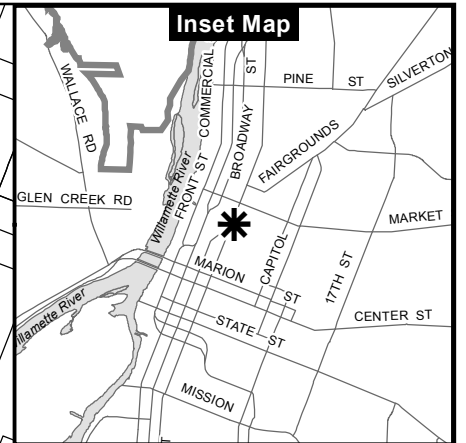
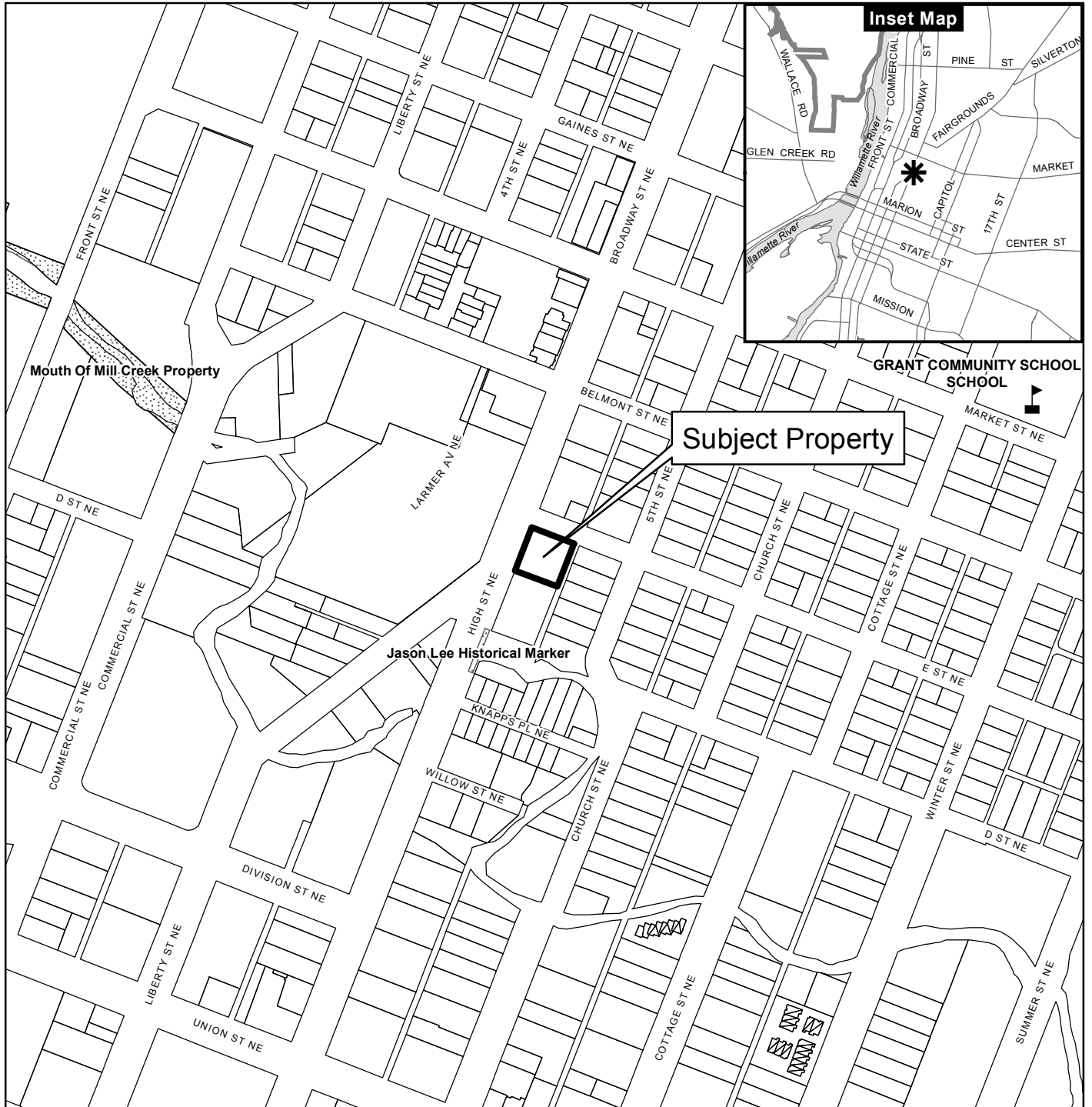


# Vicinity Map

## 990 Broadway Street NE



### Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

Parks

**CITY OF Salem**  
AT YOUR SERVICE  
Community Development Dept.

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0 100 200 400 Feet





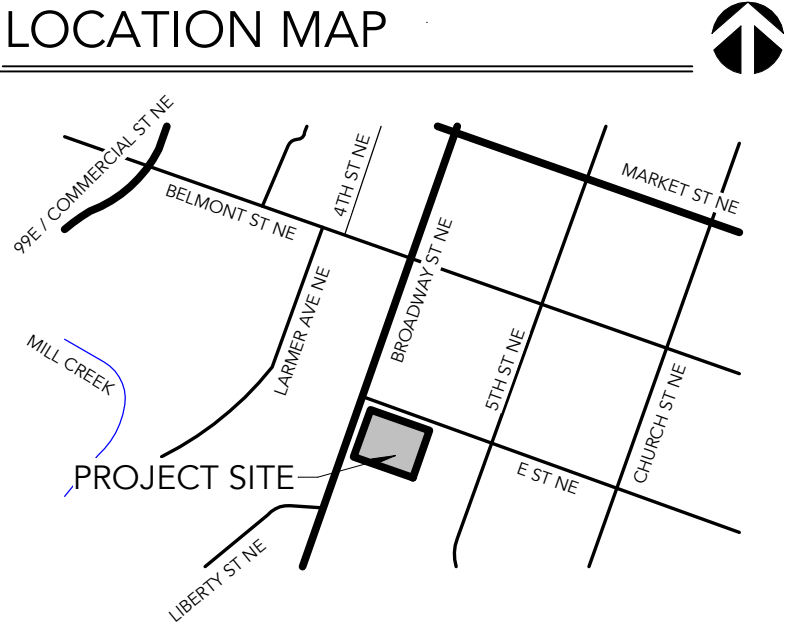
# 990 BROADWAY ST NE MIXED-USE DEVELOPMENT

## PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF 23 RESIDENTIAL APARTMENTS ON THREE FLOORS ABOVE GRADE, WITH A RETAIL SPACE FACING BROADWAY STREET ON THE GROUND FLOOR. THE APARTMENTS ARE ALL ACCESSED VIA A PRIVATE COURTYARD. THE 17,300 SF BUILDING IS TYPE V-B CONSTRUCTION.

ZONING: CO, COMMERCIAL OFFICE  
OVERLAY: BROADWAY/HIGH STREET HOUSING OVERLAY (614)  
TAX MAP: 073W22AD08600  
TAX LOT: N 1/2 LOT 10, 11-12, S 1/2 LOT 11 BLK 5

#	SHEET NAME
SP-0	COVER SHEET
SP-1	EXISTING SITE SURVEY
SP-2	ARCHITECTURAL SITE PLAN
SP-2.1	SITE DETAILS
SP-3	GRADING & UTILITY PLAN
SP-4	LANDSCAPE PLAN
SP-5	SECOND FLOOR PLAN
SP-6	THIRD FLOOR & MEZZANINE PLAN
SP-7	ELEVATIONS
SP-8	ELEVATIONS
SP-9	COURTYARD ELEVATIONS
SP-10	RENDERINGS



CBTwo

ARCHITECTS

A LIMITED LIABILITY COMPANY

500 Liberty Street SE, Suite 100  
Salem, Oregon 97301  
Ph: 503.480.8700 / Fx: 503.480.8701

990 BROADWAY

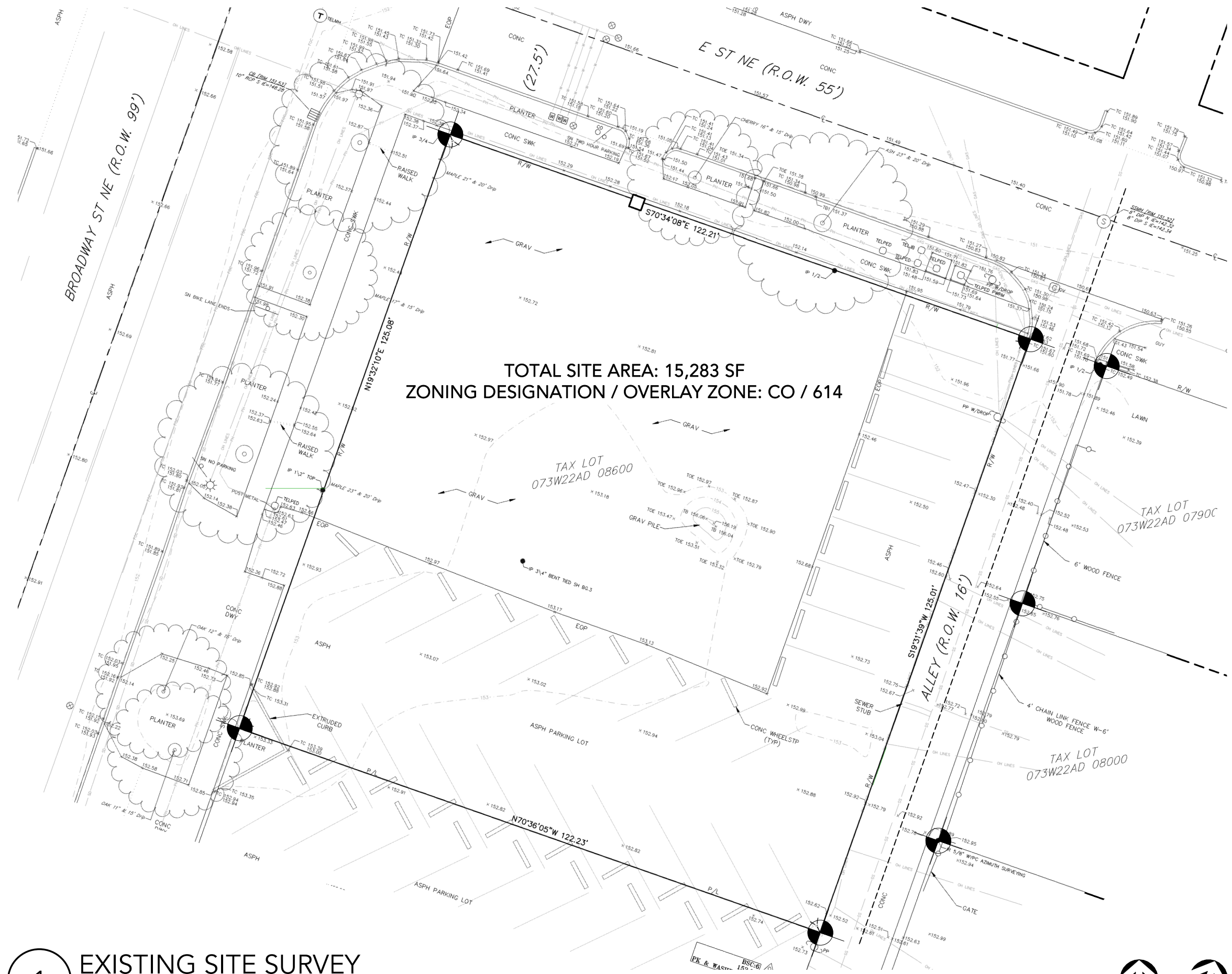
990 BROADWAY STREET NE  
SALEM OREGON 97301

PLAN REVIEW  
Date: 06.12.2019  
Rev:      Date:  


