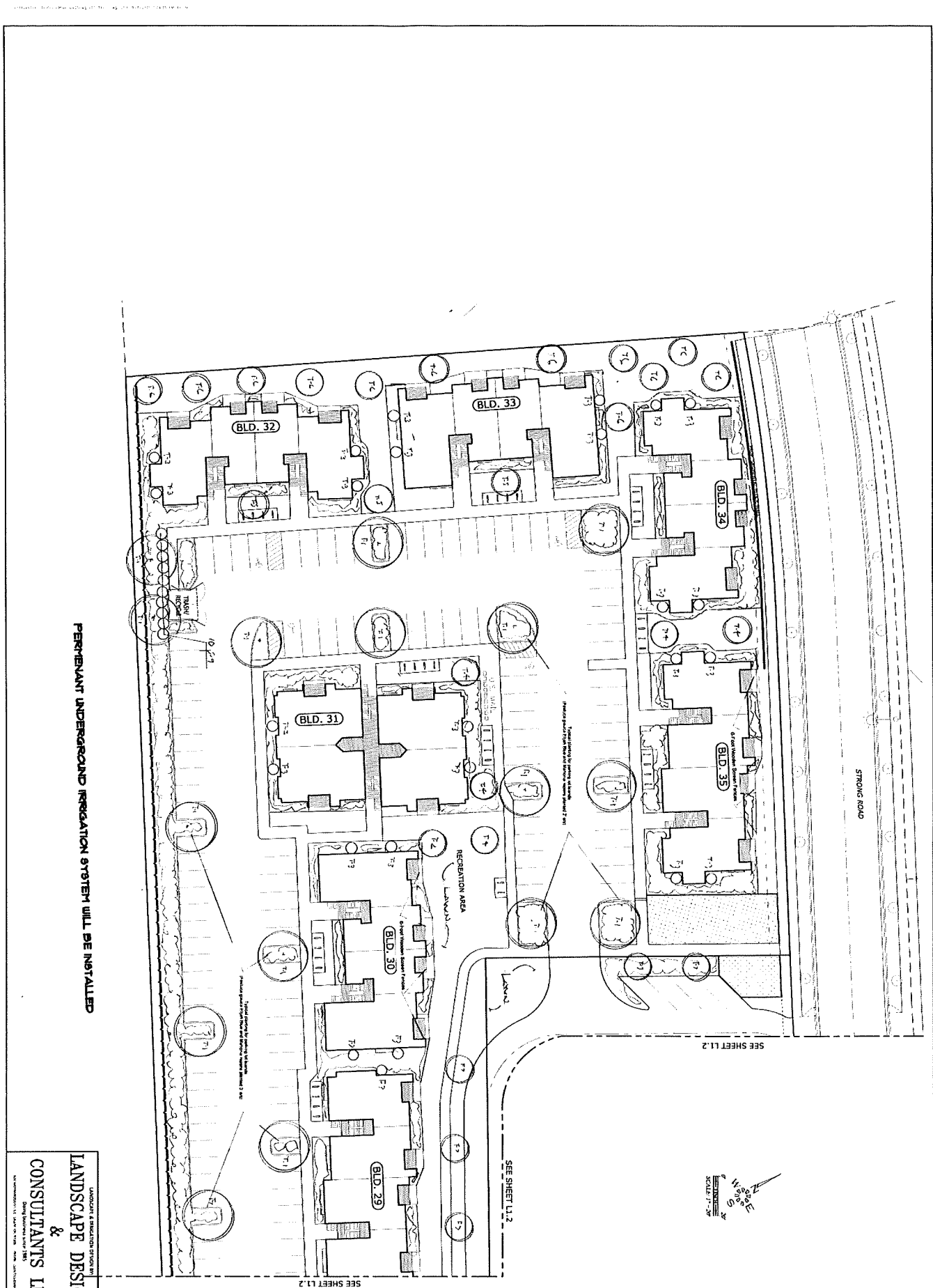
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THE GROVE AT FAIRVIEW 2

SITE PLAN (EAST)





PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE INSTALLED

LANDSCAPE & IRRIGATION DESIGN BY
LANDSCAPE DESIGN & CONSULTANTS LLC
 308 W. 27th St.
 Suite 100
 Fort Lauderdale, FL 33304
 Phone: 954.571.1111
 Fax: 954.571.1112
 Email: info@landscapeandirrigation.com

L1.1

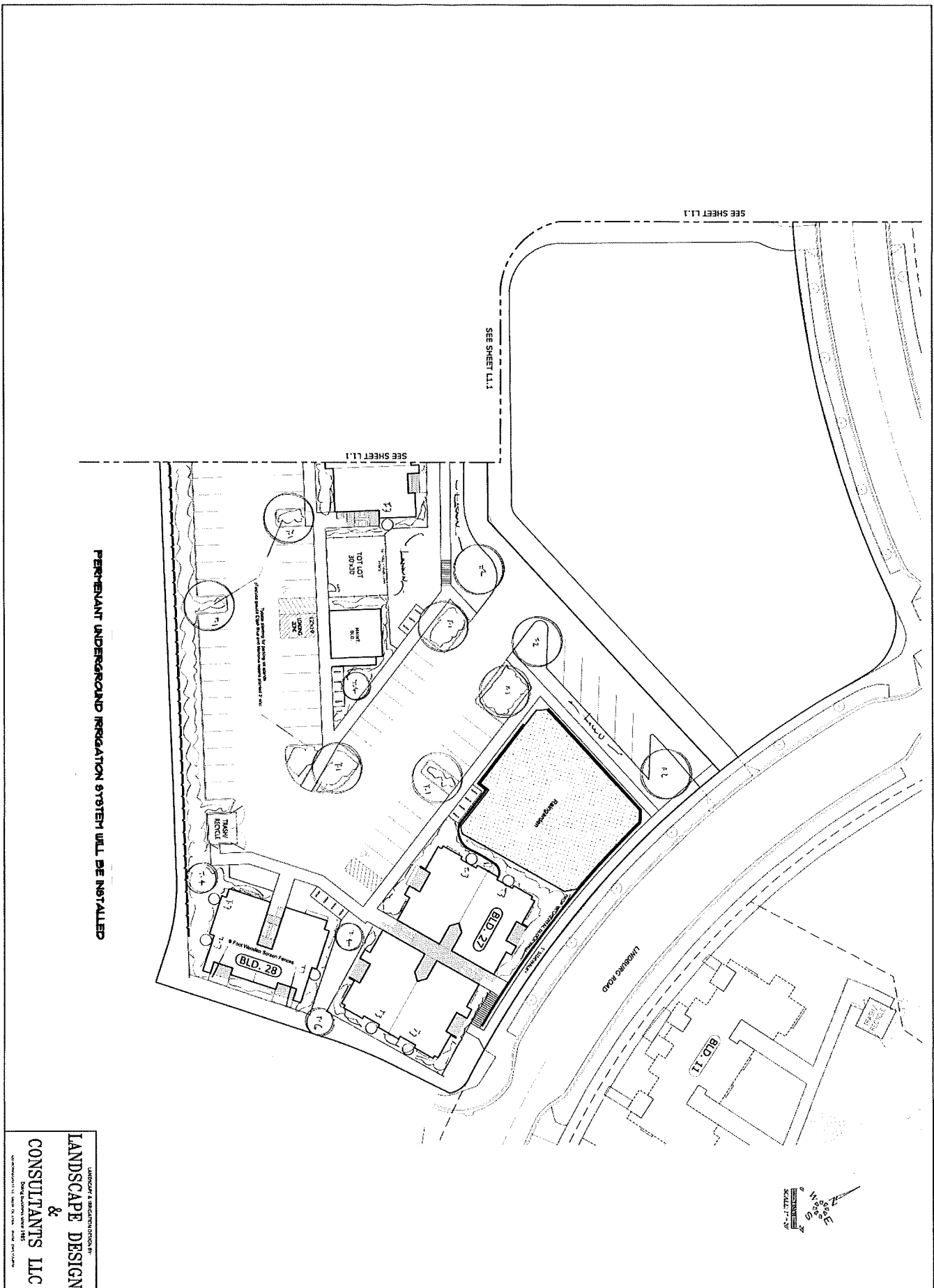
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 Drawn: C.D.S.
 Checked: B.H.G.
 Date: 08/11/11
 Scale: AS SHOWN

