

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE PLANNING ADMINISTRATOR

**CLASS 3 SITE PLAN REVIEW / CLASS 2 ADJUSTMENT / CLASS 2 DRIVEWAY
APPROACH PERMIT CASE NO.: SPR-ADJ-DAP20-42**

APPLICATION NO.: 20-116092-RP, 20-117814-ZO, 20-117456-ZO

NOTICE OF DECISION DATE: December 21, 2020

SUMMARY: Proposed development of a pump station on proposed lot 148, with an adjustment request to increase the maximum height allowance for a fence from 4 feet to 7 feet.

REQUEST: A Class 3 Site Plan Review for development of a new pump station on proposed lot 148 with a Class 2 Driveway Approach Permit for driveway access to Redmond Street NE and a Class 2 Adjustment to increase the maximum height allowance for a fence in a front yard adjacent to a street from 4 feet to 7 feet, for property approximately 122 acres in size, zoned RS (Single Family Residential), RM-I and RM-II (Multi-Family Residential) and CR (Retail Commercial), and located at 255 Cordon Road NE, 4800-4900 Block of State Street and 4700-4800 Block of Auburn Road NE - 97301 (Marion County Assessors Map and Tax Lot numbers: 072W29B / 00200, 00201, 00300 and 00400 and 072W29C / 00100, 00101, 00199, 00200, 00300 and 00400).

APPLICANT: Brandie Dalton, Multi-Tech Engineering Services Inc., on behalf of East Park LLC (Kiril Ivanov, Randy Myers)

LOCATION: 255 Cordon Road NE, Salem OR 97301

CRITERIA: Salem Revised Code (SRC) Chapters 220.005(f)(3) – Site Plan Review; 250.005(d)(2) – Class 2 Adjustments; 804.025(d) – Driveway Approach Permit

FINDINGS: The findings are in the attached Decision dated December 21, 2020

DECISION: The **Planning Administrator APPROVED** Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit SPR-ADJ-DAP20-42 subject to the following conditions of approval:

- Condition 1:** Construct sidewalk and street trees along the frontage of Auburn Road NE.
- Condition 2:** Construct a three-quarter street improvement along the frontage of Redmond Street NE to local street standards, including all utilities that are planned within this portion of the street.
- Condition 3:** The security fencing shall be setback a minimum of 12 feet from Redmond Street NE and Auburn Road NE. The 12-foot setback area shall be landscaped in accordance with the standards of SRC Chapter 807 and shall include a minimum of one plant unit per 20

square feet of landscape area. A minimum of 40 percent of the required number of plant units shall be a combination of shade trees, evergreen/conifer trees, or ornamental trees.

Condition 4: The adjusted development standards, as approved in this zoning adjustment, shall only apply to the specific development proposal shown in the attached site plan. Any future development, beyond what is shown in the attached site plan, shall conform to all applicable development standards of the UDC, unless adjusted through a future land use action.

The rights granted by the attached decision must be exercised, or an extension granted, by the dates listed blow, or this approval shall be null and void.

Class 3 Site Plan Review	<u>January 6, 2025</u>
Class 2 Adjustment	<u>January 6, 2023</u>
Class 2 Driveway Approach Permit	<u>January 6, 2023</u>

Application Deemed Complete:	<u>November 25, 2020</u>
Notice of Decision Mailing Date:	<u>December 21, 2020</u>
Decision Effective Date:	<u>January 6, 2021</u>
State Mandate Date:	<u>March 25, 2021</u>

Case Manager: Aaron Panko, APanko@cityofsalem.net, 503-540-2356

This decision is final unless written appeal and associated fee (if applicable) from an aggrieved party is filed with the City of Salem Planning Division, Room 320, 555 Liberty Street SE, Salem OR 97301, or by email at planning@cityofsalem.net, no later than 5:00 p.m., Tuesday, January 5, 2021. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter(s) 220, 250, 804. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

**CLASS 3 SITE PLAN REVIEW / CLASS 2 ADJUSTMENT / CLASS 2 DRIVEWAY
APPROACH PERMIT**

**CASE NO. SPR-ADJ-DAP20-42
DECISION**

IN THE MATTER OF APPROVAL OF)	CLASS 3 SITE PLAN REVIEW
SITE PLAN REVIEW, ADJUSTMENT,)	CLASS 2 ADJUSTMENT AND
AND DRIVEWAY APPROACH PERMIT)	CLASS 2 DRIVEWAY APPROACH
CASE NO. SPR-ADJ-DAP20-42)	PERMIT
255 CORDON ROAD NE - 97301)	DECEMBER 21, 2020

In the matter of the application for a Class 3 Site Plan Review, Class 2 Adjustment, and Class 2 Driveway Approach Permit submitted by Brandie Dalton, Multi-Tech Engineering, Inc., on behalf of the applicants and property owners, East Park LLC, represented by Kiril Ivanov, the Planning Administrator, having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

Summary: Proposed development of a pump station on proposed lot 148, with an adjustment request to increase the maximum height allowance for a fence from 4 feet to 7 feet.

Request: A Class 3 Site Plan Review for development of a new pump station on proposed lot 148 with a Class 2 Driveway Approach Permit for driveway access to Redmond Street NE and a Class 2 Adjustment to increase the maximum height allowance for a fence in a front yard adjacent to a street from 4 feet to 7 feet, for property approximately 122 acres in size, zoned RS (Single Family Residential), RM-I and RM-II (Multi-Family Residential) and CR (Retail Commercial), and located at 255 Cordon Road NE, 4800-4900 Block of State Street and 4700-4800 Block of Auburn Road NE - 97301 (Marion County Assessors Map and Tax Lot numbers: 072W29B / 00200, 00201, 00300 and 00400 and 072W29C / 00100, 00101, 00199, 00200, 00300 and 00400).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this staff report (**Attachment A**).

DECISION

APPROVED subject to the applicable standards of the Salem Revised Code, the findings contained herein, conformance with the approved site plans, and the following conditions of approval:

Condition 1: Construct sidewalk and street trees along the frontage of Auburn Road NE.

- Condition 2:** Construct a three-quarter street improvement along the frontage of Redmond Street NE to local street standards, including all utilities that are planned within this portion of the street.
- Condition 3:** The security fencing shall be setback a minimum of 12 feet from Redmond Street NE and Auburn Road NE. The 12-foot setback area shall be landscaped in accordance with the standards of SRC Chapter 807 and shall include a minimum of one plant unit per 20 square feet of landscape area. A minimum of 40 percent of the required number of plant units shall be a combination of shade trees, evergreen/conifer trees, or ornamental trees.
- Condition 4:** The adjusted development standards, as approved in this zoning adjustment, shall only apply to the specific development proposal shown in the attached site plan. Any future development, beyond what is shown in the attached site plan, shall conform to all applicable development standards of the UDC, unless adjusted through a future land use action.

FINDINGS

1. Class 3 Site Plan Review Applicability

Site plan review is intended to provide a unified, consistent, and efficient means to review proposed development that requires a building permit, other than single-family, duplex residential, and installation of signs, to ensure that such development meets all applicable requirements imposed by the Salem Revised Code (SRC). SRC 220.005(b)(3) requires Class 3 Site Plan Review for any development that requires a building permit, and that involves a land use decision or limited land use decision, as those terms are defined in ORS 197.015.

Class 3 Site Plan Review is required for this application pursuant to SRC 220.005(b)(3)(C) because a Class 2 Driveway Approach Permit is required for a new driveway access on Redmond Street NE, and pursuant to SRC 220.005(b)(3)(F) because a Class 2 Adjustment has been requested to increase the maximum height for a fence adjacent to a street.

2. Background

On October 16, 2019, the Planning Commission approved an application for a Planned Unit Development and Subdivision for 659 single family units and a 36-unit multi-family residential use, for a total of 695 units for property approximately 122 acres in size (Case No. CPC-ZC-PUD-SUB-ADJ19-08). The proposed pump station is required to serve future dwelling units approved by CPC-ZC-PUD-SUB-ADJ19-08 for the subject property.

On October 21, 2020, a Class 3 Site Plan Review application was submitted for a proposal to construct a new pump station. On November 16, 2020, a Class 2 Adjustment application was submitted and on November 17, 2020, a Class 2 Driveway Approach Permit application was submitted.

The applications were deemed complete for processing on November 25, 2020. The applicant's proposed site plan is included in **Attachment B** and written statement addressing the approval criteria is included as **Attachment C**.

Summary of Record:

The following items are submitted to the record and are available upon request: All materials submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports; any materials and comments from public agencies, City departments, neighborhood associations, and the public; and all documents referenced in this report.

Neighborhood and Citizen Comments:

Notice of the application was sent to the East Lancaster Neighborhood Association (ELNA), and surrounding property owners and tenants of record within 250 feet of the subject property. Comments were received from ELNA indicating no concerns with the proposal, no public comments were received.

City Department Comments:

The Public Works Department reviewed the proposal and provided a memo which is included as **Attachment D**.

The Building and Safety Division reviewed the proposal and indicated no concerns.

The Fire Department has reviewed the proposal and indicated the following:

"Two separate and approved means of fire department access are required. Fire Department access is required to be provided within 150 feet of all portions of all structures. Dead end Fire Department access in excess of 150 feet requires an approved turnaround. Fire hydrants are required to be provided within 600 feet of all portions of the structures. All measurements are made along an approved route as determined by the fire code official."

Public Agency Comments:

No public agency comments received.

3. Analysis of Class 3 Site Plan Review Approval Criteria

SRC 220.005(f)(3) states:

An application for Class 3 Site Plan Review shall be granted if:

- (1) The application meets all applicable standards of the UDC;
- (2) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately;
- (3) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; and

- (4) The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.

Criterion 1:

The application meets all applicable standards of the UDC.

