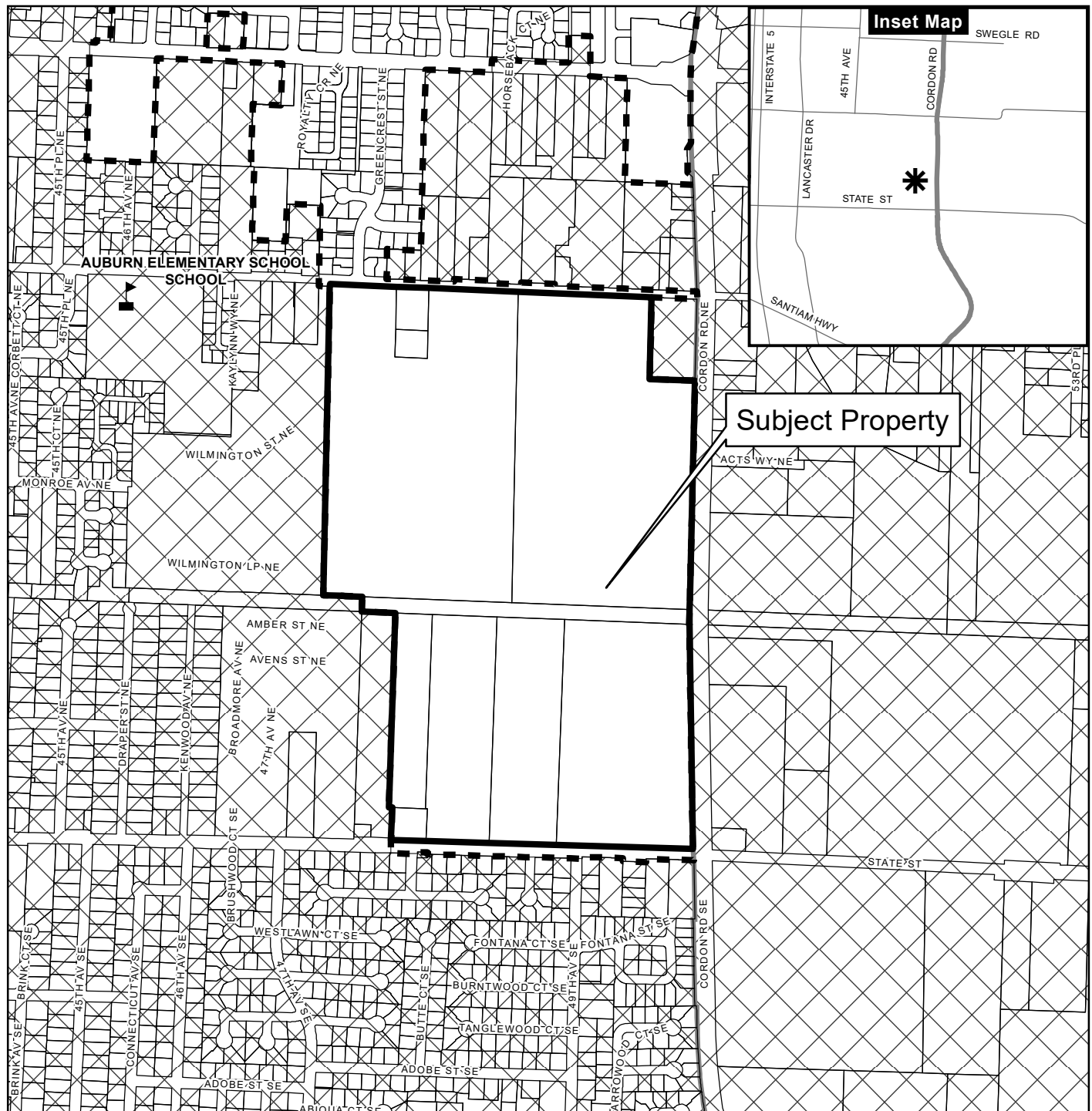








Vicinity Map

255 Cordon Road NE, 4800-4900 Block of State Street and 4700-4800 Block of Auburn Road NE



Legend

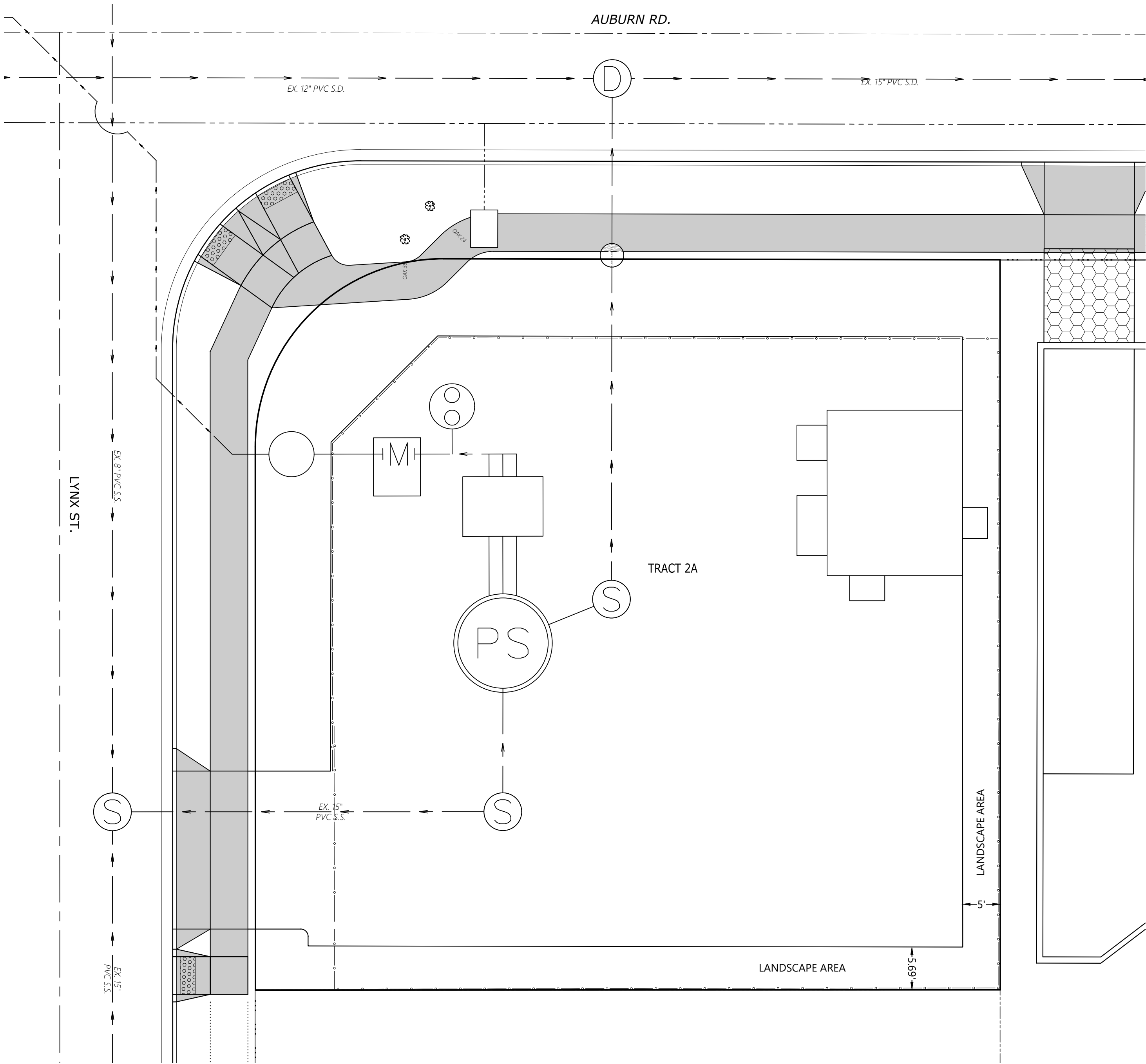
-  Taxlots
  Outside Salem City Limits
-  Urban Growth Boundary
  Historic District
-  City Limits
  Schools



CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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J:\7041\7041 - EastParkPh2\Draw - 20\ExternalRefs\UTL.dwg, Tract2A, 11/9/2020 10:28:48 AM, Dcalle



UTL Tract2A
Design: M.D.G.
Drawn: D.G.G.
Checked: J.J.G.
Date: JULY 2020
Scale: AS SHOWN
As-Built: ----

NO CHANGES, MODIFICATIONS
OR REVISIONS TO BE
MADE TO THESE DRAWINGS
WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

EAST PARK ESTATES
A P.U.D.
PHASE 2

PUMP STATION SITE
TRACT 2A

MULTI/TECH
ENGINEERING SERVICES, INC.
1155 13th ST., S.E. SALEM, OR. 97302
PH. (503) 363-5927 FAX (503) 364-7560
www.mtengineering.net office@mtengineering.net

JOB # 7041

1/1

GENERAL LANDSCAPE NOTES:

General:

- All local, municipal, state, and federal laws regarding uses, regulations, governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications and their provision shall be carried out by the Contractor. The Contractor shall at all times protect the public throughout the construction process.
- The Contractor shall carefully correlate construction activities with earthwork contractor and other site development.
- The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces.
- The Contractor shall verify the accuracy of all finish grades within the work area. The Contractor shall report to the Landscape Design & Consultants LLC (LDC) or Owner all conditions which prevent proper execution of this work.
- The exact location of all existing utilities structures and underground utilities, which may not be indicated on the drawings, shall be determined by the Contractor. The Contractor shall protect existing structures and utility services and is responsible for their replacement if damaged.
- Disturbance and impacts to existing native trees/shrubs shall be minimized to the greatest extent practicable.
- The Contractor shall keep the premises free from rubbish and debris at all times and shall arrange material storage to not interfere with the operation of the project. All unused material, rubbish, and debris shall be removed from the site.
- All plant material and planting supplies shall be warranted for a period of not less than one year from the completion date of installation. All replacement stock shall be subjected to the same warranty requirement as the original stock. Any damage due to replacement operations shall be repaired by the Contractor. At the end of the warranty period, inspections shall be made by LDC, Owner/General Contractor. All plant and lawn areas not in a healthy growing condition shall be removed and replaced with plants and turf cover of a like kind and size before the close of the next planting season.

Grading / Erosion Control:

- The design and placement of the building on the site lends itself to minimal slope conditions with positive drainage being maintained around the entire building. In this case standard landscaping procedures of topsoil, lawn, and a two inch layer of bark mulch on all planting beds will be sufficient to control erosion. In the event site conditions change or there are Slopes / Bio Swale / Detention Ponds on the project with slopes greater than 30% Poly tight Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.
- Seed recommendation is Pro Time 700 Low Profile or approved equal over the jute netting at a rate of 2 lbs. per 1000 sq. feet. The address of Pro Time is 1712 SE Ankeny, Portland OR 97214. Phone 503-239-7518. There email is info@protimeawnseed.com
- The work limits shown on this plan shall clearly be marked in the field prior to construction. No disturbance beyond the work limits shall be permitted.
- Grading shall be performed during optimal weather conditions.
- Erosion control measures shall be constructed in conjunction with all clearing and grading activities, and in such a manner as to ensure that sediment and sediment-laden water does not enter the drainage system or violate applicable water standards
- Prior to the commencement of construction activities, Contractor shall place orange construction fencing around perimeters of construction impact areas, and sediment fencing at downhill portions of the site. Contractor is responsible for proper installation, maintenance, replacement, and upgrading of all erosion and sediment control measures, in accordance with local, state, and federal regulations.

Plant Material:

- Contractor shall verify all plant & tree quantities with LDC or Owner prior to construction.
- In the event of a discrepancy between plants materials listed on the drawings, the drawings shall govern the plant species and quantities required.
- Plant material shall be first quality stock and shall conform to the code of standards set forth in the current edition of the American Standards for Nursery Stock sponsored by the American Association of Nurserymen, Inc. (AAN)
- Species and variety as specified on the drawings and delivered to the site shall be correct true to there genus, species and variety and as defined within the current edition International Code of Nomenclature for Cultivated Plants.
- Obtain freshly dug, healthy, vigorous plants nursery-grown under climatic conditions similar to those in the locality for the project for a minimum of two years. Plants shall have been lined out in rows, annually cultivated, sprayed, pruned, and fertilized in accordance with good horticultural practice. All container plants shall have been transplanted or root pruned at least once in the past three years. Balled-and-burlapped (B&B) plants must come from soil which will hold a firm root ball. Heeled in plants and plants from cold storage are not acceptable.
- Planting stock shall be well-branched and well-formed, sound, vigorous, healthy, free from disease, sun-scaled, windburn, abrasion, and harmful insects or insect eggs; and shall have healthy, normal, unbroken root systems. Deciduous trees and shrubs shall be symmetrically developed, uniform with straight trunks or stems, and free from objectionable disfigurements. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each particular species or variety. Only vines and ground cove plants well-established shall be used. Plants budding into leaf or having soft growth shall be sprayed with an anti-desiccant when authorized, adjustments of contract amount (if any) will be made by change order.
- Contractor shall not make substitutions of plant materials. If required landscape material is not obtainable, submit proof of non-availability and proposal for use of equivalent material. When authorized, adjustments of contract amount (if any) will be made by change order.
- Plant sizes and grading shall conform to the latest edition of American Standard for Nursery Stock as sponsored by the American Association of Nurserymen Inc. (AAN)
- All vegetation shown on this plan shall be maintained in a healthy and vigorous growing condition throughout the duration of the proposed use. All vegetation not so maintained shall be replaced wit new vegetation at the beginning of the next growing season.

