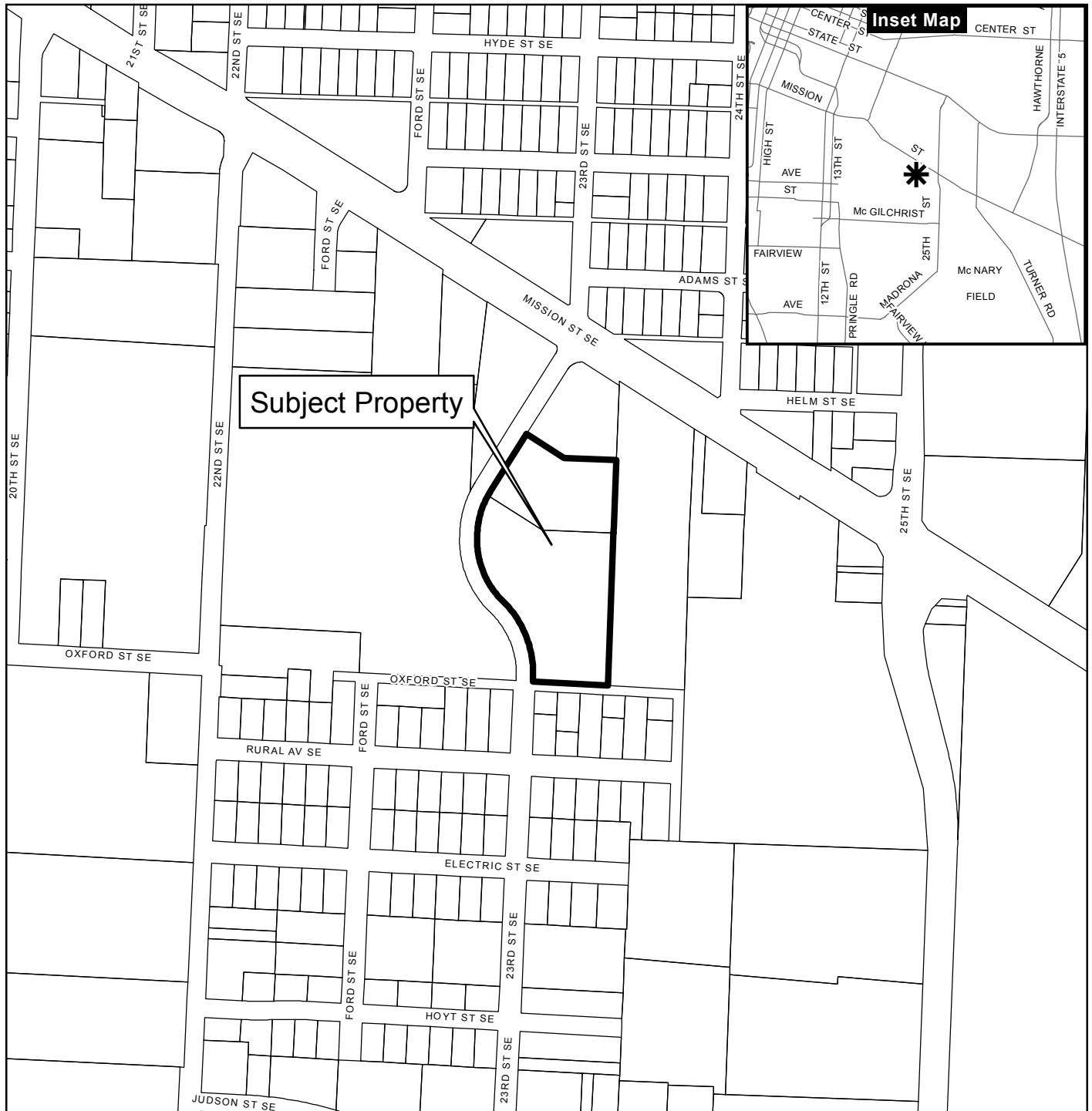


Vicinity Map

1700-1800 Block of 23rd Street SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

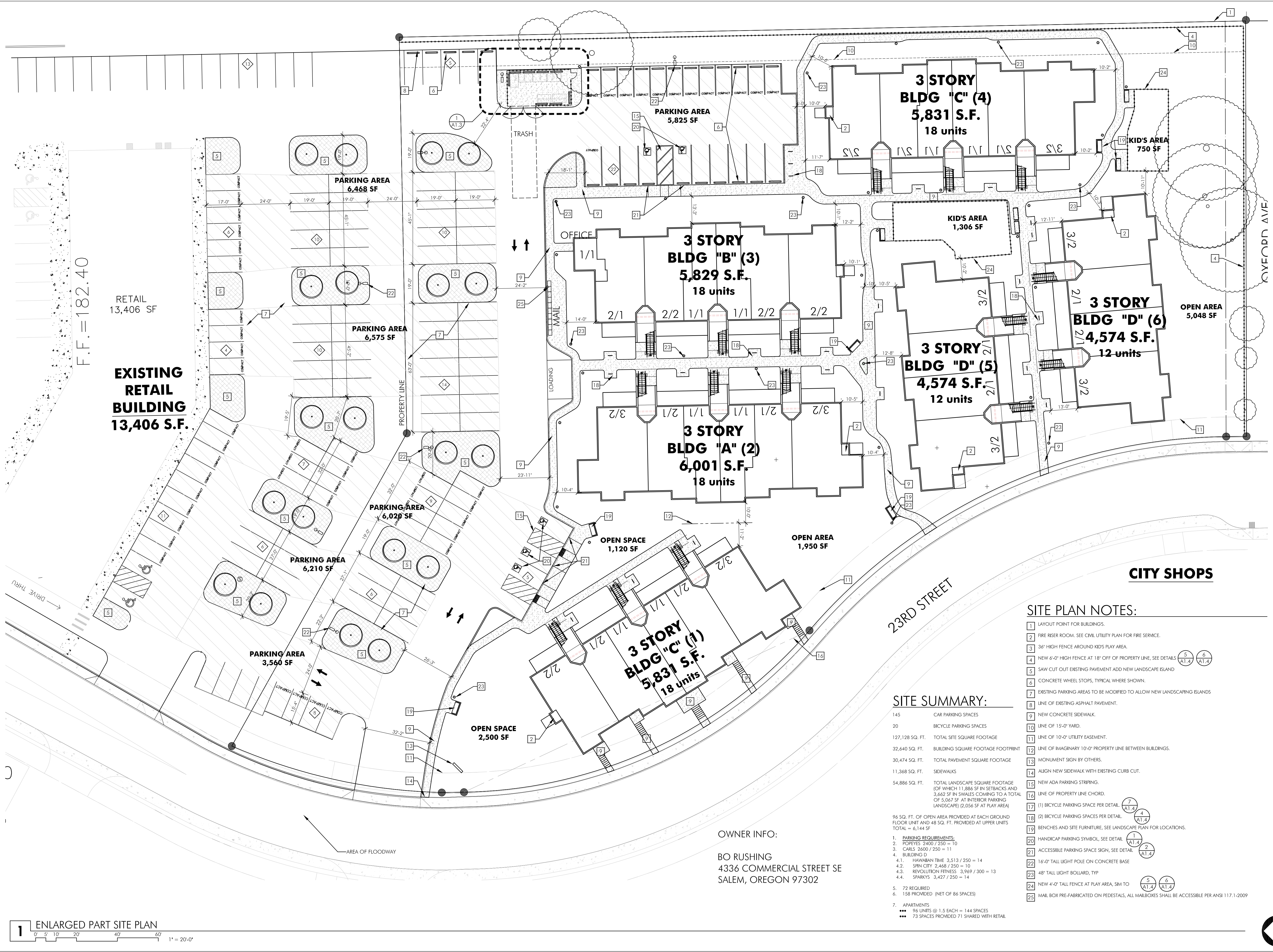
- Parks

CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.

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0 100 200 400 Feet





RETAIL
13,406 SF

EXISTING
RETAIL
BUILDING
13,406 S.F.