Finding: The proposal includes development of a new pump station on proposed lot 148 of the East Park Estates Planned Unit Development Subdivision and is located within the RS zone. The pump station is required to serve the Planned Unit Development. The proposed development is subject to the development standards of the East Park Estates Planned Unit Development, the following is a summary of the applicable development standards.

Development Standards – RS (Single Family Residential) Zone:

SRC 511.005(a) – Uses:

Finding: The proposed development includes construction of a new pump station to serve the East Park Estates Planned Unit Development Subdivision. Pump stations are classified as a basic utility use, which is allowed as a permitted use in the RS zone per Table 511-1.

Setbacks (SRC 210.045(b) – Table 210-3):

SRC 210.045, Table 210-3, establishes minimum building and accessory structure setback requirements for Planned Unit Developments. A summary of the setbacks applicable to the proposed development is included in the table below:

Summary of Required PUD Setbacks		
Perimeter Setbacks – Abutting Street		
Buildings & Accessory Structures	Min. 12 ft.	Applicable along local streets.
	Min. 20 ft.	Applicable along collector or arterial streets.
	None	Applicable along private streets. When a driveway approach is present, buildings shall be setback to maintain adequate vision clearance as required under SRC Chapter 805.
PUD Interior Setbacks – Not Abutting a Street		
Buildings	None	
Accessory Structures	None	

North: Adjacent to the north is the right-of-way for Auburn Road NE, which is classified as a collector street. There is a minimum 20-foot building and setback required adjacent to a collector street.

Finding: The proposed control/generator building is setback approximately 20 feet from Auburn Road NE in compliance with the minimum building setback requirement.

South: Adjacent to the south is property zoned RS (Single-Family Residential) which is part of the East Park Estates PUD. There is no minimum interior sideyard setback required within a Planned Unit Development.

Finding: A five-foot-wide landscape strip is provided along the southern property line.

East: Adjacent to the east is property zoned RS (Single-Family Residential) which is part of the East Park Estates PUD. There is no minimum interior rear yard setback required within a Planned Unit Development.

Finding: A five-foot-wide landscape strip is provided along the eastern property line.

West: Adjacent to the west is the right-of-way for Redmond Street NE, a future local street. There is a minimum 12-foot building and setback required adjacent to a local street.

Finding: The proposed control/generator building is setback approximately 20 feet from Auburn Road NE in compliance with the minimum building setback requirement.

Height (SRC 210.045(c) – Table 210-4):

SRC 210.045(c), Table 210-4, establishes maximum allowable heights for buildings and accessory structures within PUDs. Within the RS zone the maximum building height is limited to 35 feet.

Finding: The proposed pump station building is approximately 12 feet in height, less than the maximum allowance.

Parking (SRC 210.045(d)):

SRC 210.045(d) establishes specific requirements for parking within PUDs that apply beyond the City's off-street parking, loading, and driveways chapter (SRC Chapter 806). The parking requirements established under SRC 210.045 include requirements for minimum number of parking spaces, parking location, setbacks, dimensions, landscaping, and screening.

▪ **Minimum Required Parking (SRC 210.045(d)(1), Table 210-5).**

Within the RS zone, Table 210-5 requires a minimum of 2 parking spaces per dwelling unit, one of the required spaces must be located within a garage or carport. Off-street parking for the dwelling units in the East Park Estates PUD will be provided on individual lots, the lot for the proposed pump station does not contain any dwelling units, and therefore does not require any off-street parking spaces.

▪ **Parking Location (SRC 210.045(d)(2)(A)).**

SRC 210.045(d)(2)(A) requires parking for Planned Unit Developments to be located within the boundaries of the PUD. The parking may be either located on-street, off-street, or a combination thereof.

No off-street parking spaces are proposed for the pump station; therefore, this standard is not applicable to the proposed development.

▪ ***Parking Space Dimensions (SRC 210.045(d)(2)(C)).***

SRC 210.045(d)(2)(C) requires on-street parallel parking spaces to be a minimum of 7 feet in width and a minimum of 22 feet in length.

The proposed pump station does not include any on-street parallel parking spaces; therefore, this standard is not applicable to the proposed development.

▪ ***Parking Area Landscaping and Screening (SRC 210.045(d)(2)(D)).***

SRC 210.045(d)(2)(D) requires all off-street parking areas, other than those within a garage or carport, or on a driveway leading to a garage or carport, to be effectively landscaped, designed to minimize the effect of a large number of cars in one area, and screened with ornamental evergreens or architectural features such as fences and walls.

The proposed development includes a new pump station that will not have on-site employees but will require occasional maintenance and servicing. There is a vehicle use area provided on site that will allow maintenance vehicles to access the site, turn around and exit the property. The vehicle use area will be screened from abutting property to the south and east by a five-foot landscape strip and a site obscuring fence, meeting the requirements of this section.

General Development Standards SRC Chapter 800:

SRC 800.050 – Fences, walls, hedges, gates, and retaining walls.

Unless otherwise provided under the UDC, the standards set forth in this section shall apply to fences, walls, hedges, gates, and retaining walls in all zones.

SRC 800.050(a) – Location, height, and density.

(1)(A) Residential zones and property used for uses falling under household living in other zones. Fences and walls within residential zones, or on property used for uses falling under household living in other zones, shall not exceed a maximum height of eight feet; provided, however:

- (i) *Front yard abutting street.* Fences and walls within a front yard abutting a street shall not exceed a maximum height of four feet when located within 20 feet of the property line abutting the street; provided, however, within ten feet of the property line abutting the street any portion of the fence or wall above 30 inches in height shall be less than 25 percent opaque when viewed at any angle at a point 25 feet away from the fence or wall.
- (ii) *Side and rear yards abutting street.* Fences and walls within a side or rear yard abutting a street shall not exceed a maximum height of six feet when located within ten feet of a property line abutting a street.

Finding: The proposed security fence for the pump station is approximately 7 feet in height and is located within a front and side yard adjacent to a street, which does not comply with the maximum height allowance in SRC 800.050(a)(1)(A)(i and ii). The applicant has requested a zoning adjustment to increase the maximum height allowance for the fence. Findings for the Adjustment can be found in Section 4 of this report.

Landscaping

All required setbacks shall be landscaped with a minimum of 1 plant unit per 20 square feet of landscaped area. A minimum of 40 percent of the required number of plant units shall be a combination of mature trees, shade trees, evergreen/conifer trees, or ornamental trees. Plant materials and minimum plant unit values are defined in SRC Chapter 807, Table 807-2.

All building permit applications for development subject to landscaping requirements shall include landscape and irrigation plans meeting the requirements of SRC Chapter 807.

Finding: A minimum of 1 plant unit is required per 20 square feet of landscape area. A minimum of 40 percent of the required plant units shall be a combination of mature trees, shade trees, evergreen/conifer trees, or ornamental trees. Approximately 2,550 square feet of landscape area is proposed, requiring a minimum of 128 plant units ($2,550 / 20 = 127.5$). Of the required plant units, a minimum of 51 plant units shall be trees ($128 \times 0.4 = 51.2$).

Landscape and irrigation plans will be reviewed for conformance with the requirements of SRC 807 at the time of building permit application review.

Natural Resources

SRC 601 - Floodplain Overlay Zone: Public Works staff has reviewed the Flood Insurance Study and Flood Insurance Rate Maps and has determined that no floodplain or floodway areas exist on the subject property.

SRC 808 - Preservation of Trees and Vegetation: The City's tree preservation ordinance, under SRC Chapter 808, provides that no person shall remove a significant tree (Oregon White Oak greater than 24 inches in diameter at breast height) (SRC 808.015) or a tree or native vegetation in a riparian corridor (SRC 808.020), unless the removal is excepted under SRC 808.030(a)(2), undertaken pursuant to a permit issued under SRC 808.030(d), undertaken pursuant to a tree conservation plan approved under SRC 808.035, or permitted by a variance granted under SRC 808.045.

Finding: No trees are identified on the subject property; however, there are two significant trees located in the right-of-way for Auburn Road NE adjacent to the subject property that are dedicated for preservation.

SRC 809 - Wetlands: Grading and construction activities within wetlands are regulated by the Oregon Department of State Lands (DSL) and US Army Corps of Engineers. State and Federal wetland laws are also administered by the DSL and Army Corps, and potential impacts to jurisdictional wetlands are addressed through application and enforcement of appropriate mitigation measures.

The Salem-Keizer Local Wetland Inventory shows that the subject property does not contain any wetland areas or hydric soils.

SRC 810 - Landslide Hazards: According to the City's adopted landslide hazard susceptibility maps and SRC Chapter 810, the applicant's proposal does not disturb any portion of a mapped landslide hazard area. The proposed activity of a commercial

building adds 3 activity points to the proposal, which results in a total of 3 points, indicating a low landslide hazard risk. A geological assessment is not required for the proposed development.

Other Sections

The Public Works Department finds that with completion of the recommended conditions, the subject property meets all applicable standards of the following chapters of the UDC: 601 – Floodplain, 802 – Public Improvements, 803 – Streets and Right-of-Way Improvements, 804 – Driveway Approaches, 805 – Vision Clearance, 809 – Wetlands, and 810 - Landslides.

Criterion 2:

The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately.

Finding: The existing condition of Auburn Road NE does not meet current standards for its classification of street per the Salem Transportation System Plan. Sidewalks and street trees are required along the Auburn Road frontage.

Condition 1: Construct sidewalk and street trees along the frontage of Auburn Road NE.

The proposed development shows driveway access to be taken from Redmond Street NW, a future private street. The applicant shall construct a three-quarter street improvement along the Redmond Street NE frontage to local street standards as specified in the Public Works Design Standards and consistent with the provisions of SRC Chapter 803, including all utilities that are planned within this portion of the street.

Condition 2: Construct a three-quarter street improvement along the frontage of Redmond Street NE to local street standards, including all utilities that are planned within this portion of the street.

Criterion 3:

Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians.

Finding: The driveway access onto Redmond Street NE provides for safe turning movements into and out of the property.

Criterion 4:

The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.