Planting:

- Planting shall be installed between March 1st to April 30th or between October 1st to November 30th. If planting is installed outside these times frames, additional measures maybe needed to ensure survival and shall be pre-approved by the owner.
- Plant material shall be transported to the sit in a timely manner to minimize on-site storage. Where storage is required, all plants shall be kept moist and shaded.
- Plant stock shall be handled in a manner that will not break, scrape, or twist any portion of the plant. Protect plants at all times from conditions that can damage the plant (e.g., sun, wind, freezing conditions).

- Provide the following clearance for planting of trees where applicable:

Maintain 30 feet vision triangles at all intersections and corners
5 feet from all street/parking lot light standards
10 feet from fire hydrants
5 feet from all utility vaults, meter boxes, etc.

- No trees or shrubs shall be planted on existing or proposed utility lines.
- All shrub beds shall receive a minimum 2" layer of bark mulch evenly applied immediately after panting is completed. All plant beds shall drain away from buildings.
- Excavate plant pits for shrubs and trees as follows:
Container stock: width = 2 times the container diameter, depth = container depth.
Bare root stock: width = 2 times the widest diameter of the root, depth = of root system.
B & B: width = 2 times ball diameter, depth = ball depth.
- Scarify sides and bottom of plant pits to roughen surfaces.
- Place plants plumb in the pit. Backfill with native soil or top soil mixture to the original plant soil line, and tap solidly around the ball and roots. Water plants immediately after planting if soil is not saturated to the surface.

Lawn Areas /Hydro-Seeding/Sod:

- All lawn area shall be seeded unless otherwise directed by Owner to install Sod. Seed or Sod shall be procured through Kuenzi Turf Nursery. Seed or Sod shall be Rhizomatous Tall Fescue (RTF). Seed mix shall be applied at a rate of 10 lbs. per 1000 sq. feet. Contact Kuenzi Turf Nursery at (503)585-8337 or approved equal.
- All areas shown on the plan shall be seeded between March 1st, and May 1st, or between September 1st and October 15th.
- Scarify soil surface to a depth of 3 inches, to ensure adequate seed contact with soil.
- Prior to seeding, clearly delineate seeding limits using flags or non-toxic paint.
- Hydro-seed application rate shall be 60 lbs. per 100 gallons of hose work or 75 lbs. per 100 gallons of tower work
- If, at the end of one complete growing season, the planted and seeded area fail to exhibit well-established plant communities, or exhibit patchiness in the patterns of vegetative cover, supplemental seeding and planting shall occur.
- Seeding of slopes greater than 30% shall be done by Hydro Seeding using a seed mix of Pro Time 700 Low Profile or approved equal at a rate of 2 lbs. per 1000 sq. feet.

Top Soil Mixture:

- A 2" to 4" layer of garden care compost, mushroom compost or similar material sterilized at 105 degrees Fahrenheit shall be incorporated into the existing soil prior to planting and seeding/sod lawns.
Incorporate into existing soil prior to planting the following fertilizers at a rate specified per 1000 sq. ft. of planting area.
20 lbs. 10-6-4 50% Slow Release
30 lbs. 38-0-0 Nitroform
10 lbs. Iron Sulfate 21%
20 lbs. 0-18-0 Super Phosphate
25 lbs. Dolomite Lime
10 lbs. 13-0-11 Potassium Nitrate

Bark Mulch:

- All shrub beds shall receive a minimum 2" layer of fine hemlock or fir bark mulch evenly applied immediately after panting is completed. All plant beds shall drain away from buildings.

Poly Jute Netting:

- Tight net Poly Jute Netting shall be installed on Bio Swales/Detention Ponds/Vegetated Swale and Rain Gardens as a soil stabilizer and erosion control agent. Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.

Bio Swales/Detention Ponds/Vegetated Swales:

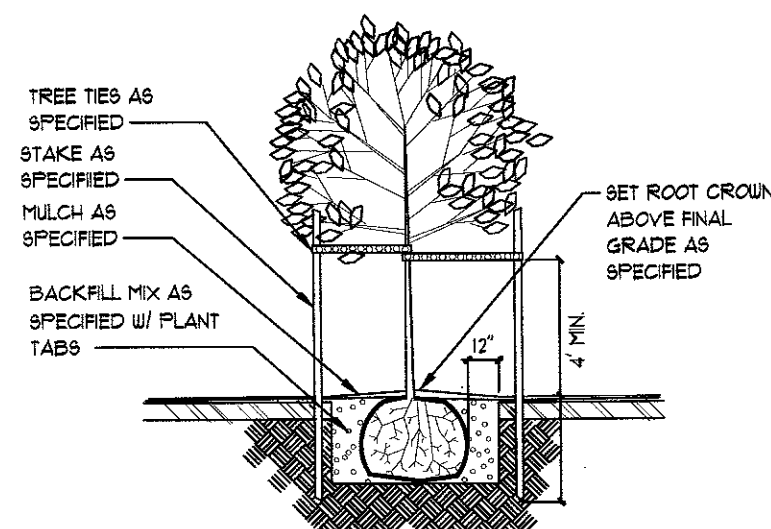
- Bark Mulch shall not be applied to Bio Swales/Detention Ponds or Vegetated Swales.

Weed Control Agent:

- Apply casoron as a weed control agent after planting as per manufactures specified recommendations around building or approved equal.

Non-Native Plant Species:

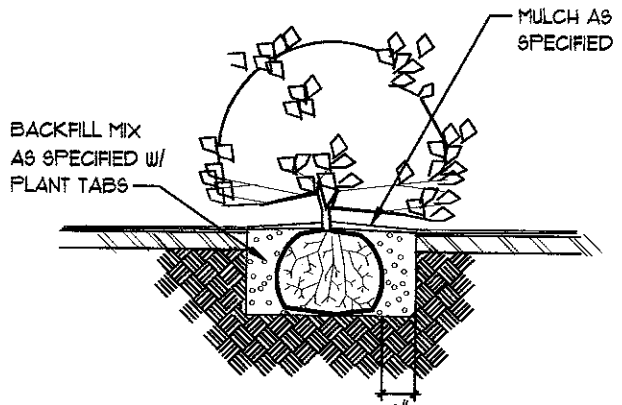
- All non-native, invasive plant species shall be removed from the site.



