

October 1, 2019

TO: Olivia Glanz, Planner III, City of Salem Planning Division
FROM: Craig S. Hobbs & Janis D. Hobbs
RE: Comments Regarding Westwood Homes' Subdivision,
Tentative Plan for Coburn Grand View Estates

Under "criteria to be considered", page 2, item 2, we disagree with the following statement: "The tentative subdivision plan does not impede the future use or development of the property or adjacent land." We own Tax Lots 500 and 602, (R32160 and 32159) addressed as 4826 Battle Creek Road S.E., which property is immediately adjacent to Tax Lot 601, a portion of the tentative subdivision. There is a single family dwelling on our property. As explained below, there is a problem with the proximity of the proposed sewer line to the existing well that provides water to our single family dwelling.

The existing well is located on Tax Lot 601 (R32158, part of the tentative subdivision), owned by Boulder Hill LLC. With the pending 212-lot subdivision, the well is on Lot 209, adjacent to our property. See attached surveys dated 12/24/09 and 3/31/10 and the last page of the Notice of Filing for the Coburn Grand View Estates. At the time of the 12/24/09 and 3/31/10 surveys, we discovered that the fence is not on our property line and the well is west of the fence but east of the surveyed property line.

This well has been the family well since being drilled in 1976. A subsequent well extension was made in 1986. Dave Hilgemann advised us in 2010 that adverse possession may have been established as early as 1986.

Mark Grenz at MultiTech advised that installation of the sewer line in the road serving Lot 209 would not meet City codes for setback of a sewer line from an existing well.

We attempted to negotiate an agreement with the owners of Tax Lot 601 regarding this problem but have not reached an agreement. Prior to the well being abandoned by the developer, we would like some assurance that we can connect to the water line when the road arrives at Lot 209 in the future.

Please call or e-mail if you have any questions or need additional information.

Name: Craig S. Hobbs & Janis D. Hobbs
Address: 9711 Big Fir Ln NE
Bainbridge Island, WA 98110
Phone: (206) 842-5325
E-mail: cjhobbsbi@gmail.com

Date: October 1, 2019

BOUNDARY SURVEY
FOR CRAIG AND JAN HOBBS
IN S.E. 1/4 SEC. 11, T. 8 S., R. 3 W., OF THE
WILLAMETTE MERIDEN, IN THE CITY OF SALEM,
MARION COUNTY, OREGON