COVER SHEET

SP-0





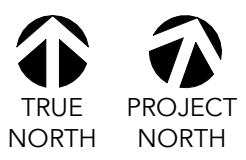
TOTAL SITE AREA: 15,283 SF  
ZONING DESIGNATION / OVERLAY ZONE: CO / 614

TAX LOT  
073W22AD 08600

TAX LOT  
073W22AD 07900

TAX LOT  
073W22AD 08000

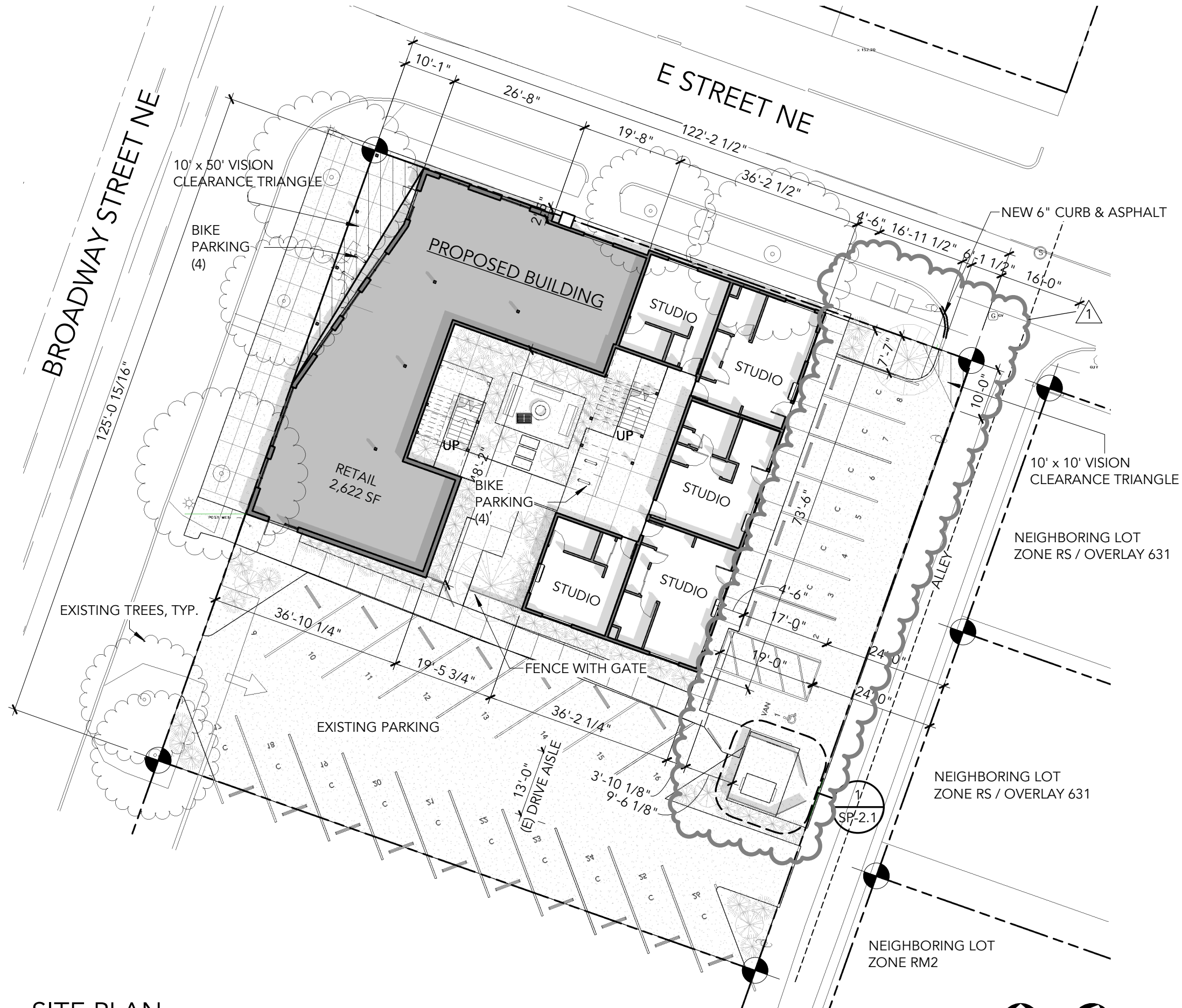
1 EXISTING SITE SURVEY  
SCALE: 1" = 20'-0"



PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:

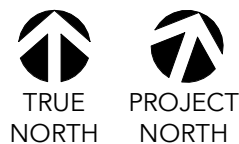
EXISTING SITE SURVEY

SP-1



## SITE PLAN

SCALE: 1" = 20'-0"



SITE INFORMATION	
LOT AREA	15,283 SF
ZONE	CO - COMMERCIAL OFFICE BDWY/HIGH ST HOUSING OVERLAY ZONE
USES	MULTIPLE FAMILY RETAIL SALES AND SERVICES
# UNITS	23
LOT WIDTH	125'-1"
LOT DEPTH	122'-2"

BUILDING COVERAGE		
TYPE	AREA	%
BUILDING FOOTPRINT	4,717 SF	31%
LANDSCAPING	1,774 SF	11%
(E) PAVING AREA (NO WORK)	6,229 SF	41%
SIDEWALK	2,563 SF	17%
TOTAL SITE AREA	15,283 SF	100%

BUILDING FOOTPRINT / TOTAL SITE AREA =  
4,717 / 15,283 = 31%  
MAX LOT COVERAGE PER TABLE 521-5 = 60%  
28% < 60%; **OK**

PARKING SCHEDULE	
TYPE	COUNT
FULL SIZE STALLS	13
ADA VAN STALL	1
COMPACT STALLS	12
TOTAL EXISTING PARKING	26

**MINIMUM PARKING REQUIRED (SRC TABLE 806-1)**  
MULTIPLE FAMILY = 1.5 PER DWELLING UNIT  
NO. OF UNITS = 23 x 1.5 = 35 SPACES REQUIRED  
EATING & DRINKING EST. = 1 PER 250 SF  
RETAIL SF = 2622; 2622 / 250 = 11 SPACES REQUIRED  
BASE PARKING REQUIRED = 46 SPACES

REDUCTIONS (PER SRC614.020.e)	SPACES
10% BASE REDUCTION	4
TRANSIT STOP (EX.1) - 5% REDUCTION	2
COVERED BIKE PARKING - 5% RED.	2
TOTAL REDUCTIONS	8

BASE PARKING - REDUCTIONS = 46 - 8 = **38 SPACES**  
TOTAL SPACES PROVIDED = 26\*  
\*ADJUSTMENT REQUESTED

**COMPACT STALLS (SRC 806.015.b):**  
MAXIMUM = 75% OF MINIMUM REQUIRED  
26 x 75% = 20; 12 < 20; **OK**

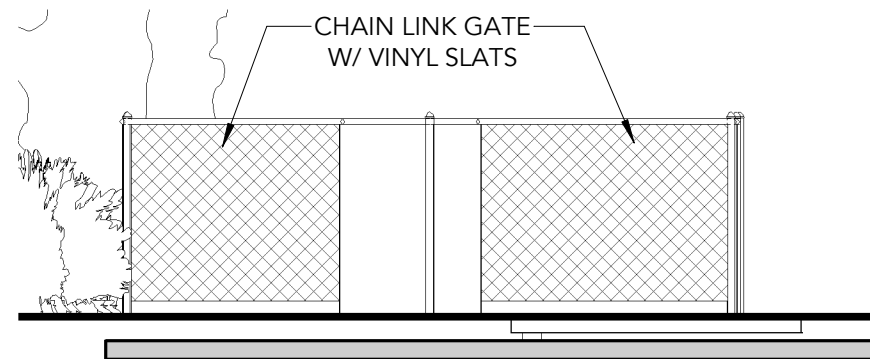
**BIKE PARKING REQUIRED (SRC TABLE 806-8):**  
EATING & DRINKING EST. = THE GREATER OF 4  
SPACES OR 1 SPACE PER 1,000 SF  
RETAIL SF = 2622; SPACES PROVIDED: 4  
MULTIPLE FAMILY = GREATER OF 4 SPACES OR 0.1  
SPACES PER DWELLING UNIT  
SPACES PROVIDED: 4

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:
1	9.9.2019

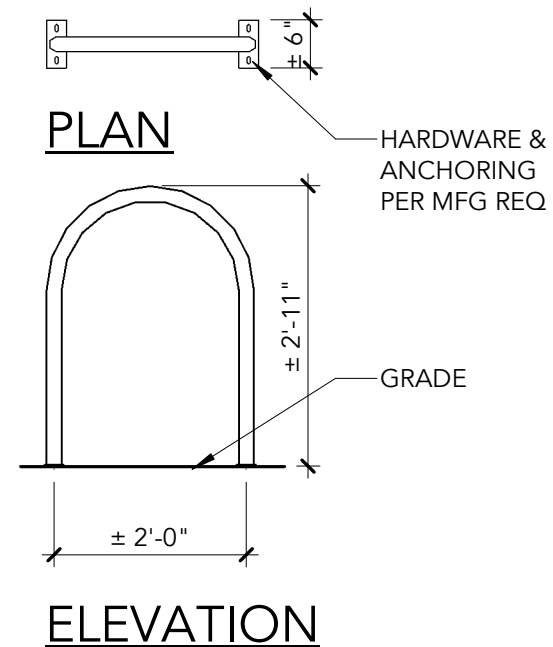
ARCHITECTURAL  
SITE PLAN

**SP-2**



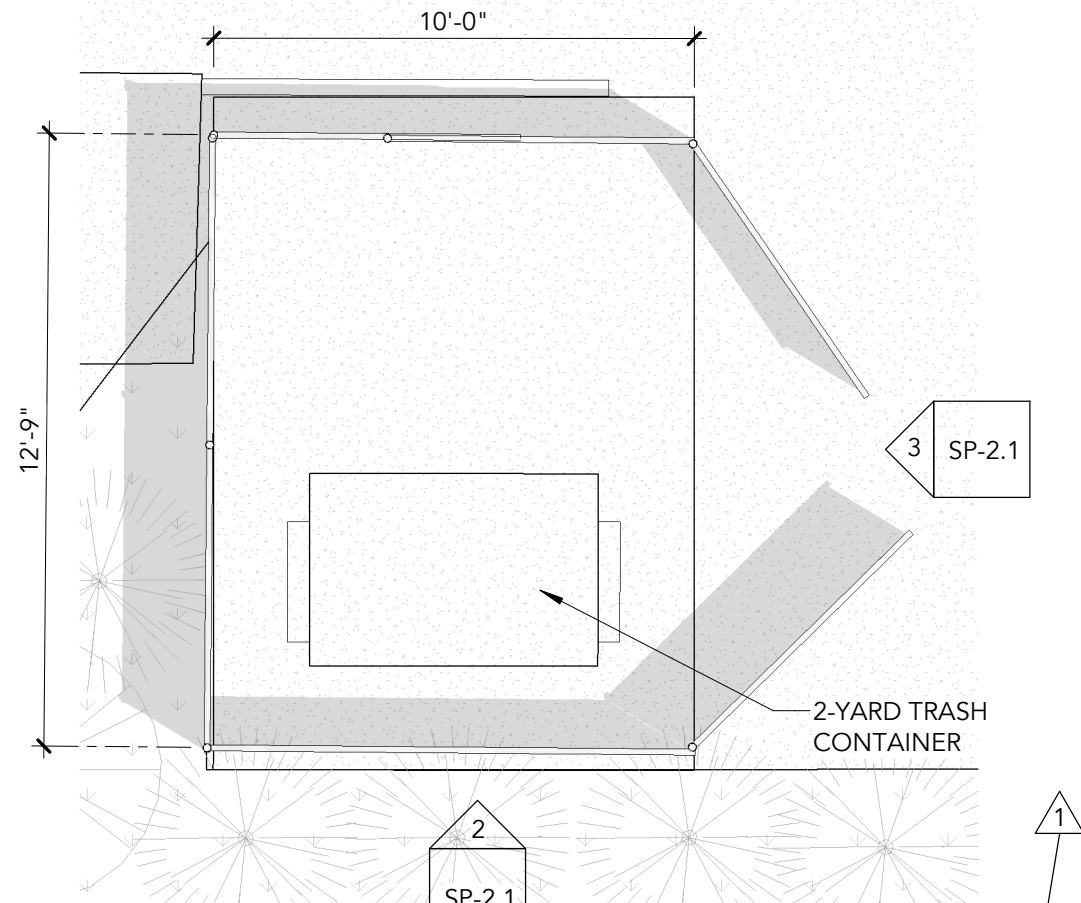


3 TRASH - EAST ELEVATION  
SCALE: 1/4" = 1'-0"

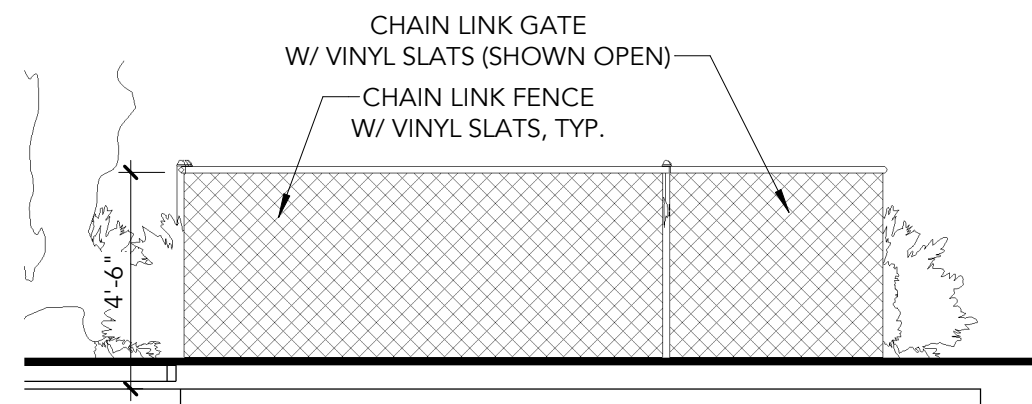


BASIS OF DESIGN : DERO HOOP RACK,  
BLACK POWDERCOATING. PROVIDE  
OWNER OPTION TO ADD LOGO.