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THE GROVE AT FAIRVIEW 2

**SCHEMATIC LANDSCAPE PLAN
 (WEST)**

MULTI/TECH
 ENGINEERING SERVICES, INC.
 1144 17th St. S.E. Suite 200, Fort Lauderdale, FL 33304
 Tel: 954.571.1111 Fax: 954.571.1112
 Email: info@multi-tech.com



PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE INSTALLED

LANDSCAPE & ARCHITECTURE
**LANDSCAPE DESIGN
&
CONSULTANTS LLC**
11100 TRINITY RD., SUITE 100, FAIRVIEW, MD 21034
PH: 410.326.1000 FAX: 410.326.1001
WWW.LANDSCAPEDESIGNCONSULTANTS.COM

L1.2
JOB # 7111
DESIGNED BY: H.D.G.
DRAWN BY: C.D.S.
CHECKED BY: B.M.G.
DATE: 11/11/11
SCALE: AS SHOWN

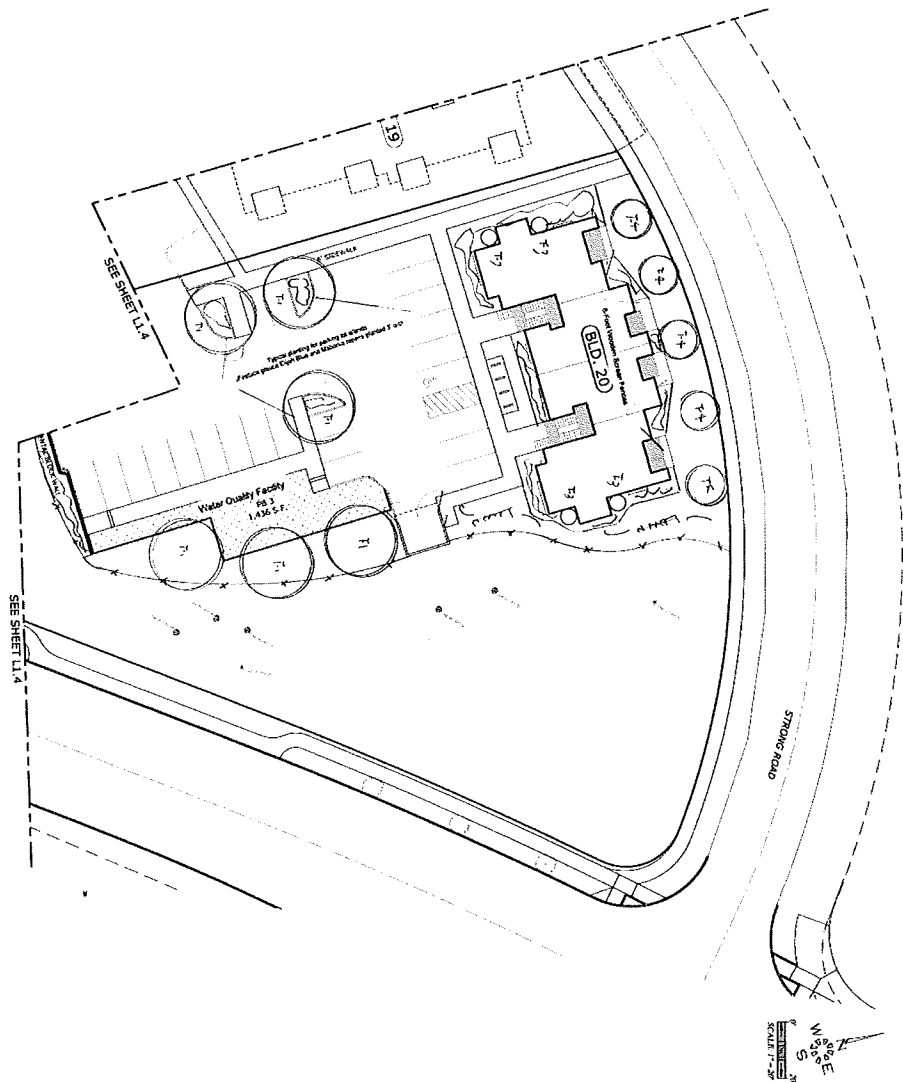
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THE GROVE AT FAIRVIEW 2

**SCHEMATIC LANDSCAPE PLAN
(WEST)**

MULTI/TECH
ENGINEERING SERVICES, INC.
11100 TRINITY RD., SUITE 100, FAIRVIEW, MD 21034
PH: 410.326.1000 FAX: 410.326.1001
WWW.MULTITECHENGINEERING.COM