F.F.=182.40

OWNER INFO:

BO RUSHING
4336 COMMERCIAL STREET SE
SALEM, OREGON 97302

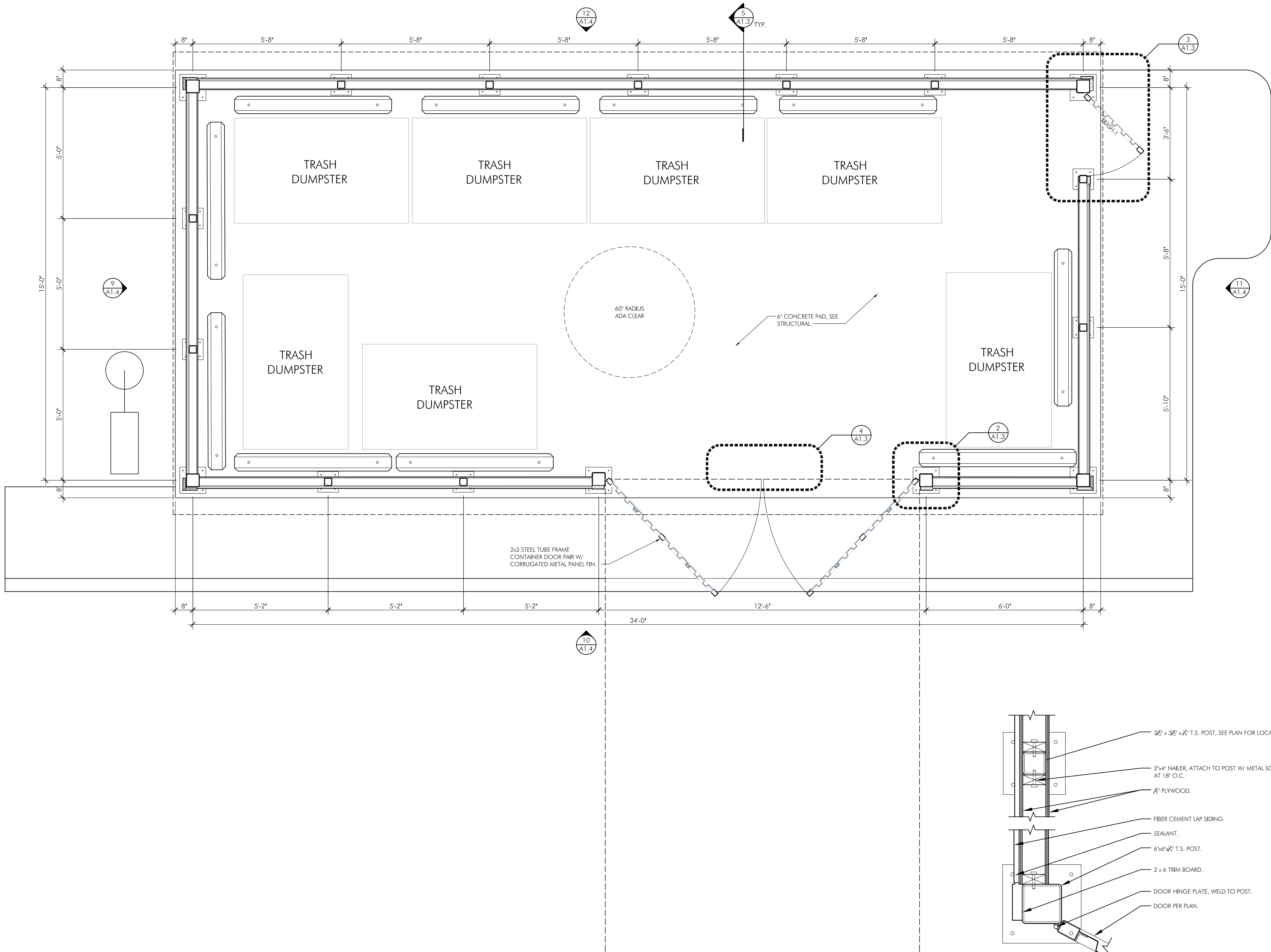
SITE SUMMARY:

145	CAR PARKING SPACES
20	BICYCLE PARKING SPACES
127,128 SQ. FT.	TOTAL SITE SQUARE FOOTAGE
32,640 SQ. FT.	BUILDING SQUARE FOOTAGE FOOTPRINT
30,474 SQ. FT.	TOTAL PAVEMENT SQUARE FOOTAGE
11,368 SQ. FT.	SIDEWALKS
54,886 SQ. FT.	TOTAL LANDSCAPE SQUARE FOOTAGE (OF WHICH 11,886 SF IN SETBACKS AND 3,662 SF IN SWALES COMING TO A TOTAL OF 5,067 SF AT INTERIOR PARKING LANDSCAPE) (2,056 SF AT PLAY AREA)
96 SQ. FT. OF OPEN AREA PROVIDED AT EACH GROUND FLOOR UNIT AND 48 SQ. FT. PROVIDED AT UPPER UNITS TOTAL = 6,144 SF	
1. PARKING REQUIREMENTS:	
2. POPEYES: 2400 / 250 = 10	
3. CARLS: 2600 / 250 = 11	
4. BUILDING D	
4.1. HAWABIAN TIME: 3,513 / 250 = 14	
4.2. SPRN CITY: 2,468 / 250 = 10	
4.3. REVOLUTION FITNESS: 3,969 / 300 = 13	
4.4. SPARKYS: 3,427 / 250 = 14	
5. 72 REQUIRED	
6. 158 PROVIDED (NET OF 86 SPACES)	
7. APARTMENTS	
96 UNITS @ 1.5 EACH = 144 SPACES	
73 SPACES PROVIDED 71 SHARED WITH RETAIL	

SITE PLAN NOTES:

- LAYOUT POINT FOR BUILDINGS.
- FIRE RISER ROOM. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- 36" HIGH FENCE AROUND KID'S PLAY AREA.
- NEW 6'-0" HIGH FENCE AT 18" OFF OF PROPERTY LINE. SEE DETAILS (5) (6) (A1.4) (A1.4)
- SAW CUT OUT EXISTING PAVEMENT ADD NEW LANDSCAPE ISLAND
- CONCRETE WHEEL STOPS, TYPICAL WHERE SHOWN.
- EXISTING PARKING AREAS TO BE MODIFIED TO ALLOW NEW LANDSCAPING ISLANDS
- LINE OF EXISTING ASPHALT PAVEMENT.
- NEW CONCRETE SIDEWALK.
- LINE OF 15'-0" YARD.
- LINE OF 10'-0" UTILITY EASEMENT.
- LINE OF IMAGINARY 10'-0" PROPERTY LINE BETWEEN BUILDINGS.
- MONUMENT SIGN BY OTHERS.
- ALIGN NEW SIDEWALK WITH EXISTING CURB CUT.
- NEW ADA PARKING STRIPING.
- LINE OF PROPERTY LINE CHORD.
- (1) BICYCLE PARKING SPACE PER DETAIL (7) (A1.4)
- (2) BICYCLE PARKING SPACES PER DETAIL (4) (A1.4)
- BENCHES AND SITE FURNITURE, SEE LANDSCAPE PLAN FOR LOCATIONS.
- HANDICAP PARKING SYMBOL, SEE DETAIL (1) (A1.4) (2) (A1.4)
- ACCESSIBLE PARKING SPACE SIGN, SEE DETAIL (2) (A1.4)
- 16'-0" TALL LIGHT POLE ON CONCRETE BASE
- 48" TALL LIGHT BOLLARD, TYP
- NEW 4'-0" TALL FENCE AT PLAY AREA, SIM TO (5) (6) (A1.4) (A1.4)
- MAIL BOX PRE-FABRICATED ON PEDESTALS, ALL MAILBOXES SHALL BE ACCESSIBLE PER ANSI 117.1-2009