- NOTES:
- CUT AND REMOVE ALL ENDINGS FROM THE TOP AND SIDES OF THE ROOT BALL PRIOR TO BACKFILLING
 - REMOVE STAKES AND TIES ONE YEAR AFTER PLANTING

DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



- NOTES:
- CUT AND REMOVE ALL ENDINGS FROM THE TOP AND SIDES OF THE ROOT BALL PRIOR TO BACKFILLING
 - REMOVE STAKES AND TIES ONE YEAR AFTER PLANTING

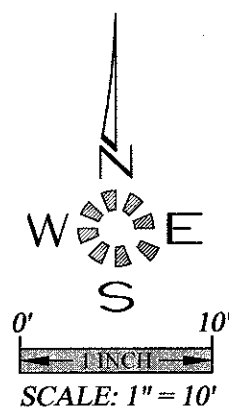
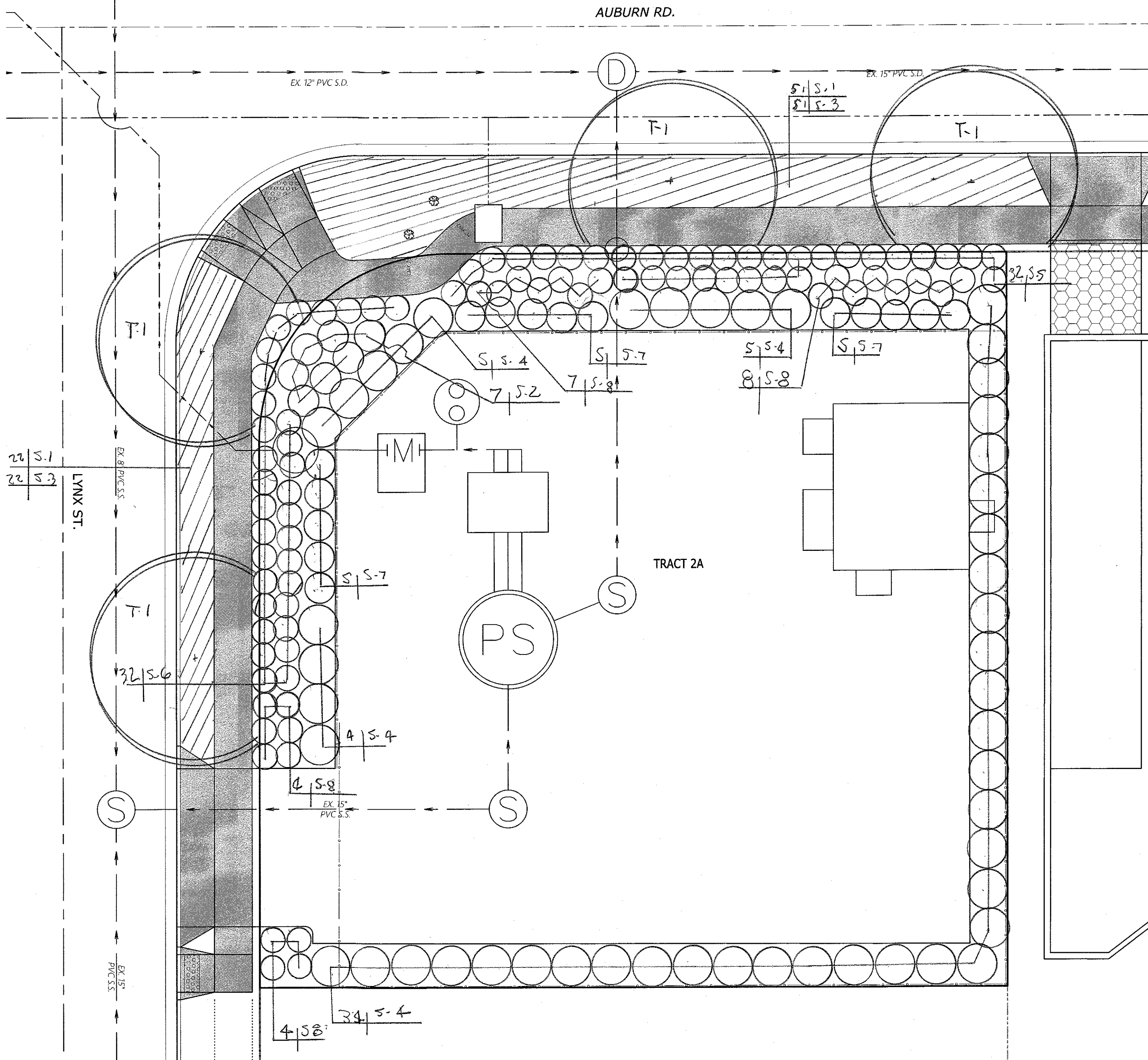
SHRUB PLANTING DETAIL

NOT TO SCALE

PUMP STATION PLANT PALETTE

| QTY. | SYM | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | REMARKS |
|------|-----|----------------------------------|---------------------------|-----------------|-----------|----------------|
| | | | TREES | | | |
| 4 | T-1 | Ginkgo biloba 'Princeton Sentry' | Princeton Sentry Ginkgo | 1 1/2"- 2" cal. | B & B | 6' Standard |
| | | | SHRUBS | | | |
| 73 | S-1 | Festuca glauca Elijah Blue | Elijah Blue Festuca Grass | 1 gal. | cont. | Planted 3' o/c |
| 7 | S-2 | Daphne ordora | Winter Daphne | 3 gal. | cont. | Full |
| 73 | S-3 | Mahonia repens | Creeping Mahonia | 1 gal. | cont. | Planted 3' o/c |
| 48 | S-4 | Ligustrum japonicum Texanum | Texas Wax-Leaf Privet | 5 gal. | cont. | Full |
| 32 | S-5 | Pennisetum alopecuroides Hameln | Dwarf Fountain Grass | 3 gal. | cont. | Full |
| 32 | S-6 | Pennisetum setaceum 'Purpureum' | Purple Fountain Grass | 3 gal. | cont. | Full |
| 15 | S-7 | Philadelphus Snowbelle | Snowbelle Mock Orange | 3 gal. | cont. | Full |
| 23 | S-8 | Spiraea japonica 'Double Pink' | Double Pink Spirea | 3 gal. | cont. | Full |

CONTRACTOR TO VERIFY ALL QUANTITIES OF PLANT MATERIALS WITH LANDSCAPE DESIGN & CONSULTANTS PRIOR TO INSALLATION
PLANT MATERIAL SUBSTITUTIONS MAY BE MADE BY THE OWNER FOR PLANT MATERIALS OF SIMILAR HABIT, FLOWERING CHARACTERISTIC
AND/OR STRUCTURE OF GROWTH DUE TO AVAILABILITY, WATER, SOIL, AND SUN REQUIREMENTS.