PERMEANT UNDERGROUND IRRIGATION SYSTEM WILL BE INSTALLED



LANDSCAPE & IRRIGATION DESIGN BY
**LANDSCAPE DESIGN
 &
 CONSULTANTS LLC**
 1000 W. 10TH ST. SUITE 1000, DENVER, CO 80202
 (303) 733-1111 FAX (303) 733-1112

L1.3
 JOB # 7111
 DATE 10/20/2011

DESIGN: H.D.G.
 DRAWN: C.D.S.
 CHECKED: B.H.G.
 DATE: 10/20/2011
 SCALE: AS SHOWN

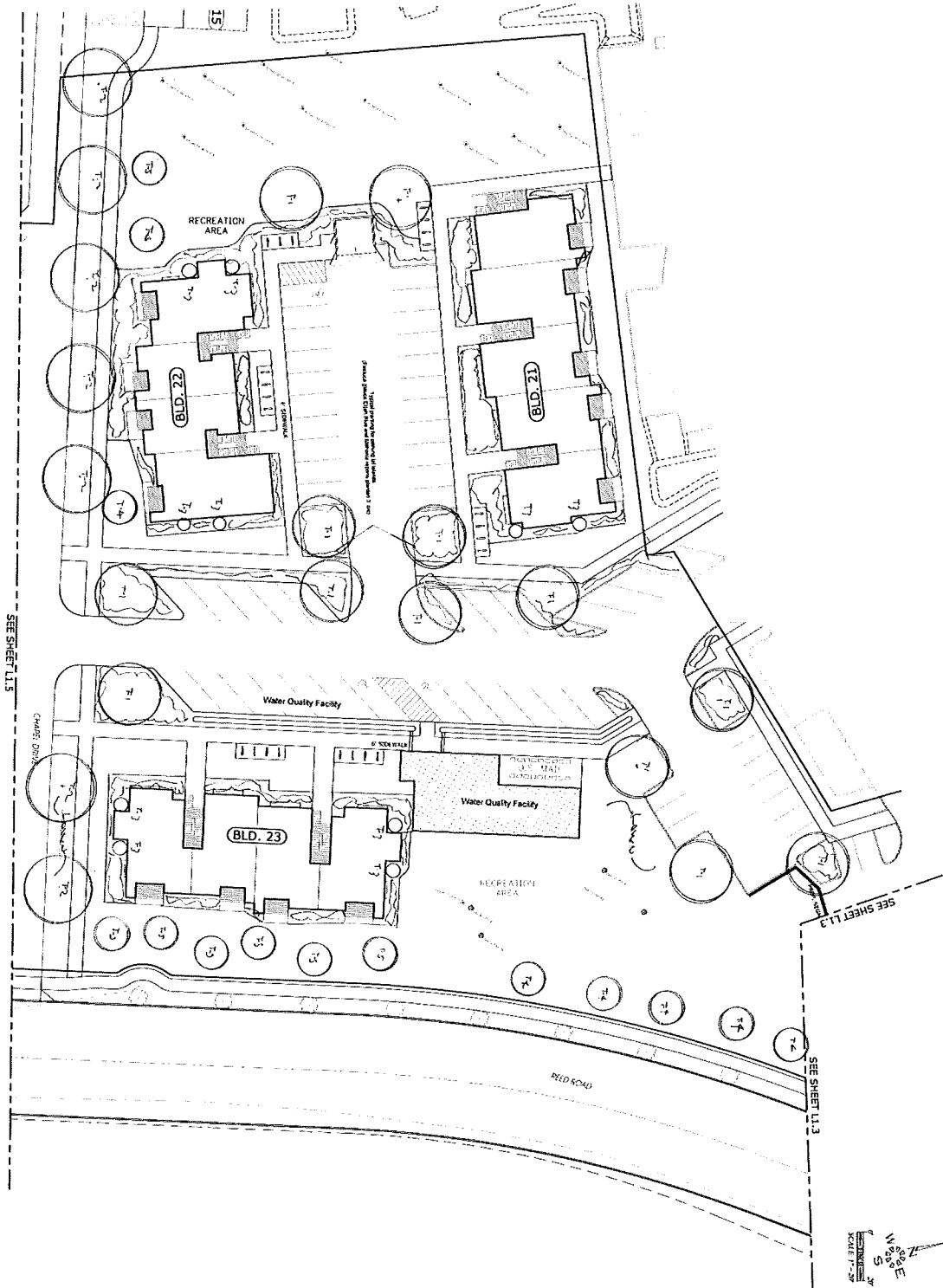
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THE GROVE AT FAIRVIEW 2

**SCHEMATIC LANDSCAPE PLAN
 (EAST)**

MULTI/TECH
 ENGINEERING SERVICES, INC.
 1880 23RD ST. S.E. GALEN, OH 43024
 PH: (614) 351-1977 FAX: (614) 351-1980
 WWW.MULTITECH-ENGINEERING.COM

PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE INSTALLED



North Arrow
Scale 1" = 20'

LANDSCAPE & IRRIGATION DESIGN BY
LANDSCAPE DESIGN & CONSULTANTS LLC
100% CONTRACT DOCUMENTS AND SPECIFICATIONS, INCLUDING ALL SCHEDULES, PREPARED BY THE ARCHITECT