1 ENLARGED PART SITE PLAN
0' 5' 10' 20' 40' 60'
1" = 20'-0"



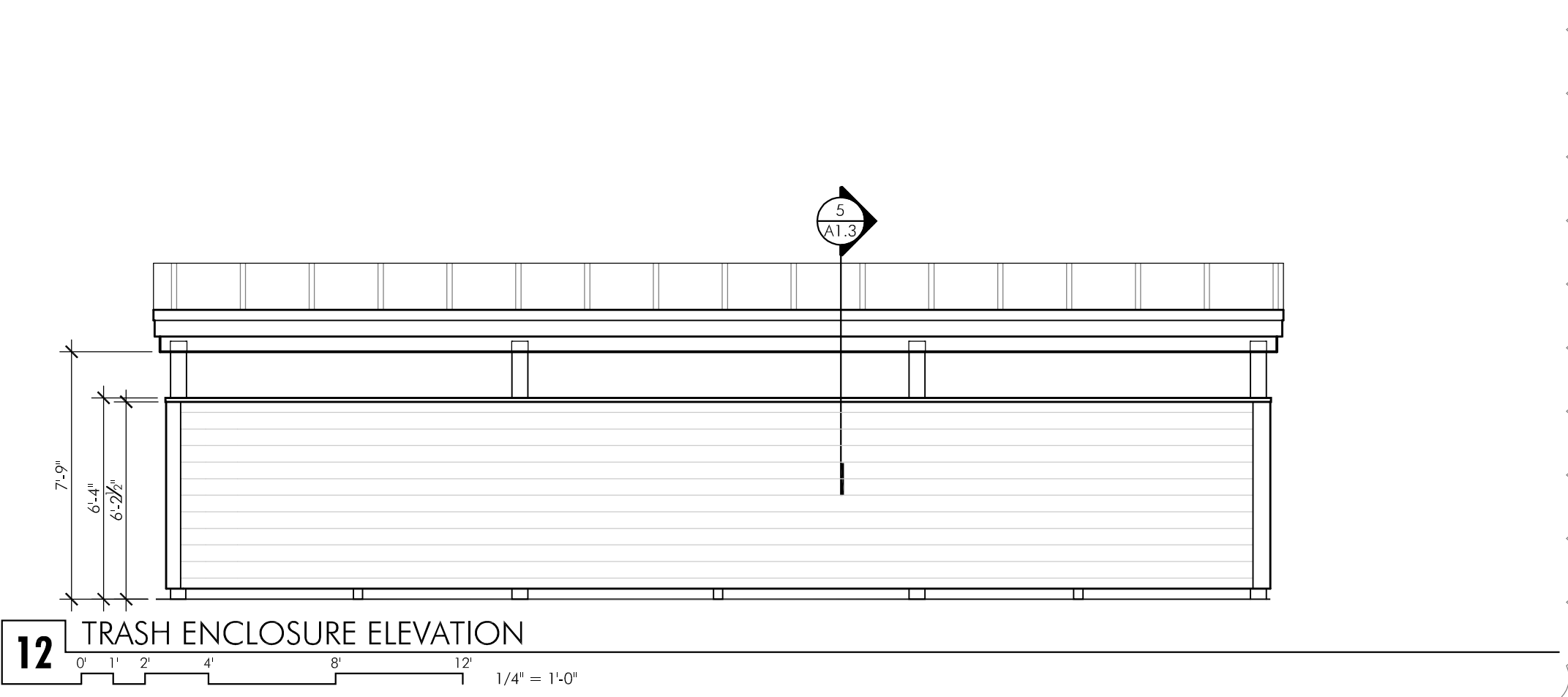
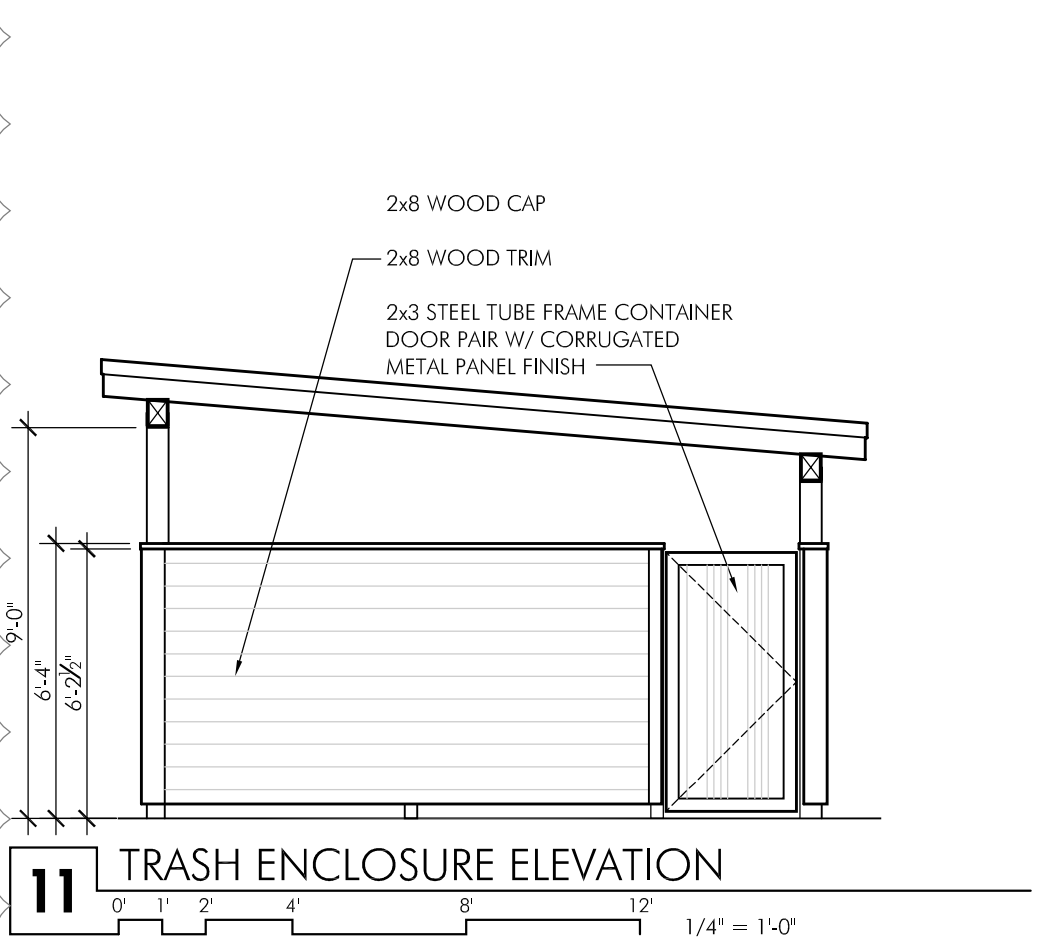
