

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

CASE NO: DR-SPR-ADJ19-10

AMANDA APPLICATION NO.: 19-114686-DR /19-114687-RP/19-114688-ZO

ADDRESS: 990 BROADWAY ST NE

ZIPCODE: 97301

HEARD BY: Planning Commission

CASE MANAGER: Aaron Panko

Summary: Proposed three story mixed-use multi-family and retail development on a vacant portion of the site, and maintaining an existing parking lot and driveways.

Request: A Class 3 Design Review and Class 3 Site Plan Review application for development of a new mixed-use development with 23 multi-family residential units and approximately 2,400 square feet of ground floor retail space, and a Class 2 Adjustment request to:

- 1) Eliminate the minimum 10-foot required setback for the off-street parking area adjacent to Broadway Street NE;
- 2) Eliminate the minimum 5-foot required perimeter setback for the off-street parking area;
- 3) Reduce the minimum landscape requirement for the development site from 15 percent to 11 percent;
- 4) Reduce the minimum number of required off-street parking spaces from 38 to 26;
- 5) Reduce the minimum off-street parking area dimensions to allow the existing parking spaces and drive aisles to remain.

For property approximately 0.35 acres in size, zoned CO (Commercial Office), located within the Broadway/High Street Housing Overlay Zone, and located at 990 Broadway Street NE - 97301 (Marion County Assessors Map and Tax Lot number: 073W22AD / 08600).

Attached is a copy of the proposal and any related maps. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request. A staff report for this proposal will be prepared by the planning staff from information available to staff. You are invited to respond with information relating to this property and this request. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents.

Comments received by 5:00 P.M., October 23, 2019, will be considered in the staff report. Comments received after this date will be provided to the review body. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail or hand deliver your comments to the Case Manager listed below.

SEND QUESTIONS OR COMMENTS TO: Aaron Panko, Planner III City of Salem,
Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2356;
Fax: 503-588-6005; E-Mail: APanko@cityofsalem.net; <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING ITEMS THAT APPLY:

- ____ 1. We have reviewed the proposal and have no comments.
- ____ 2. We have reviewed the proposal and have the following comments:

____ 3. Other: _____

Name: _____
Address: _____
Agency: _____
Phone No.: _____
Date: _____

IMPORTANT: PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

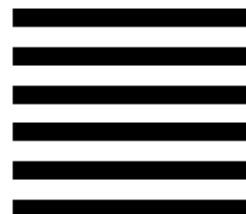


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PLANNING DIVISION
CITY OF SALEM
555 LIBERTY ST SE
SALEM OR 97301-9907

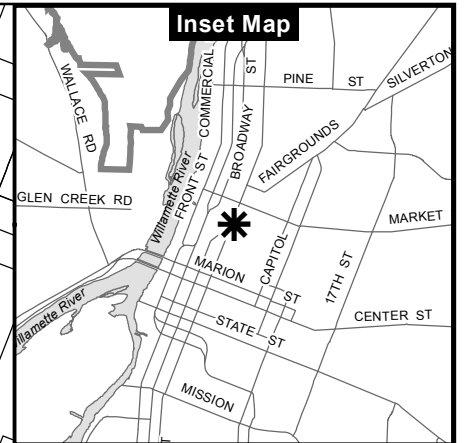
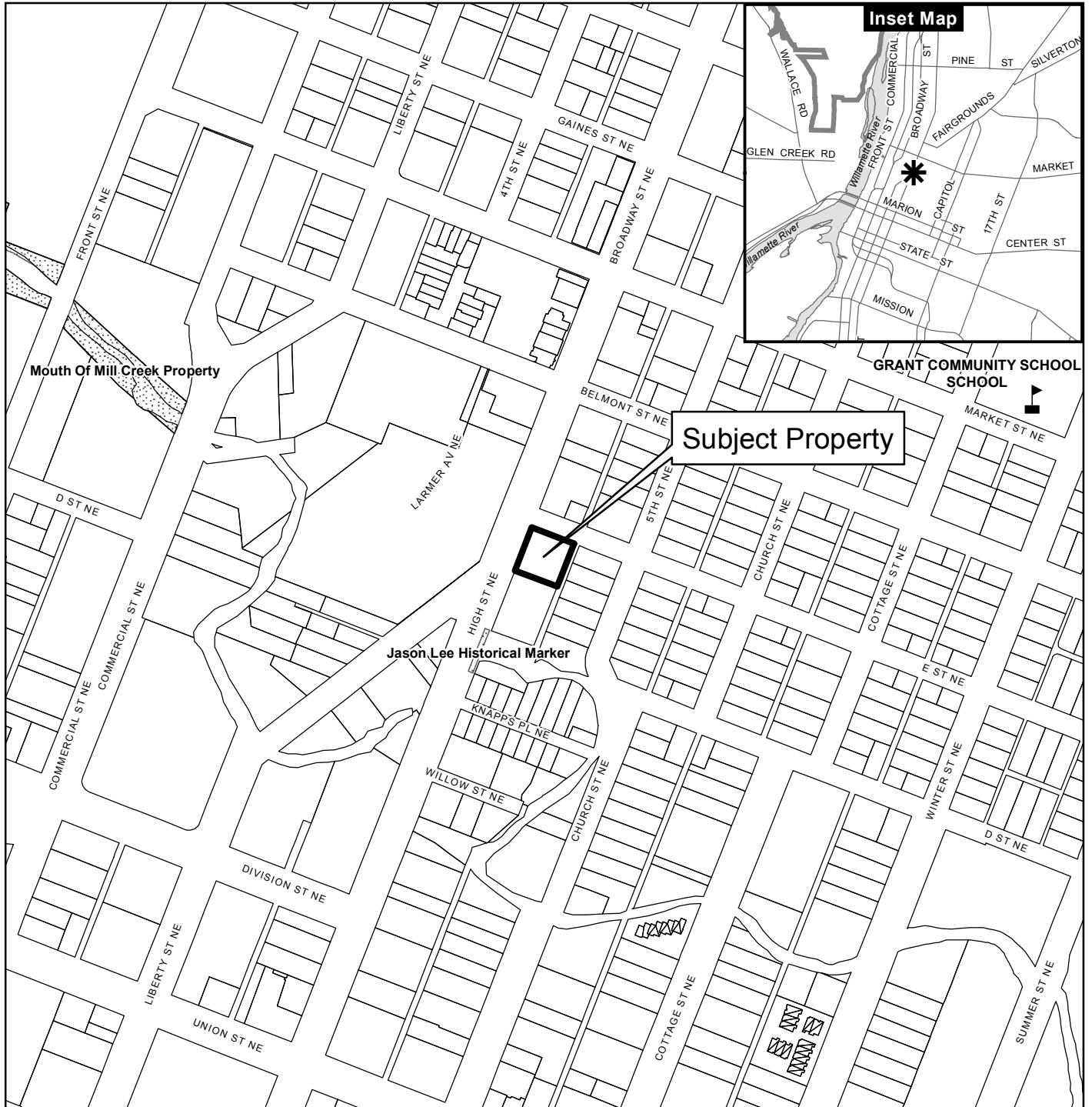