Finding: The Public Works Department has reviewed the applicant's preliminary plan for this site. The water, sewer, and storm infrastructure being constructed in conjunction with East Park Subdivision are available within surrounding streets/areas and are adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the PWDS and to the satisfaction of the Public Works Director.

4. Analysis of Class 2 Adjustment Approval Criteria

SRC Chapter 250.005(d)(2) provides that an applicant for a Class 2 Adjustment shall be granted if all of the following criteria are met:

Criterion 1:

The purpose underlying the specific development standard proposed for adjustment is:

- (i) Clearly inapplicable to the proposed development; or
- (ii) Equally or better met by the proposed development.

Finding: The applicant is requesting a Class 2 Adjustment to increase the maximum height for a fence in a front yard adjacent to a street. SRC 800.050(a)(1)(A)(i) provides that fences within a front yard abutting a street shall not exceed a maximum height of four feet when located within 20 feet of the property line abutting the street. The proposed fence is setback from the front property line adjacent to Redmond Street NE by approximately 12 feet and will be approximately seven feet in height, exceeding the maximum height allowance.

The applicant explains that the property will be developed with a pump station, which is a permitted use in the RS (Single Family Residential) zone. The pump station will not be staffed and will only be accessed on occasion for maintenance. Because the pump station site will not be manned, security fencing is required around the entire perimeter of the property. Due to the relatively small size of the property, the fencing cannot be moved back 20 feet without interfering with maneuvering area for maintenance vehicles.

The applicant will be providing landscaping in the 12-foot setback area between the property line and the fence to help screen the property. However, on the landscape plan provided, there are no trees provided in this area. As a condition of approval, the landscape plan shall be revised to

Condition 3: The security fencing shall be setback a minimum of 12 feet from Redmond Street NE and Auburn Road NE. The 12-foot setback area shall be landscaped in accordance with the standards of SRC Chapter 807 and shall include a minimum of one plant unit per 20 square feet of landscape area. A minimum of 40 percent of the required number of plant units shall be a combination of shade trees, evergreen/conifer trees, or ornamental trees.

As conditioned, the purpose of the fencing height limitation adjacent to a street is equally or better met by the proposal.

Any future development, beyond what is shown in the proposed plans, shall conform to all applicable development standards of the Salem Revised Code, unless adjusted through a future land use action.

Condition 4: The adjusted development standards, as approved in this zoning adjustment, shall only apply to the specific development proposal shown in the attached site plan. Any future development, beyond what is shown in the attached site plan, shall conform to all applicable

development standards of the UDC, unless adjusted through a future land use action.

Criterion 2:

If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.

Finding: The subject property is located within a previously approved Planned Unit Development in a residential zone. As proposed and conditioned, the fencing will provide security for the pump station site and will be setback and screened with landscaping to minimize visual impacts and will therefore not detract from the livability or appearance of the residential area.

Criterion 3:

If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

Finding: One adjustment has been requested with this development; therefore, this standard is not applicable.

5. Analysis of Class 2 Driveway Approach Permit Approval Criteria

The approval criteria for a Class 2 Driveway Approach Permit are found in SRC 804.025(d), findings for the proposed driveway approach on Redmon Street NE are included below.

Driveway Approach onto Redmond Street NE

Criterion 1:

The proposed driveway approach meets the standards of this Chapter and the Public Works Design Standards.

Finding: The proposed driveway meets the standards for SRC 804 and Public Works Design Standards (PWDS).

Criterion 2:

No site conditions prevent placing the driveway approach in the required location.

Finding: There are no site conditions prohibiting the location of the proposed driveway.

Criterion 3:

The number of driveway approaches onto an arterial are minimized.

Finding: The proposed driveway is not accessing onto an arterial street.

Criterion 4:

The proposed driveway approach, where possible:

- a) Is shared with an adjacent property; or
- b) Takes access from the lowest classification of street abutting the property.

Finding: The proposed driveway is currently located with access to the lowest classification of street abutting the subject property.

Criterion 5:

The proposed driveway approach meets vision clearance standards.

Finding: The proposed driveway meets the PWDS vision clearance standards set forth in SRC Chapter 805.

Criterion 6:

The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access.

Finding: No evidence has been submitted to indicate that the proposed driveway will create traffic hazards or unsafe turning movements. Additionally, staff analysis of the proposed driveway indicates that it will not create a traffic hazard and will provide for safe turning movements for access to the subject property.

Criterion 7:

The proposed driveway approach does not result in significant adverse impacts to the vicinity.

Finding: Staff analysis of the proposed driveway and the evidence that has been submitted indicate that the location of the proposed driveway will not have any adverse impacts to the adjacent properties or streets.

Criterion 8:

The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections.

Finding: The applicant is proposing a driveway to the lower classification of street and it meets the spacing requirements of SRC Chapter 803. By complying with the requirements of this chapter the applicant has minimized impacts to the functionality of adjacent streets and intersections.

Criterion 9:

The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

Finding: The proposed development is surrounded by residentially zoned property. The proposed driveway is taken from the lowest classification street abutting the subject property. The driveway balances the adverse impacts to residentially zoned property and will not have an adverse effect on the functionality of the adjacent streets.

6. Based upon review of SRC Chapters 220, 250, and 804, the applicable standards of the Salem Revised Code, the findings contained herein, and due consideration of comments received, the application complies with the requirements for an affirmative decision.

ORDER

Final approval of Class 3 Site Plan Review, Class 2 Adjustment, and Class 2 Driveway Approach Permit Case No. 20-42 is hereby **APPROVED** subject to SRC Chapters 220, 250, and 804, the applicable standards of the Salem Revised Code, conformance with the approved site plan included as Attachment B, and the following conditions of approval:

- Condition 1:** Construct sidewalk and street trees along the frontage of Auburn Road NE.
- Condition 2:** Construct a three-quarter street improvement along the frontage of Redmond Street NE to local street standards, including all utilities that are planned within this portion of the street.
- Condition 3:** The security fencing shall be setback a minimum of 12 feet from Redmond Street NE and Auburn Road NE. The 12-foot setback area shall be landscaped in accordance with the standards of SRC Chapter 807 and shall include a minimum of one plant unit per 20 square feet of landscape area. A minimum of 40 percent of the required number of plant units shall be a combination of shade trees, evergreen/conifer trees, or ornamental trees.
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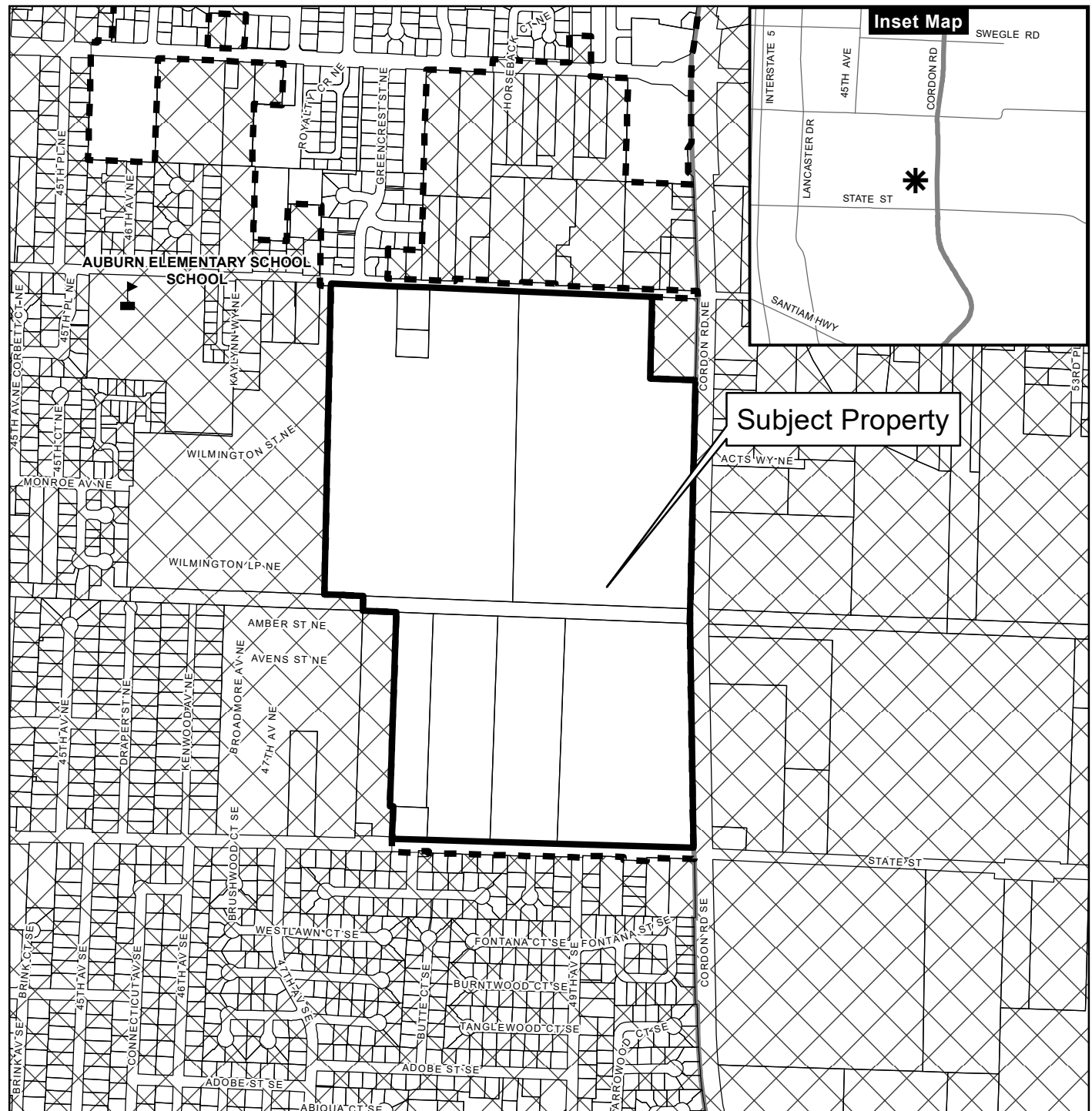
Aaron Panko, Planner III, on behalf of
Lisa Anderson-Ogilvie, AICP
Planning Administrator