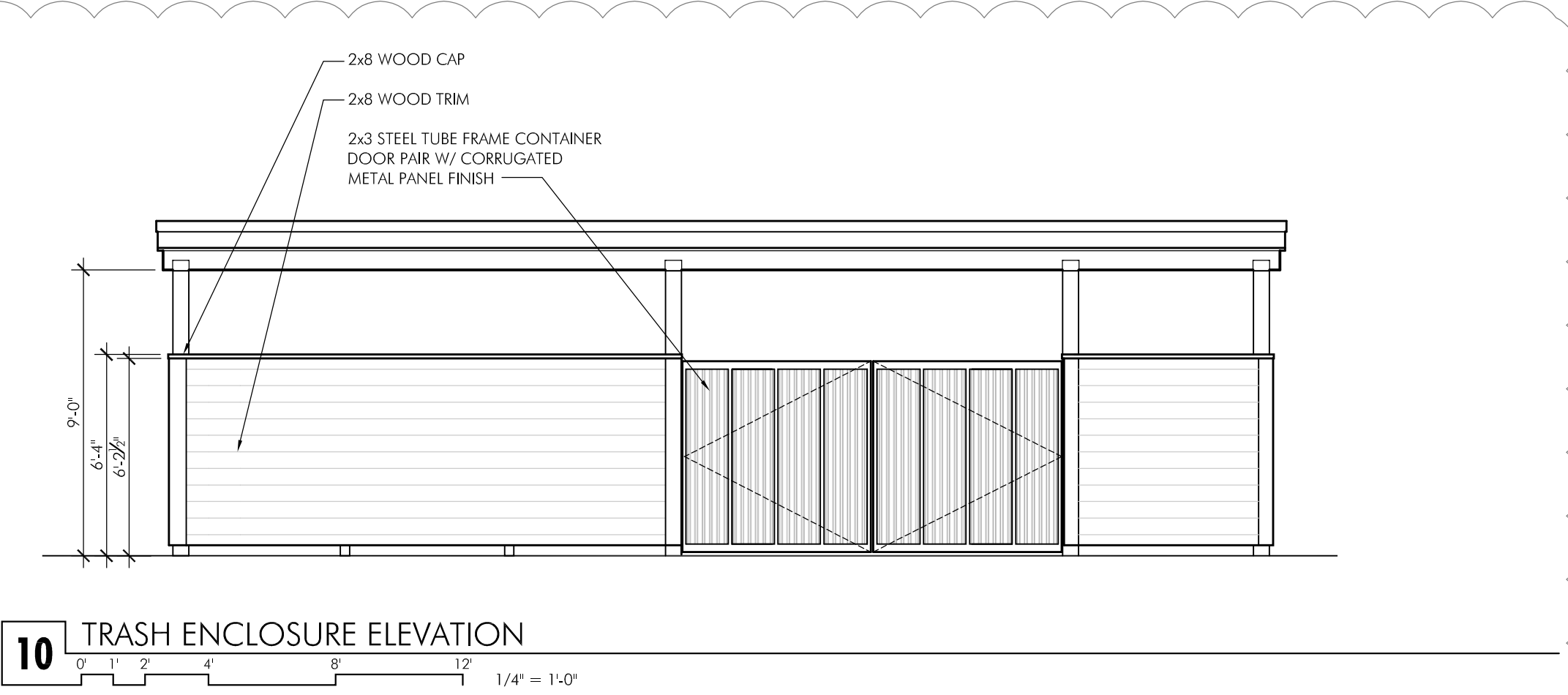
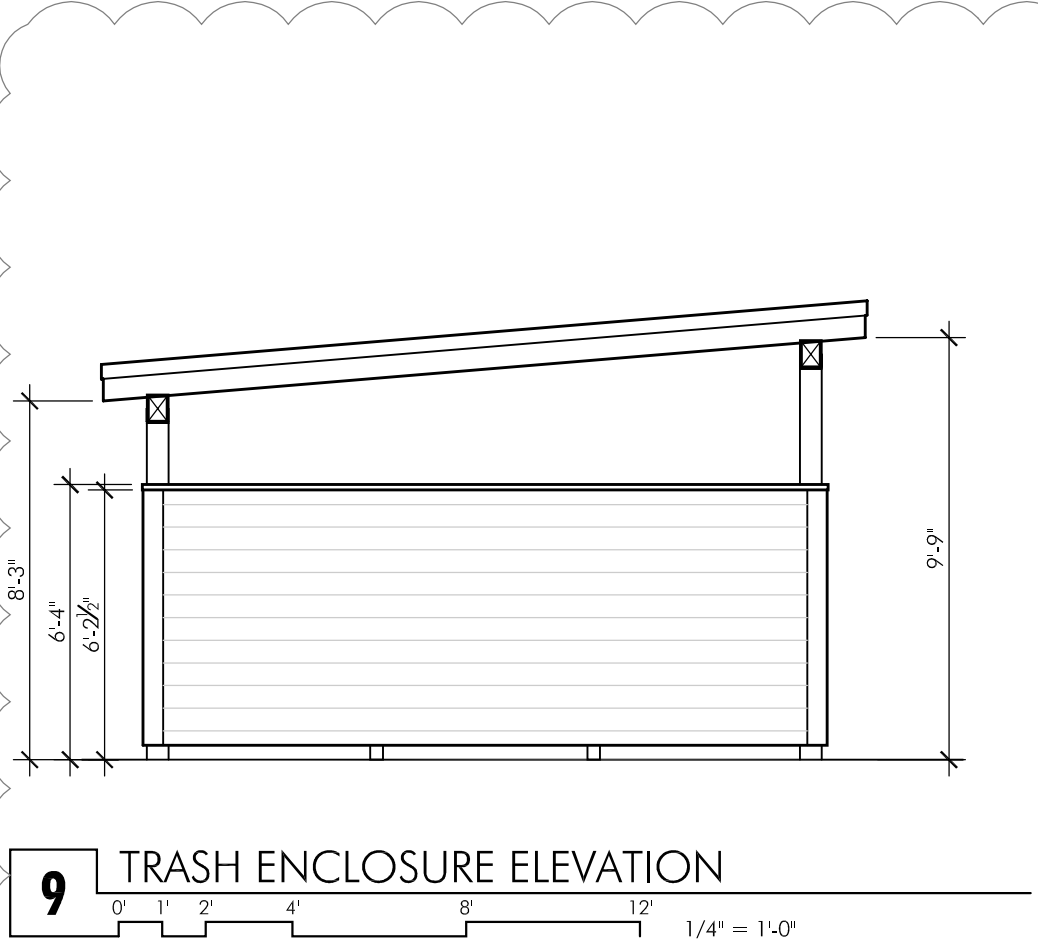
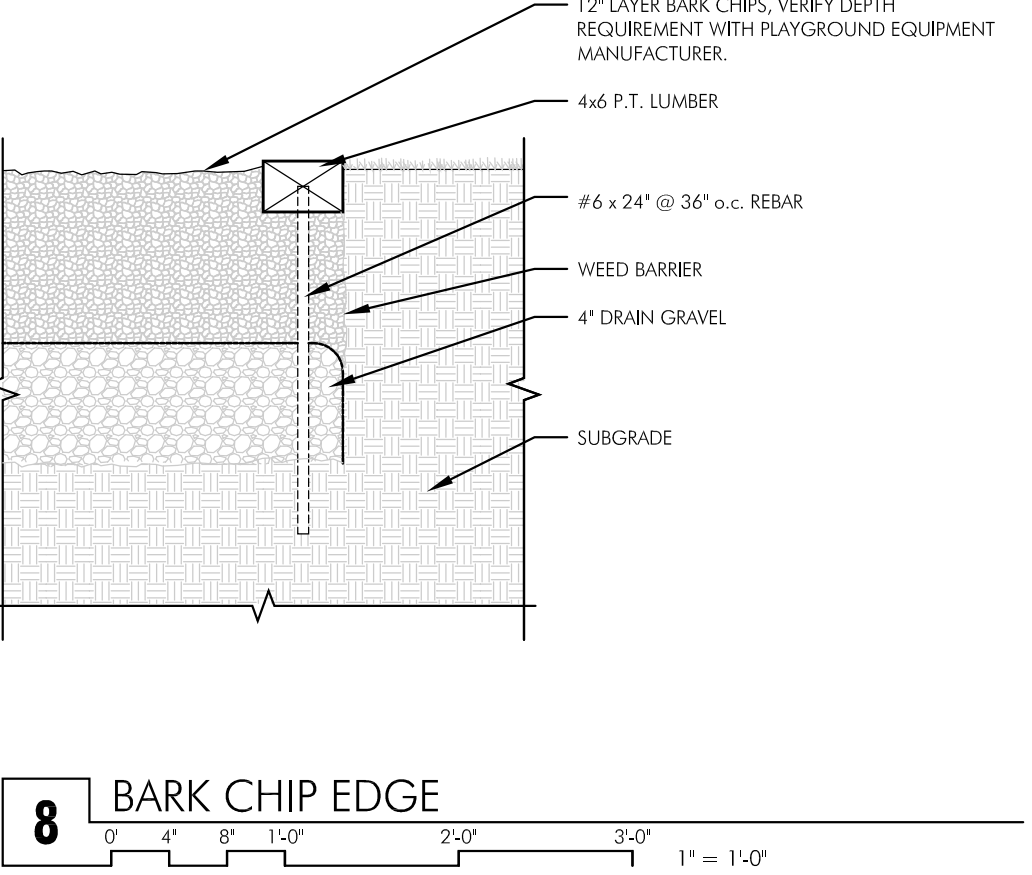
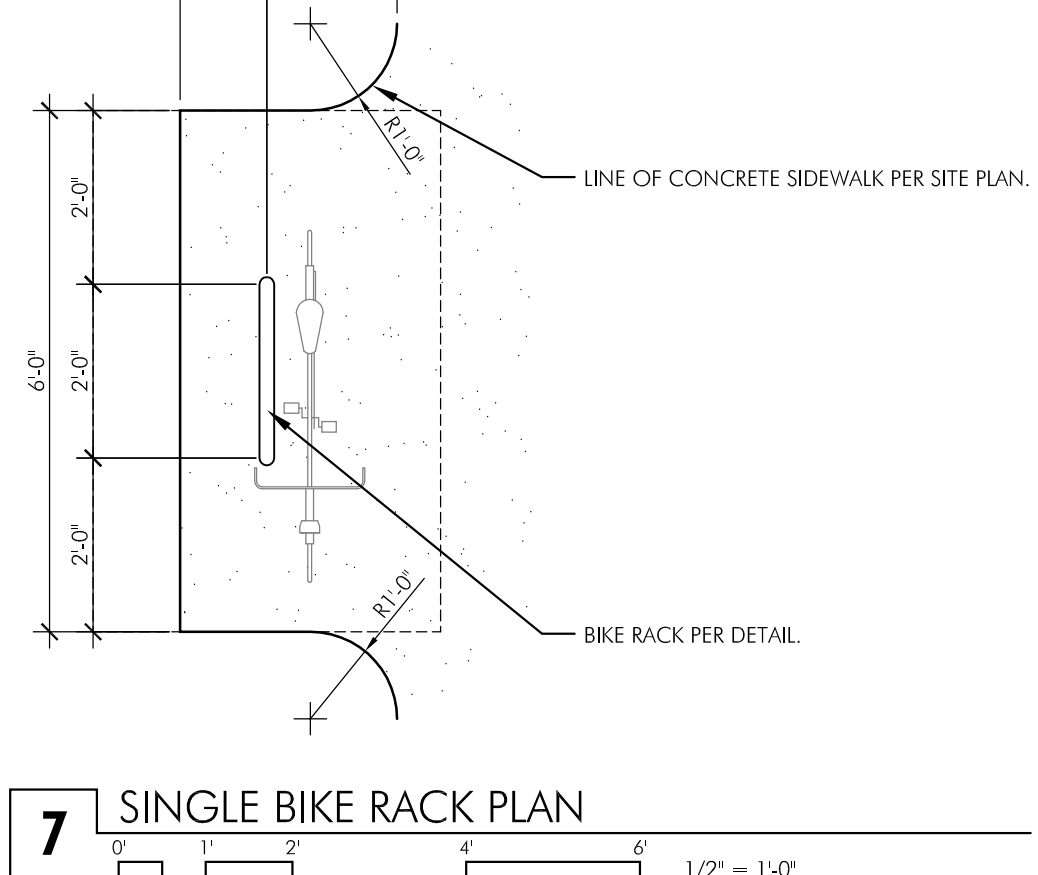