NO POSTAGE
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UNITED STATES



Vicinity Map

990 Broadway Street NE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks

0 100 200 400 Feet



CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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990 BROADWAY ST NE

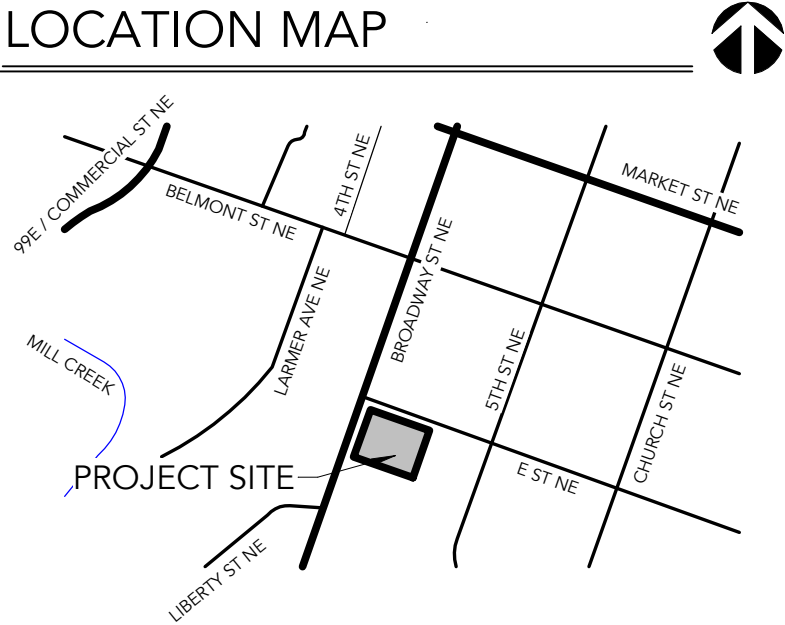
MIXED-USE DEVELOPMENT

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF 23 RESIDENTIAL APARTMENTS ON THREE FLOORS ABOVE GRADE, WITH A RETAIL SPACE FACING BROADWAY STREET ON THE GROUND FLOOR. THE APARTMENTS ARE ALL ACCESSED VIA A PRIVATE COURTYARD. THE 17,300 SF BUILDING IS TYPE V-B CONSTRUCTION.

ZONING: CO, COMMERCIAL OFFICE
OVERLAY: BROADWAY/HIGH STREET HOUSING OVERLAY (614)
TAX MAP: 073W22AD08600
TAX LOT: N 1/2 LOT 10, 11-12, S 1/2 LOT 11 BLK 5

#	SHEET NAME
SP-0	COVER SHEET
SP-1	EXISTING SITE SURVEY
SP-2	ARCHITECTURAL SITE PLAN
SP-2.1	SITE DETAILS
SP-3	GRADING & UTILITY PLAN
SP-4	LANDSCAPE PLAN
SP-5	SECOND FLOOR PLAN
SP-6	THIRD FLOOR & MEZZANINE PLAN
SP-7	ELEVATIONS
SP-8	ELEVATIONS
SP-9	COURTYARD ELEVATIONS
SP-10	RENDERINGS