PUMP STATION PLANT PALETTE

| QTY. | SYM | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | REMARKS |
|------|-----|----------------------------------|---------------------------|-----------------|-----------|----------------|
| | | | TREES | | | |
| 4 | T-1 | Ginkgo biloba 'Princeton Sentry' | Princeton Sentry Ginkgo | 1 1/2"- 2" cal. | B & B | 6' Standard |
| | | | SHRUBS | | | |
| 73 | S-1 | Festuca glauca Elijah Blue | Elijah Blue Festuca Grass | 1 gal. | cont. | Planted 3' o/c |
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| 73 | S-3 | Mahonia repens | Creeping Mahonia | 1 gal. | cont. | Planted 3' o/c |
| 48 | S-4 | Ligustrum japonicum Texanum | Texas Wax-Leaf Privet | 5 gal. | cont. | Full |
| 32 | S-5 | Pennisetum alopecuroides Hameln | Dwarf Fountain Grass | 3 gal. | cont. | Full |
| 32 | S-6 | Pennisetum setaceum 'Purpureum' | Purple Fountain Grass | 3 gal. | cont. | Full |
| 15 | S-7 | Philadelphus Snowbelle | Snowbelle Mock Orange | 3 gal. | cont. | Full |
| 23 | S-8 | Spiraea japonica 'Double Pink' | Double Pink Spirea | 3 gal. | cont. | Full |

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AND/OR STRUCTURE OF GROWTH DUE TO AVAILABILITY, WATER, SOIL, AND SUN REQUIREMENTS.

LANDSCAPE & IRRIGATION DESIGN BY:
**LANDSCAPE DESIGN
&
CONSULTANTS LLC**
Doing business since 1985
620 WORMWOOD ST. S.E. SALEM, OR 97306 PHONE: (503) 551-8590

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MADE TO THESE DRAWINGS
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AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

Design: M.D.G.
Drawn: D.G.G.
Checked: J.J.G.
Date: JULY 2020
Scale: AS SHOWN
As-Built: _____

REGISTERED PROFESSIONAL
ENGINEER
JULY 14, 1978
MARK D. GREEN
EXPIRES: 06-30-2021
JOB # 7041

L1.1

**PUMP STATION
LANDSCAPE PLAN**

**EAST PARK ESTATES
A P.U.D.
PHASE 2**

MULTI/TECH
ENGINEERING SERVICES, INC.
1155 13TH ST. SE SALEM, OR, 97302
PH: (503) 363 - 9227 FAX (503) 364-1260
www.mtengineering.net office@mtengineering.net

East Park Pump Station

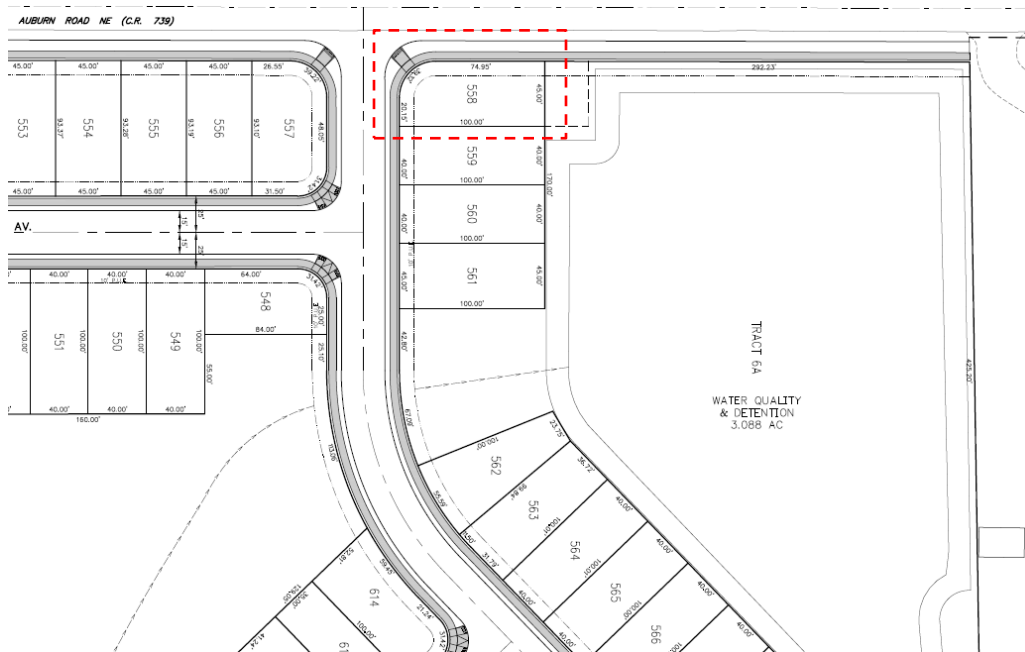
Class 3-Site Plan Review

October 6, 2020

SRC 220.005(f)(3) Class 3 Site Plan Review Criteria:

(A) The application meets all applicable standards of the UDC;

Applicant Findings: The proposal is for a pump station located on Lot 558 of approved PUD (CPC-ZC-PUD-SUB-ADJ19-08).



The pump station has been designed to City standards. The proposed pump station will be reviewed and approved by Public Works for Code compliance.

Setbacks: All minimum setbacks to property lines, between buildings and distances to the entrances are met as shown on the tentative plan.

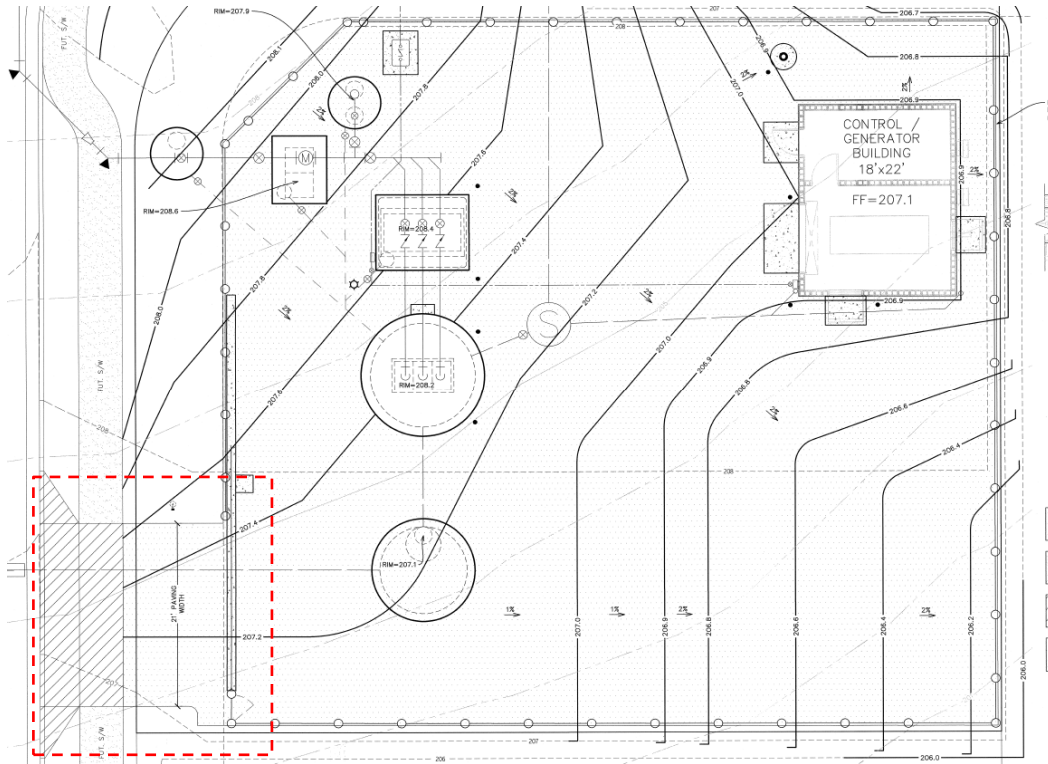
| | |
|--------|---|
| North: | Adjacent Auburn Road: 20-foot setback |
| East: | Adjacent the proposed Water Quality and Detention Tract: 5-foot setback |
| South: | Adjacent a single-family dwelling lot zoned RS: 53.19-foot setback |
| West: | Adjacent Lynx Street: 75-foot setback |