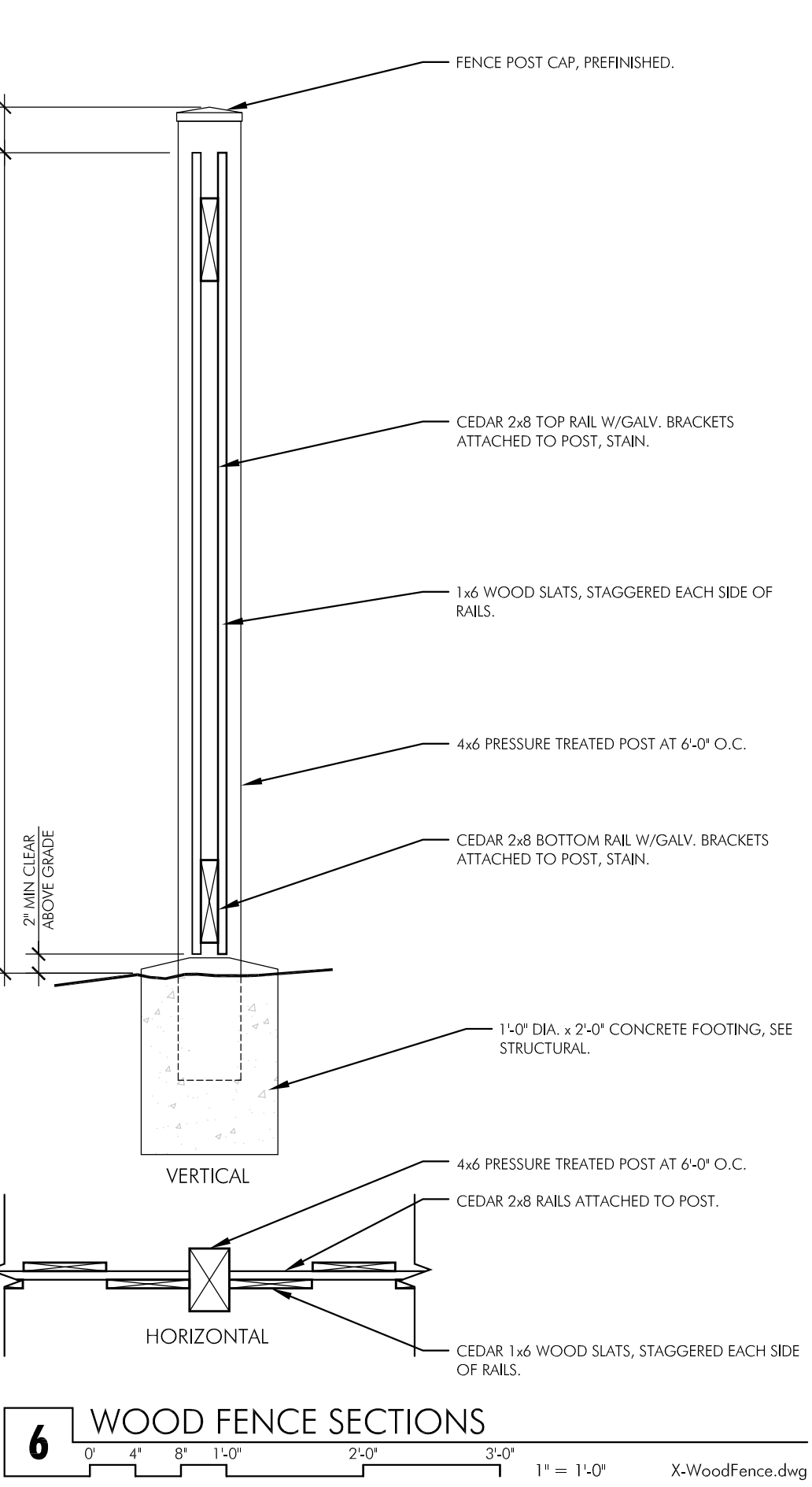
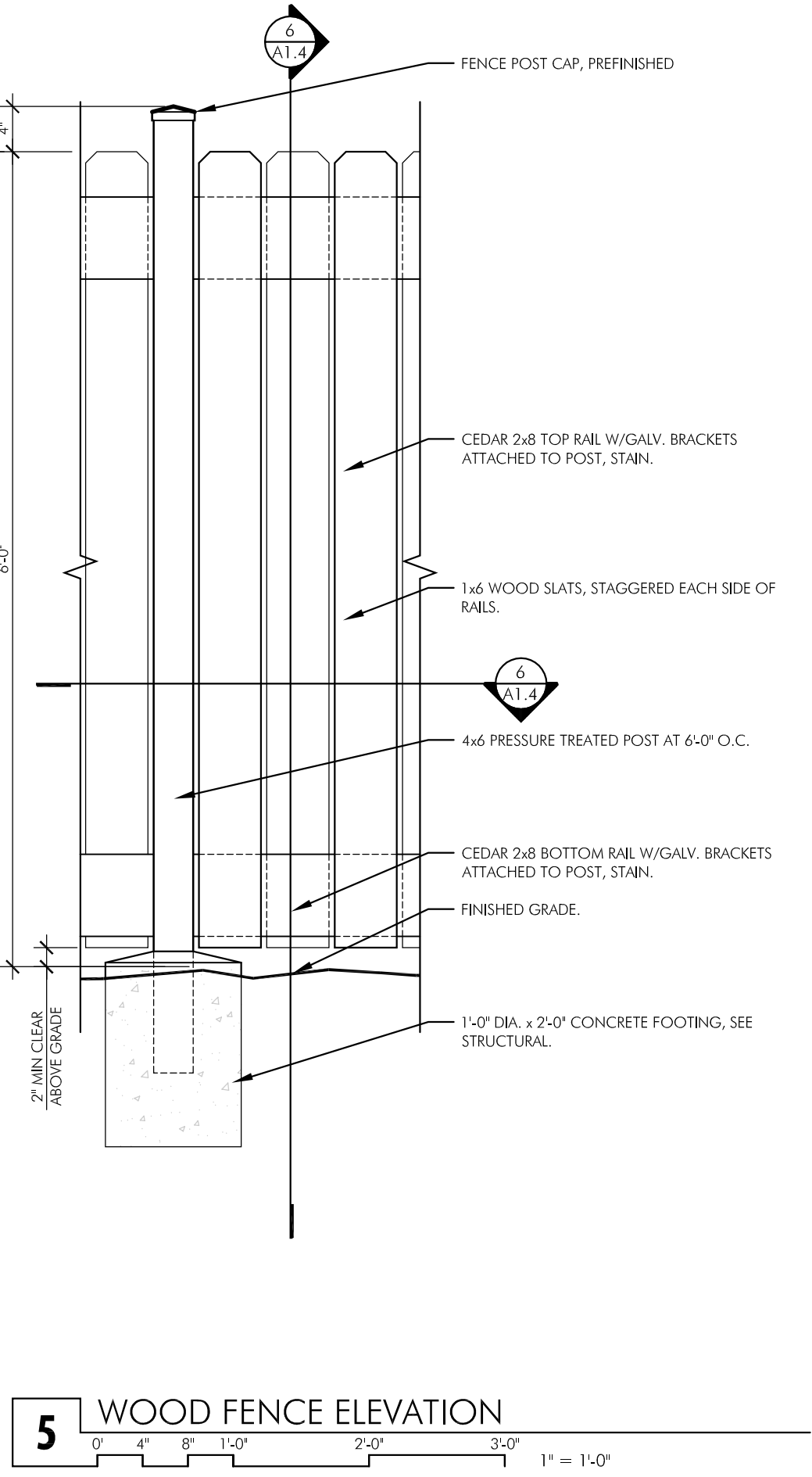
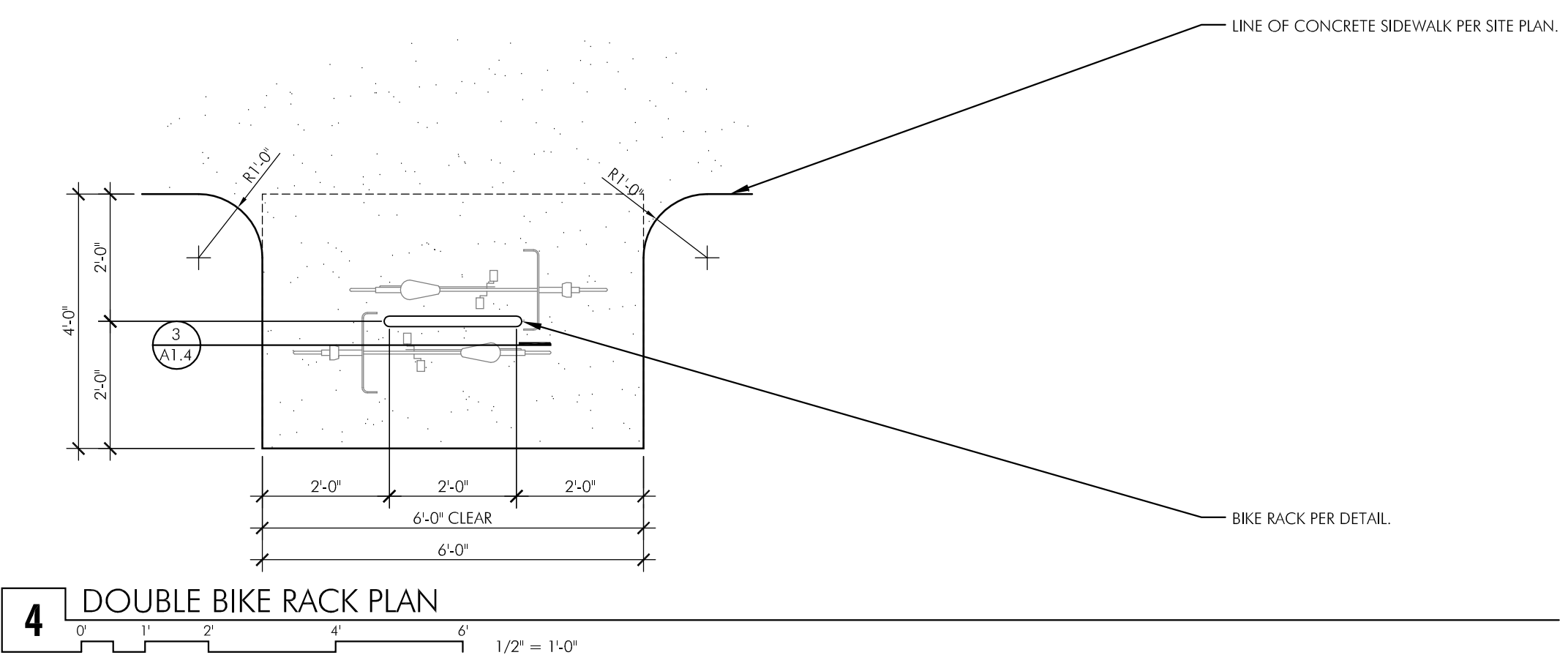