L1.4

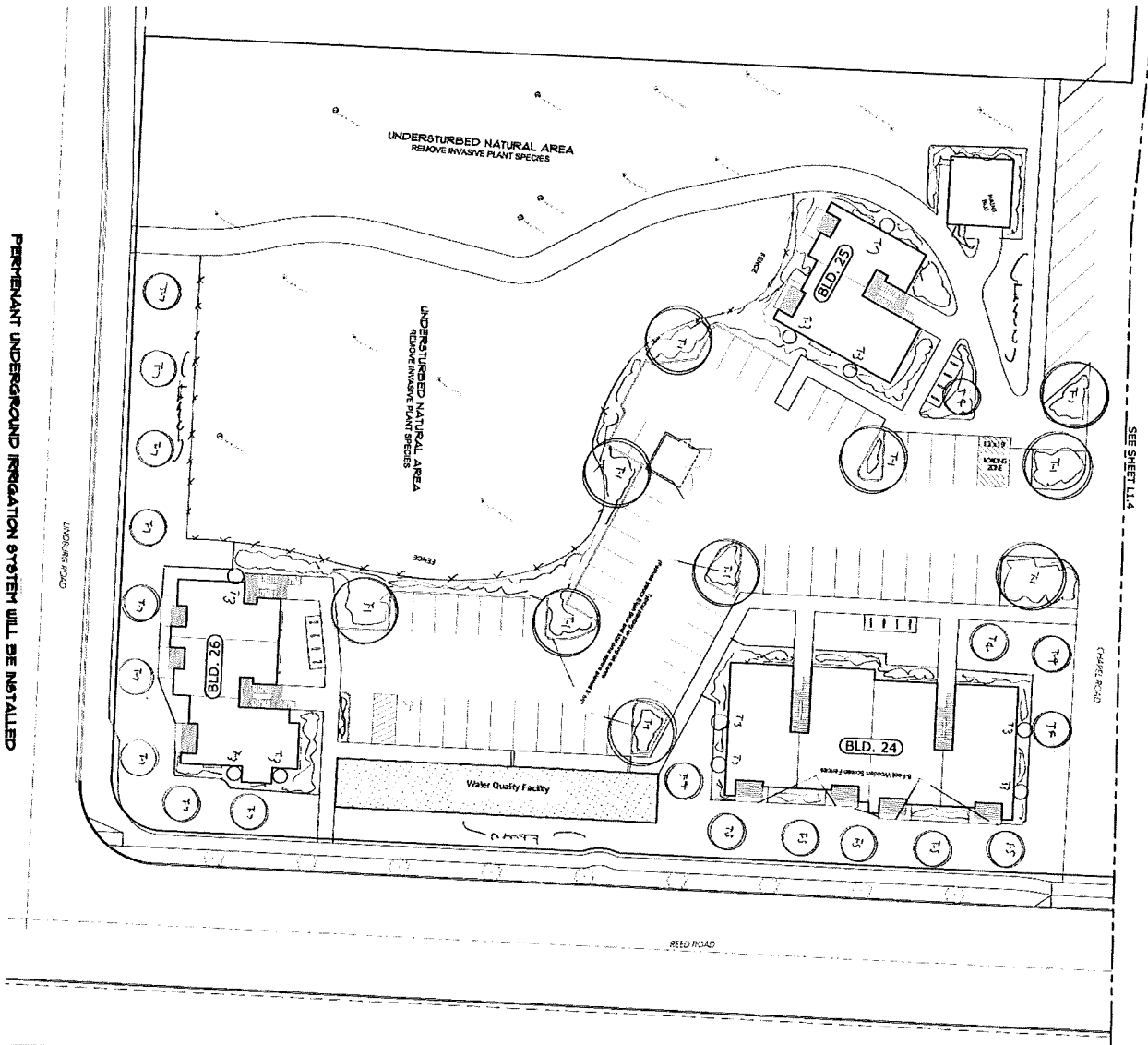
Design: H.O.G.
Drawn: C.D.S.
Checked: B.H.G.
Date: 11/11/11
Scale: AS SHOWN

NO CHANGES, MODIFICATIONS
OR REPRODUCTIONS TO BE
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AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

THE GROVE AT FAIRVIEW 2

**SCHEMATIC LANDSCAPE PLAN
(EAST)**

MULTI/TECH
ENGINEERING SERVICES, INC.
11111 E. 11TH AVE., SUITE 100, DENVER, CO 80231
TEL: (303) 343-8337 FAX: (303) 343-1345
www.multiphaseengineering.com



PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE INSTALLED

LANDSCAPE & SITE DESIGN BY
**LANDSCAPE DESIGN
 &
 CONSULTANTS LLC**
 10000 N. 10th Ave., Suite 100, Portland, OR 97217
 503.281.1111

L1.5

Design: N.B.G.
 Drawn: C.D.S.
 Checked: B.B.G.
 Date: 10/10/2017
 Scale: AS SHOWN

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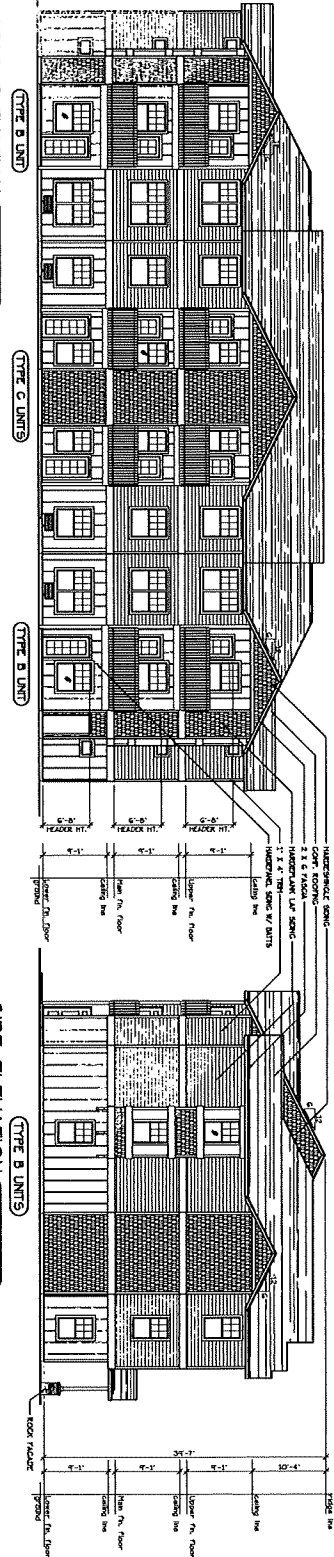
THE GROVE AT FAIRVIEW 2

**SCHEMATIC LANDSCAPE PLAN
 (EAST)**

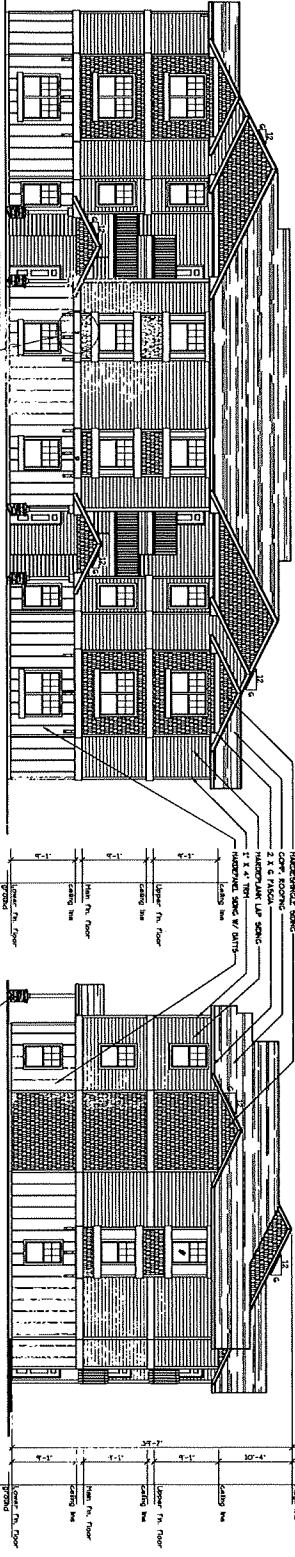
WAVE
 SCALE 1" = 20'