Prepared by Aaron Panko, Planner III







Attachments: A. Vicinity Map
B. Proposed Development Plans
C. Applicant's Written Statement
D. Public Works Memo

<http://www.cityofsalem.net/planning>

Vicinity Map
255 Cordon Road NE, 4800-4900 Block of State Street and 4700-4800 Block of Auburn Road NE



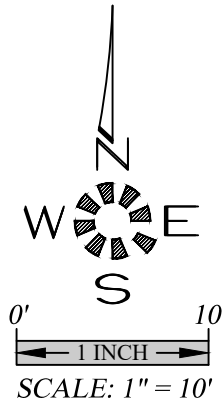
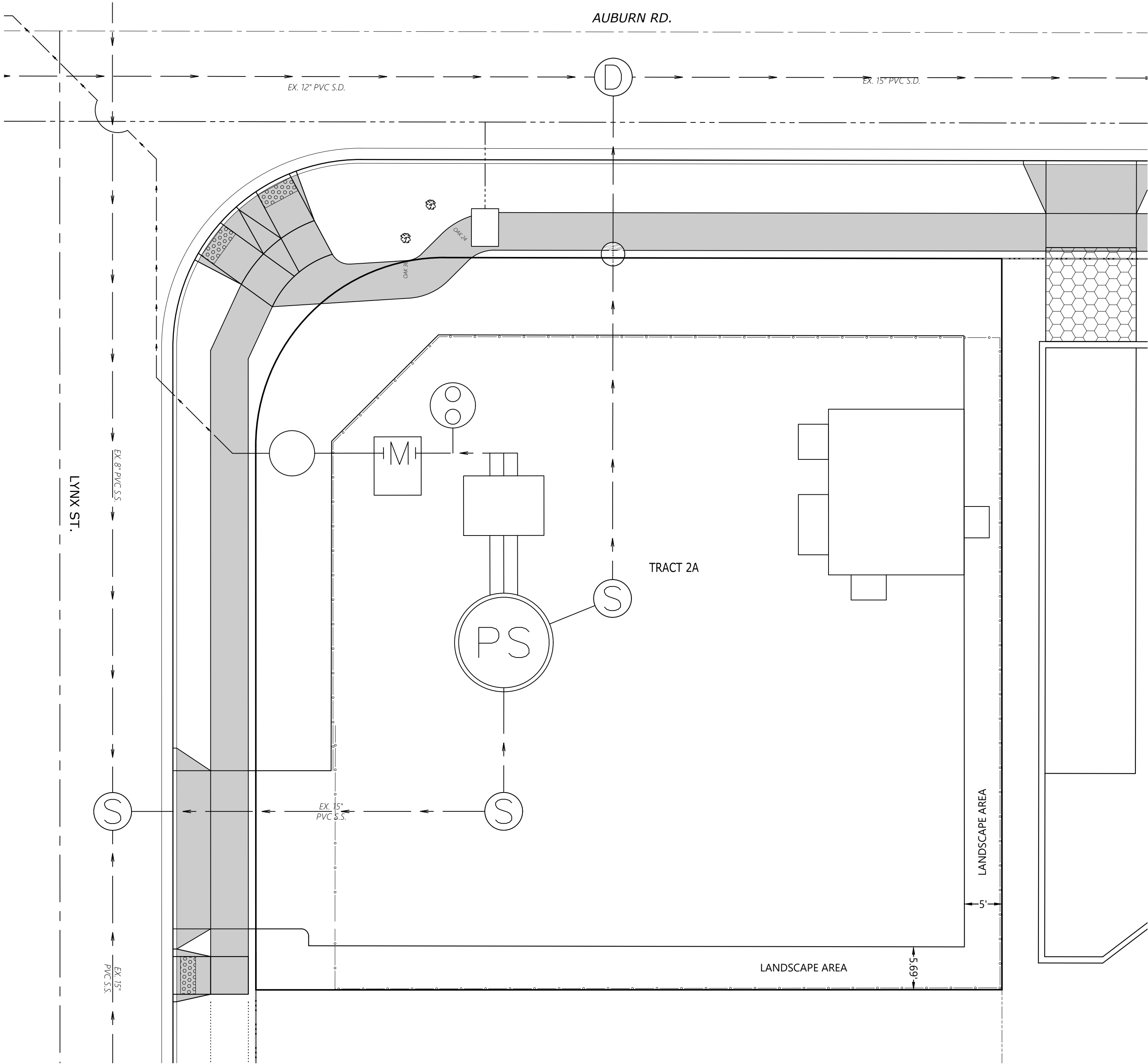
Legend

-  Taxlots
  Outside Salem City Limits
-  Urban Growth Boundary
  Historic District
-  City Limits
  Schools



CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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**PUMP STATION SITE
TRACT 2A**

**EAST PARK ESTATES
A P.U.D.
PHASE 2**

NO CHANGES, MODIFICATIONS
OR REVISIONS TO BE
MADE WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

Design:	M.D.G.
Drawn:	D.G.G.
Checked:	J.J.G.
Date:	JULY 2020
Scale:	AS SHOWN
As-Built:	----



GENERAL LANDSCAPE NOTES:

General:

- All local, municipal, state, and federal laws regarding uses, regulations, governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications and their provision shall be carried out by the Contractor. The Contractor shall at all times protect the public throughout the construction process.
- The Contractor shall carefully correlate construction activities with earthwork contractor and other site development.
- The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces.
- The Contractor shall verify the accuracy of all finish grades within the work area. The Contractor shall report to the Landscape Design & Consultants LLC (LDC) or Owner all conditions which prevent proper execution of this work.
- The exact location of all existing utilities structures and underground utilities, which may not be indicated on the drawings, shall be determined by the Contractor. The Contractor shall protect existing structures and utility services and is responsible for their replacement if damaged.
- Disturbance and impacts to existing native trees/shrubs shall be minimized to the greatest extent practicable.
- The Contractor shall keep the premises free from rubbish and debris at all times and shall arrange material storage to not interfere with the operation of the project. All unused material, rubbish, and debris shall be removed from the site.
- All plant material and planting supplies shall be warranted for a period of not less than one year from the completion date of installation. All replacement stock shall be subjected to the same warranty requirement as the original stock. Any damage due to replacement operations shall be repaired by the Contractor. At the end of the warranty period, inspections shall be made by LDC, Owner/General Contractor. All plant and lawn areas not in a healthy growing condition shall be removed and replaced with plants and turf cover of a like kind and size before the close of the next planting season.

Grading / Erosion Control:

- The design and placement of the building on the site lends itself to minimal slope conditions with positive drainage being maintained around the entire building. In this case standard landscaping procedures of topsoil, lawn, and a two inch layer of bark mulch on all planting beds will be sufficient to control erosion. In the event site conditions change or there are Slopes / Bio Swale / Detention Ponds on the project with slopes greater than 30% Poly tight Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.
- Seed recommendation is Pro Time 700 Low Profile or approved equal over the jute netting at a rate of 2 lbs. per 1000 sq. feet. The address of Pro Time is 1712 SE Ankeny, Portland OR 97214. Phone 503-239-7518. There email is info@protimeawnseed.com
- The work limits shown on this plan shall clearly be marked in the field prior to construction. No disturbance beyond the work limits shall be permitted.
- Grading shall be performed during optimal weather conditions.
- Erosion control measures shall be constructed in conjunction with all clearing and grading activities, and in such a manner as to ensure that sediment and sediment-laden water does not enter the drainage system or violate applicable water standards
- Prior to the commencement of construction activities, Contractor shall place orange construction fencing around perimeters of construction impact areas, and sediment fencing at downhill portions of the site. Contractor is responsible for proper installation, maintenance, replacement, and upgrading of all erosion and sediment control measures, in accordance with local, state, and federal regulations.

Plant Material:

- Contractor shall verify all plant & tree quantities with LDC or Owner prior to construction.
- In the event of a discrepancy between plants materials listed on the drawings, the drawings shall govern the plant species and quantities required.
- Plant material shall be first quality stock and shall conform to the code of standards set forth in the current edition of the American Standards for Nursery Stock sponsored by the American Association of Nurserymen, Inc. (AAN)
- Species and variety as specified on the drawings and delivered to the site shall be specified true to there genus, species and variety and as defined within the current edition International Code of Nomenclature for Cultivated Plants.
- Obtain freshly dug, healthy, vigorous plants nursery-grown under climatic conditions similar to those in the locality for the project for a minimum of two years. Plants shall have been lined out in rows, annually cultivated, sprayed, pruned, and fertilized in accordance with good horticultural practice. All container plants shall have been transplanted or root pruned at least once in the past three years. Balled-and-burlapped (B&B) plants must come from soil which will hold a firm root ball. Heeled in plants and plants from cold storage are not acceptable.
- Planting stock shall be well-branched and well-formed, sound, vigorous, healthy, free from disease, sun-scaled, windburn, abrasion, and harmful insects or insect eggs; and shall have healthy, normal, unbroken root systems. Deciduous trees and shrubs shall be symmetrically developed, uniform with straight trunks or stems, and free from objectionable disfigurements. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each particular species or variety. Only vines and ground cove plants well-established shall be used. Plants budding into leaf or having soft growth shall be sprayed with an anti-desiccant when authorized, adjustments of contract amount (if any) will be made by change order.
- Contractor shall not make substitutions of plant materials. If required landscape material is not obtainable, submit proof of non-availability and proposal for use of equivalent material. When authorized, adjustments of contract amount (if any) will be made by change order.
- Plant sizes and grading shall conform to the latest edition of American Standard for Nursery Stock as sponsored by the American Association of Nurserymen Inc. (AAN)
- All vegetation shown on this plan shall be maintained in a healthy and vigorous growing condition throughout the duration of the proposed use. All vegetation not so maintained shall be replaced wit new vegetation at the beginning of the next growing season.