CBTwo

ARCHITECTS

A LIMITED LIABILITY COMPANY

500 Liberty Street SE, Suite 100
Salem, Oregon 97301
Ph: 503.480.8700 / Fx: 503.480.8701

990 BROADWAY

990 BROADWAY STREET NE
SALEM OREGON 97301

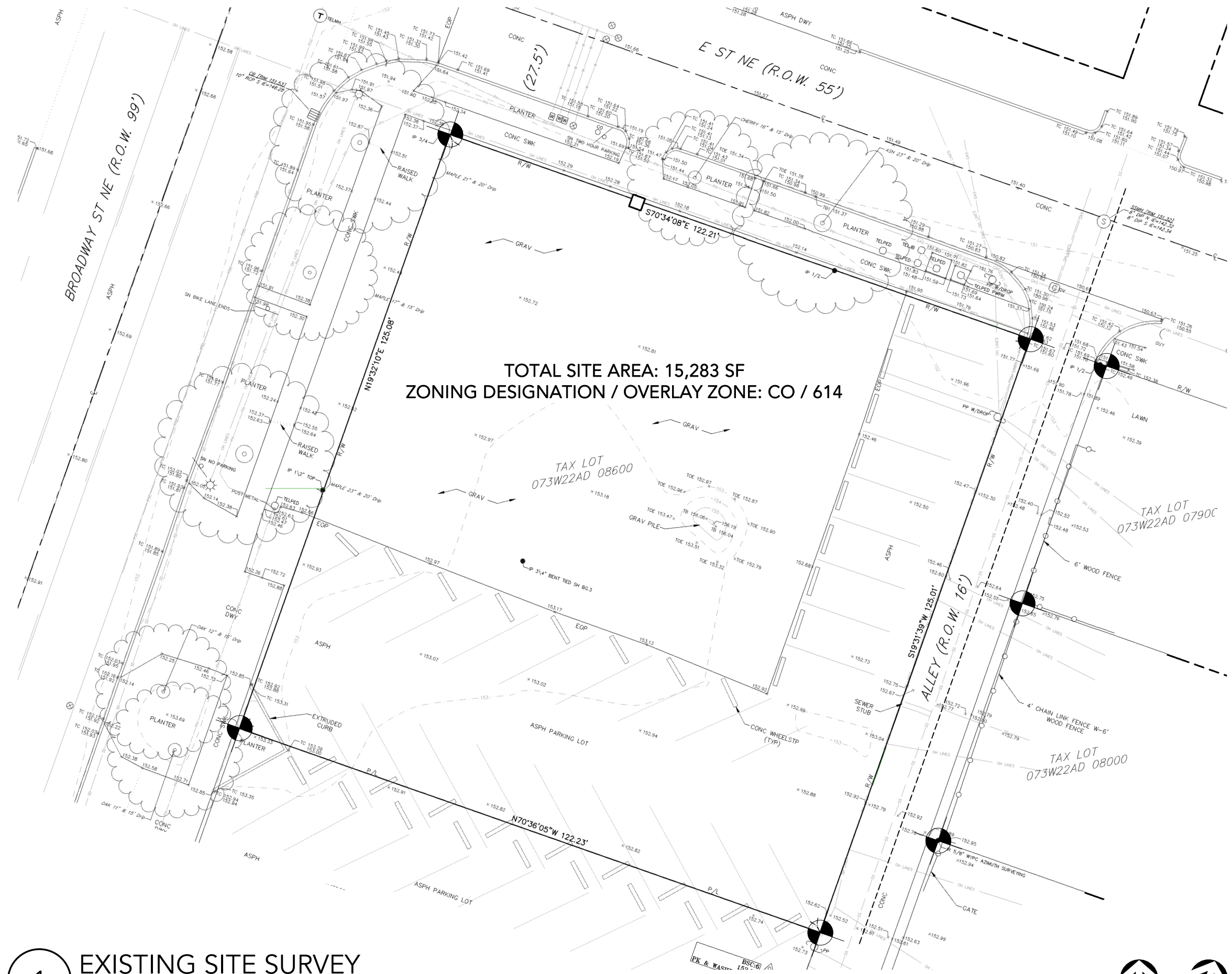
PLAN REVIEW

Date: 06.12.2019

Rev: Date:

COVER SHEET

SP-0



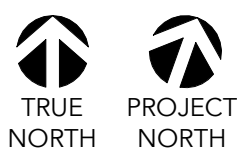
TOTAL SITE AREA: 15,283 SF
ZONING DESIGNATION / OVERLAY ZONE: CO / 614

TAX LOT
073W22AD 08600

TAX LOT
073W22AD 07900

TAX LOT
073W22AD 08000

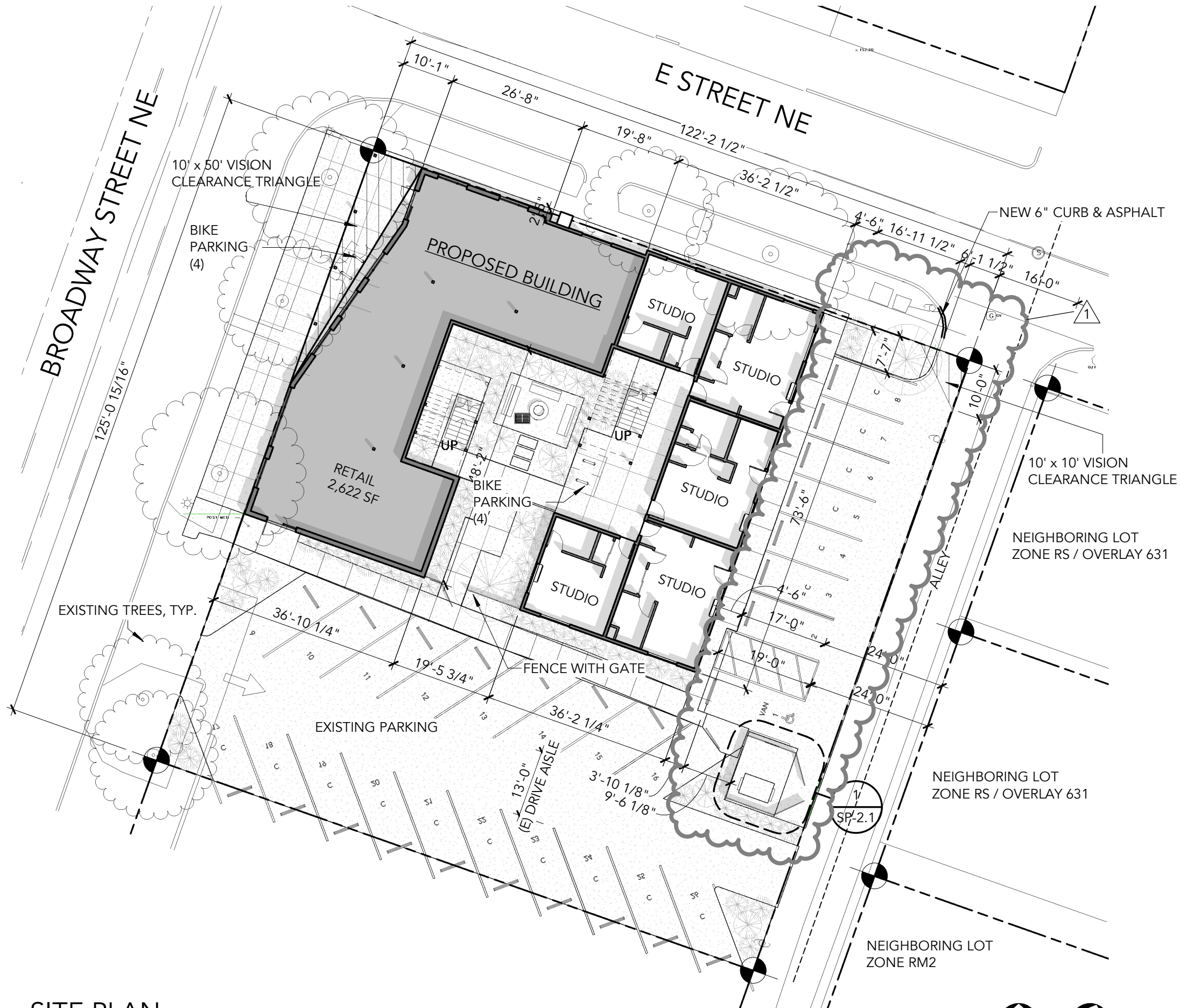
1 EXISTING SITE SURVEY
SCALE: 1" = 20'-0"



PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:

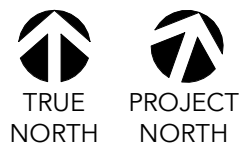
EXISTING SITE SURVEY

SP-1



SITE PLAN

SCALE: 1" = 20'-0"



SITE INFORMATION	
LOT AREA	15,283 SF
ZONE	CO - COMMERCIAL OFFICE BDWY/HIGH ST HOUSING OVERLAY ZONE
USES	MULTIPLE FAMILY RETAIL SALES AND SERVICES
# UNITS	23
LOT WIDTH	125'-1"
LOT DEPTH	122'-2"

BUILDING COVERAGE		
TYPE	AREA	%
BUILDING FOOTPRINT	4,717 SF	31%
LANDSCAPING	1,774 SF	11%
(E) PAVING AREA (NO WORK)	6,229 SF	41%
SIDEWALK	2,563 SF	17%
TOTAL SITE AREA	15,283 SF	100%

BUILDING FOOTPRINT / TOTAL SITE AREA =
4,717 / 15,283 = 31%
MAX LOT COVERAGE PER TABLE 521-5 = 60%
28% < 60%; **OK**

PARKING SCHEDULE	
TYPE	COUNT
FULL SIZE STALLS	13
ADA VAN STALL	1
COMPACT STALLS	12
TOTAL EXISTING PARKING	26

MINIMUM PARKING REQUIRED (SRC TABLE 806-1)
MULTIPLE FAMILY = 1.5 PER DWELLING UNIT
NO. OF UNITS = 23 x 1.5 = 35 SPACES REQUIRED
EATING & DRINKING EST. = 1 PER 250 SF
RETAIL SF = 2622; 2622 / 250 = 11 SPACES REQUIRED
BASE PARKING REQUIRED = 46 SPACES

REDUCTIONS (PER SRC614.020.e)	SPACES
10% BASE REDUCTION	4
TRANSIT STOP (EX.1) - 5% REDUCTION	2
COVERED BIKE PARKING - 5% RED.	2
TOTAL REDUCTIONS	8