MULTI/TECH
 ENGINEERING SERVICES, INC.
 11155 N. 10th Ave., Suite 100, Portland, OR 97217
 503.281.1111 FAX 503.281.1112
 www.multiphase.com

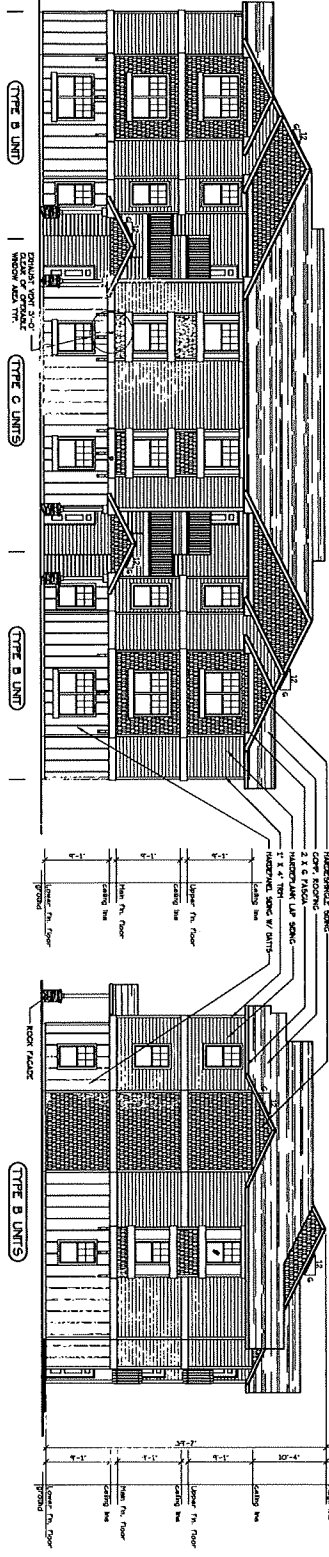
REAR ELEVATION (BLD. 20.32+34)
SCALE 1/8" = 1'-0"



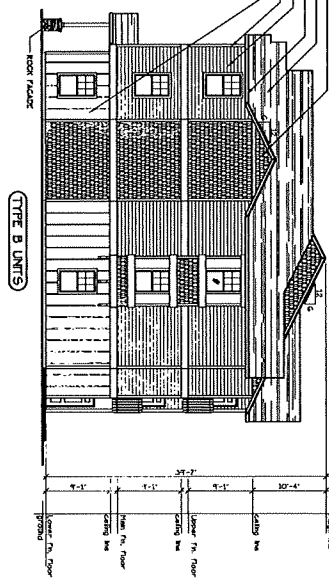
SIDE ELEVATION (BLD. 20.32+34)
SCALE 1/8" = 1'-0"



FRONT ELEVATION (BLD. 20.32+34)
SCALE 1/8" = 1'-0"



SIDE ELEVATION (BLD. 20.32+34)
SCALE 1/8" = 1'-0"



THE GROVE
AT FAIRVIEW 2

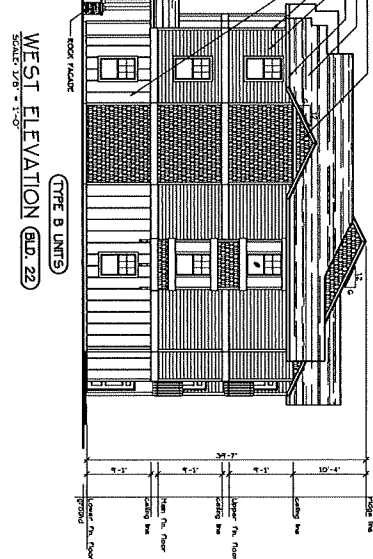
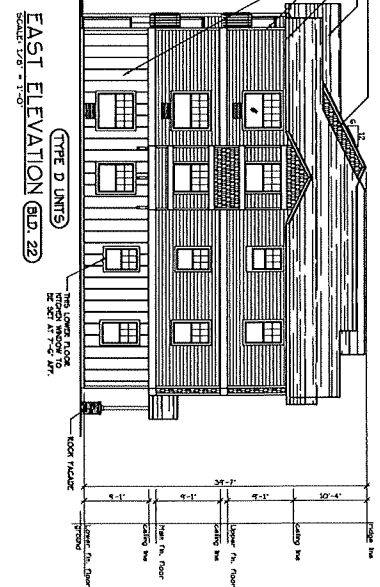
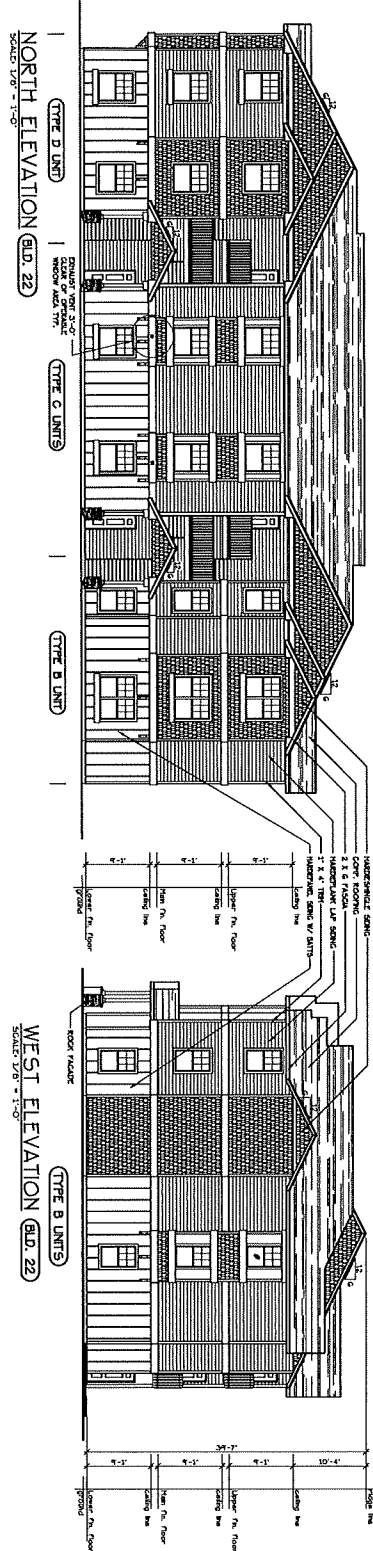
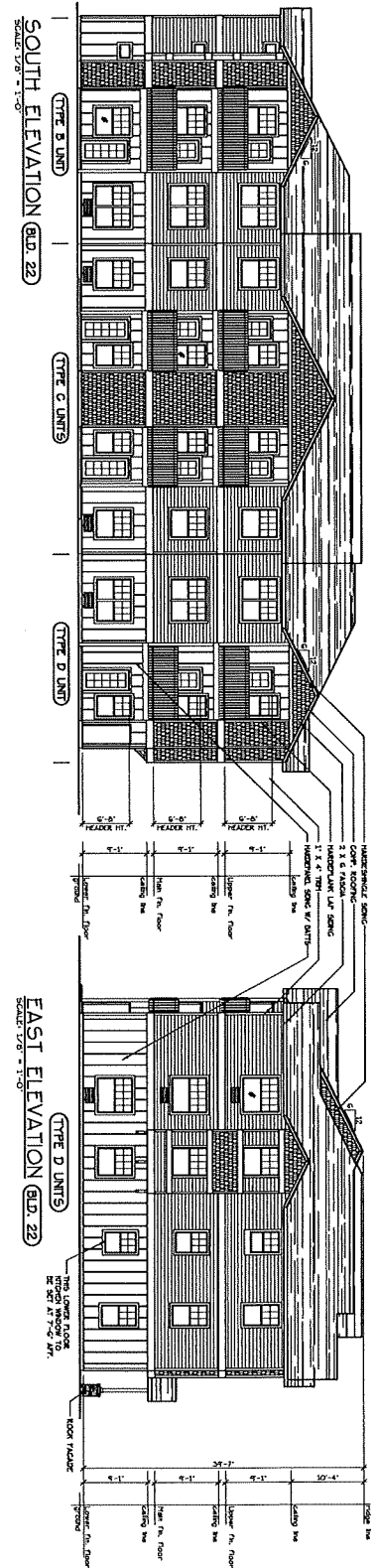
BUILDING
ELEVATIONS