Building Height: The pump station is about 12 feet in height measured to the middle of the gable. See attached Drawing S2.1 and S2.2.

Lot Coverage: The lot the pump station is located on is about 4,378 square feet in size. The pump station is 396 square feet in size. The building on the site covers 9% of the lot.

- (B) *The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately;***

Applicant Findings: There is a driveway proposed for the pump station lot. The driveway is located off Lynx Street.



The driveway is clearly identifiable, safe, and interconnected. Improved access to the pump station is required by code. Approval does not adversely affect the safe and healthful development of any adjoining land or access thereto.

Therefore, this criterion has been met.

- (C) *Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; and*

Applicant Findings: See findings above under (B). The driveway has been designed to City standards and provides safe circulation.

- (D) The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.**

Applicant Findings: The pump station is required in order to provide adequate serves to the approved SUB/PUD.

East Park Estates-Pump Station

Adjustment Class-2 Application

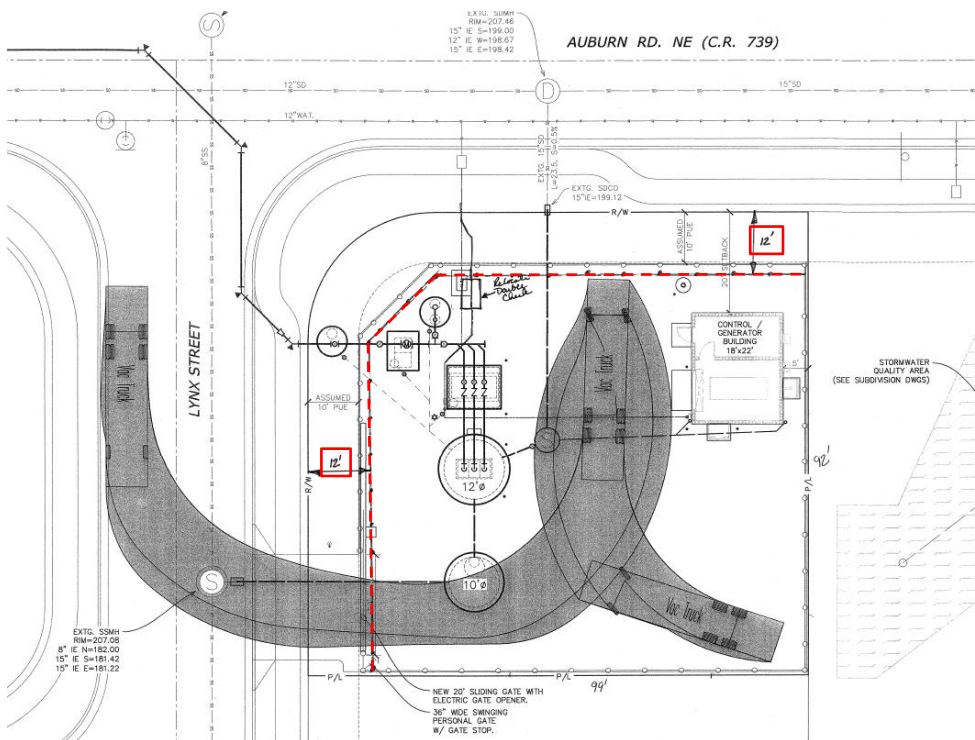
Proposal:

The proposal is for a pump station located on Lot 558 of approved PUD (CPC-ZC-PUD-SUB-ADJ19-08). The proposed lot will have access onto Lynx Street that runs north/south through the property. Lynx Street is designated as a 'local' street on the Salem Transportation System Plan.

The applicant is requesting an adjustment greater than 20% adjustment to SRC 800.050(a)(1)(A)(i):

- (i) **Front yard abutting street. Fences and walls within a front yard abutting a street shall not exceed a maximum height of four feet when located within 20 feet of the property line abutting the street; provided, however, within ten feet of the property line abutting the street any portion of the fence or wall above 30 inches in height shall be less than 25 percent opaque when viewed at any angle at a point 25 feet away from the fence or wall.**

The proposal is for a pump station located on Lot 558. The proposed fence along Lynx Street is 7 feet in height and setback 12 feet from the property line.



Adjustment Criteria-SRC 250.005(d)(2) Criteria

(A) The purpose underlying the specific development standard proposed for adjustment is:

- (i) Clearly inapplicable to the proposed development; or***
- (ii) Equally or better met by the proposed development.***

(B) If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.

(C) If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

Applicant Findings:

- (A) SRC 800.050(a)(1)(A)(i) requires that, "Fences and walls within a front yard abutting a street shall not exceed a maximum height of four feet when located within 20 feet of the property line abutting the street; provided, however, within ten feet of the property line abutting the street any portion of the fence or wall above 30 inches in height shall be less than 25 percent opaque when viewed at any angle at a point 25 feet away from the fence or wall."

The proposal is for a pump station located on Lot 558. The proposed fence along Lynx Street is 7 feet in height where a maximum of 4 feet is allowed, and setback 12 feet from the property line where 25 feet is required.

The purpose of this requirement is to provide safe and pedestrian friendly areas along street frontages. The proposal is for a pump station and will not be occupied or accessed on a daily bases.

The higher fence height along with the reduced setback help to provide a safer and a visual buffer for residents from the pump station. Therefore, providing a better proposal for the development.

See attached site plan.

- (B) The proposed pump station will be screen and landscaped as required by Code. The higher fence height along with the reduced setback help to provide a safer and a visual buffer for residents from the pump station. Therefore, the proposal will not distract from the residential development.

- (C) There are two adjustments being requested for this proposal. There is one adjustment being requested to SRC 800.050(a)(1)(A)(i).