BASE PARKING - REDUCTIONS = 46 - 8 = **38 SPACES**
TOTAL SPACES PROVIDED = 26*
*ADJUSTMENT REQUESTED

COMPACT STALLS (SRC 806.015.b):
MAXIMUM = 75% OF MINIMUM REQUIRED
26 x 75% = 20; 12 < 20; **OK**

BIKE PARKING REQUIRED (SRC TABLE 806-8):
EATING & DRINKING EST. = THE GREATER OF 4 SPACES OR 1 SPACE PER 1,000 SF
RETAIL SF = 2622; SPACES PROVIDED: 4
MULTIPLE FAMILY = GREATER OF 4 SPACES OR 0.1 SPACES PER DWELLING UNIT
SPACES PROVIDED: 4

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990 BROADWAY

990 BROADWAY STREET NE
SALEM OREGON 97301

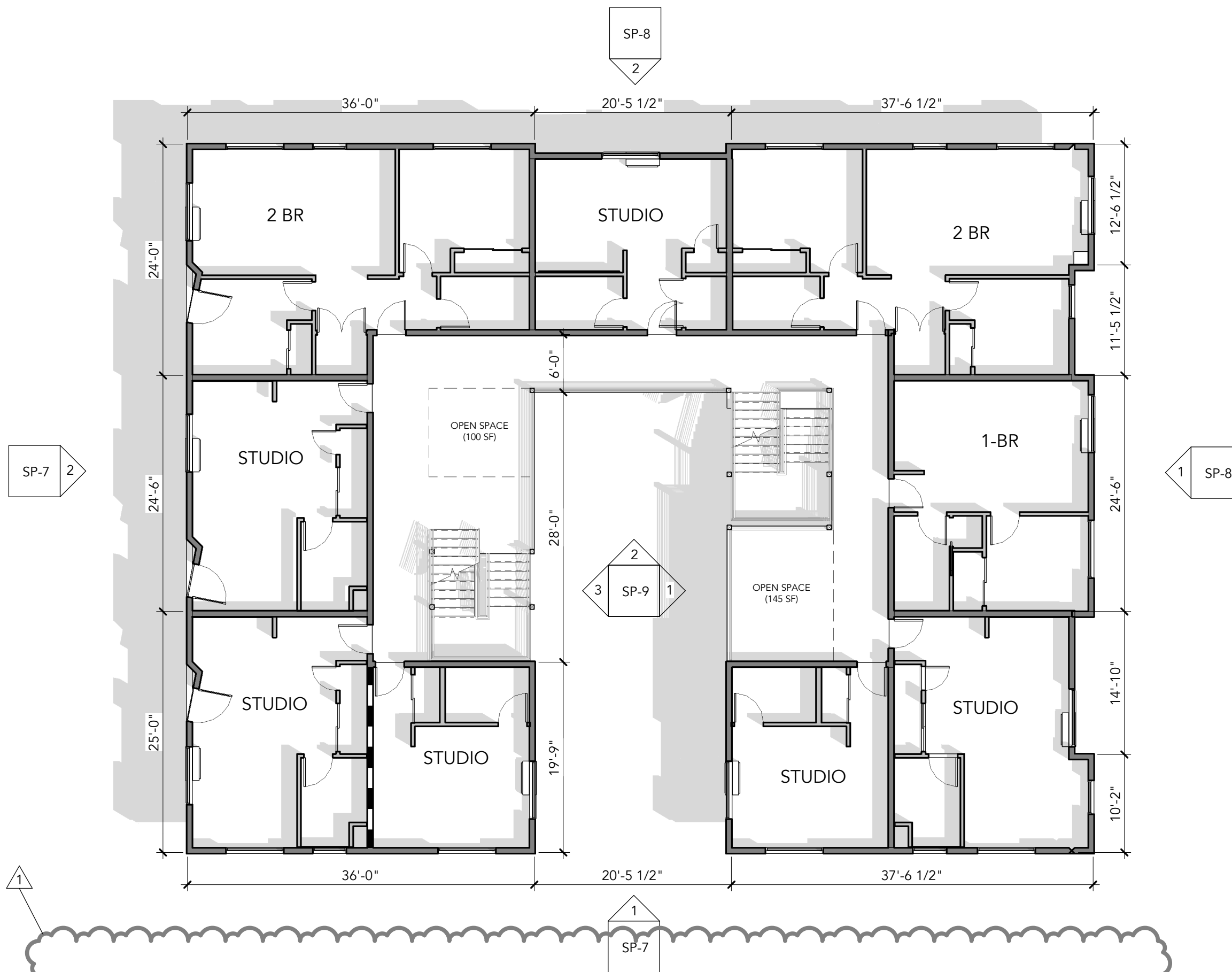
PLAN REVIEW

Date: 06.12.2019

Rev: 1 Date: 9.9.2019

ARCHITECTURAL
SITE PLAN

SP-2



SECOND LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



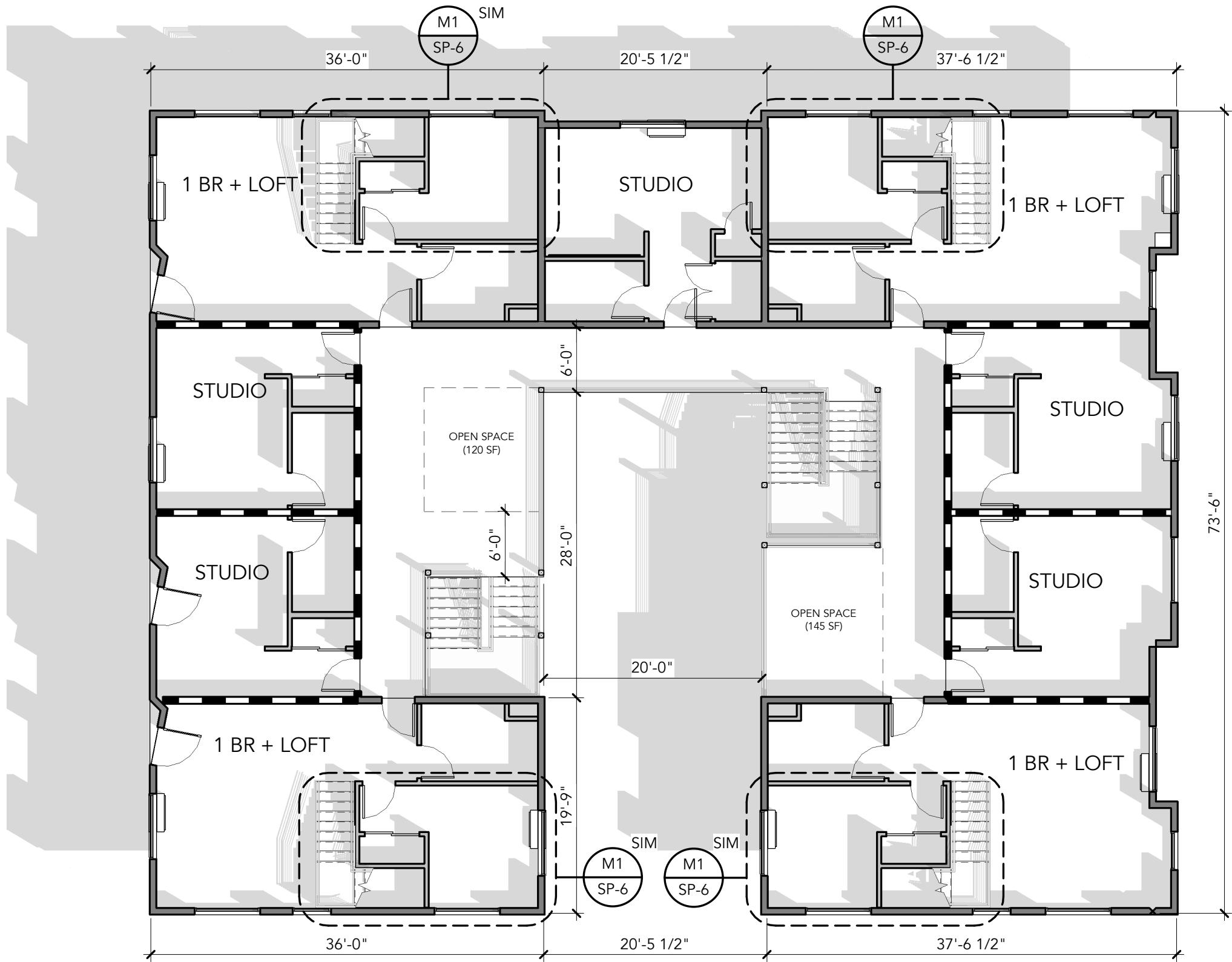
990 BROADWAY

990 BROADWAY STREET NE
SALEM OREGON 97301

PLAN REVIEW	
Date:	06.12.2019
Rev:	Date:
1	9.9.2019