4 BIKE RACK DETAIL  
SCALE: 1/2" = 1'-0"

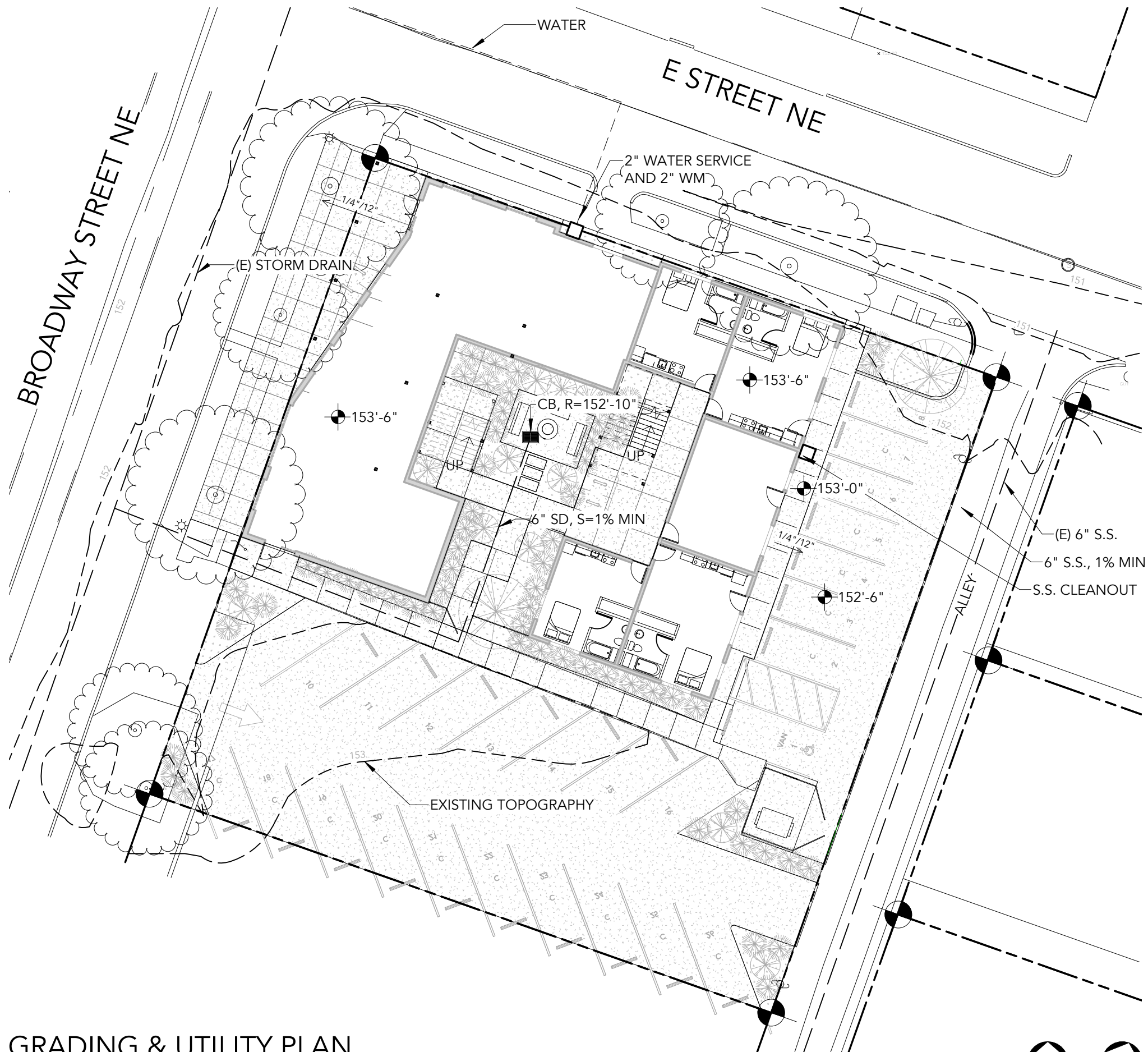


1 TRASH ENCLOSURE  
SCALE: 1/4" = 1'-0"



2 TRASH - SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:
1	9.9.2019



GRADING & UTILITY PLAN

SCALE: 1" = 20'-0"



TRUE  
NORTH



PROJECT  
NORTH

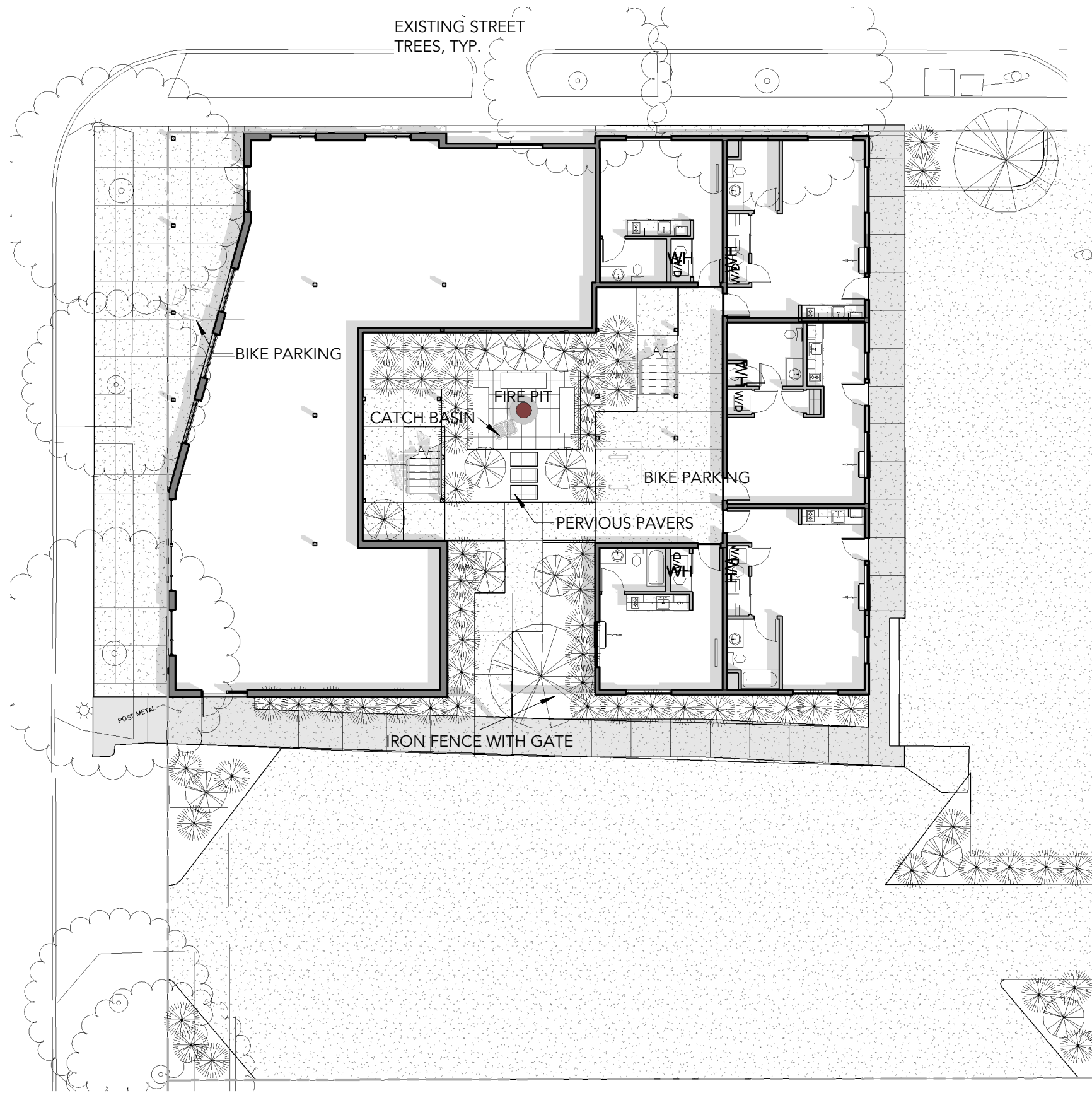
990 BROADWAY

990 BROADWAY STREET NE  
SALEM OREGON 97301

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:

GRADING &  
UTILITY PLAN

SP-3



LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"



PLANT SCHEDULE

BOTANICAL NAME  
COMMON NAME  
SIZE

TREES

- T1 BETULA POPULIFOLIA  
GRAY BIRCH  
10'
- T2 POPULUS TREMULOIDES  
LARGETOOTH ASPEN  
25'

SHRUB OPTIONS (TBD)

- S1 ABELIA G. SHERWOODII  
SAME  
5 GAL.
- S2 CAREX EVERGOLD  
EVERGOLD SEDGE  
1 GAL.
- S3 CORNUS KELSEYII  
SAME  
5 GAL.
- S4 EUONYMUS J. 'BUTTERSCOTCH'  
SAME  
2 GAL.
- S5 IRIS PALLIDA 'VARIEGATA'  
SAME  
1 GAL.
- S6 LIRIOPE M. 'BIG BLUE'  
SAME  
1 GAL.
- S7 MAHONIA AQUIFOLIUM  
OREGON GRAPE  
5 GAL.
- S8 NANDINA D. 'GULF STREAM'  
SAME  
2 GAL.
- S9 POLYSTICHUM MUNITUM  
SWORD FERN  
2 GAL.
- S10 SARCOCOCCA CONFUSA  
SAME  
5 GAL.
- S11 SARCOCOCCA HUMILIS  
SAME  
2 GAL.

990 BROADWAY

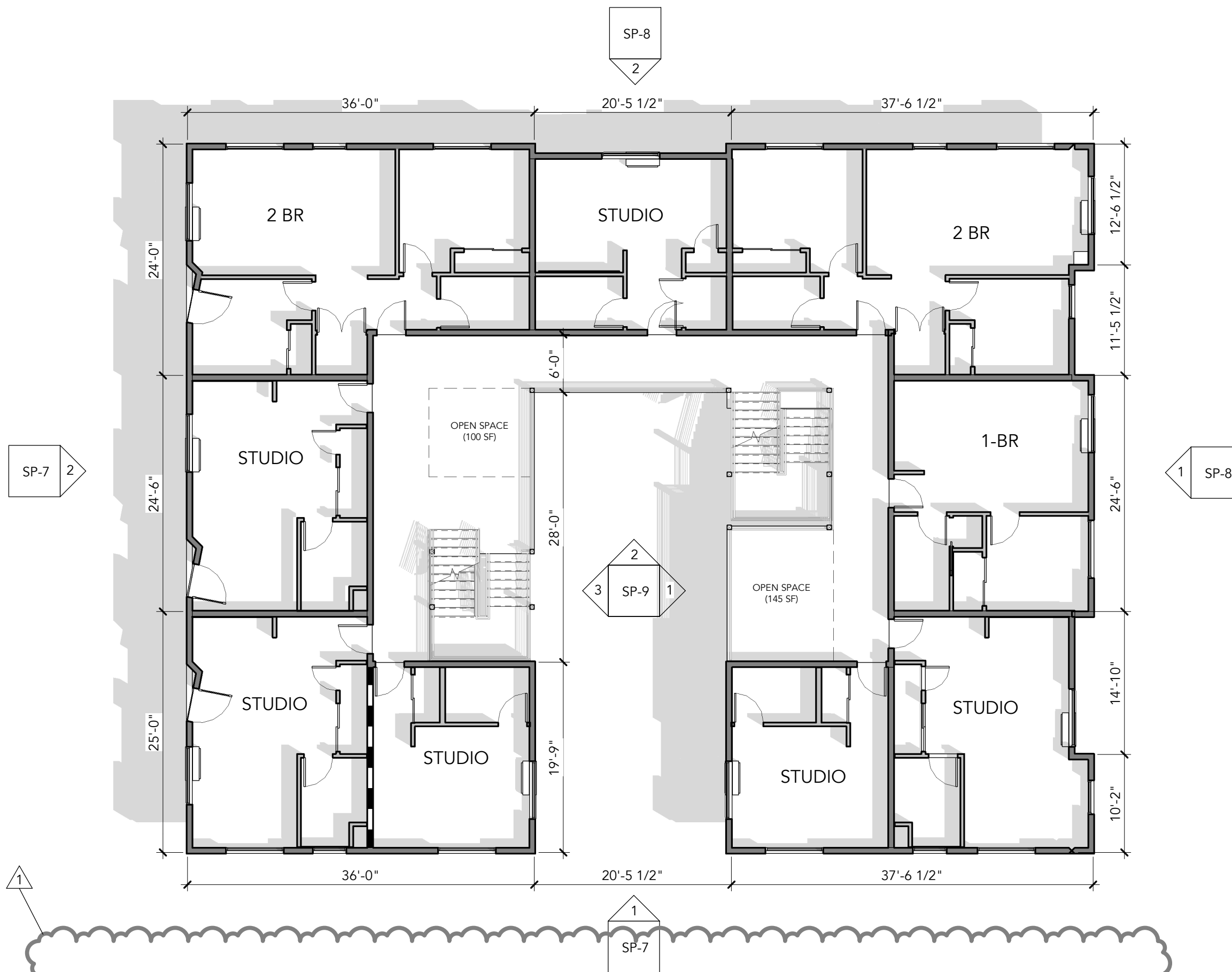
990 BROADWAY STREET NE  
SALEM OREGON 97301