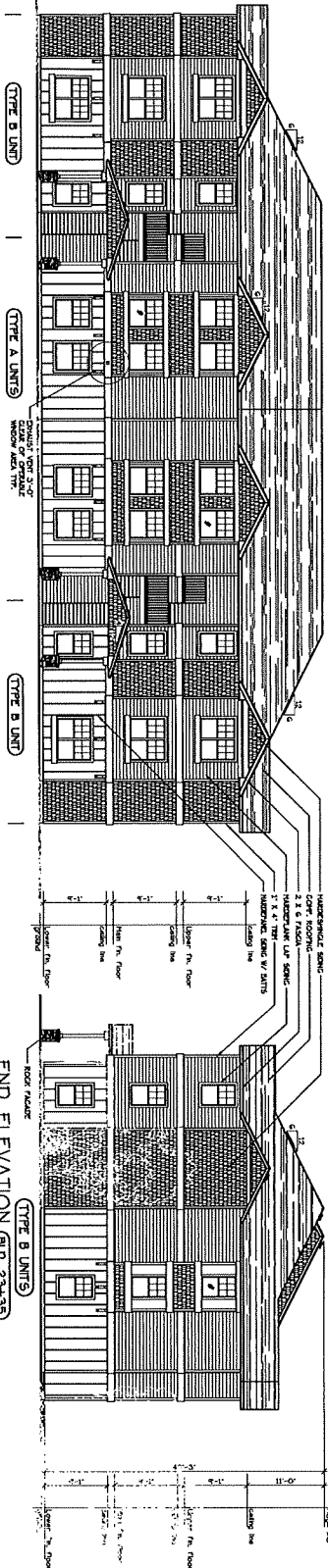
Design: P.L.M.
Drawn: G.D.
Checked: M.B.S.
Date: Dec-20
Scale: AS SHOWN

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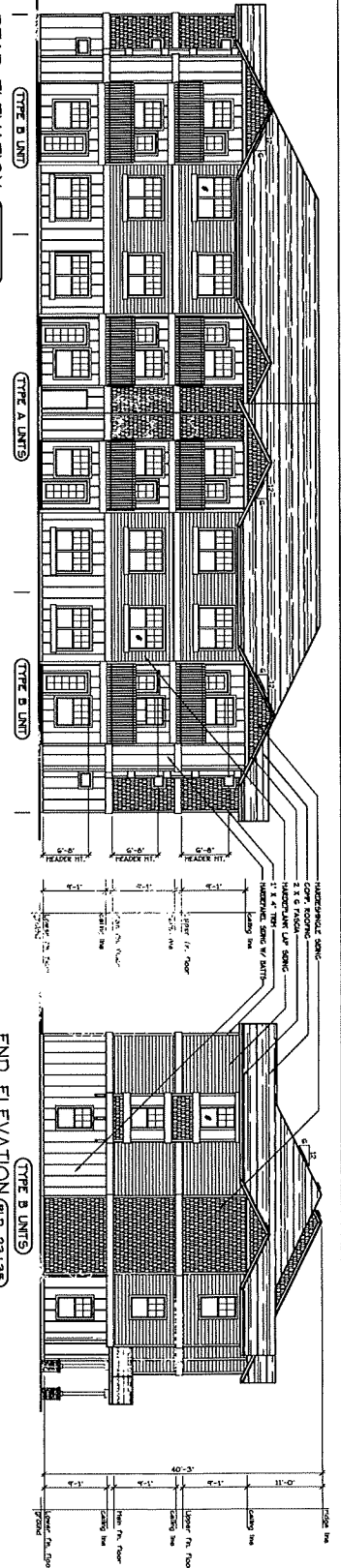
A4.80



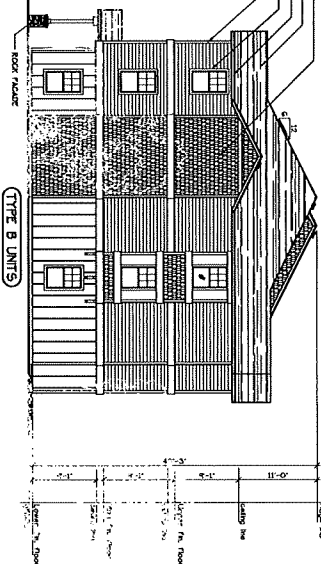
FRONT ELEVATION (BLD. 23+35)
SCALE 1/8" = 1'-0"