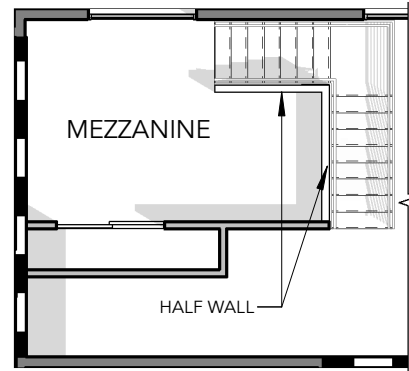
SECOND
FLOOR PLAN

SP-5



THIRD LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



TYP. MEZZ. PLAN

SCALE: 3/32" = 1'-0"

990 BROADWAY

990 BROADWAY STREET NE
 SALEM OREGON 97301

PLAN REVIEW

Date: 06.12.2019

Rev:	Date:

THIRD FLOOR &
 MEZZANINE
 PLAN

SP-6



WEST ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

COLOR & FINISH LEGEND

- A** MATERIAL: LAP SIDING
MANUF: JAMES HARDIE OR SIM.
SERIES: TBD
FINISH: SMOOTH
COLOR: DARK GRAY
- B** MATERIAL: LAP SIDING
MANUF: JAMES HARDIE OR SIM.
SERIES: TBD
FINISH: SMOOTH
COLOR: MATCH MATERIAL 'D'
- C** MATERIAL: CEDAR SIDING
MANUF: TBD
SERIES: TBD
FINISH: CLEAR
COLOR: TBD
- D** MATERIAL: MASONRY VENEER
MANUF: MUTUAL MATERIALS
SERIES: TBD
FINISH: SMOOTH
COLOR: ARCTIC WHITE
- E** MATERIAL: TRIM BOARD
MANUF: JAMES HARDIE OR SIM.
SERIES: TBD
FINISH: SMOOTH
COLOR: DARK GRAY



EAST ELEVATION

SCALE: 1/16" = 1'-0"