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:

LANDSCAPE PLAN

SP-4





## SECOND LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



## 990 BROADWAY

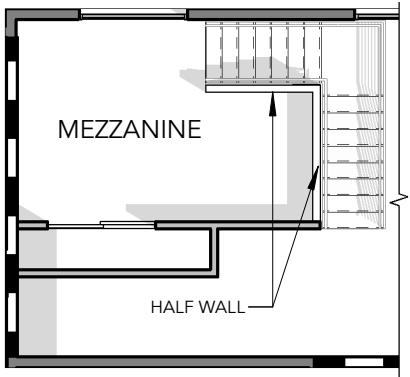
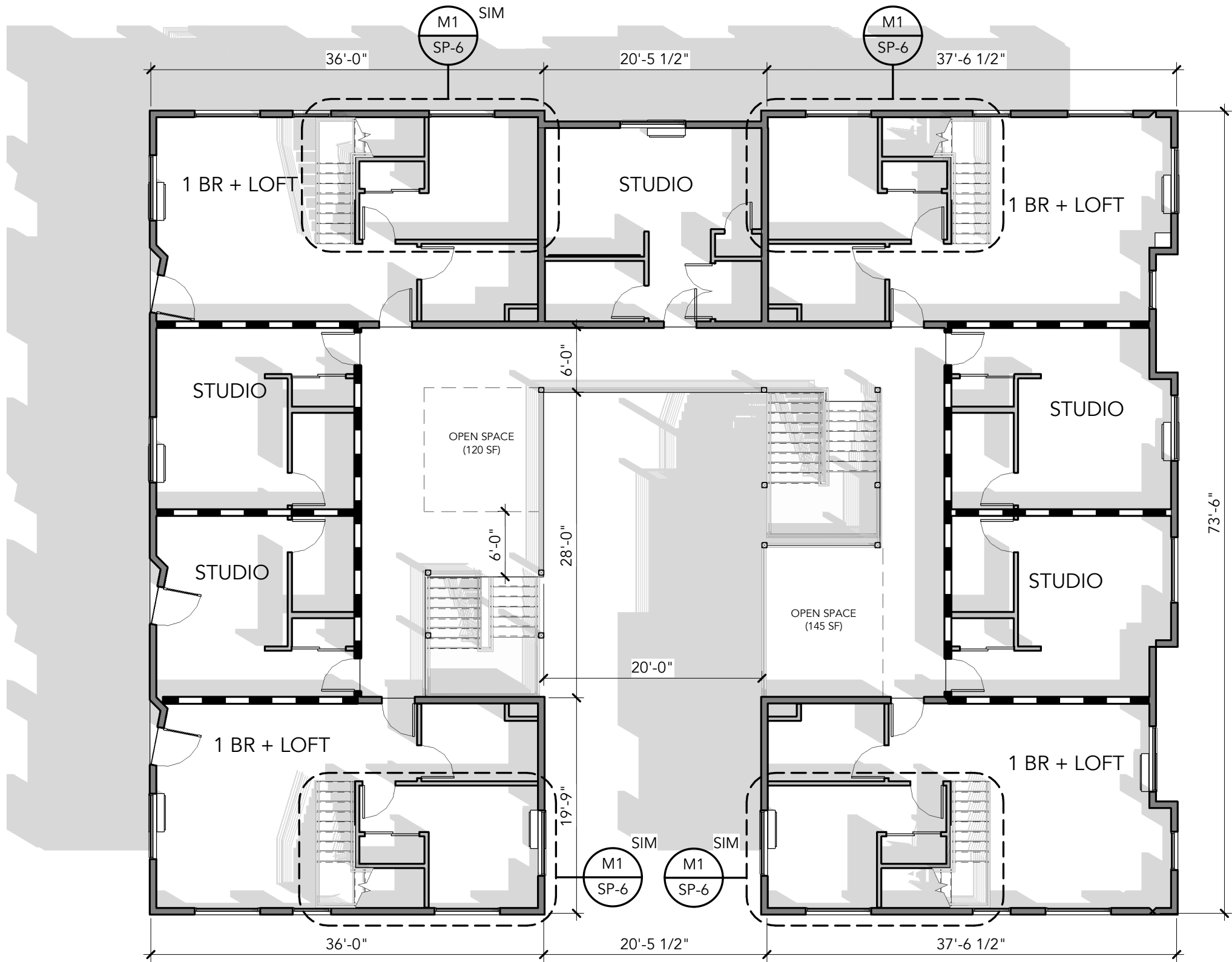
990 BROADWAY STREET NE  
SALEM OREGON 97301

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:
1	9.9.2019

SECOND  
FLOOR PLAN

SP-5





TYP. MEZZ. PLAN  
SCALE: 3/32" = 1'-0"

# THIRD LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



## 990 BROADWAY

990 BROADWAY STREET NE  
SALEM OREGON 97301

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:

THIRD FLOOR &  
MEZZANINE  
PLAN

SP-6



## WEST ELEVATION

SCALE: 1/16" = 1'-0"



## SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

## COLOR & FINISH LEGEND

- A** MATERIAL: LAP SIDING  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: DARK GRAY
- B** MATERIAL: LAP SIDING  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: MATCH MATERIAL 'D'
- C** MATERIAL: CEDAR SIDING  
MANUF: TBD  
SERIES: TBD  
FINISH: CLEAR  
COLOR: TBD
- D** MATERIAL: MASONRY VENEER  
MANUF: MUTUAL MATERIALS  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: ARCTIC WHITE
- E** MATERIAL: TRIM BOARD  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: DARK GRAY





EAST ELEVATION

SCALE: 1/16" = 1'-0"

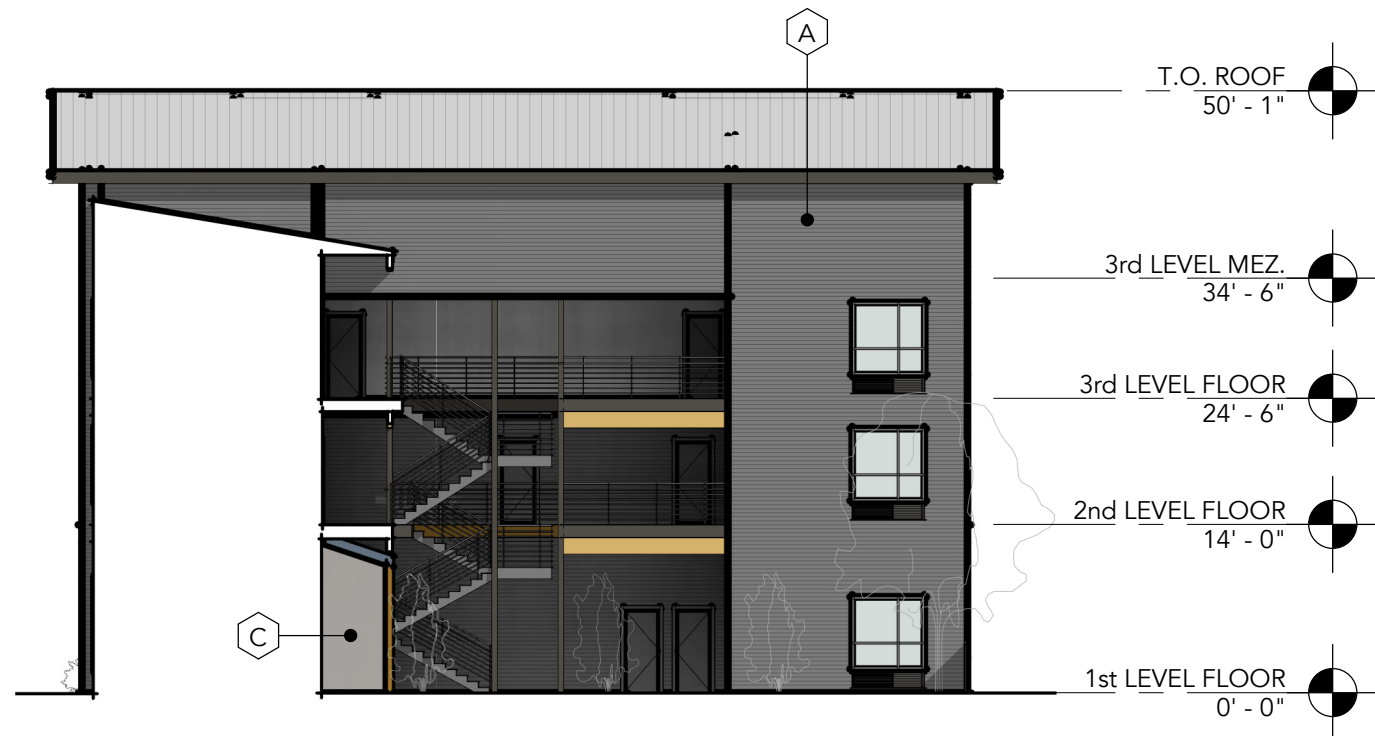


NORTH ELEVATION

SCALE: 1/16" = 1'-0"

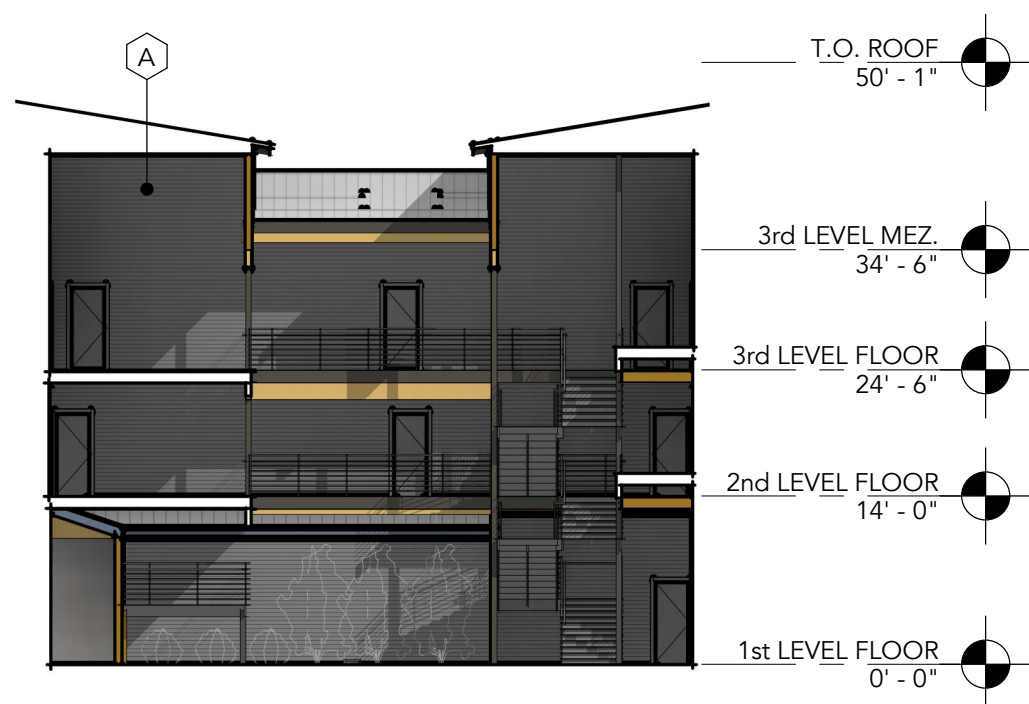
## COLOR & FINISH LEGEND

- A** MATERIAL: LAP SIDING  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: DARK GRAY
- B** MATERIAL: LAP SIDING  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: MATCH MATERIAL 'D'
- C** MATERIAL: CEDAR SIDING  
MANUF: TBD  
SERIES: TBD  
FINISH: CLEAR  
COLOR: TBD
- D** MATERIAL: MASONRY VENEER  
MANUF: MUTUAL MATERIALS  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: ARCTIC WHITE
- E** MATERIAL: TRIM BOARD  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: DARK GRAY