Planting:

- Planting shall be installed between March 1st to April 30th or between October 1st to November 30th. If planting is installed outside these times frames, additional measures maybe needed to ensure survival and shall be pre-approved by the owner.
- Plant material shall be transported to the sit in a timely manner to minimize on-site storage. Where storage is required, all plants shall be kept moist and shaded.
- Plant stock shall be handled in a manner that will not break, scrape, or twist any portion of the plant. Protect plants at all times from conditions that can damage the plant (e.g., sun, wind, freezing conditions).

- Provide the following clearance for planting of trees where applicable:

Maintain 30 feet vision triangles at all intersections and corners
5 feet from all street/parking lot light standards
10 feet from fire hydrants
5 feet from all utility vaults, meter boxes, etc.

- No trees or shrubs shall be planted on existing or proposed utility lines.
- All shrub beds shall receive a minimum 2" layer of bark mulch evenly applied immediately after panting is completed. All plant beds shall drain away from buildings.
- Excavate plant pits for shrubs and trees as follows:
Container stock: width = 2 times the container diameter, depth = container depth.
Bare root stock: width = 2 times the widest diameter of the root, depth = of root system.
B & B: width = 2 times ball diameter, depth = ball depth.
- Scarify sides and bottom of plant pits to roughen surfaces.
- Place plants plumb in the pit. Backfill with native soil or top soil mixture to the original plant soil line, and tap solidly around the ball and roots. Water plants immediately after planting if soil is not saturated to the surface.

Lawn Areas /Hydro-Seeding/Sod:

- All lawn area shall be seeded unless otherwise directed by Owner to install Sod. Seed or Sod shall be procured through Kuenzi Turf Nursery. Seed or Sod shall be Rhizomatous Tall Fescue (RTF). Seed mix shall be applied at a rate of 10 lbs. per 1000 sq. feet. Contact Kuenzi Turf Nursery at (503)585-8337 or approved equal.
- All areas shown on the plan shall be seeded between March 1st, and May 1st, or between September 1st and October 15th.
- Scarify soil surface to a depth of 3 inches, to ensure adequate seed contact with soil.
- Prior to seeding, clearly delineate seeding limits using flags or non-toxic paint.
- Hydro-seed application rate shall be 60 lbs. per 100 gallons of hose work or 75 lbs. per 100 gallons of tower work
- If, at the end of one complete growing season, the planted and seeded area fail to exhibit well-established plant communities, or exhibit patchiness in the patterns of vegetative cover, supplemental seeding and planting shall occur.
- Seeding of slopes greater than 30% shall be done by Hydro Seeding using a seed mix of Pro Time 700 Low Profile or approved equal at a rate of 2 lbs. per 1000 sq. feet.

Top Soil Mixture:

- A 2" to 4" layer of garden care compost, mushroom compost or similar material sterilized at 105 degrees Fahrenheit shall be incorporated into the existing soil prior to planting and seeding/sod lawns.
Incorporate into existing soil prior to planting the following fertilizers at a rate specified per 1000 sq. ft. of planting area.
20 lbs. 10-6-4 50% Slow Release
30 lbs. 38-0-0 Nitroform
10 lbs. Iron Sulfate 21%
20 lbs. 0-18-0 Super Phosphate
25 lbs. Dolomite Lime
10 lbs. 13-0-11 Potassium Nitrate

Bark Mulch:

- All shrub beds shall receive a minimum 2" layer of fine hemlock or fir bark mulch evenly applied immediately after panting is completed. All plant beds shall drain away from buildings.

Poly Jute Netting:

- Tight net Poly Jute Netting shall be installed on Bio Swales/Detention Ponds/Vegetated Swale and Rain Gardens as a soil stabilizer and erosion control agent. Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.

Bio Swales/Detention Ponds/Vegetated Swales:

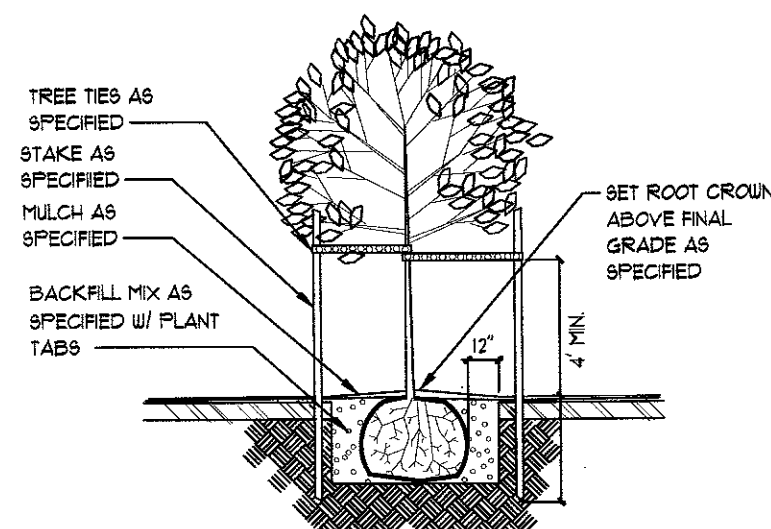
- Bark Mulch shall not be applied to Bio Swales/Detention Ponds or Vegetated Swales.

Weed Control Agent:

- Apply casoron as a weed control agent after planting as per manufactures specified recommendations around building or approved equal.

Non-Native Plant Species:

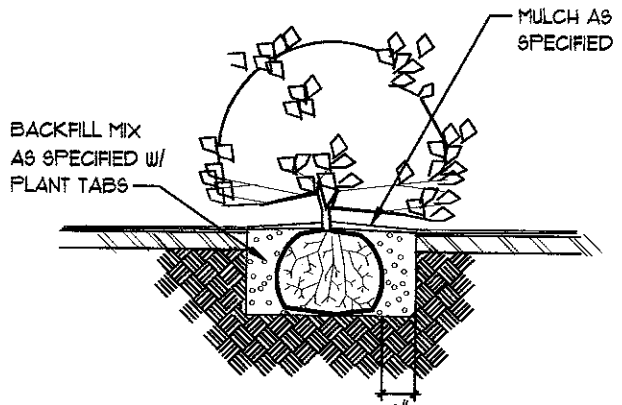
- All non-native, invasive plant species shall be removed from the site.



- NOTES:
- CUT AND REMOVE ALL ENDINGS FROM THE TOP AND SIDES OF THE ROOT BALL PRIOR TO BACKFILLING
 - REMOVE STAKES AND TIES ONE YEAR AFTER PLANTING

DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



- NOTES:
- CUT AND REMOVE ALL ENDINGS FROM THE TOP AND SIDES OF THE ROOT BALL PRIOR TO BACKFILLING
 - REMOVE STAKES AND TIES ONE YEAR AFTER PLANTING

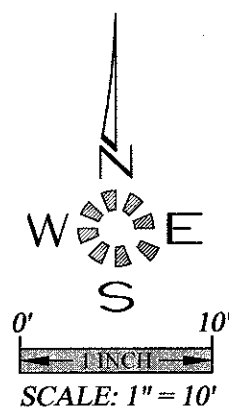
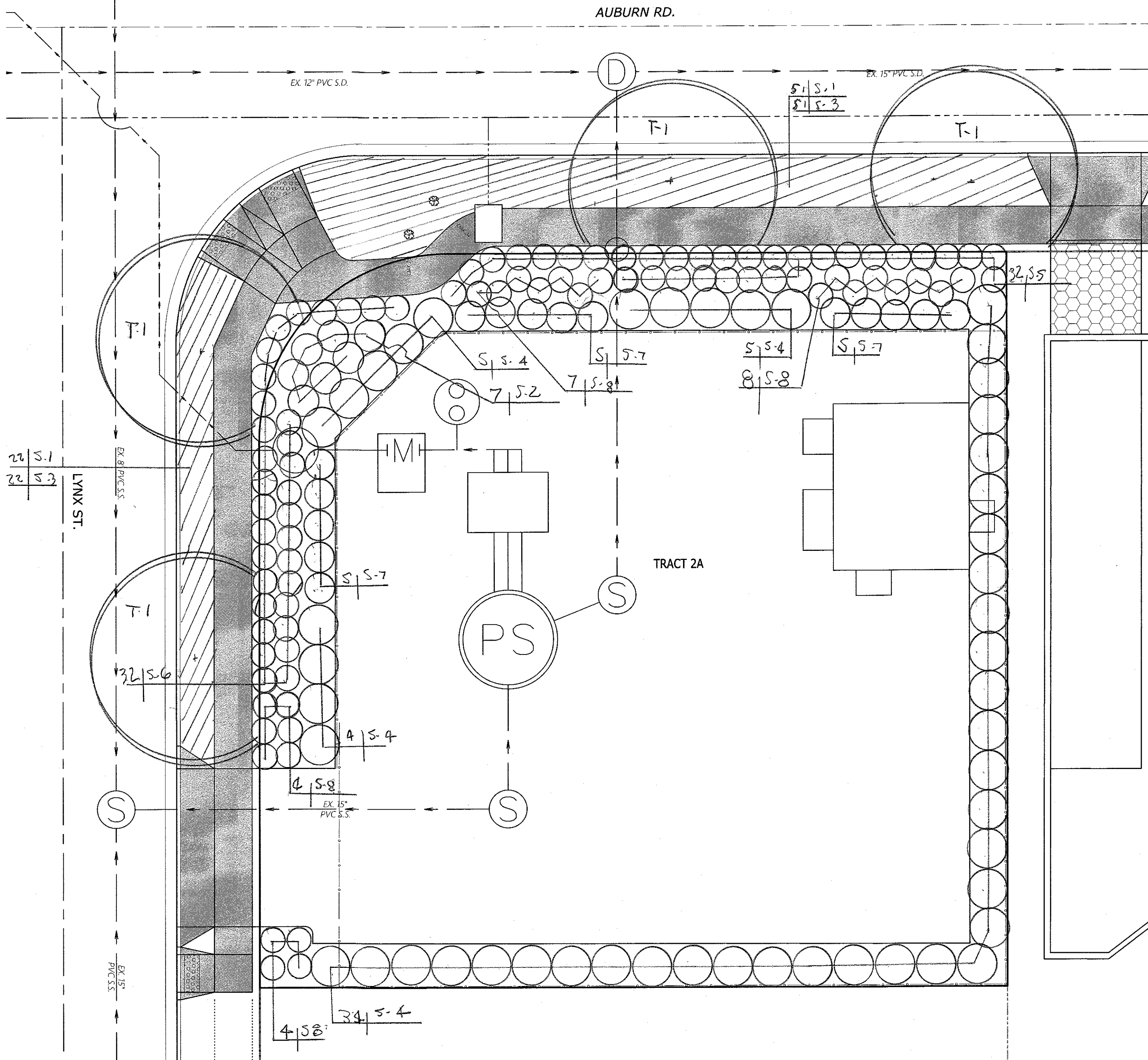
SHRUB PLANTING DETAIL