East Park Pump Station
Class 2-Driveway Approach Permit
November 5, 2020

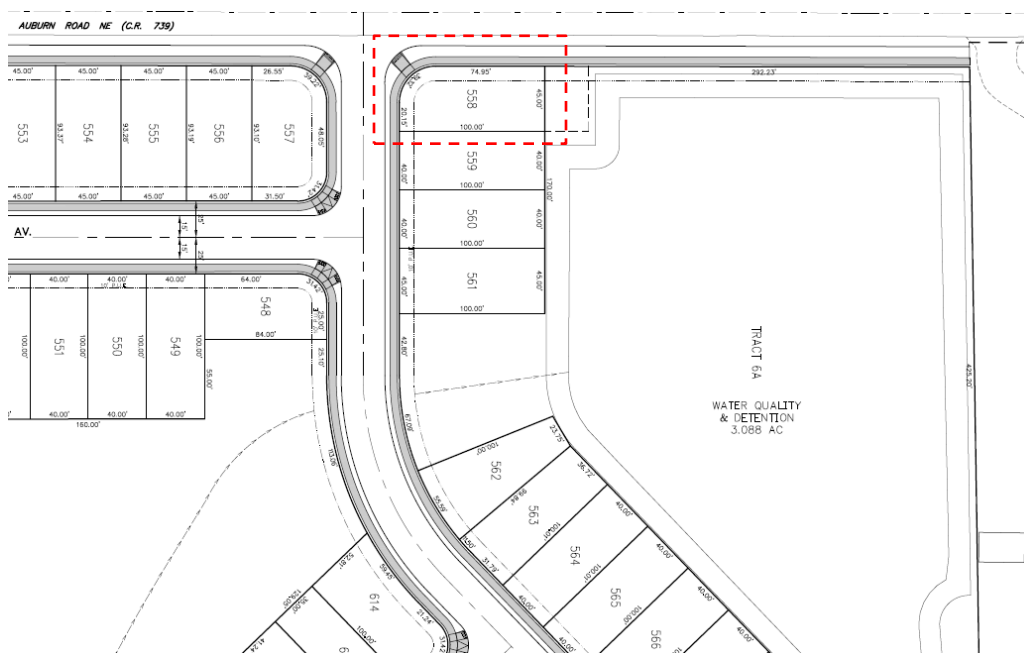
SRC 804.025 (d) Criteria. A Class 2 Driveway Approach Permit shall be granted if:

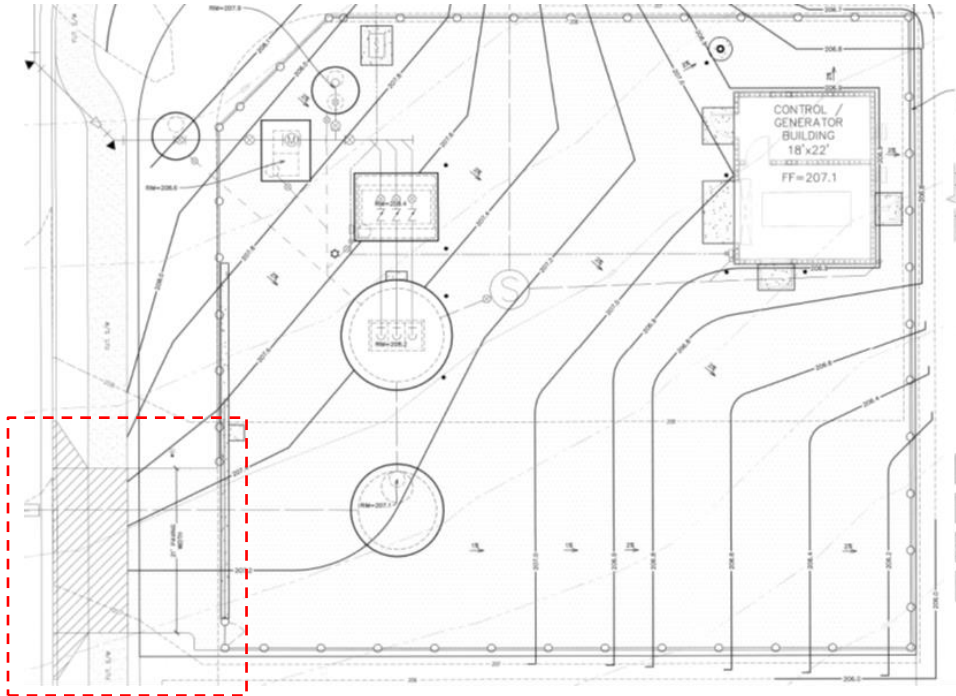
(1) The proposed driveway approach meets the standards of this Chapter and the Public Works Design Standards;

Applicant Findings: The proposal is for a pump station located on Lot 558 of approved PUD (CPC-ZC-PUD-SUB-ADJ19-08).

The pump station will generate minimal traffic on to the lot. However, there is a driveway proposed for the pump station lot. The driveway is located off Lynx Street.

The proposed lot will have access onto Lynx Street that runs north/south through the property. Lynx Street is designated as a 'local' street on the Salem Transportation System Plan. The proposed driveway will meet Public Works design standards. The driveway is only required for access to the pump station once or twice a month. As shown on the site plan, the driveway is in compliance with design standards.





The pump station has been designed to City standards. The proposed pump station will be reviewed and approved by Public Works for Code compliance.

(2) No site conditions prevent placing the driveway approach in the required location;

Applicant Response: The location of the pump station and driveway was taken into consideration prior to laying the site out. Access onto Auburn Road to the north is not allowed, so all access for the pump station lot is taken to and from Lynx Street. The location of the proposed driveways take into consideration the location of internal streets adjacent to the site and access onto the local streets. Therefore, all factors were taken into consideration and there are no conditions on the site that prevent the driveway approach.

(3) The number of driveway approaches onto an arterial are minimized;

Applicant Response: There are no driveways proposed onto an arterial. Therefore, this criterion is not applicable.

(4) The proposed driveway approach, where possible:

(A) Is shared with an adjacent property; or

(B) Takes access from the lowest classification of street abutting the property;

Applicant Response to (4)(B): The subject property is located on Auburn Road to the north and Lynx Street to the west. Access to Auburn Road is not allowed for this development. All access will be onto Lynx Street. There is only one driveway proposed onto Lynx Street from this lot. There are no adjacent driveways to share access with and Lynx Street is a 'local' street. Therefore, there is no lower classified streets abutting the property. Therefore, this criterion has been met.

(5) The proposed driveway approach meets vision clearance standards;

Applicant Response: Through the site plan review process, the applicant has been working with Public Works to ensure that the driveway approach is in the required location and meets vision clearance standards. As shown on the site plan, this criterion has been met.

(6) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;

Applicant Response: The driveway approach does not create traffic hazards. As shown on the site plan, this criterion has been met.

(7) The proposed driveway approach does not result in significant adverse impacts to the vicinity;

Applicant Response: Public Works has had the opportunity to review the site plan for any adverse impacts. No adverse impacts to the vicinity have been identified. As shown on the site plan, the location of the driveway will not have any impacts on the subject property or adjacent properties. This criterion has been met.