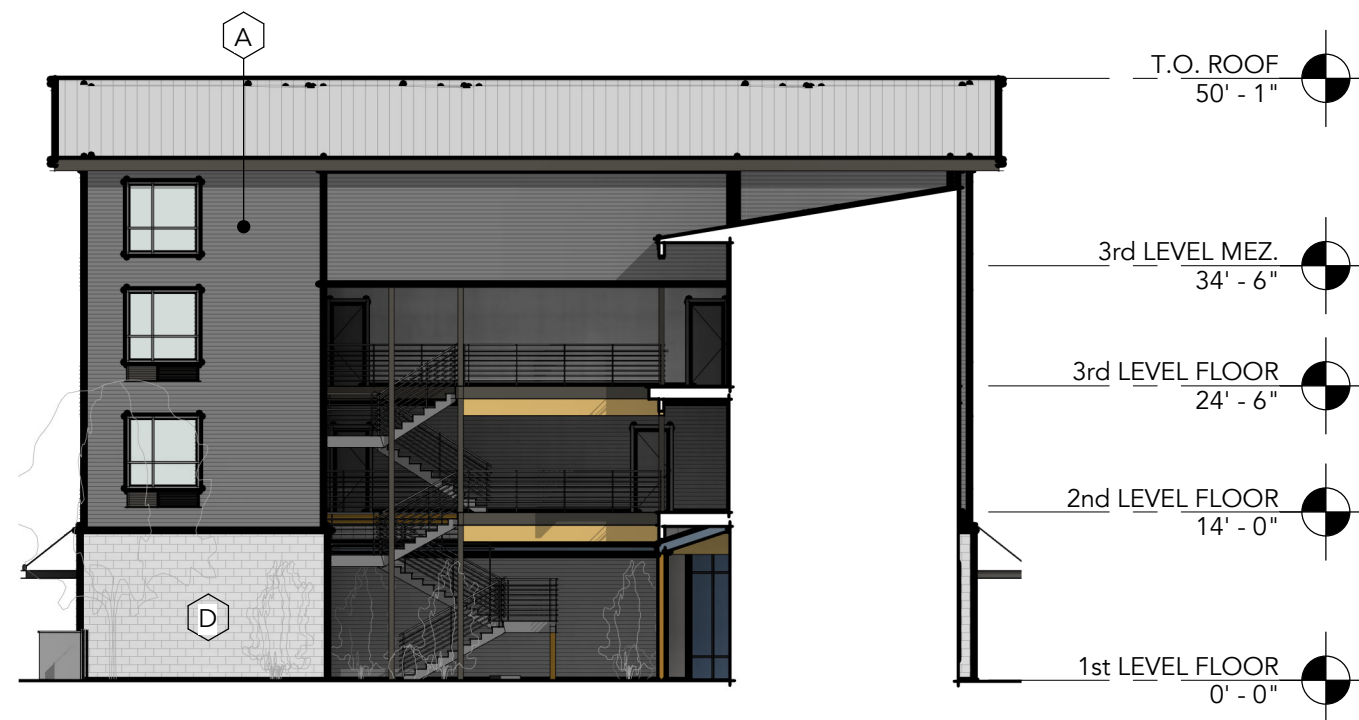
COURTYARD ELEVATION - EAST

SCALE: 1/16" = 1'-0"



COURTYARD ELEVATION - SOUTH

SCALE: 1/16" = 1'-0"



COURTYARD ELEVATION - WEST

SCALE: 1/16" = 1'-0"

## COLOR & FINISH LEGEND

- A** MATERIAL: LAP SIDING  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: DARK GRAY
- B** MATERIAL: LAP SIDING  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: MATCH MATERIAL 'D'
- C** MATERIAL: CEDAR SIDING  
MANUF: TBD  
SERIES: TBD  
FINISH: CLEAR  
COLOR: TBD
- D** MATERIAL: MASONRY VENEER  
MANUF: MUTUAL MATERIALS  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: ARCTIC WHITE
- E** MATERIAL: TRIM BOARD  
MANUF: JAMES HARDIE OR SIM.  
SERIES: TBD  
FINISH: SMOOTH  
COLOR: DARK GRAY





VIEW FROM BROADWAY LOOKING NORTHWEST



VIEW FROM BROADWAY LOOKING SOUTHWEST



INTERIOR COURTYARD ENTRY LOOKING SOUTH



CORNER AT BROADWAY & E STREET




September 9, 2019

Aaron Panko  
City of Salem  
Community Development Department  
Planning Division  
555 Liberty Street, Room 305  
Salem, OR 97301

Re: Consolidated Land Use Application  
Class 3 Design Review, Class 3 Site Plan Review, Class 2 Adjustments  
990 Broadway Street NE

## I. REQUEST

CB Two Architects representing Charles Weathers and Luke Glaze, applicants, are requesting approval of a consolidated land use application for a Class 3 Design Review (Guidelines), a Class 3 Site Plan Review and Class 2 Adjustments to SRC standards for building setback, minimum setback from building to vehicle use areas, minimum number of off-street parking spaces, minimum amount of site landscaping and minimum amount of landscaping in vehicle use areas for a development proposal of a site located at 990 Broadway Street NE.

## II. PROJECT DESCRIPTION

The infill site located at the southeast corner of Broadway Street NE and E Street NE is zoned CO (Commercial Office) within the Broadway/High Street Housing Overlay zone. The development proposal encompasses approximately 8,980 square feet of a 15,283 square foot site that currently consists of a gravel pad and a 26 space parking lot. The applicant is proposing to construct a mixed use development that would include 23 multi-family units and approximately 2,400 square feet of commercial retail space on the gravel portion of the site and maintain the existing parking and driveway.

The structure as proposed will be three stories with the retail being limited to the ground floor fronting onto Broadway with residential units occupying the eastern portion ground floor and the entire second and third floors. Residential uses will be accessed via a secure central courtyard that opens onto a walk that runs along the south side of the proposed building. The building's architectural style is urban contemporary which lends itself to the compact infill site and fits within the goals of the Broadway/High Street Housing Overlay. With the commercial uses fronting on Broadway Street NE and residential uses on the upper floors and closer to nearby



residential neighborhoods it provides a positive transition from the busier commercially developed Broadway/High Street corridor to the single family uses east of the site.

### III. DESIGN REVIEW

The proposed site is located within the Broadway/High Street Housing Overlay Zone and is therefore subject to Design Review guidelines or standards found in SRC 614.030. A Class 3 design review for application of the design review guidelines is requested, the following information will illustrate how the proposal meets the applicable guidelines.

#### Sec.614.030 – Design review guidelines

##### (a) *Building location, orientation, and design.*

##### (1) *Building location.*

##### (A) *Design review guidelines*

- (i) Building setbacks from the street shall be minimized. Buildings constructed contiguous to the right-of-way of Broadway/High Streets are preferred.

**RESPONSE:** The building has been sited so that it is on the Broadway Street NE property line for approximately 25 feet; however, because of vision clearance requirements a 10 foot by 50 foot vision clearance triangle is required along Broadway frontage from the corner south, as a result, the building angles away from the Broadway Street NE property line for a maximum building setback at the corner of Broadway Street NE and E Street NE of 10 feet 1 inch. The upper floors of the building will generally be adjacent to the property line as desired. The setback area will be paved and allows for the commercial space entry and bicycle parking to be covered.

- (ii) Buildings shall be located to minimize impacts to adjacent residential uses.

**RESPONSE:** The development site is a small infill site the proposed building has been designed to fit onto the existing gravel pad. The building as designed is oriented towards the southeast corner of Broadway Street NE and E Street NE, on the property lines adjacent to Broadway and E Streets NE or with minimal setbacks needed for the vision clearance triangle. There is an existing alley located between the site and the residential neighborhood to the east and the proposed building will be setback approximately 30 feet from the property line adjacent to this alley.

(2) *Building orientation and design.*

(A) *Design review guidelines.*

- (i) Buildings shall create safe, pleasant, and active pedestrian environments.

**RESPONSE:** The building has been placed on or near the property line along Broadway Street NE to promote interaction with the retail space planned for this street façade. The ground floor has a floor to floor height of approximately 16 feet to highlight the commercial uses at a pedestrian scale. The recess at the ground level to accommodate the required vision clearance triangle will be paved and include covered bicycle parking as well as weather protection at the commercial entry.

- (ii) Ground floor building facades facing Broadway/High Street shall include transparent windows to ensure the ground floor promotes a sense of interaction between activities in the building and activities in the public realm.

**RESPONSE:** Ground floor windows along Broadway Street NE will be transparent of a storefront or similar window system providing the desired interaction between the interior space and the public sidewalk.

- (iii) Upper floors of buildings facing Broadway/High Street should incorporate decks and balconies.

**RESPONSE:** Decks have been incorporated onto the Broadway facing façade for the corner units, in addition articulation to the façade is provided to further breakup the mass and help visual define the residential component on the Broadway façade.

- (iv) Weather protection, in the form of awnings or canopies appropriate to the design of the building, shall be provided along ground floor building facades adjacent to a street in order to create a comfortable and inviting pedestrian environment.

**RESPONSE:** A large awning that wraps the southwest corner of the building's first floor is provided above the storefront as well as the large covered recessed entry area providing weather protection on Broadway Street NE facade and where pedestrians will move to and from the buildings commercial space. The awning also extends along the commercial space that fronts E Street NE which will better distinguish the separate uses on the ground floor.

- (v) An urban streetscape shall be provided along Broadway/High Street by locating new buildings close to the street and close to one another, and by providing, wherever practical, buildings with multiple stories in order



to create a sense of enclosure along sidewalks and to provide a variety of street level façade.

**RESPONSE:** The building utilizes the existing gravel pad for the proposed building which has a relatively small building footprint. There are three floors proposed for this building which has been oriented to the street corner with minimal or no setbacks where possible. The building façade materials proposed will provide variation in texture and color as will the different window systems that differentiate the commercial space from the residential units. The commercial façade will be visually distinct from the residential facades to further express the mix of uses provided within the development. The taller ground floor height and storefront window systems provide an urban design and scale along Broadway Street NE as desired.

(b) *Open space.*

(1) *Private Open space.*

(A) *Design review guidelines.*

- (i) Private open space shall be provided for each dwelling unit that provides a pleasant and private place for the enjoyment of the occupants.

**REPOSNE:** More than 650 square feet of private open space is provided for the residential units within the courtyard and the upper level deck areas whose access is limited to the residents of the building. Additional private open space is provided for some of the units that face Broadway Street NE. This type of shared private open space is found within other Salem mixed-use developments and allows the residents outdoor use areas which are inward focused allowing for independent and interactive use for a greater sense of community.

(c) *Site access*

(1) *Vehicle access.*

(A) *Design review guidelines.*

- (i) Vehicle access and driveways onto Broadway/High Street shall be minimized. Joint use driveways providing access to Broadway/High Street are preferred.

**RESPONSE:** The proposed development takes its access from an existing one way entry driveway on Broadway Street NE and exiting occurs from the existing alley onto E Street NE. Due to the existing conditions and neighboring development a joint use driveway is not an option. As stated the proposed development is served by an existing driveway for the existing parking area no new driveways or increases to parking are proposed.

- (ii) Where feasible, provide access to buildings on lots abutting Broadway/High Street from an alley or side street.

**RESPONSE:** As previously noted, this infill site is utilizing existing parking that is limited in size. The site constraints, specifically size, does not allow for a two way drive

aisle and 90 degree parking to the south of the building that can be accessed from the alley therefore it is not feasible to limit access to the existing parking from the alley. Please see the proposed site plan for details and dimensions, Sheet SP-2 which confirms size constraints.

(d) Off-street parking and loading

(1) Off-street parking.

(A) Design review guidelines.

- (i) Off-street parking areas shall have a scale, orientation, and location that support a pedestrian-oriented mixed-use residential and commercial district.

**RESPONSE:** The development site is located on a corner and consists of a 125 feet of street frontage on Broadway Street NE and 122 feet of street frontage on E Street NE; the proposed building and pedestrian walk facing Broadway Street NE is about 78 feet in overall street frontage which is more than 60 percent of the street frontage and the building and pedestrian walk facing E Street NE is about 98 feet of the street frontage which is almost 80 percent of that street frontage. In addition, the site is only 15,283 square feet, of that only 7,221 feet is existing pavement proposed to remain, with no increases, for the development's parking this is less than half of the overall site size. The scale of the existing parking is appropriate to the proposed development it is located away from the street corner next to or behind the proposed building with additional landscape beds adjacent to sidewalks for improved separation to the public sidewalk which supports the pedestrian-oriented mixed-use residential and commercial district desired by the overlay.