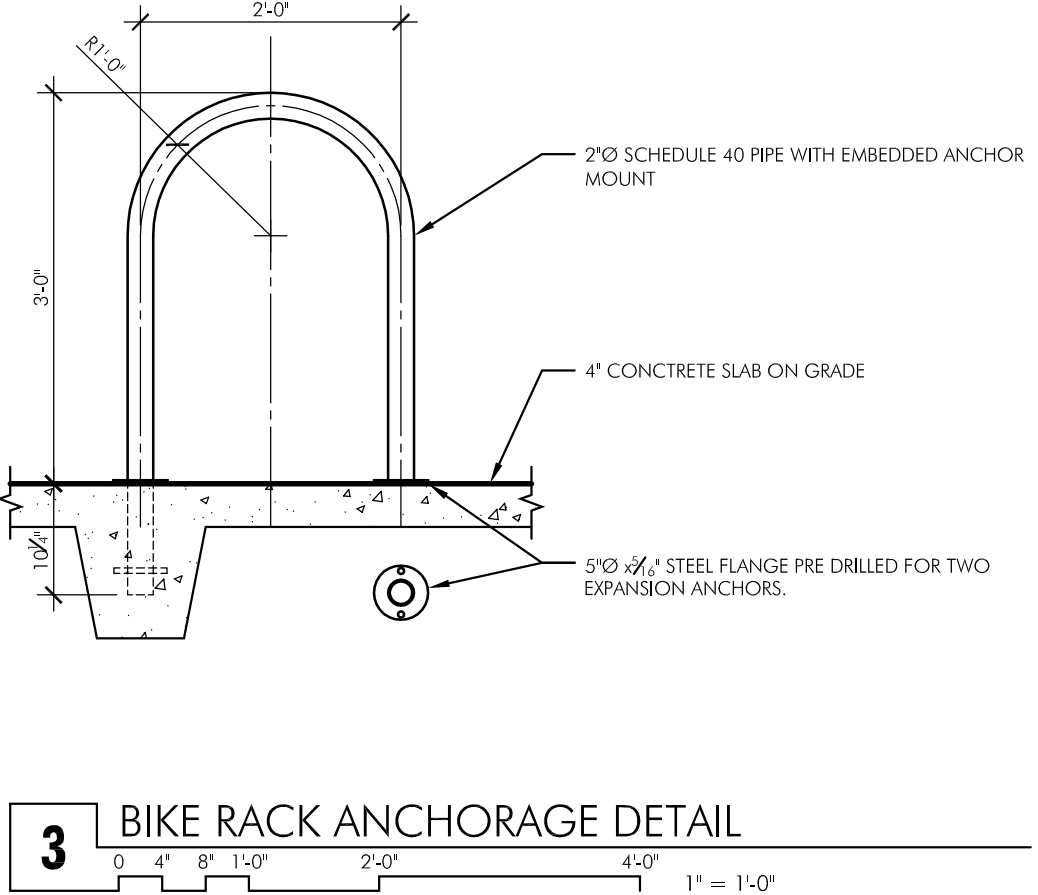
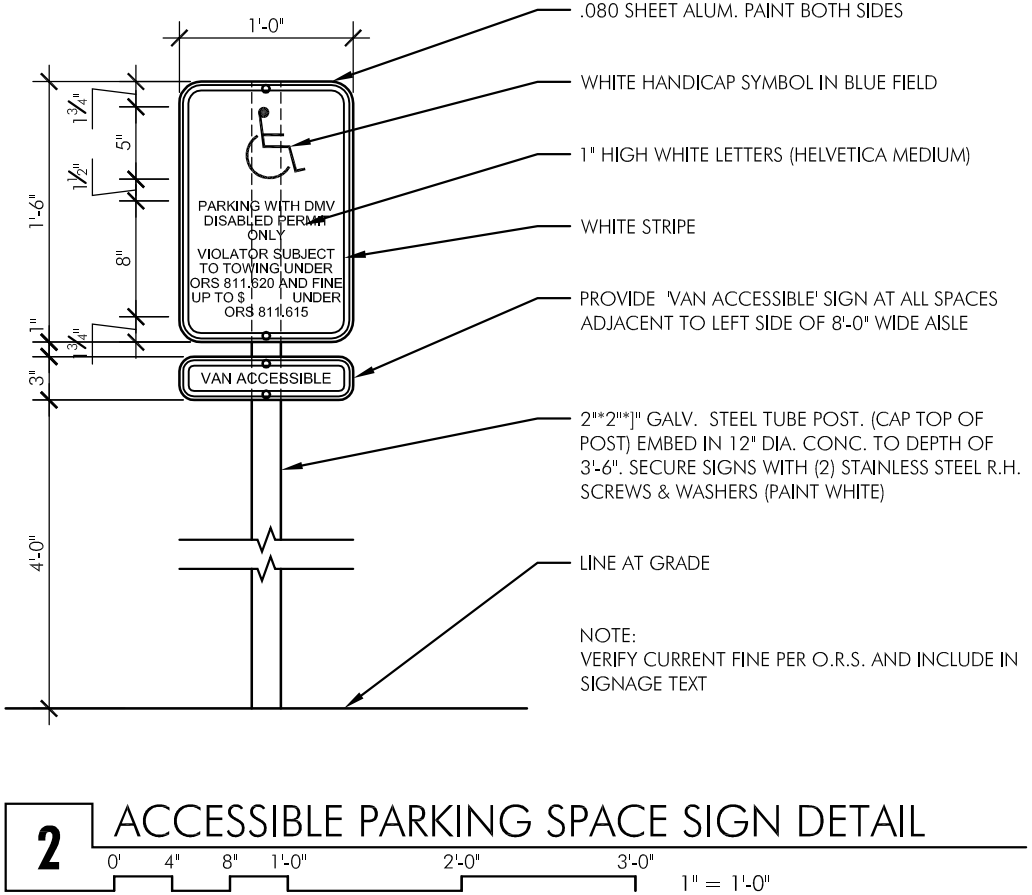
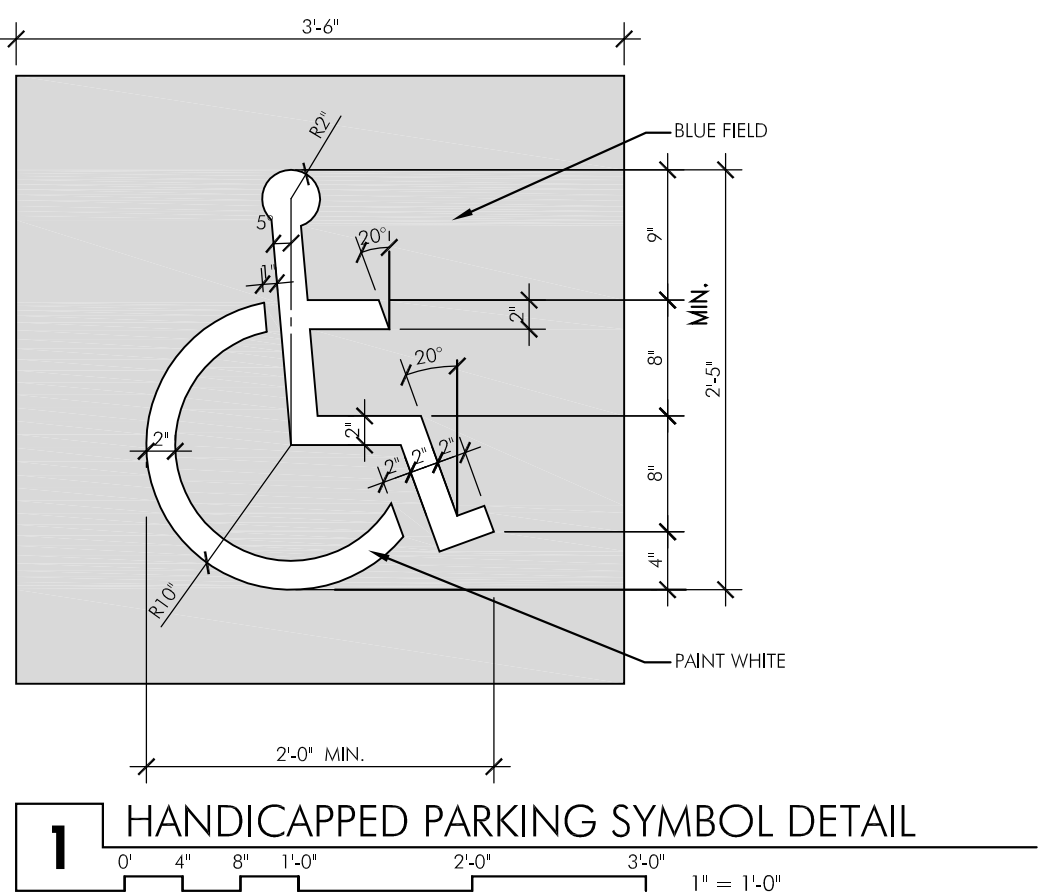
1 TRASH ENCLOSURE PLAN