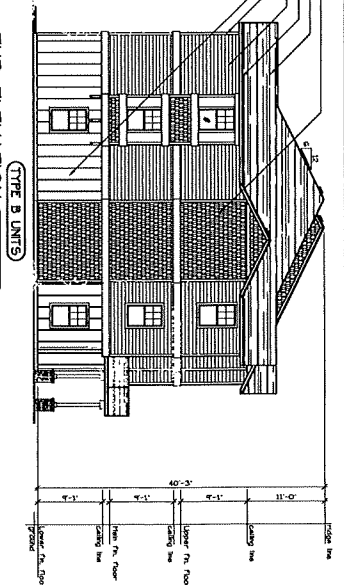
REAR ELEVATION (BLD. 23+35)
SCALE 1/8" = 1'-0"



END ELEVATION (BLD. 23+35)
SCALE 1/8" = 1'-0"



END ELEVATION (BLD. 23+35)
SCALE 1/8" = 1'-0"



A3.80



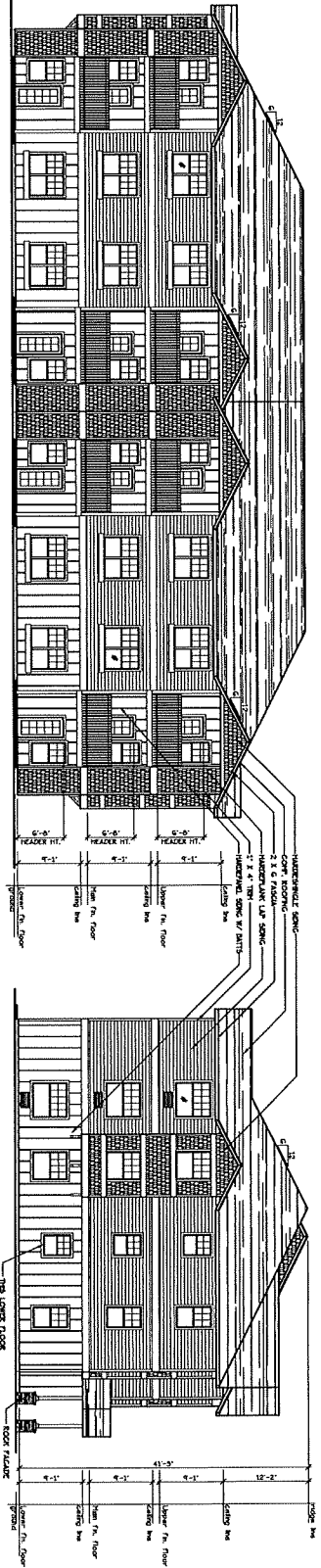
Design: P.L.M.
Drawn: O.D.
Checked: M.D.
Date: Dec-20
Scale: AS SHOWN

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THE GROVE
AT FAIRVIEW 2

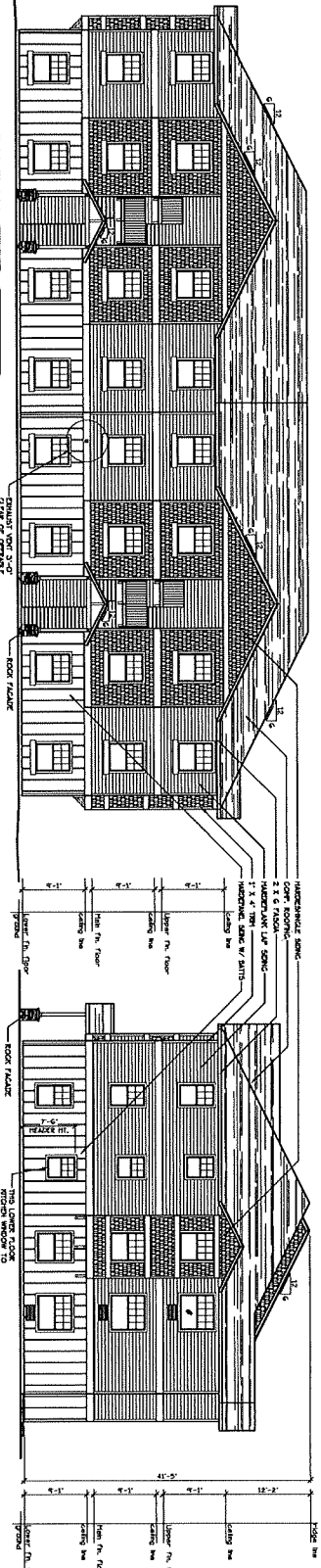
BUILDING
ELEVATIONS





EAST ELEVATION (BLD. 24) (TYPE D UNITS)
SCALE 1/8" = 1'-0"

NORTH ELEVATION (BLD. 24) (TYPE D UNITS)
SCALE 1/8" = 1'-0"



WEST ELEVATION (BLD. 24) (TYPE D UNITS)
SCALE 1/8" = 1'-0"

SOUTH ELEVATION (BLD. 24) (TYPE D UNITS)
SCALE 1/8" = 1'-0"