- (ii) The amount of land needed to accommodate off-street parking shall be minimized through shared and structured parking where such parking is physically possible.

**RESPONSE:** As indicated previously, the development proposal utilizes an existing infill site which includes an existing parking lot which is less than 50 percent of the overall site. Shared and structured parking is not possible as the development site is too small to practicably allow a parking structure and it is surrounded by existing development that do not have parking surpluses.

(2) Off-street loading.

(A) Design review guidelines.

- (i) Off-street loading areas shall be located so as to minimize their visibility from the street.

**RESPONSE:** The proposed development does not include any off-street loading spaces nor is one required therefore this guideline is automatically met.



## IV. SITE PLAN REVIEW

A Class 3 site plan review shall be granted if applicable criteria is met:

(A) The application meets all applicable standards of the UDC:

**RESPONSE:** As noted previously, the proposal is subject to the development standards applicable for a mixed use development within the CO Zone which are found in SRC 521.010, as well as applicable standards from SRC chapters 614, 800, 804, 805, 806, and 807. Standards found in SRC 614 are in addition to those found in the underlying zone (SRC 521 CO – Commercial Office), should there be conflicts the overlay standards apply. The following provides the applicable development standard and information on how our project meets the applicable standard or identifies if an adjustment is being sought:

(a) *Lot standards*

REQUIREMENT	STANDARD	LIMITATION AND QUALIFICATIONS	PROJECT INFORMATION
Lot Area			
All uses other than single family, two family and multiple family	Minimum 6,000 square feet		The subject site is .35 acres or 15,283 square feet.
Lot Width			
All uses other than single family, two family, and multiple family	None		The development site has a lot width of 125 feet.
Lot Depth			
All uses other than single family, two family, and multiple family	None		The development site has a lot depth of 122 feet.
Street Frontage			
All uses other than single family	Minimum 16 feet		The development site is located on a corner, therefore the site has street frontage on two streets each one is over 120 feet.

(b) *Setbacks*

REQUIREMENT	STANDARD	LIMITATIONS & QUALIFICATIONS	PROJECT INFORMATION
Abutting Street			
Buildings			
All uses	Minimum 12 feet		The setback to Broadway is 0 for approximately 25 feet and then angles away from the property line (vision clearance) up to 10 feet 1 inch. Since the standard in the CO zone is more than the overlay seeks an adjustment to this standard is being requested as part of this consolidated land use application, see Section V. for details.
Accessory Structures			
Accessory to all uses other than single family or multiple family	Minimum 5 feet.		Not applicable to this development proposal.
Vehicle Use Areas			
All uses other than single family, two family and multiple family	Minimum 12 feet		The parking area is existing and the current configuration provides a single landscape bed on Broadway Street NE. The proposal plans to add an additional landscape bed on the north side of the driveway on Broadway Street NE and one adjacent to the parking on E Street NE. While a landscaped setback will be provided between the parking areas and the adjacent streets they will not meet the dimensional requirements so an adjustment to the standard is included in this consolidated land use application, see Section V. for details.
Interior Front			
Buildings			
All uses other than single family, two family and multiple family	Minimum 10 feet.		Not applicable.



Accessory structures			
Uses other than single family, two family and multiple family	Zone-to-zone setback, none		Not applicable.
Vehicle Use Areas			
Uses other than single family, two family and multiple family	Zone-to-zone setback, minimum 5 feet		Not applicable
Interior Side			
Buildings			
Uses other than single family, two family and multiple family	Zone-to-zone setback, none		The setback to the southern property line is approximately 52 feet.
Accessory Structures			
Accessory to uses other than single family, two family and multiple family	Zone-to-zone setback, none		There are no accessory structures proposed with the development.
Vehicle Use Areas			
Uses other than single family, two family, and multiple family	Zone-to-zone setback, minimum 5 feet		The existing parking abuts the neighboring parking to the south triggering the need for an adjustment. Please see Section V. for details.
Interior Rear			
Buildings			
Uses other than single family, two family and multiple family	Zone to zone setback, none		The building is setback approximately 30 feet from the rear property line.
Accessory Structures			
Uses other than single family, two family and multiple family	Zone-to-zone setback, none		There are no accessory structures proposed with this development.
Vehicle Use Areas			
Uses other than single family, two family and multiple family	Zone-to-zone setback, minimum 5 feet	Zone-to-zone setbacks are not required abutting an alley	The rear yard abuts an alley therefore no setback is required, nor is one provided.

*(c) Lot Coverage; height*

REQUIREMENT	STANDARD	LIMITATIONS & QUALIFICATIONS	PROJECT INFORMATION
Lot Coverage			
Buildings and Accessory Structures			
All uses	Maximum 60%		The proposed building footprint is 5,223 square feet or 36 percent of the site.
Rear Yard Coverage			
Buildings			
All uses	N/A		N/A
Accessory Structures			
Accessory to all uses	No maximum		There are no accessory structures proposed for this site.
Height			
Buildings			
Uses other than single family, two family, multiple family and long-term commercial lodging	Maximum 70 feet		The proposed building has a maximum height of 50 feet 1 inch to the highest point of the pitched roof the average height is less than 48 feet.
Accessory Structures			
Accessory to uses other than single family, two family and multiple family	Maximum 70 feet		Not applicable as there are no accessory structures proposed for this development.

*(d) Landscaping*

(1) *Setbacks.* Required setbacks shall be landscaped. Landscaping shall conform to the standards set forth in SRC chapter 807.

**RESPONSE:** The building has been sited to minimize setbacks to the street as desired by the design review guidelines and standards and the parking areas are existing and will include additional landscaped beds at property lines. An adjustment to the dimensional setback standards for the landscape beds is included with this consolidated land use application, details regarding the adjustment request are found in Section V. of this narrative.

(2) *Vehicle use areas.* Vehicle use areas shall be landscaped as provided under SRC chapters 806 and 807.

**RESPONSE:** As indicated previously, the parking area is existing and will be utilized by this development proposal. Table 806-5 indicates that parking areas that are less than 50,000 square feet are required to have a minimum of 5 percent landscaping, the proposal will have a parking area of 6,299 square feet and 650 square feet of landscaping which is 10 percent landscaping in the parking area exceeding the minimum.

(3) *Development site.* A minimum of 15 percent of the development site shall be landscaped. Landscaping shall meet the Type A standards set forth in SRC chapter 807. Other required landscaping under the UDC, such as landscaping required for setbacks or vehicle use areas, may count towards meeting the is requirement.

**RESPONSE:** The development proposal utilizes an existing infill site that includes an existing parking lot. Currently, a single landscape bed provides less than 1 percent landscaped area for the entire site. Every effort has been made to provide a development proposal that is feasible yet still meets the intent of the development code, 11.5 percent of the site will be landscaped. Landscaping is provided in the private courtyard, along the south side of the building and in the vehicle use areas. An adjustment to the standard is being sought, details to the specific request are found in Section V. of this narrative.

(e) *Outdoor storage.* Within the CO zone, outdoor storage of materials and equipment is prohibited, except in conjunction with residential uses where the storage is screened from adjacent streets and properties by a sight-obscuring fence, wall, or hedge.

**RESPONSE:** The development proposal does not include storage of materials and equipment for the commercial or residential tenants.

Sec. 614.020 Development standards for the Broadway/High Street Housing Overlay Zone. The development standards found in SRC 614 are in addition to those found in SRC 521; applicable standards for 614.020 are:

(a) *Dwelling units required.* A minimum of 50 percent of the floor area of each new building shall include dwelling units.

**RESPONSE:** The proposed building will be approximately 14,500 square feet the retail use is limited to a portion of the ground floor and is approximately 2,622 square feet which means that approximately 80 percent of the overall floor area of the building will be residential meeting the standard.

(b) *Location of nonresidential uses within building.* All nonresidential uses, except for office uses, shall be limited to the ground floor of a building. Office uses may be located on the upper floors of a building.

**RESPONSE:** The commercial uses as previously noted, are limited to the ground floor.



(c) *Height.* Buildings and accessory structures within the Broadway/High Street Housing Overlay Zone shall conform to the height standards set forth in Table 614-3.

Table 614-3, HEIGHT			
REQUIREMENTS	STANDARDS	LIMITATIONS & QUALIFICATIONS	PROJECT INFORMATION
Height			
Buildings			
All uses	Maximum 50 feet		The building has an articulated roof line that includes pitched shed roofs. The maximum height to the highest point on the pitched roof is 50 feet 1 inch however, the average height of the building is less than 48 feet.
Accessory Structures			
Accessory to all uses	Maximum 50 feet		There are no accessory structures proposed for this project, therefore this standard is not applicable.

(d) *Additional development standards for uses in mixed-use project with 25 or more dwelling units.*

**RESPONSE:** The development proposal does not proposed 25 or more dwelling units, therefore this standards does not apply.

(e) *Reductions to required off-street parking.* Within the Broadway/High Street Retail Overlay Zone, the minimum number of off-street parking spaces required under SRC chapter 806 shall be automatically reduced by ten percent. Further reductions to the minimum number of required off-street parking spaces may be satisfied through one or more of the following alternative means; provided, however, the total number of off-street parking spaces reduced through such alternative means shall not exceed 20 percent;

(1) *Transit stop.* A transit stop of stops approved by the Salem Keizer Transit District may be used to satisfy five percent of the minimum number of required off-street parking spaces for building sites located within 400 feet of the transit stop or stops.

(2) *Covered bicycle parking.* Covered bicycle parking, provided at a ratio of one bicycle space for each ten vehicle parking spaces.

(3) *Pedestrian improvements.* Pedestrian improvements, provided in an amount equal to or greater than one percent of the estimated construction cost of the proposed building(s), may be used to satisfy ten percent of the minimum number of required off-street parking spaces. Construction cost estimates shall be prepared by a licensed architect, landscape architect, or other qualified professional and shall be subject to review and approval by the Planning Administrator.

**RESPONSE:** The proposed development includes 26 existing parking spaces that will be utilized for this development proposal. The required number of spaces with the

automatic reduction is 41 (46 less 10%). The proposal is eligible for additional reductions through two of the three alternative options (Transit Stops and Covered bicycle parking): there are two transit stops within 400 feet of the site allowing us an additional 5 percent reduction; and all of the required bicycle parking spaces will be covered for another 5 percent reduction. The additional reductions, less 4 spaces, bring the required off-street parking to 38. The development is still unable to provide 35 spaces as a result an adjustment to the required parking is included in this consolidated land use request and can be found in Section V.

Sec. 800.055 Solid waste service areas shall provide for the safe and convenient collection of solid waste and recyclable and compostable materials by the local solid waste collection franchisee.

**RESPONSE:** A solid waste service area is proposed near the southeast corner of the building near the alley. It has been designed as dictated by the standards found in SRC 800.055 and will be screened as required.

#### *SRC 802 Public improvements*

**RESPONSE:** The public streets and sidewalks that are adjacent to the development site are fully improved; it is our belief that no additional work is required as a result of this development proposal.

#### *SRC 803 Streets and Right-of-Way Improvements*

**RESPONSE:** As noted previously the streets that are adjacent and serve the development site are improved, no additional improvements are proposed with the development proposal.

*SRC 804 Driveway Approaches* – This chapter applies to the design, construction, relocation, reconstruction, enlargement, or alteration of any driveway approach.

**RESPONSE:** There is one driveway on Broadway Street NE which provides one way access to the existing parking. There is no plan to alter this driveway with this proposal.

Sec. 806.015(a) *Minimum required off-street parking.* Unless otherwise provided under the UDC, off-street parking shall be provided in amounts not less than those set forth in Table 806-1.

**RESPONSE:** Table 806-1 indicates multiple family consisting of 4 or more dwelling units is 1.5 spaces per dwelling unit and the commercial retail space is 1 space for each 250 square feet of floor area, based on 23 units and 2,622 square feet of retail space the base minimum is 46; however reductions as a result of the overlay do apply and are addressed in more detail previously in this section; based on the allowed reductions (8 spaces) our minimum number required is 38. We are not able to provide 38 spaces on-

site an adjustment for further reductions is needed and included with this request details supporting the reduction are found in Section V. of this narrative.

*Sec. 806.075 Amount of off-street loading.*

**RESPONSE:** The development proposal includes 23 dwelling units and commercial retail space that is less than 2,500 square feet, due to the limited number of multiple family dwelling units and smaller retail space no loading space is required.