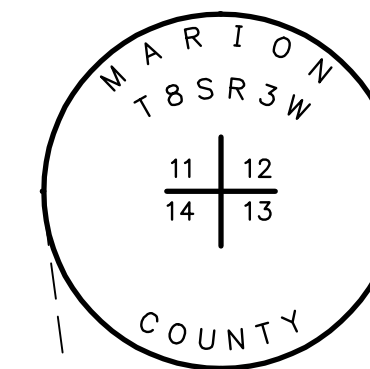
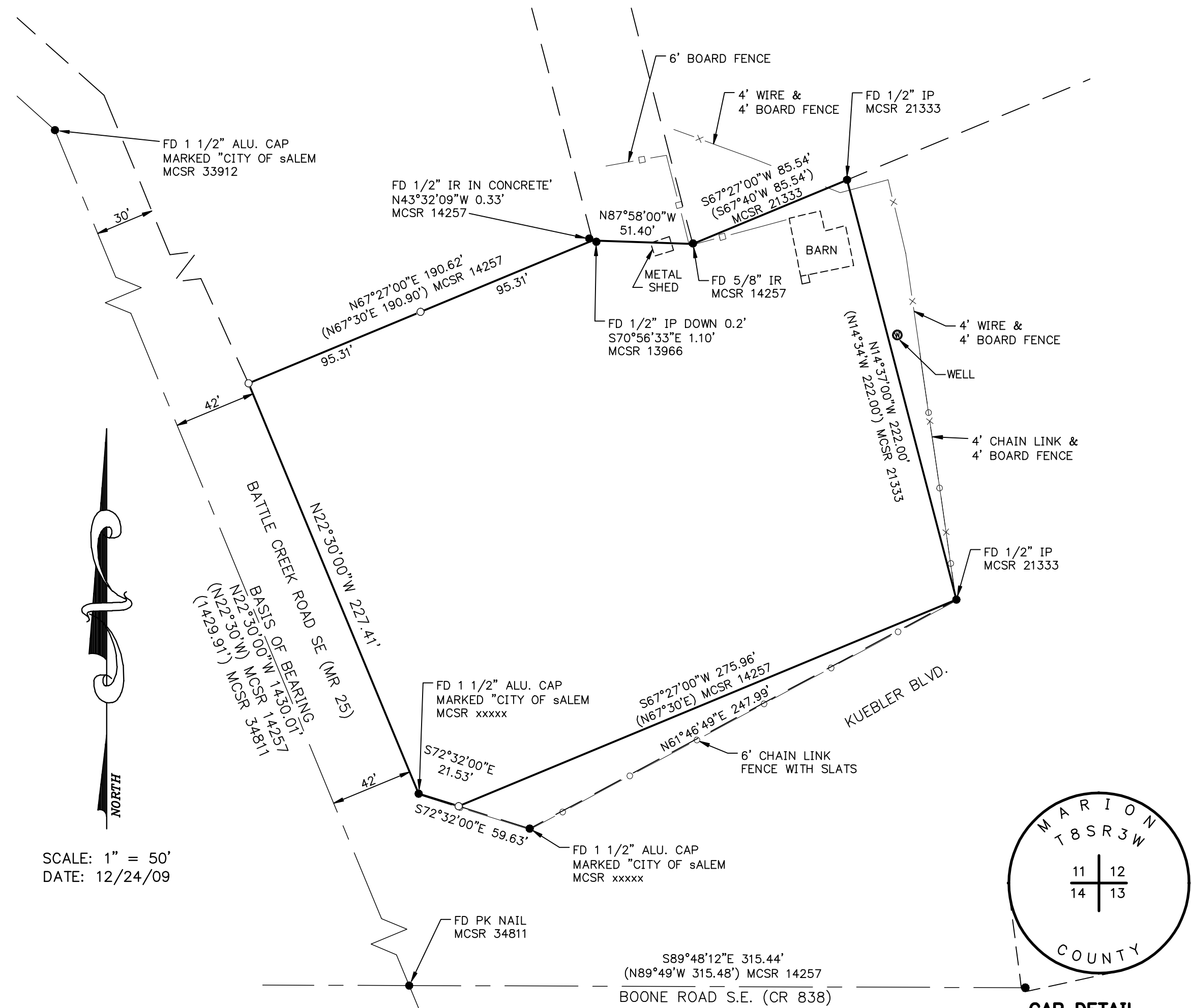
BY:
MULTI/TECH ENGINEERING SERVICES, INC.
1155 13TH ST. S.E. SALEM, OREGON 97302
503-363-9227

NOTES:
1. ALL MONUMENTS FOUND IN GOOD CONDITION AND FLUSH WITH
THE GROUND UNLESS OTHERWISE NOTED.

- = MONUMENT FOUND AS NOTED
- = SET 5/8" X 30" IRON ROD WITH YELLOW PLASTIC
CAP MARKED "MULTI/TECH ENG."
- ⊙ = SET 5/8" X 30" IRON ROD WITH ALUMINUM CAP
AT CENTERLINE OF STREETS
- ⊠ = POST MONUMENTED

- () = RECORDED BEARING & DISTANCE
- MCSR = MARION COUNTY SURVEY RECORD
- IP = IRON PIPE
- IR = IRON ROD
- P. = PAGE
- R. = REEL
- V. = VOLUME

SCALE: 1" = 50'
DATE: 12/24/09



CAP DETAIL
FD 3" BRASS CAP
DOWN 8" IN MONUMENT BOX

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 13, 2004
ROBERT D. HAMMAN
64202LS

EXPIRES: 6-30-2011