A11.80



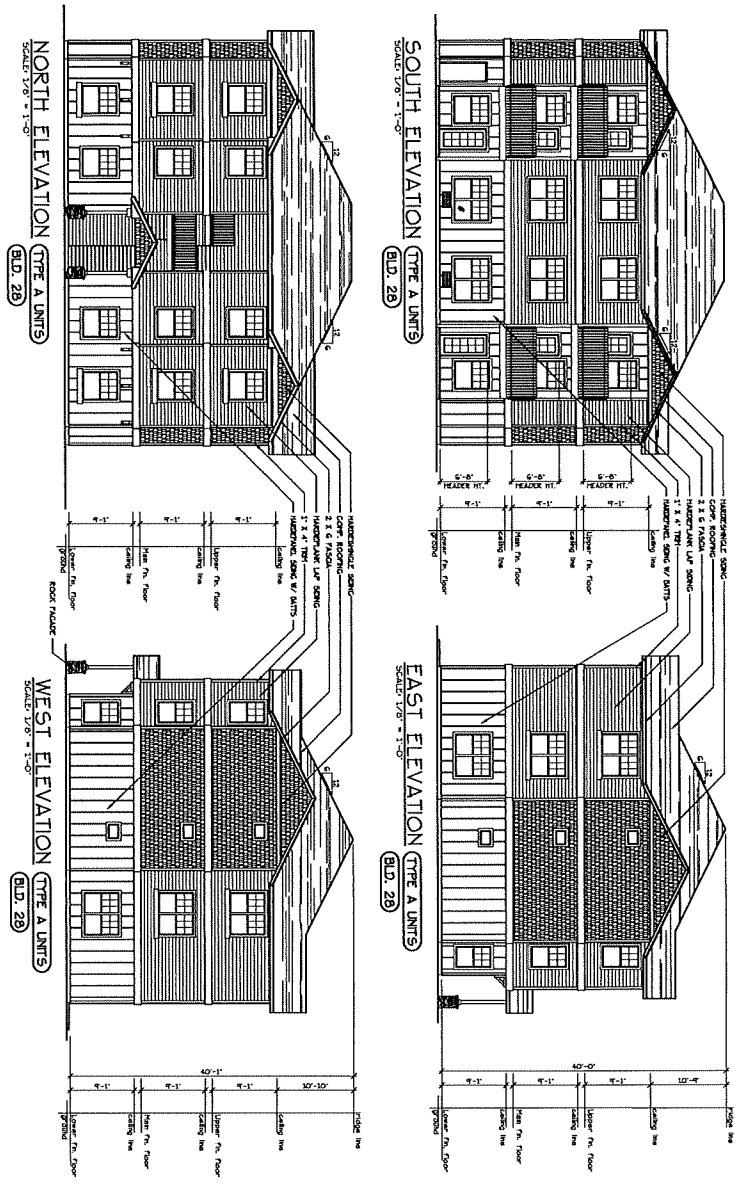
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Drawn: G.D.
Checked: M.D.G.
Date: Apr-21
Scale: AS SHOWN

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THE GROVE AT FAIRVIEW 2

BUILDING ELEVATIONS

MULTI/TECH
CONSULTANTS
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1108 E. 10th St., Suite 100, Tulsa, OK 74103
Phone: (918) 333-1111 • Fax: (918) 333-1100
www.mtechinc.com



A1.80



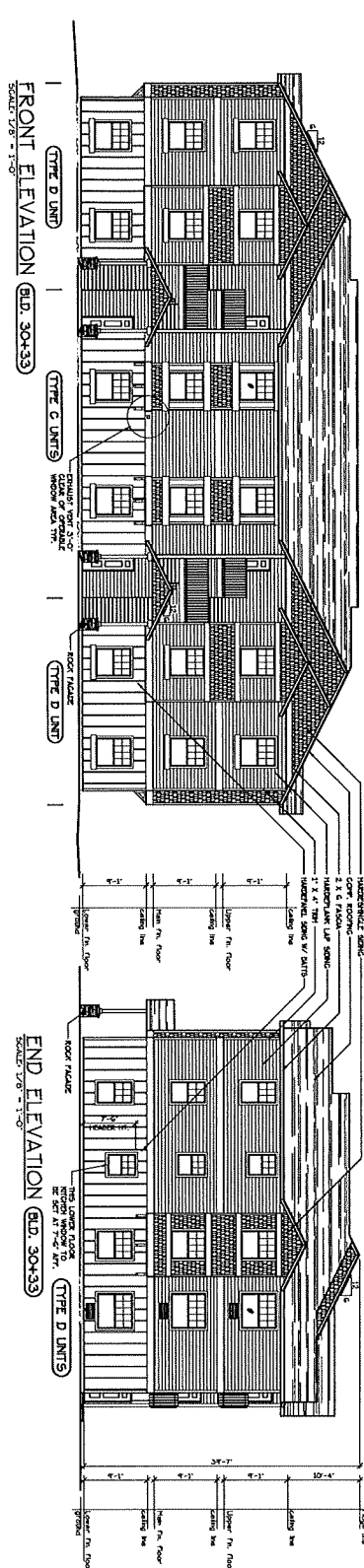
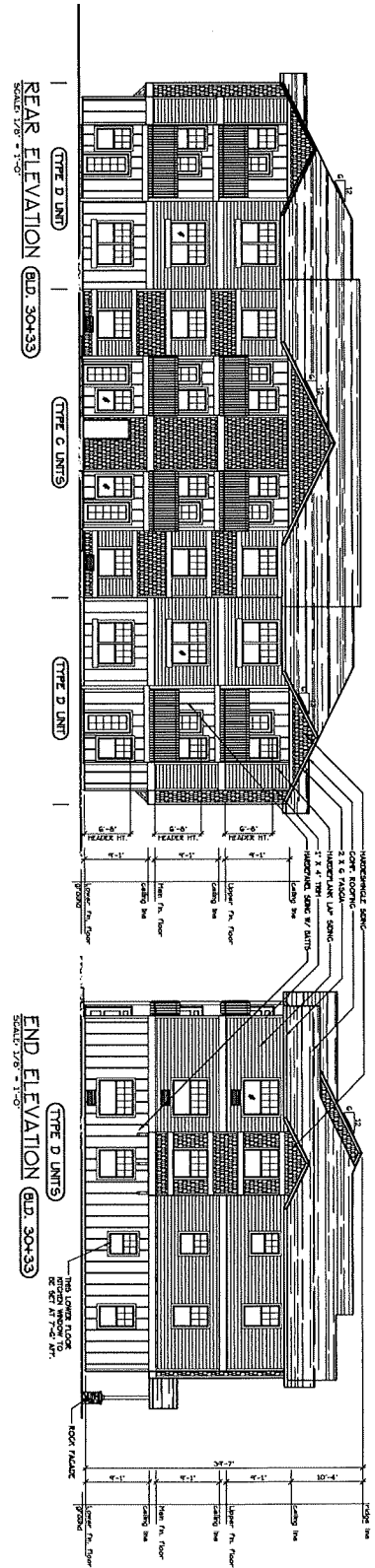
BLD. 2B - 11/19/2011
J. D. G.
Design: P.J.M.
Drawn: C.D.G.
Checked: M.D.G.
Date: Dec-20
Scale: AS SHOWN

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

**THE GROVE
AT FAIRVIEW 2**

**BUILDING
ELEVATIONS**





A7.80



DESIGN-12-10-2011
AT FAIRVIEW
Design: P.L.M.
Drawn: B.D.
Checked: M.B.G.
Date: Dec-20
Scale: AS SHOWN

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THE GROVE
AT FAIRVIEW 2

BUILDING
ELEVATIONS