(B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

**RESPONSE:** Yes the transportation system can provide safe, orderly, and efficient circulation of traffic into and out of the proposed development utilizing the existing driveway and public alley as designed. The site is accessed from a one way entrance driveway on Broadway Street NE with exiting via the alley that borders the east or rear property line. There are no negative impacts anticipated with this development.

(C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians;

**RESPONSE:** Yes, the parking lot is accessed via existing in only driveway on Broadway Street NE with exiting through the alley adjacent to the eastern property line. Parking spaces that are along the alley may be accessed via the alley or the parking lot with exiting limited to the alley. Public sidewalks provide pedestrian access from both Broadway Street NE and E Street NE to private walkways that allow access to the residential portion of the development. Bicycles may access the site via Broadway Street NE where a designated bicycle lane is located or E Street NE.

(D) The proposed development will be adequately served with City water, sewer, stormwater facilities and other utilities appropriate to the nature of the development.

**RESPONSE:** City of Salem Public Works staff confirmed that all city services are available and adequate for this proposal.

## V. ADJUSTMENTS

As noted previously this development proposal is not able to meet all of the development standards found in the UDC which apply to the site necessitating adjustments to the following: building setback standards, parking and vehicle use setback standards, perimeter landscape standards, minimum landscape amount, minimum number of required off-street parking and off-street parking area dimensions. We are seeking Class 2 adjustments which shall be granted if the following criteria are met:



(A) The purpose underlying the specific development standard proposed for adjustment is:

- (i) Clearly inapplicable to the proposed development; or
- (ii) Equally or better met by the proposed development.

**RESPONSE:**

**Building Setback –**

The CO zone indicates that the minimum building setback is 12 feet; however the Broadway/High Street Housing Overlay guidelines asks that they be minimized and that contiguous to the street right-of-way is preferred; typically the overlay would dictate the standard; however the code does not indicate that this is the case which is why the adjustment to this standard is required. The underlying zone is based on a broader vision and does not take into consideration specific areas where more appropriate design strategies should be implemented. The guidelines and standards in the overlay however, do look to provide direction that is neighborhood specific and provides for a more harmonious environment. The development proposal has sited the building along property lines as suggested by the overlay, with the exception of the require vision clearance triangle at the corner of Broadway Street NE and E Street NE. Due to the vision clearance requirements an angled setback along the ground floor of the Broadway Street NE façade has an angled setback that ranges from 0 feet to 10 feet 1 inch provides a covered entry and room for outdoor seating and other pedestrian amenities.

The purpose of the overlay “is to establish development standards that promote a pedestrian-oriented mixed-use residential and commercial district with an emphasis on residential uses to support retail areas.” We believe that the proposed design is equal to or better met by the development proposal by providing a pedestrian-oriented mixed-use residential development on an existing infill site in need of redevelopment.

**Parking and Vehicle Use Setbacks-**

The development proposal indicates that the existing non-conforming parking areas will not change and are needed to provide most of the required parking setbacks to public streets, adjacent property lines and between vehicle use areas and the building cannot practicably be met in part or in whole.

The existing parking area provides one triangular landscape bed between the sidewalk on Broadway Street NE on the south side of the existing driveway which provides a separation from 11 to 0 feet with no additional landscape separation on the north side of the existing driveway or along E Street NE where parking abuts the public sidewalk. The proposal seeks to improve this condition by providing an additional angular landscape bed on the north side of the existing driveway and along a landscape bed between parking and the public sidewalk on E Street NE. All of these beds will be less not meet the dimensional requirements 10 feet or 6 feet with a 3 foot wall or fence which is what is triggering the need for the adjustment. The landscape beds on either

side of the driveway are angular to follow the angled parking provided on the south side of the proposed building, these beds will be more than 10 feet at some portions but angle toward the street rather than a wall shrubs will be used to provide the desired screening and reduce risk of damage due to the proximity of vehicle parking. The landscape bed adjacent to E Street NE will be 7 feet 7 inches and utilize shrub plantings for screening as well. The desire to use plant material for screening in these landscape setbacks is that the wall would be parallel to the parking spaces rather than perpendicular and reduces the space for car door swing when being opened, by allowing plants you reduce the potential for damage to vehicles or screen materials. The proposed landscape setbacks will improve the current conditions, provide more separation to the public way and present a more pedestrian friendly development.

The current parking lot does not include any setback between the neighboring parking lot to the south and this development's nor is the proposal able to add one without significant impacts to the feasibility of the project and further loss of on-site parking spaces. Approval of an adjustment to the setback standards for vehicle use areas for an existing parking lot will allow the applicant to provide most of the required parking on-site with no impacts to the neighboring development it simply maintains a non-conforming condition.

Lastly, the off-street parking standards ask for a 5 foot landscape or sidewalk between vehicle use areas and buildings, a sidewalk is provided between the building and all vehicle use areas; however, on the east side of the proposed building the sidewalk is less than the desired 5 feet. The proposal is able to provide 4 feet 6 inches for most of the at least 60 of the buildings 73 foot length but is unable to provide the full 5 feet due to the need for maneuvering behind the parking spaces accessed from the alley. This request is the minimum needed and still provides adequate sidewalk width for safe pedestrian travel from the public sidewalk on E Street NE and the adjacent parking.

#### Minimum Landscape Area –

The development will not be able to provide the required 15 percent minimum landscape area due to, existing and needed parking areas, limited site size and development requirements. The proposal provides 11 percent landscaping, through the landscaped courtyard, plantings along the south side of the proposed building and in the vehicle use areas. While the minimum is not possible with this development proposal, the benefits garnered by the proposal offset the standard. Existing landscape is limited to a single landscape planter in the existing parking lot which provides landscaping for less than 1 percent or approximately 75 square feet of the entire site, the proposal will be increasing this to 1,774 square feet. The proposal provides more than current site conditions provide and will also provide needed redevelopment of an existing under developed infill site, which is a benefit to the neighborhood.

#### Minimum Number of Off-Street Parking –

The development proposes maintaining the existing off-street parking which will provide 26 parking spaces at completion. Based on the standards and allowed reductions the minimum number of spaces for this development is 38 triggering the requested adjustment. Based on the type of development and the number of studio apartments we believe that the request is justified as it is unlikely that all of the residents will have a single car much less 1.5 per unit, other mixed use zones require 1 space per unit which seems more appropriate for this development proposal. In addition, the commercial office building to the south will not utilize most of their parking on the weekends and after hours and are willing to work with the development group to allow after hours use. The proximity to public transportation, nearby services, development type, and on-street parking provides a strong argument for supporting the development proposal as shown. Housing in this area is needed and encouraged the requested reduction will allow a quality mixed use development on the only available site within the Broadway High Street Housing Overlay

#### Off-Street Parking Area Dimensions –

The existing area located on the south side of the building is not changing, other than the addition of a landscaping bed on the north side of the existing driveway. The existing parking spaces will remain and may not fully meet all of the dimensional requirements found in SRC 806.035(e). This is an existing condition and does not material impact the development proposal nor will it have negative impacts to the neighboring development. The existing spaces provide adequate space for parking and the 13 foot one way drive aisle allows for safe maneuvering. The ability to maintain the 26 existing spaces is an important benefit for the development proposal.

(B) If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.

**RESPONSE:** The site is not in a residential zone, therefore criterion is not applicable.

(C) If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

**RESPONSE:** The development is in need of 7 adjustments which are minimal, in some cases existing conditions and will not result in a negative impact to the surrounding developments or the community overall. The development proposal will allow a local development group to provide needed housing in a mixed-use development on a small infill site in need of redevelopment. As noted previously, the development site is



the only available site within the entire Broadway-High Street Housing Overlay, approving these adjustments meets the overall intent of the development standards.

## VI. CONCLUSION

The development team is confident that the City of Salem Staff will find that the requested Class 3 Design Review (Guidelines), Class 3 Site Plan Review and Class 2 Adjustments to standards for setbacks, landscaping amounts, parking amounts and dimensional requirements are acceptable and support approval of the consolidated applications. The redevelopment of an existing infill site in this area is a goal of the Salem Comprehensive Plan and will provide a good transition from the commercial uses along Broadway Street NE to residential neighborhoods to the east.

Planning Commission  
Council Chambers Room 240  
City Civic Center  
555 Liberty Street SE  
Salem, OR 97301

November 5, 2019

Re: Case No. DR-SPR-ADJ19-10

**The notice:**

The design review criteria stated in the notice, SRC 613.025, is in error. The design review criteria in the Broadway High Housing Overlay Zone, Chapter 614.030, apply.

**The proposed development:**

The mixed-use development of the vacant lot will without question benefit the community. However, the building is too large; it is not appropriately scaled to accommodate required setbacks, parking and landscaped areas. Nothing in the land prohibits meeting all development standards for the lot. It is ideally located on a corner served by a minor arterial, local street and alley, maximizing opportunities for access. The lot is almost square, 125 by 122.5, allowing many alternatives to fit all the requisite elements of development.

**The application:** Neither Design Review Standards nor Design Review Guidelines are not achieved by the plan proposed.

Design Review Standard 614.030(a)(1)(B)(iii) requires buildings be constructed contiguous to interior side lot lines.

The proposed plan does not meet this standard. It has a parking lot on the interior side lot line.

Design Review Standard 614.030(a)(1)(B)(iv) requires a building of this height to have a 20-foot interior rear yard setback.

The proposed plan does not meet this standard. It has a vehicle use area in the interior rear yard setback. 806.035(b)(1) Requires off street parking and vehicle use areas for activities other than single family and two family shall not be located within required setbacks.

225.005(b)(4) requires if any portion of the proposed development does not meet all of the applicable design review standards, the entire development shall be subject to Class 3 design review.

225.005(e)(2) states that a Class 3 design review shall be approved if all of the applicable design review guidelines are met.

Design Review Guideline 614.030(a)(1)(A) requires building setbacks from the street (Broadway and E streets) be minimized, construction contiguous to Broadway is preferred, and requires buildings be located to minimize impacts to adjacent residential uses.

The plan could call for construction contiguous to Broadway, but it does not. Building height and vehicle activity are the obvious adverse impacts to the adjacent residential properties. Constructing contiguous to Broadway will lessen the adverse impacts of a 50-foot tall building shadowing adjacent residential property. However, it may focus more vehicle activity closer to the Single-Family zoned neighborhood.

Design Review Guideline 614.030(b)(1)(A)(i) requires private open space for each dwelling unit that provides a pleasant and private place for the enjoyment of the occupants.

Private open space is offered to dwelling units on Broadway. Common open space, not private open space is offered to other dwelling units.

Design Review Guideline 614.030 (c)(1)(A) requires vehicle access and driveways onto Broadway/High Street be minimized and where feasible, provide vehicle access to buildings on lots abutting Broadway/High Street from an alley or side street.

Vehicle access to the proposed development is from Broadway. Broadway is a minor arterial. E street is a local street. Access from E street is feasible. Access from E street rather than Broadway will be safer because the driveway on Broadway is too close to the intersection of Liberty and Broadway. The current driveway does not meet current design standards for driveway access on a minor arterial. 804.035(d) *Spacing. Requires* Driveway approaches providing direct access to a major or minor arterial shall be no less than 370 feet from the nearest driveway or street intersection, measured from centerline to centerline. The current drive way is less than 150 feet from the center of the intersection of Liberty and Broadway, and very close to the driveway of the property immediately to the south.

Access from E street rather than the alley could minimize adverse impact to the adjacent residential zone.

Numerous adjustments to design elements are requested to squeeze additional parking spaces to meet the minimum requirements for the building.

250.005(d)(2) requires an application for a Class 2 adjustment shall be granted if all of the following criteria are met:

(A)The purpose underlying the specific development standard proposed for adjustment is:

- (i)Clearly inapplicable to the proposed development; or
- (ii)Equally or better met by the proposed development.

(B)If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.

(C)If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

The parking requirements to which adjustments are sought are clearly applicable to the proposed development. There is nothing in the record that indicates whether the existing parking stalls and lanes meet standards. Consequently, it is difficult to assess whether the adjustments sought waive the standards rather than meet them in an equal or better manner. If the existing parking stalls are undersized or lanes too narrow, smaller compact vehicles may easily use the space, but standard and extended vehicles will seek parking in neighborhood streets.

The underlying zone is CO with Broadway High Residential Overlay zone. The overlay zone places the project in a residential zone. The mass and height of the building in its close proximity starkly



contrasts the single story and one-and-one half story cottages to the east. Shadow rather than sun changes what can be grown in back yard gardens. More intensive night light and noise can disrupt neighboring residents' quiet enjoyment of their homes. Without a buffer or transition area in the development standards, the project will likely detract from the livability or appearance of the residential area.