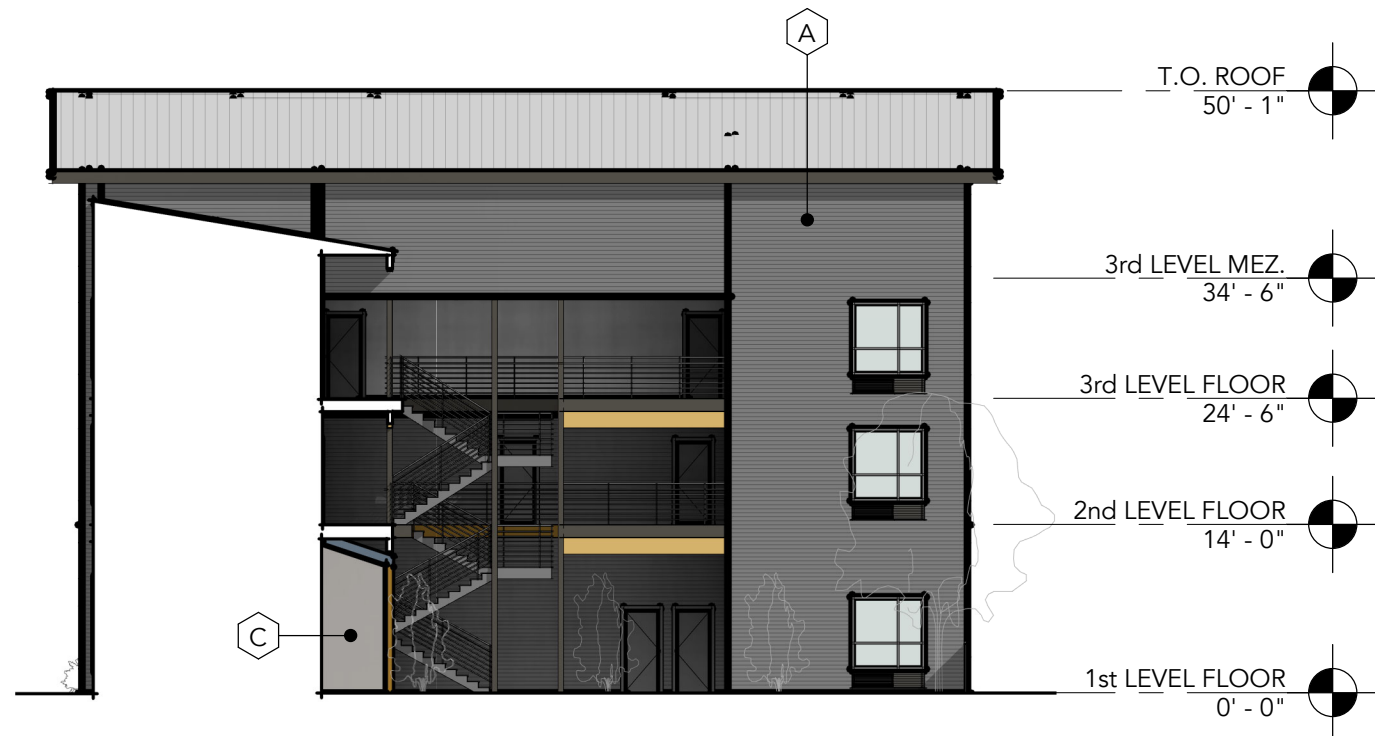


NORTH ELEVATION

SCALE: 1/16" = 1'-0"