(8) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and

Applicant Response: The applicant has been working with Public Works to ensure that the driveway approach is in the required locations to minimize impacts to adjacent streets and intersections. As shown on the site plan, this criterion has been met.

(9) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

Applicant Response: The applicant will be working with Public Works to ensure that the driveway approach is in the required location to help balance the adverse impacts to residentially zoned property. The location of the proposed driveway takes into consideration the location of the streets adjacent to the site and access onto Lynx Street. As shown on the site plan, this criterion has been met.

The driveway is clearly identifiable, safe, and interconnected. Improved access to the pump station is required by code. Approval does not adversely affect the safe and healthful development of any adjoining land or access thereto.

TO: Aaron Panko, Planner III
Community Development Department

FROM: Glenn J. Davis, PE, CFM, Chief Development Engineer
Public Works Department



DATE: December 18, 2020

**SUBJECT: PUBLIC WORKS RECOMMENDATIONS
SPR-ADJ-DAP 20-42 (20-116092)
255 CORDON ROAD NE
AUBURN PUMP STATION**

PROPOSAL

Proposed development of a pump station on proposed lot 148, with an adjustment request to increase the maximum height allowance for a fence from 4 feet to 7 feet.

RECOMMENDED CONDITIONS OF APPROVAL

1. Construct a three-quarter street improvement along the frontage of Redmond Street NE to Local street standards, including all utilities that are planned within this portion of the street.
2. Construct sidewalk and street trees along the frontage of Auburn Road NE.

FACTS

Streets

1. Auburn Road NE
 - a. Standard—This street is designated as a Collector street in the Salem TSP. The standard for this street classification is a 34- to 40-foot-wide improvement within a 60-foot-wide right-of-way.

- b. Existing Conditions—This street has an approximate 24-foot improvement within a varying 40- to 54-foot-wide right-of-way abutting the subject property.
- c. Special Setback—The frontage of the subject property has a special setback equal to 30 feet from the centerline of Auburn Road NE.

Storm Drainage

1. Existing Conditions

- a. A series of ditches and stormwater mains and culverts are located in State Street.
- b. A waterway flows through the subject property, and discharges into two 24-inch culverts in Auburn Road NE.
- c. The subject property is within the Little Pudding Drainage Basin.

Water

1. Existing Conditions

- a. The subject property is located in the G-0 water service level.
- b. The nearest available adequate water main is located near the intersection of Cordon Road SE and Gaffin Road SE. The applicant has applied for a public construction permit to build a 24-inch water main from this location to the northern boundary of the property as conditioned by UGA09-07MOD1. See permit number 19-109135-PC.

Sanitary Sewer

1. Existing Conditions

- a. A 12-inch sewer main is located in State Street.
- b. To serve the northern portion of the subject property, UGA09-07MOD1 indicates that a new pump station along Auburn Road NE with a force main connecting to the East Salem Interceptor is needed. No application or plans have been received for this sewer connection.

CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

Criteria: SRC 220.005(f)(3)(A) The application meets all applicable standards of the UDC (*Unified Development Code*)

Finding—With completion of the conditions above, the subject property meets all applicable standards of the following chapters of the UDC: 601 – Floodplain; 802 – Public Improvements; 803 – Streets and Right-of-Way Improvements; 804 – Driveway Approaches; 805 – Vision Clearance; 809 – Wetlands; and 810 - Landslides.

Public Works staff has reviewed the Flood Insurance Study and Flood Insurance Rate Maps and has determined that no floodplain or floodway areas exist on the subject property.

According to the Salem-Keizer Local Wetland Inventory (LWI), the subject property does not contain any wetland areas or hydric soils.

According to the City's adopted landslide hazard susceptibility maps and SRC Chapter 810 (Landslide Hazards), there are no mapped landslide hazard areas on the subject property.

Criteria: SRC 220.005(f)(3)(B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

Finding—The existing condition of Auburn Road NE does not meet current standards for its classification of street per the Salem TSP. Sidewalks and street trees are required along the Auburn Road NE frontage. The proposed development shows driveway access to be taken from Redmond Street NE, a future private street. The applicant shall construct a three-quarter street improvement along the Redmond Street NE frontage to local street standards as specified in the PWDS and consistent with the provisions of SRC Chapter 803, including all utilities that are planned within this portion of the street.

Criteria: SRC 220.005(f)(3)(C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians

Finding—The driveway access onto Redmond Street NE provides for safe turning movements into and out of the property.

Criteria: SRC 220.005(f)(3)(D) The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development

Finding—The Public Works Department has reviewed the applicant's preliminary plan for this site. The water, sewer, and storm infrastructure being constructed in conjunction with East Park Subdivision are available within surrounding streets/areas and are adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the PWDS and to the satisfaction of the Public Works Director.

Criteria—A Class 2 Driveway Approach Permit shall be granted if:

- (1) The proposed driveway approach meets the standards of this Chapter and the Public Works Design Standards;**

Finding—The proposed driveway meets the standards for SRC Chapter 804 and PWDS.

- (2) No site conditions prevent placing the driveway approach in the required location;**

Finding—There are no site conditions prohibiting the location of the proposed driveway.

- (3) The number of driveway approaches onto an arterial are minimized;**

Finding—The proposed driveway does not access an arterial street.

- (4) The proposed driveway approach, where possible:**

- i. Is shared with an adjacent property; or**
- ii. Takes access from the lowest classification of street abutting the property;**

Finding—The proposed driveway is currently located with access to the lowest classification of street abutting the subject property.

- (5) Proposed driveway approach meets vision clearance standards;**

Finding—The proposed driveway meets the PWDS vision clearance standards set forth in SRC Chapter 805.

(6) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;

Finding—No evidence has been submitted to indicate that the proposed driveway will create traffic hazards or unsafe turning movements. Additionally, staff analysis of the proposed driveway indicates that it will not create a traffic hazard and will provide for safe turning movements for access to the subject property.

(7) The proposed driveway approach does not result in significant adverse impacts to the vicinity;

Finding—Staff analysis of the proposed driveway and the evidence that has been submitted indicate that the location of the proposed driveway will not have any adverse impacts to the adjacent properties or streets.

(8) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and

Finding—The applicant is proposing a driveway to the lower classification of street and it meets the spacing requirements of SRC Chapter 803. By complying with the requirements of this chapter the applicant has minimized impacts to the functionality of adjacent streets and intersections.

(9) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

Finding—The proposed development is surrounded by residentially zoned property. The proposed driveway is taken from the lowest classification street abutting the subject property. The driveway balances the adverse impacts to residentially zoned property and will not have an adverse effect on the functionality of the adjacent streets.

Prepared by: Jennifer Scott, Program Manager
cc: File