More than one adjustment has been requested. To meet the criteria for a class II adjustment, the cumulative effect of the adjustments should result in a project that is still consistent with the overall purpose of the zone. In this case, the overall purpose of the zone is to identify uses and establish development standards that promote a pedestrian oriented mixed-use residential and commercial district with emphasis on residential uses to support retail areas. Not meeting those development standards outright when there is ample opportunity in the land results in a project that is not consistent with the overall purpose of the zone.

The investment in needed housing is welcome, but the project should be scaled to the available land so all elements of a successful and harmonious project such as parking, landscaping, private and common open spaces can be included in a balanced formula, and minimize impacts to adjacent residential uses.

Respectfully submitted,

A handwritten signature in cursive script, reading "Kathleen Dewoina".

Kathleen Dewoina, Broker  
Berkshire Hathaway HomeServices  
Real Estate Professionals  
1220 20<sup>th</sup> Street SE  
Salem, OR 97302

Residence:  
1045 5<sup>th</sup> Street NE Apt 3  
Salem, OR 97301

**TO:** Aaron Panko, Planner III  
Community Development Department

**FROM:** Glenn J. Davis, PE, CFM, Chief Development Engineer  
Public Works Department

**DATE:** October 28, 2019

**SUBJECT:** **PUBLIC WORKS RECOMMENDATIONS**  
**DR-SPR-ADJ19-10 (19-114687-RP)**  
**990 BROADWAY STREET NE**  
**NEW MIXED-USE BUILDING**



## PROPOSAL

A Class 3 Design Review and Class 3 Site Plan Review application for development of a new mixed-use development with 23 multi-family residential units and approximately 2,400 square feet of ground floor retail space. The subject property is approximately 0.35 acres in size, zoned CO (Commercial Office), within the Broadway/High Street Housing Overlay Zone, and located at 990 Broadway Street NE - 97301 (Marion County Assessors Map and Tax Lot number: 073W22AD / 08600).

## RECOMMENDED CONDITIONS OF APPROVAL

1. Replace the existing alley approach along E Street NE pursuant to PWDS.
2. Close the existing unused driveway along E Street.
3. Obtain awning permits for proposed awnings encroaching into the right-of-way.
4. Replace non-conforming portions of existing sidewalk in conformance with the provisions of SRC Chapter 78 and PWDS.
5. Protect existing street trees during construction in conformance with the provisions of SRC Chapter 86 and PWDS.
6. Proposed bicycle parking within the vision clearance triangle shall comply with SRC Chapter 805.

## **FACTS**

### **Streets**

#### 1. Broadway Street NE

- a. Standard—This street is designated as a Minor Arterial street in the Salem TSP. The standard for this street classification is a 46-foot-wide improvement within a 72-foot-wide right-of-way.
- b. Existing Conditions—This street has an approximate 52-foot improvement within a 98-foot-wide right-of-way abutting the subject property.

#### 2. E Street NE

- a. Standard—This street is designated as a Local street in the Salem TSP. The standard for this street classification is a 30-foot-wide improvement within a 60-foot-wide right-of-way.
- b. Existing Conditions—This street has an approximate 30-foot improvement within a 55-foot-wide right-of-way abutting the subject property. This street meets the alternative street standard for right-of-way width pursuant to SRC 803.065(a)(2) because the street is fully developed to standards that were in effect at the time it was originally constructed.

### **Storm Drainage**

#### 1. Existing Conditions

- a. A 10-inch storm main is located in Broadway Street NE.

### **Water**

#### 1. Existing Conditions

- a. The subject property is located in the G-0 water service level.
- b. A 12-inch water main is located in Broadway Street NE.
- c. An 8-inch water main is located in E Street NE.

## Sanitary Sewer

### 1. Existing Conditions

- a. An 8-inch sewer main is located in Broadway Street NE.
- b. An 8-inch sewer main is located in the alley abutting the subject property.

## CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

**Criteria: SRC 220.005(f)(3)(A) The application meets all applicable standards of the UDC (*Unified Development Code*)**

**Finding**—With completion of the conditions above, the subject property meets all applicable standards of the following chapters of the UDC: 601 – Floodplain; 802 – Public Improvements; 803 – Streets and Right-of-Way Improvements; 804 – Driveway Approaches; 805 – Vision Clearance; 809 – Wetlands; and 810 - Landslides.

Public Works staff has reviewed the Flood Insurance Study and Flood Insurance Rate Maps and has determined that no floodplain or floodway areas exist on the subject property.

The proposed plan shows awnings encroaching into the right-of-way. The applicant shall obtain awning permits. The proposed plan also shows bicycle parking spaces within the vision clearance triangle. The bicycle parking shall comply with SRC Chapter 805.

According to the Salem-Keizer Local Wetland Inventory (LWI), the subject property does not contain any wetland areas.

According to the City's adopted landslide hazard susceptibility maps and SRC Chapter 810 (Landslide Hazards), there are no mapped landslide hazard areas on the subject property.

**Criteria: SRC 220.005(f)(3)(B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately**

**Finding**—Broadway Street NE meets the right-of-way width and pavement width standards per the Salem TSP; therefore, no additional street improvements are required as a condition of the proposed development. E Street NE meets the alternative street standard for right-of-way width pursuant to SRC 803.065(a)(2) because the street is

fully developed to standards that were in effect at the time it was originally constructed; therefore, no additional street improvements are required as a condition of the proposed development.

The existing alley approach along E Street does not meet PWDS. Pursuant to SRC 803.040, the applicant shall be required to replace the existing alley approach along E Street NE pursuant to PWDS.

Pursuant to SRC 78.180(a), the applicant shall replace non-conforming portions of existing sidewalk in conformance with the provisions of SRC Chapter 78 and PWDS. Pursuant to SRC Chapter 86, the applicant shall protect existing street trees during construction.

**Criteria: SRC 220.005(f)(3)(C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians**

**Finding**—The driveway access onto Broadway Street NE provides for safe turning movements into the property. Pursuant to SRC 804.060(a)(4), the applicant shall be required to close the existing unused driveway along E Street NE.

**Criteria: SRC 220.005(f)(3)(D) The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development**

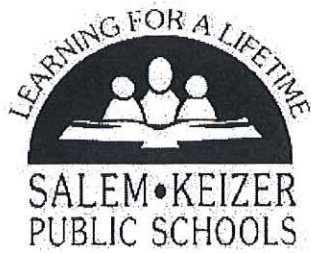
**Finding**—The Public Works Department has reviewed the applicant's preliminary plan for this site. The water, sewer, and storm infrastructure are available within surrounding streets/areas and are adequate to serve the proposed development.

The applicant shall be required to design and construct a storm drainage system at the time of development. The application shall provide an evaluation of the connection to the approved point of discharge for new areas of impervious surface per SRC 71.075. The applicant's architect submitted a statement demonstrating compliance with SRC Chapter 71 because the project involves less than 10,000 square feet of new or replaced impervious surface.

The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the PWDS and to the satisfaction of the Public Works Director. The applicant is advised that the trash area shall be designed in compliance with Public Works Standards.

Prepared by: Jennifer Scott, Program Manager  
cc: File





DAVID FRIDENMAKER, Manager  
Facility Rental, Planning, Property Services  
3630 State Street, Bldg. C • Salem, Oregon 97301-5316  
503-399-3335 • FAX: 503-375-7847

Christy Perry, Superintendent

October 23, 2019

Aaron Panko, Case Manager  
Planning Division, City of Salem  
555 Liberty Street SE, Room 305  
Salem OR 97301

RE: Land Use Activity Case No. DR-SPR-ADJ19-10, 990 Broadway St NE

The City of Salem issued a Request for Comments for a Land Use Case as referenced above. Please find below comments on the impact of the proposed land use change on the Salem-Keizer School District.

#### **IDENTIFICATION OF SCHOOLS SERVING THE SUBJECT PROPERTY**

The School District has established geographical school attendance areas for each school known as school boundaries. Students residing in any residence within that boundary are assigned to the school identified to serve that area. There are three school levels, elementary school serving kindergarten thru fifth grade, middle school serving sixth thru eighth grade, and high school serving ninth thru twelfth grade. . The schools identified to serve the subject property are:

School Name	School Type	Grades Served
Grant	Elementary	K thru 5
Parrish	Middle	6 thru 8
North Salem	High	9 thru 12

Table 1

#### **SCHOOL CAPACITY & CURRENT ENROLLMENT**

The School District has established school capacities which are the number of students that a particular school is designed to serve. Capacities can change based on class size. School capacities are established by taking into account core infrastructure (gymnasium, cafeteria, library, etc.) counting the number of classrooms and multiplying by the number of students that each classroom will serve. A more detailed explanation of school capacity can be found in the School District's adopted Facility Plan.

School Name	School Type	School Enrollment	School Design Capacity	Enroll./Capacity Ratio
Grant	Elementary	379	448	85%
Parrish	Middle	738	880	84%
North Salem	High	1,889	1,879	101%

Table 2

### POTENTIAL ADDITIONAL STUDENTS IN BOUNDARY AREA RESULTING FROM APPROVAL OF LAND USE CASE

The School District anticipates the number of students that may reside at the proposed development based on the housing type, single family (SF), duplex/triplex/four-plex (DU), multi-family (MF) and mobile home park (MHP). The School District commissioned a study by the Mid-Willamette Valley Council of Governments in 2014 to determine an estimate of students per residence, for the Salem-Keizer area, in each of the four housing types. Since the results are averages, the actual number of students in any given housing type will vary. The table below represents the resulting estimates for the subject property:

School Type	Qty. of New Residences	Housing Type	Average Qty. of Students per Residence	Total New Students
Elementary	23	MF	.201	5
Middle	23	MF	.077	2
High	23	MF	.084	2

Table 3

### POTENTIAL EFFECT OF THIS DEVELOPMENT ON SCHOOL ENROLLMENT

To determine the impact of the new residential development on school enrollment, the School District compares the school capacity to the current enrollment plus estimates of potential additional students resulting from land use cases over the previous two calendar years. A ratio of the existing and new students is then compared with the school design capacity and expressed as a percentage to show how much of the school capacity may be used.

School Name	School Type	School Enrollment	New Students During Past 2 yrs	New Student from this Case	Total New Students	School Design Cap.	Enroll./Cap. Ratio
Grant	Elem.	379	6	5	11	448	87%
Parrish	Mid.	738	10	2	12	880	85%
North Salem	High	1,889	95	2	97	1,879	106%

Table 4

### ESTIMATE OF THE EFFECT ON INFRASTRUCTURE – IDENTIFICATION OF WALK ZONES AND SCHOOL TRANSPORTATION SERVICE

Civic infrastructure needed to provide connectivity between the new residential development and the schools serving the new development will generally require roads, sidewalks and bicycle lanes. When developing within one mile of school(s), adequate pathways to the school should be provided that would have raised sidewalks. If there are a large number of students walking, the sidewalks should be wider to accommodate the number of students that would be traveling the



path at the same time. Bike lanes should be included, crosswalks with flashing lights and signs where appropriate, traffic signals to allow for safe crossings at busy intersections, and any easements that would allow students to travel through neighborhoods. If the development is farther than one mile away from any school, provide bus pullouts and a covered shelter (like those provided by the transit district). Locate in collaboration with the District at a reasonable distance away from an intersection for buses if the distance is greater than ½ mile from the main road. If the distance is less than a ½ mile then raised sidewalks should be provided with stop signs where students would cross intersections within the development as access to the bus stop on the main road. Following is an identification, for the new development location, that the development is either located in a school walk zone or is eligible for school transportation services.

School Name	School Type	Walk Zone or Eligible for School Transportation
Grant	Elementary	Walk Zone
Parrish	Middle	Walk Zone
North Salem	High	Walk Zone

Table 5

### ESTIMATE OF NEW SCHOOL CONSTRUCTION NEEDED TO SERVE DEVELOPMENT

The School District estimates the cost of constructing new school facilities to serve our community. The costs of new school construction is estimated using the Rider Levett Bucknall (RLB) North America Quarterly Construction Cost Report and building area per student from Cornerstone Management Group, Inc. estimates. The costs to construct school facilities to serve the proposed development are in the following table.

School Type	Number of Students	Estimate of Facility Cost Per Student*	Total Cost of Facilities for Proposed Development*
Elementary	5	\$54,925	\$274,625
Middle	2	\$64,045	\$128,090
High	2	\$73,164	\$146,328
TOTAL			\$549,043

Table 6

\*Cornerstone Management Group, Inc. estimates based on RLB cost index average, 2019 First Quarter.

Sincerely,



David Fridenmaker, Manager  
Planning and Property Services

c: Mike Wolfe, Chief Operations Officer, David Hughes, Manager – Custodial, Property and Auxiliary Services, Michael Shields, Director of Transportation