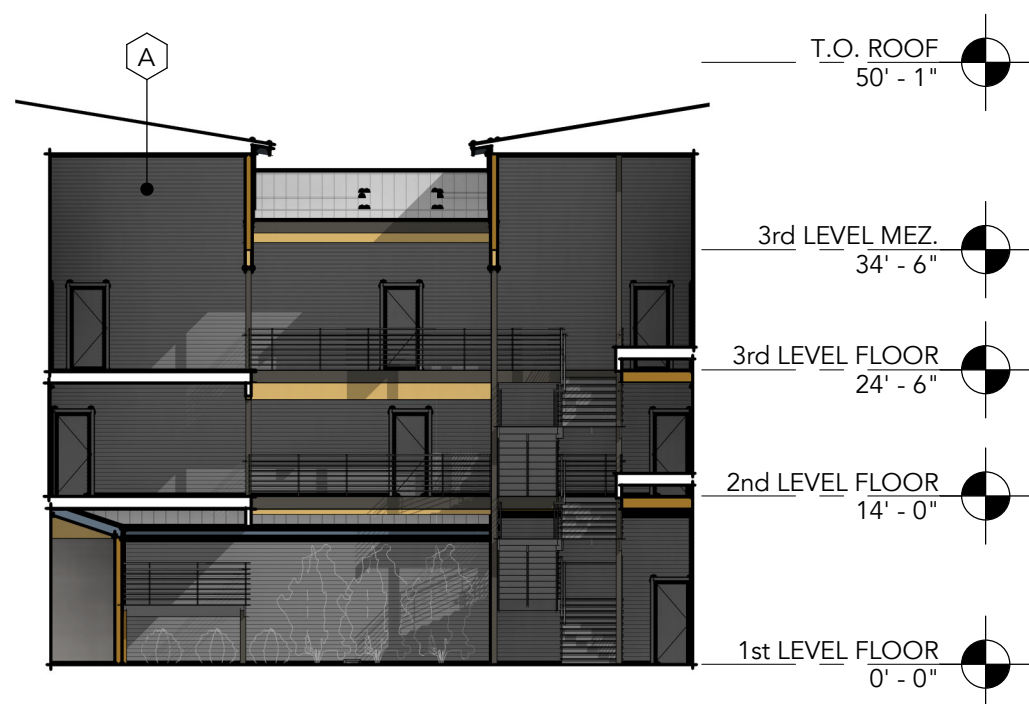
COLOR & FINISH LEGEND

- A** MATERIAL: LAP SIDING
MANUF: JAMES HARDIE OR SIM.
SERIES: TBD
FINISH: SMOOTH
COLOR: DARK GRAY
- B** MATERIAL: LAP SIDING
MANUF: JAMES HARDIE OR SIM.
SERIES: TBD
FINISH: SMOOTH
COLOR: MATCH MATERIAL 'D'
- C** MATERIAL: CEDAR SIDING
MANUF: TBD
SERIES: TBD
FINISH: CLEAR
COLOR: TBD
- D** MATERIAL: MASONRY VENEER
MANUF: MUTUAL MATERIALS
SERIES: TBD
FINISH: SMOOTH
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SERIES: TBD
FINISH: SMOOTH
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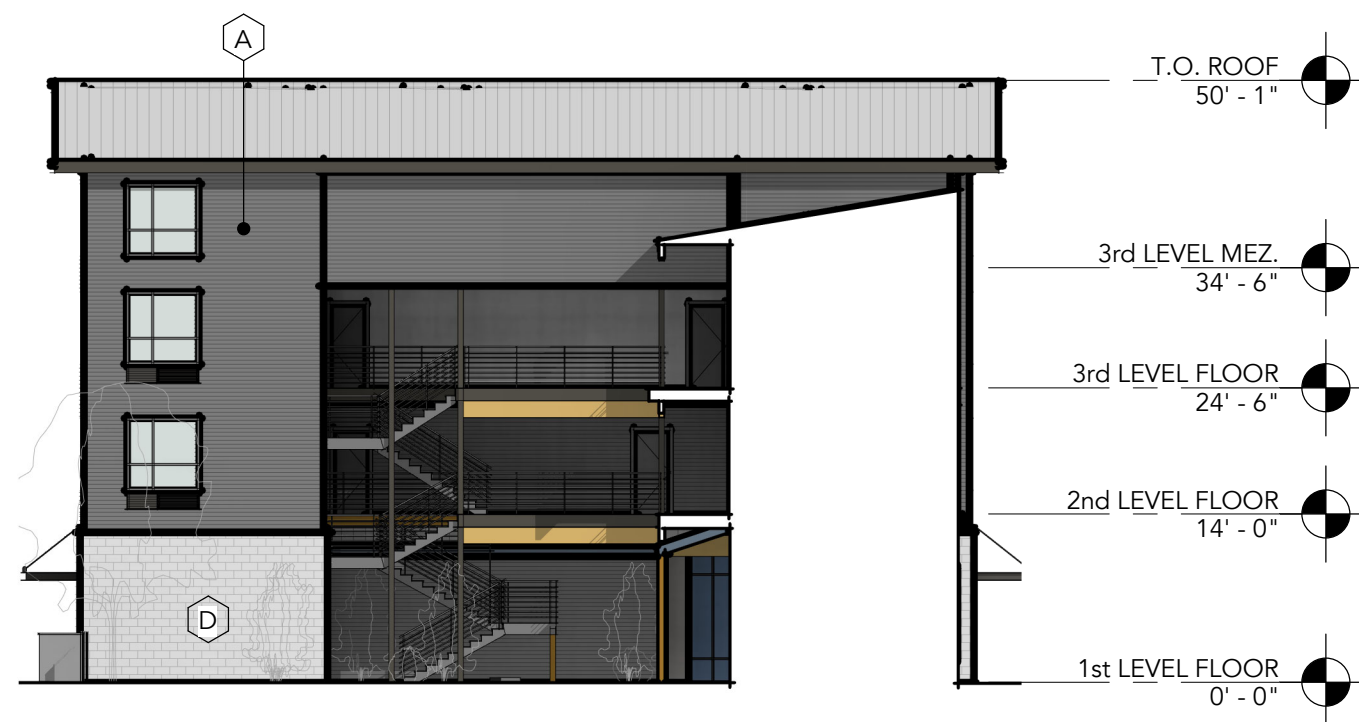
COURTYARD ELEVATION - EAST

SCALE: 1/16" = 1'-0"



COURTYARD ELEVATION - SOUTH

SCALE: 1/16" = 1'-0"



COURTYARD ELEVATION - WEST

SCALE: 1/16" = 1'-0"

COLOR & FINISH LEGEND

- A** MATERIAL: LAP SIDING
MANUF: JAMES HARDIE OR SIM.
SERIES: TBD
FINISH: SMOOTH
COLOR: DARK GRAY
- B** MATERIAL: LAP SIDING
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SERIES: TBD
FINISH: SMOOTH
COLOR: DARK GRAY



VIEW FROM BROADWAY LOOKING NORTHWEST



VIEW FROM BROADWAY LOOKING SOUTHWEST



INTERIOR COURTYARD ENTRY LOOKING SOUTH



CORNER AT BROADWAY & E STREET