NOT TO SCALE

PUMP STATION PLANT PALETTE

QTY.	SYM	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
			TREES			
4	T-1	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	1 1/2"- 2" cal.	B & B	6' Standard
			SHRUBS			
73	S-1	Festuca glauca Elijah Blue	Elijah Blue Festuca Grass	1 gal.	cont.	Planted 3' o/c
7	S-2	Daphne ordora	Winter Daphne	3 gal.	cont.	Full
73	S-3	Mahonia repens	Creeping Mahonia	1 gal.	cont.	Planted 3' o/c
48	S-4	Ligustrum japonicum Texanum	Texas Wax-Leaf Privet	5 gal.	cont.	Full
32	S-5	Pennisetum alopecuroides Hameln	Dwarf Fountain Grass	3 gal.	cont.	Full
32	S-6	Pennisetum setaceum 'Purpureum'	Purple Fountain Grass	3 gal.	cont.	Full
15	S-7	Philadelphus Snowbelle	Snowbelle Mock Orange	3 gal.	cont.	Full
23	S-8	Spiraea japonica 'Double Pink'	Double Pink Spirea	3 gal.	cont.	Full

CONTRACTOR TO VERIFY ALL QUANTITIES OF PLANT MATERIALS WITH LANDSCAPE DESIGN & CONSULTANTS PRIOR TO INSALLATION
PLANT MATERIAL SUBSTITUTIONS MAY BE MADE BY THE OWNER FOR PLANT MATERIALS OF SIMILAR HABIT, FLOWERING CHARACTERISTIC
AND/OR STRUCTURE OF GROWTH DUE TO AVAILABILITY, WATER, SOIL, AND SUN REQUIREMENTS.

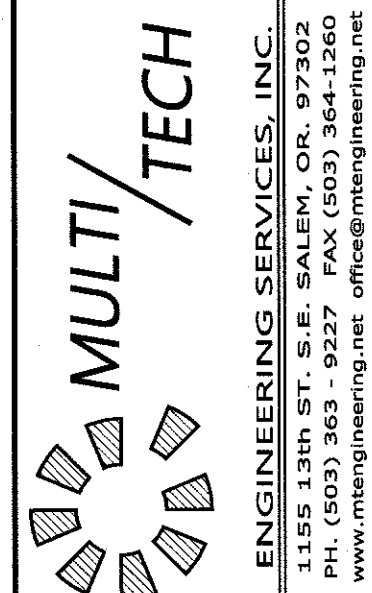


PUMP STATION PLANT PALETTE

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			TREES			
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AND/OR STRUCTURE OF GROWTH DUE TO AVAILABILITY, WATER, SOIL, AND SUN REQUIREMENTS.

LANDSCAPE & IRRIGATION DESIGN BY:
LANDSCAPE DESIGN & CONSULTANTS LLC
Doing business since 1985
620 WORMWOOD ST. S.E. SALEM, OR 97306 PHONE: (503) 551-8590



PUMP STATION LANDSCAPE PLAN

EAST PARK ESTATES A P.U.D. PHASE 2

NO CHANGES, MODIFICATIONS
OR REPRODUCTIONS TO BE
MADE TO THESE DRAWINGS
WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

Design: M.D.G.
Drawn: D.G.G.
Checked: J.J.G.
Date: JULY 2020
Scale: AS SHOWN
As-Built: _____



JOB # 7041

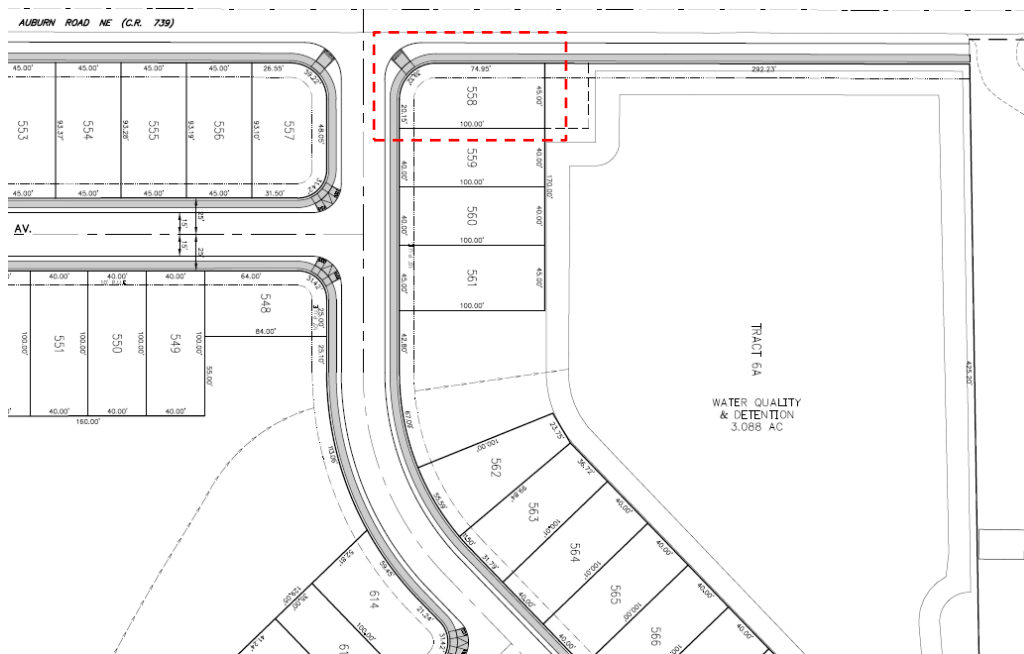
L1.1

East Park Pump Station**Class 3-Site Plan Review**

October 6, 2020

SRC 220.005(f)(3) Class 3 Site Plan Review Criteria:**(A) The application meets all applicable standards of the UDC;**

Applicant Findings: The proposal is for a pump station located on Lot 558 of approved PUD (CPC-ZC-PUD-SUB-ADJ19-08).



The pump station has been designed to City standards. The proposed pump station will be reviewed and approved by Public Works for Code compliance.

Setbacks: All minimum setbacks to property lines, between buildings and distances to the entrances are met as shown on the tentative plan.

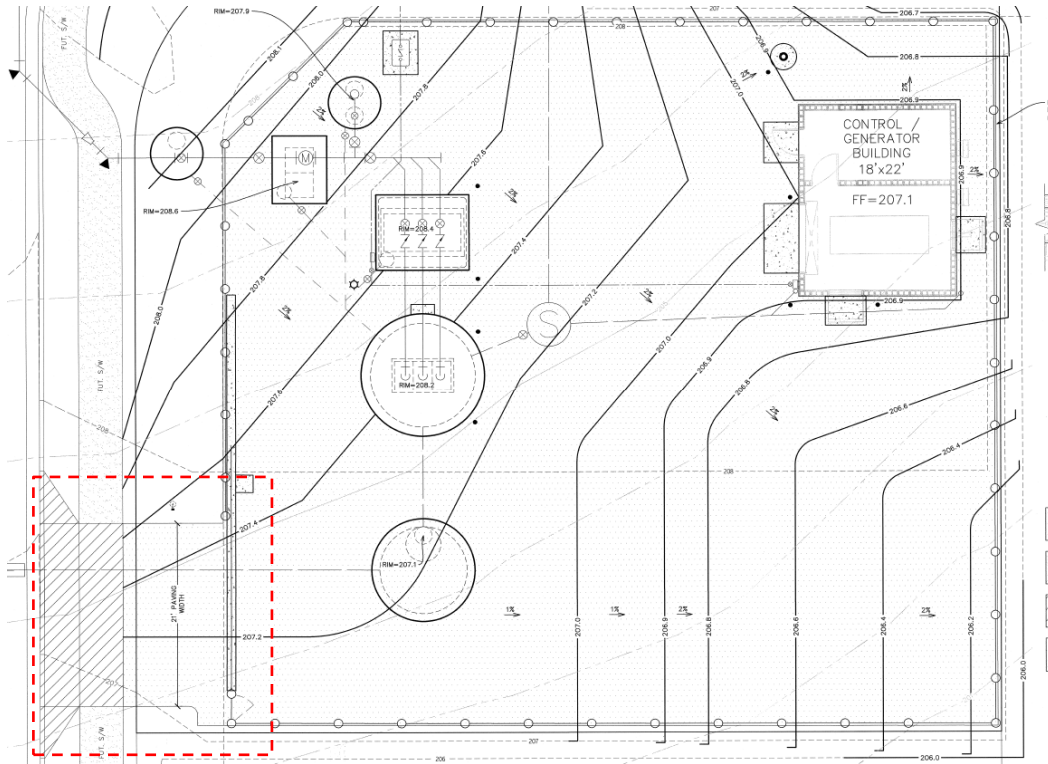
North:	Adjacent Auburn Road: 20-foot setback
East:	Adjacent the proposed Water Quality and Detention Tract: 5-foot setback
South:	Adjacent a single-family dwelling lot zoned RS: 53.19-foot setback
West:	Adjacent Lynx Street: 75-foot setback

Building Height: The pump station is about 12 feet in height measured to the middle of the gable. See attached Drawing S2.1 and S2.2.

Lot Coverage: The lot the pump station is located on is about 4,378 square feet in size. The pump station is 396 square feet in size. The building on the site covers 9% of the lot.

- (B) *The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately;***

Applicant Findings: There is a driveway proposed for the pump station lot. The driveway is located off Lynx Street.



The driveway is clearly identifiable, safe, and interconnected. Improved access to the pump station is required by code. Approval does not adversely affect the safe and healthful development of any adjoining land or access thereto.

Therefore, this criterion has been met.

- (C) *Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; and*

Applicant Findings: See findings above under (B). The driveway has been designed to City standards and provides safe circulation.

- (D) The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.**

Applicant Findings: The pump station is required in order to provide adequate serves to the approved SUB/PUD.

East Park Estates-Pump Station

Adjustment Class-2 Application

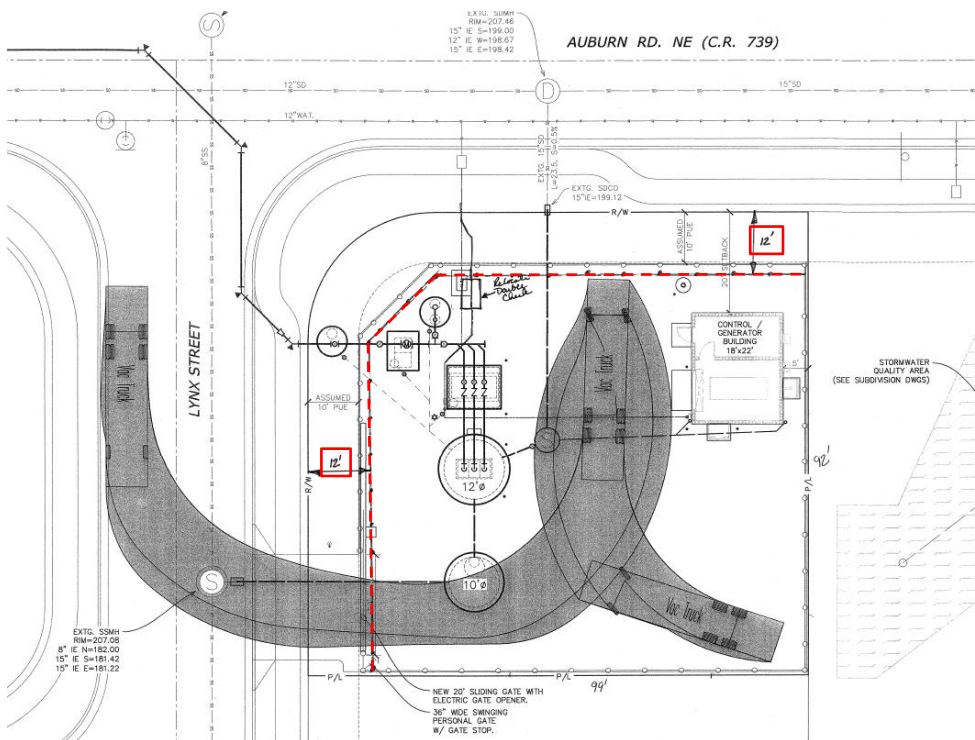
Proposal:

The proposal is for a pump station located on Lot 558 of approved PUD (CPC-ZC-PUD-SUB-ADJ19-08). The proposed lot will have access onto Lynx Street that runs north/south through the property. Lynx Street is designated as a 'local' street on the Salem Transportation System Plan.

The applicant is requesting an adjustment greater than 20% adjustment to SRC 800.050(a)(1)(A)(i):

- (i) **Front yard abutting street. Fences and walls within a front yard abutting a street shall not exceed a maximum height of four feet when located within 20 feet of the property line abutting the street; provided, however, within ten feet of the property line abutting the street any portion of the fence or wall above 30 inches in height shall be less than 25 percent opaque when viewed at any angle at a point 25 feet away from the fence or wall.**

The proposal is for a pump station located on Lot 558. The proposed fence along Lynx Street is 7 feet in height and setback 12 feet from the property line.



Adjustment Criteria-SRC 250.005(d)(2) Criteria

(A) The purpose underlying the specific development standard proposed for adjustment is:

- (i) Clearly inapplicable to the proposed development; or***
- (ii) Equally or better met by the proposed development.***

(B) If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.

(C) If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

Applicant Findings:

- (A) SRC 800.050(a)(1)(A)(i) requires that, "Fences and walls within a front yard abutting a street shall not exceed a maximum height of four feet when located within 20 feet of the property line abutting the street; provided, however, within ten feet of the property line abutting the street any portion of the fence or wall above 30 inches in height shall be less than 25 percent opaque when viewed at any angle at a point 25 feet away from the fence or wall."

The proposal is for a pump station located on Lot 558. The proposed fence along Lynx Street is 7 feet in height where a maximum of 4 feet is allowed, and setback 12 feet from the property line where 25 feet is required.

The purpose of this requirement is to provide safe and pedestrian friendly areas along street frontages. The proposal is for a pump station and will not be occupied or accessed on a daily bases.

The higher fence height along with the reduced setback help to provide a safer and a visual buffer for residents from the pump station. Therefore, providing a better proposal for the development.

See attached site plan.

- (B) The proposed pump station will be screen and landscaped as required by Code. The higher fence height along with the reduced setback help to provide a safer and a visual buffer for residents from the pump station. Therefore, the proposal will not distract from the residential development.

- (C) There are two adjustments being requested for this proposal. There is one adjustment being requested to SRC 800.050(a)(1)(A)(i).

East Park Pump Station
Class 2-Driveway Approach Permit
November 5, 2020

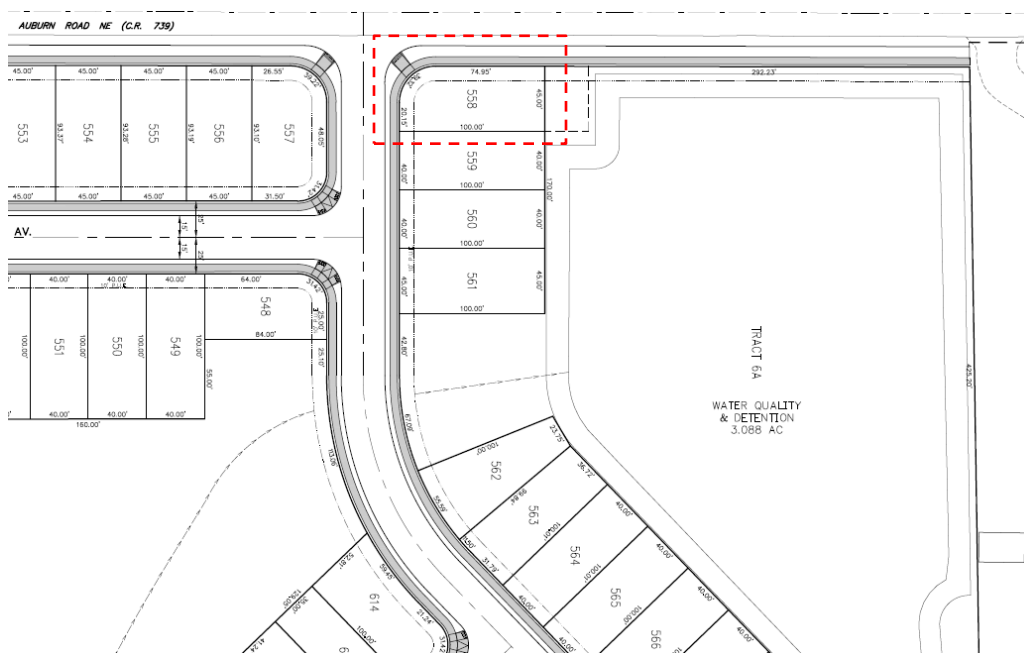
SRC 804.025 (d) Criteria. A Class 2 Driveway Approach Permit shall be granted if:

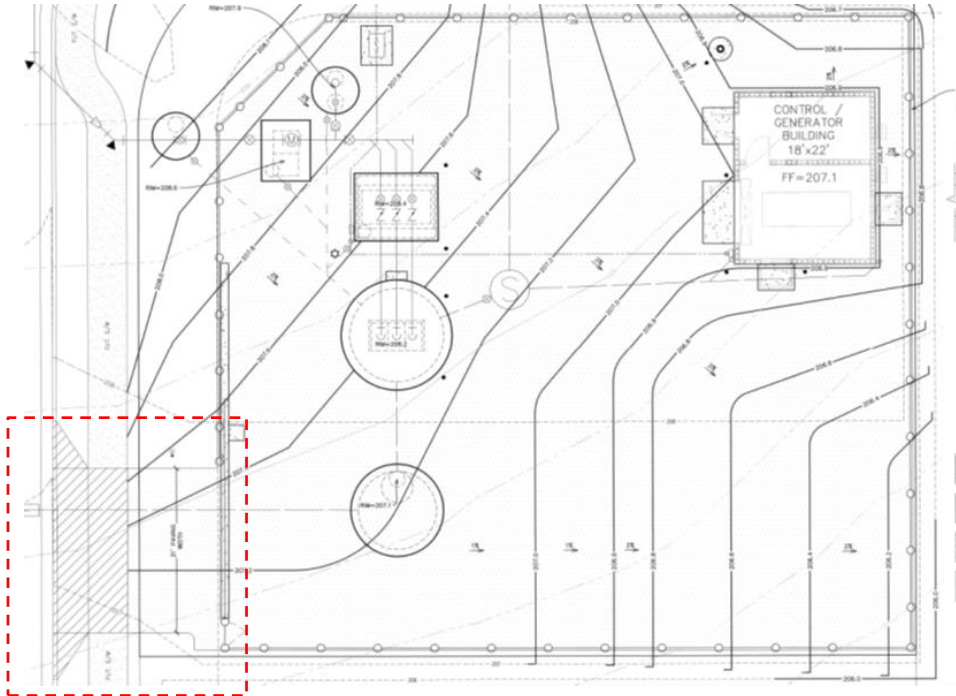
(1) The proposed driveway approach meets the standards of this Chapter and the Public Works Design Standards;

Applicant Findings: The proposal is for a pump station located on Lot 558 of approved PUD (CPC-ZC-PUD-SUB-ADJ19-08).

The pump station will generate minimal traffic on to the lot. However, there is a driveway proposed for the pump station lot. The driveway is located off Lynx Street.

The proposed lot will have access onto Lynx Street that runs north/south through the property. Lynx Street is designated as a 'local' street on the Salem Transportation System Plan. The proposed driveway will meet Public Works design standards. The driveway is only required for access to the pump station once or twice a month. As shown on the site plan, the driveway is in compliance with design standards.





The pump station has been designed to City standards. The proposed pump station will be reviewed and approved by Public Works for Code compliance.

(2) No site conditions prevent placing the driveway approach in the required location;

Applicant Response: The location of the pump station and driveway was taken into consideration prior to laying the site out. Access onto Auburn Road to the north is not allowed, so all access for the pump station lot is taken to and from Lynx Street. The location of the proposed driveways take into consideration the location of internal streets adjacent to the site and access onto the local streets. Therefore, all factors were taken into consideration and there are no conditions on the site that prevent the driveway approach.

(3) The number of driveway approaches onto an arterial are minimized;

Applicant Response: There are no driveways proposed onto an arterial. Therefore, this criterion is not applicable.

(4) The proposed driveway approach, where possible:

(A) Is shared with an adjacent property; or

(B) Takes access from the lowest classification of street abutting the property;

Applicant Response to (4)(B): The subject property is located on Auburn Road to the north and Lynx Street to the west. Access to Auburn Road is not allowed for this development. All access will be onto Lynx Street. There is only one driveway proposed onto Lynx Street from this lot. There are no adjacent driveways to share access with and Lynx Street is a 'local' street. Therefore, there is no lower classified streets abutting the property. Therefore, this criterion has been met.

(5) The proposed driveway approach meets vision clearance standards;

Applicant Response: Through the site plan review process, the applicant has been working with Public Works to ensure that the driveway approach is in the required location and meets vision clearance standards. As shown on the site plan, this criterion has been met.

(6) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;

Applicant Response: The driveway approach does not create traffic hazards. As shown on the site plan, this criterion has been met.

(7) The proposed driveway approach does not result in significant adverse impacts to the vicinity;

Applicant Response: Public Works has had the opportunity to review the site plan for any adverse impacts. No adverse impacts to the vicinity have been identified. As shown on the site plan, the location of the driveway will not have any impacts on the subject property or adjacent properties. This criterion has been met.

(8) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and

Applicant Response: The applicant has been working with Public Works to ensure that the driveway approach is in the required locations to minimize impacts to adjacent streets and intersections. As shown on the site plan, this criterion has been met.

(9) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

Applicant Response: The applicant will be working with Public Works to ensure that the driveway approach is in the required location to help balance the adverse impacts to residentially zoned property. The location of the proposed driveway takes into consideration the location of the streets adjacent to the site and access onto Lynx Street. As shown on the site plan, this criterion has been met.

The driveway is clearly identifiable, safe, and interconnected. Improved access to the pump station is required by code. Approval does not adversely affect the safe and healthful development of any adjoining land or access thereto.



MEMO

TO: Aaron Panko, Planner III
Community Development Department

FROM: Glenn J. Davis, PE, CFM, Chief Development Engineer
Public Works Department

DATE: December 18, 2020

**SUBJECT: PUBLIC WORKS RECOMMENDATIONS
SPR-ADJ-DAP 20-42 (20-116092)
255 CORDON ROAD NE
AUBURN PUMP STATION**

PROPOSAL

Proposed development of a pump station on proposed lot 148, with an adjustment request to increase the maximum height allowance for a fence from 4 feet to 7 feet.

RECOMMENDED CONDITIONS OF APPROVAL

1. Construct a three-quarter street improvement along the frontage of Redmond Street NE to Local street standards, including all utilities that are planned within this portion of the street.
2. Construct sidewalk and street trees along the frontage of Auburn Road NE.

FACTS

Streets

1. Auburn Road NE
 - a. Standard—This street is designated as a Collector street in the Salem TSP. The standard for this street classification is a 34- to 40-foot-wide improvement within a 60-foot-wide right-of-way.

- b. Existing Conditions—This street has an approximate 24-foot improvement within a varying 40- to 54-foot-wide right-of-way abutting the subject property.
- c. Special Setback—The frontage of the subject property has a special setback equal to 30 feet from the centerline of Auburn Road NE.

Storm Drainage

1. Existing Conditions

- a. A series of ditches and stormwater mains and culverts are located in State Street.
- b. A waterway flows through the subject property, and discharges into two 24-inch culverts in Auburn Road NE.
- c. The subject property is within the Little Pudding Drainage Basin.

Water

1. Existing Conditions

- a. The subject property is located in the G-0 water service level.
- b. The nearest available adequate water main is located near the intersection of Cordon Road SE and Gaffin Road SE. The applicant has applied for a public construction permit to build a 24-inch water main from this location to the northern boundary of the property as conditioned by UGA09-07MOD1. See permit number 19-109135-PC.

Sanitary Sewer

1. Existing Conditions

- a. A 12-inch sewer main is located in State Street.
- b. To serve the northern portion of the subject property, UGA09-07MOD1 indicates that a new pump station along Auburn Road NE with a force main connecting to the East Salem Interceptor is needed. No application or plans have been received for this sewer connection.

CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

Criteria: SRC 220.005(f)(3)(A) The application meets all applicable standards of the UDC (*Unified Development Code*)

Finding—With completion of the conditions above, the subject property meets all applicable standards of the following chapters of the UDC: 601 – Floodplain; 802 – Public Improvements; 803 – Streets and Right-of-Way Improvements; 804 – Driveway Approaches; 805 – Vision Clearance; 809 – Wetlands; and 810 - Landslides.

Public Works staff has reviewed the Flood Insurance Study and Flood Insurance Rate Maps and has determined that no floodplain or floodway areas exist on the subject property.

According to the Salem-Keizer Local Wetland Inventory (LWI), the subject property does not contain any wetland areas or hydric soils.

According to the City's adopted landslide hazard susceptibility maps and SRC Chapter 810 (Landslide Hazards), there are no mapped landslide hazard areas on the subject property.

Criteria: SRC 220.005(f)(3)(B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

Finding—The existing condition of Auburn Road NE does not meet current standards for its classification of street per the Salem TSP. Sidewalks and street trees are required along the Auburn Road NE frontage. The proposed development shows driveway access to be taken from Redmond Street NE, a future private street. The applicant shall construct a three-quarter street improvement along the Redmond Street NE frontage to local street standards as specified in the PWDS and consistent with the provisions of SRC Chapter 803, including all utilities that are planned within this portion of the street.

Criteria: SRC 220.005(f)(3)(C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians

Finding—The driveway access onto Redmond Street NE provides for safe turning movements into and out of the property.

Criteria: SRC 220.005(f)(3)(D) The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development

Finding—The Public Works Department has reviewed the applicant's preliminary plan for this site. The water, sewer, and storm infrastructure being constructed in conjunction with East Park Subdivision are available within surrounding streets/areas and are adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the PWDS and to the satisfaction of the Public Works Director.

Criteria—A Class 2 Driveway Approach Permit shall be granted if:

- (1) The proposed driveway approach meets the standards of this Chapter and the Public Works Design Standards;**

Finding—The proposed driveway meets the standards for SRC Chapter 804 and PWDS.

- (2) No site conditions prevent placing the driveway approach in the required location;**

Finding—There are no site conditions prohibiting the location of the proposed driveway.

- (3) The number of driveway approaches onto an arterial are minimized;**

Finding—The proposed driveway does not access an arterial street.

- (4) The proposed driveway approach, where possible:**

- i. Is shared with an adjacent property; or**
- ii. Takes access from the lowest classification of street abutting the property;**

Finding—The proposed driveway is currently located with access to the lowest classification of street abutting the subject property.

- (5) Proposed driveway approach meets vision clearance standards;**

Finding—The proposed driveway meets the PWDS vision clearance standards set forth in SRC Chapter 805.

(6) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;

Finding—No evidence has been submitted to indicate that the proposed driveway will create traffic hazards or unsafe turning movements. Additionally, staff analysis of the proposed driveway indicates that it will not create a traffic hazard and will provide for safe turning movements for access to the subject property.

(7) The proposed driveway approach does not result in significant adverse impacts to the vicinity;

Finding—Staff analysis of the proposed driveway and the evidence that has been submitted indicate that the location of the proposed driveway will not have any adverse impacts to the adjacent properties or streets.

(8) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and

Finding—The applicant is proposing a driveway to the lower classification of street and it meets the spacing requirements of SRC Chapter 803. By complying with the requirements of this chapter the applicant has minimized impacts to the functionality of adjacent streets and intersections.

(9) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

Finding—The proposed development is surrounded by residentially zoned property. The proposed driveway is taken from the lowest classification street abutting the subject property. The driveway balances the adverse impacts to residentially zoned property and will not have an adverse effect on the functionality of the adjacent streets.

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cc: File