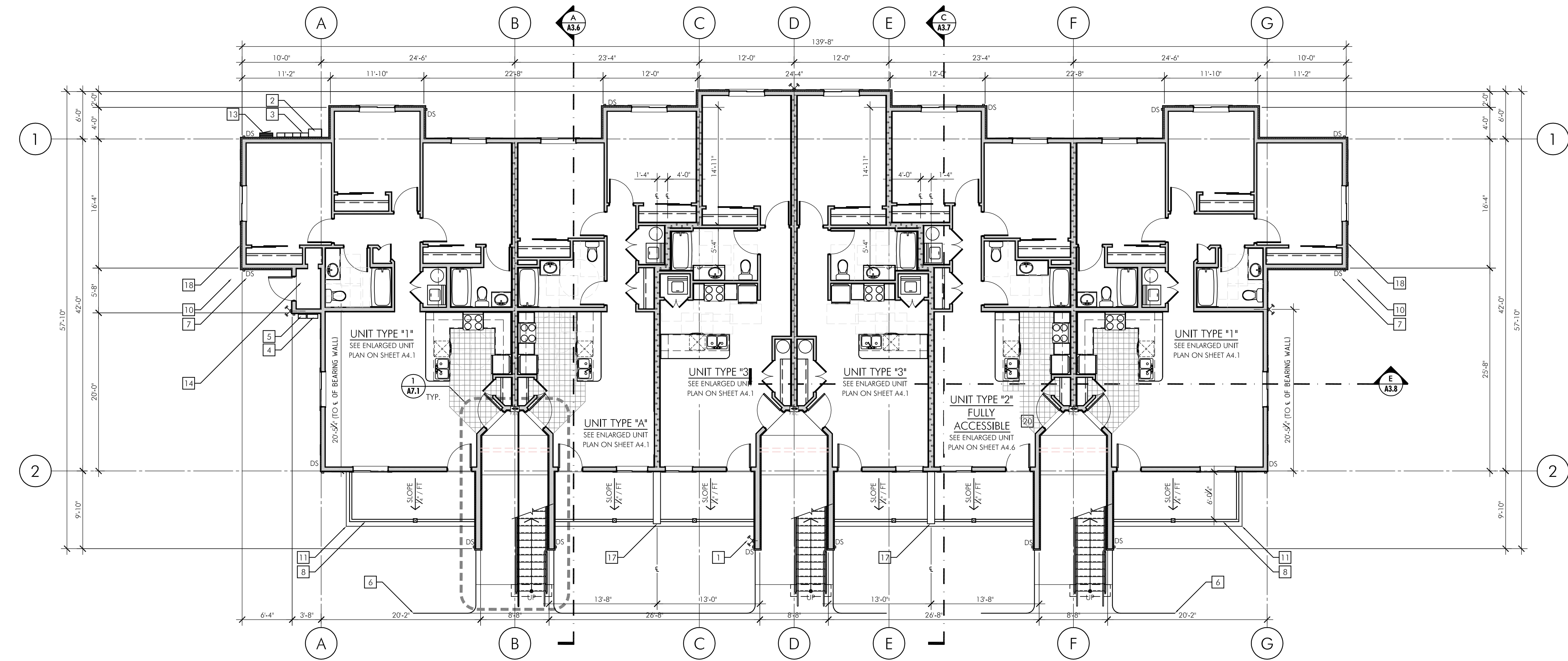
2 TRASH ENCLOSURE CORNER DETAIL

3 TRASH ENCLOSURE MAN DOOR DETAIL

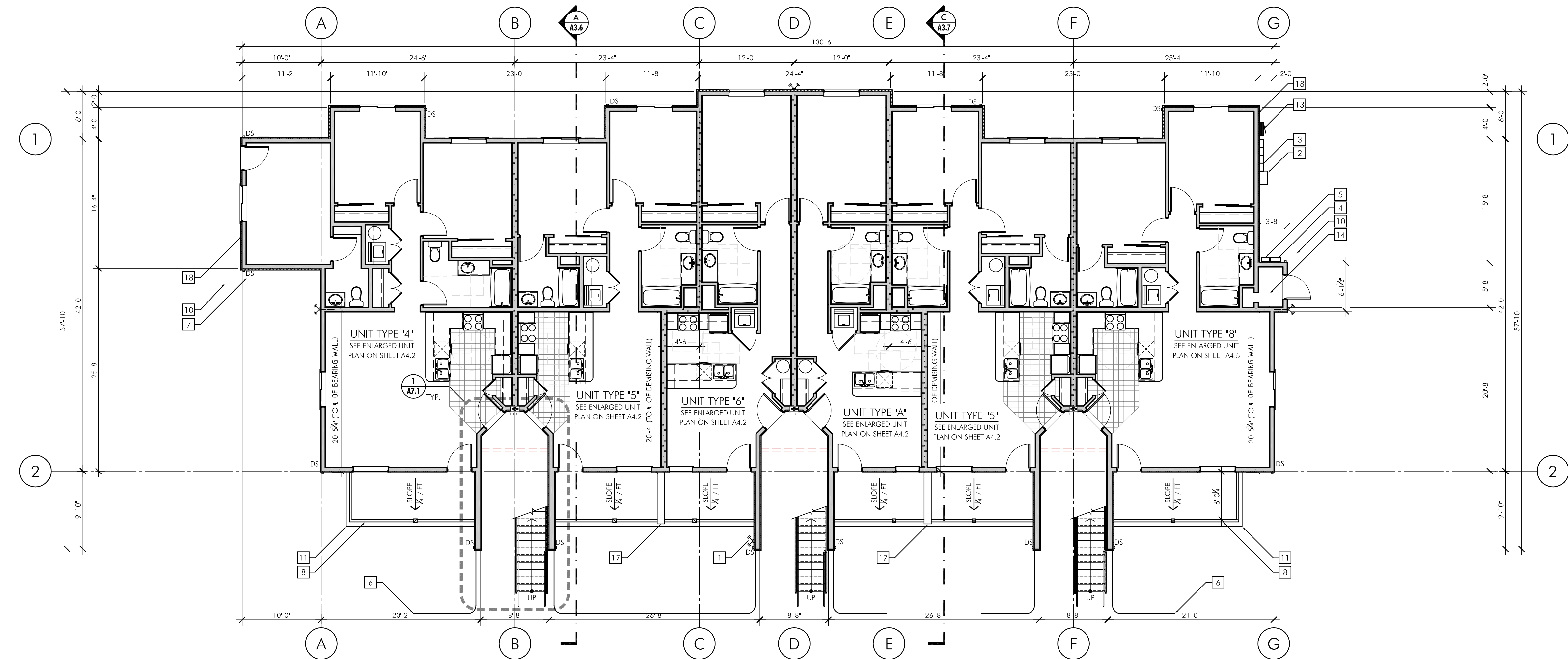
4 TRASH ENCLOSURE GATE DETAIL

5 TRASH ENCLOSURE SECTION





1 BUILDING "A" OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"



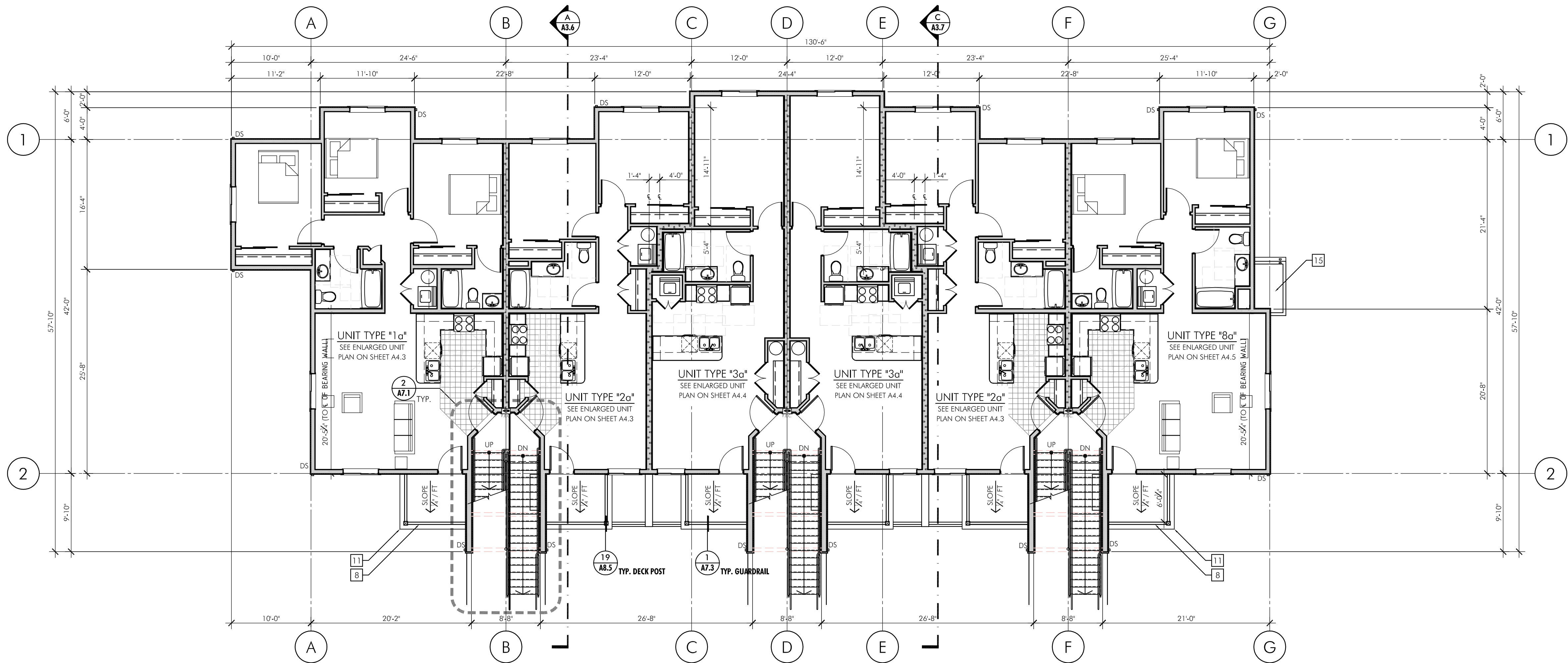
2 BUILDING "B" OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL PLAN NOTES:

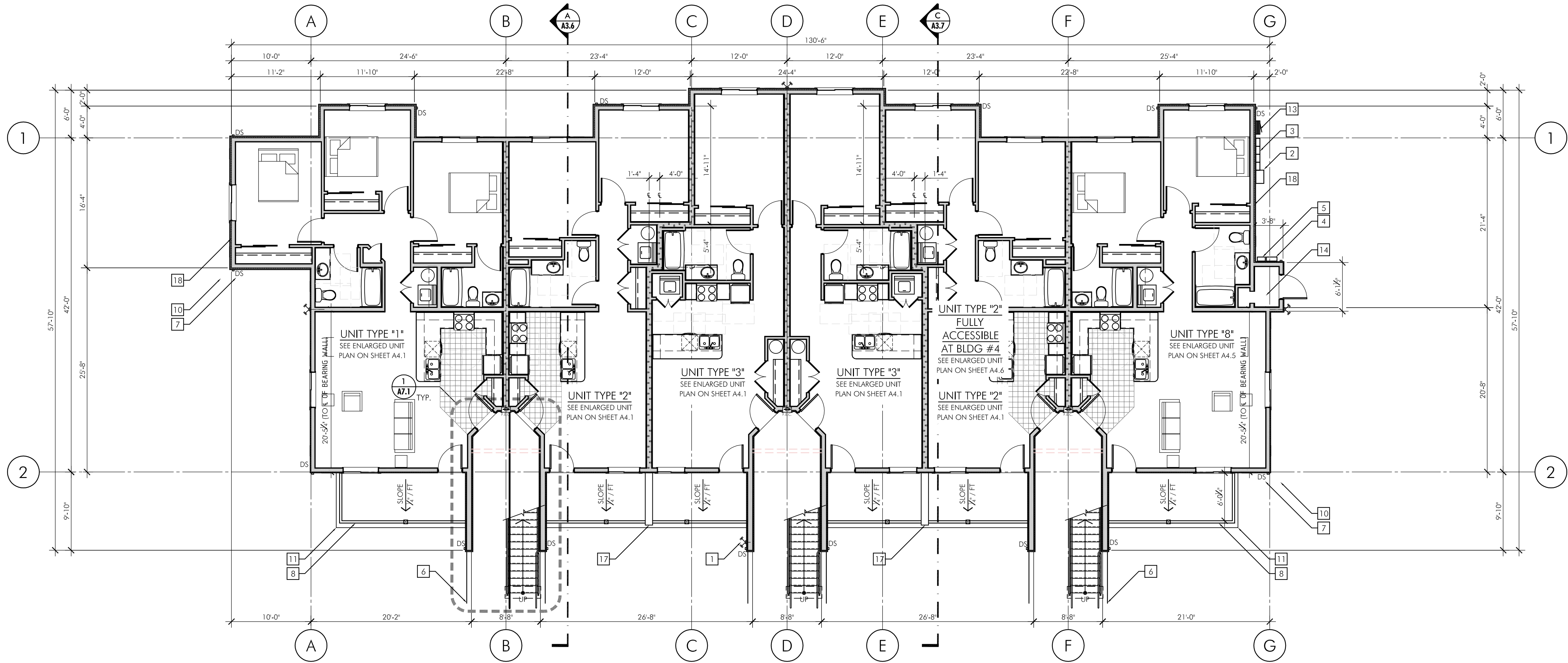
- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
- SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
- WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
- ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
- SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
- SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATORS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT (AND ENGINEER WHERE APPLICABLE) SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
- ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SOWER WALLS AND BATHROOM CEILINGS.
- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEET A0.4 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
- FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SHEET A7.1 FOR STAIR CONFIGURATIONS AND LOCATIONS.
- PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
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PLAN NOTES:

- HOSE BIBB, SEE PLUMBING.
- ELECTRICAL CT PANEL, SEE ELECTRICAL DRAWINGS.
- ELECTRICAL METERS, SEE ELECTRICAL DRAWINGS.
- TELEPHONE BOX, SEE ELECTRICAL DRAWINGS.
- CABLE BOX, SEE ELECTRICAL DRAWINGS.
- SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- EXTERIOR RAIL, SEE - A7.3 SIM.
- SEE STAIR PLAN, SHEET A7.1 FOR STAIR TYPE.
- FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- LINE OF CONCRETE PATIO OR DECK AT UPPER FLOORS.
- LINE OF ROOF ABOVE.
- HOUSE PANEL, SEE ELECTRICAL DRAWINGS.
- FIRE RISER ROOM, SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- ROOF OF RISER ROOM BELOW.
- LINE OF VAULTED CEILING AT THIRD FLOOR.
- PATIO WING / SEPARATION WALL, CENTER BETWEEN WINDOWS.
- STONE VENER WHERE SHOWN ON PLANS AND ELEVATIONS.
- AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS.
- THIS UNIT DESIGNED TO MEET ANSI 117.1-2009 TYPE "A" UNIT, SEE SHEET A4.6



1 BUILDING "C" OVERALL SECOND FLOOR PLAN



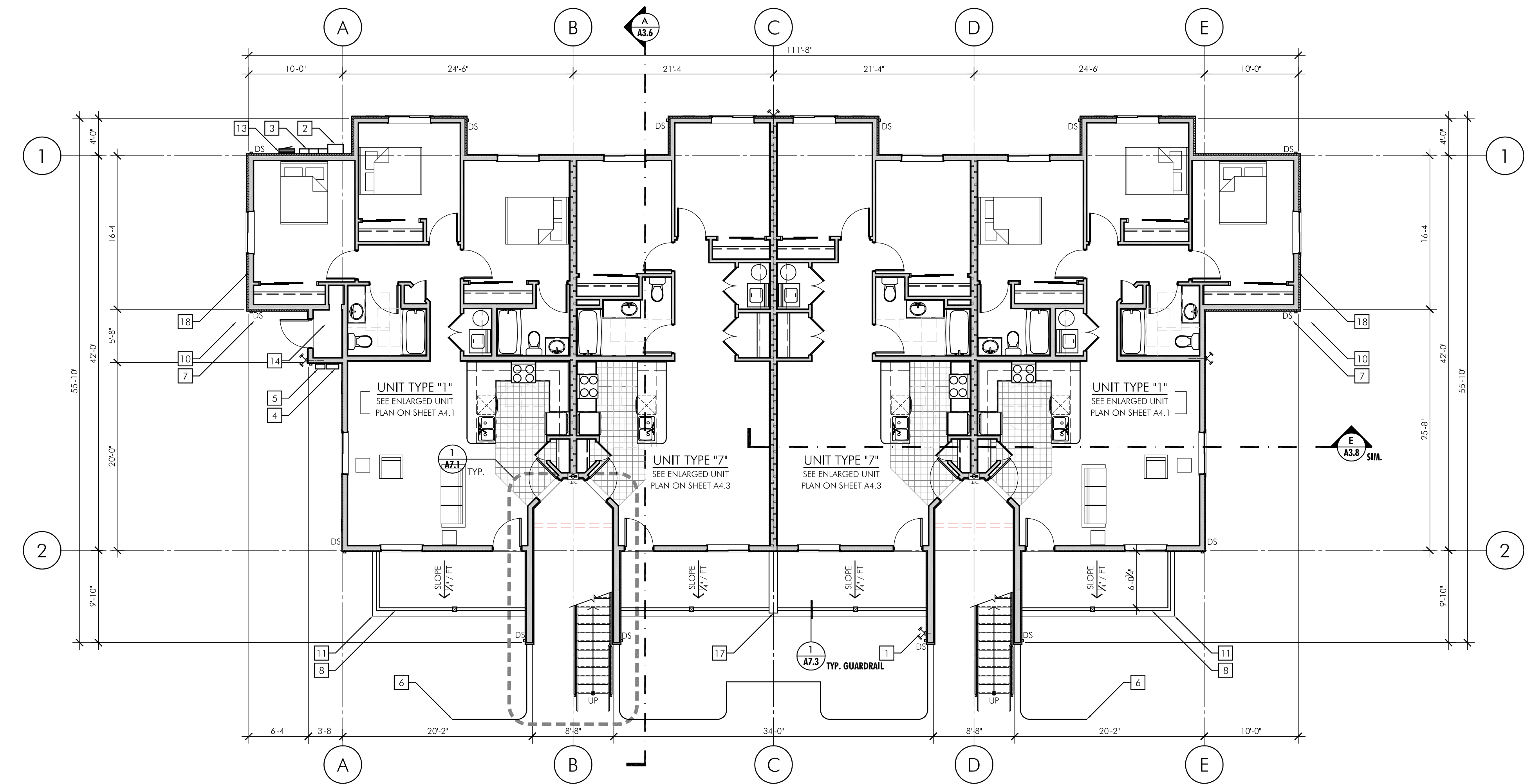
2 BUILDING "C" OVERALL FIRST FLOOR PLAN

GENERAL PLAN NOTES:

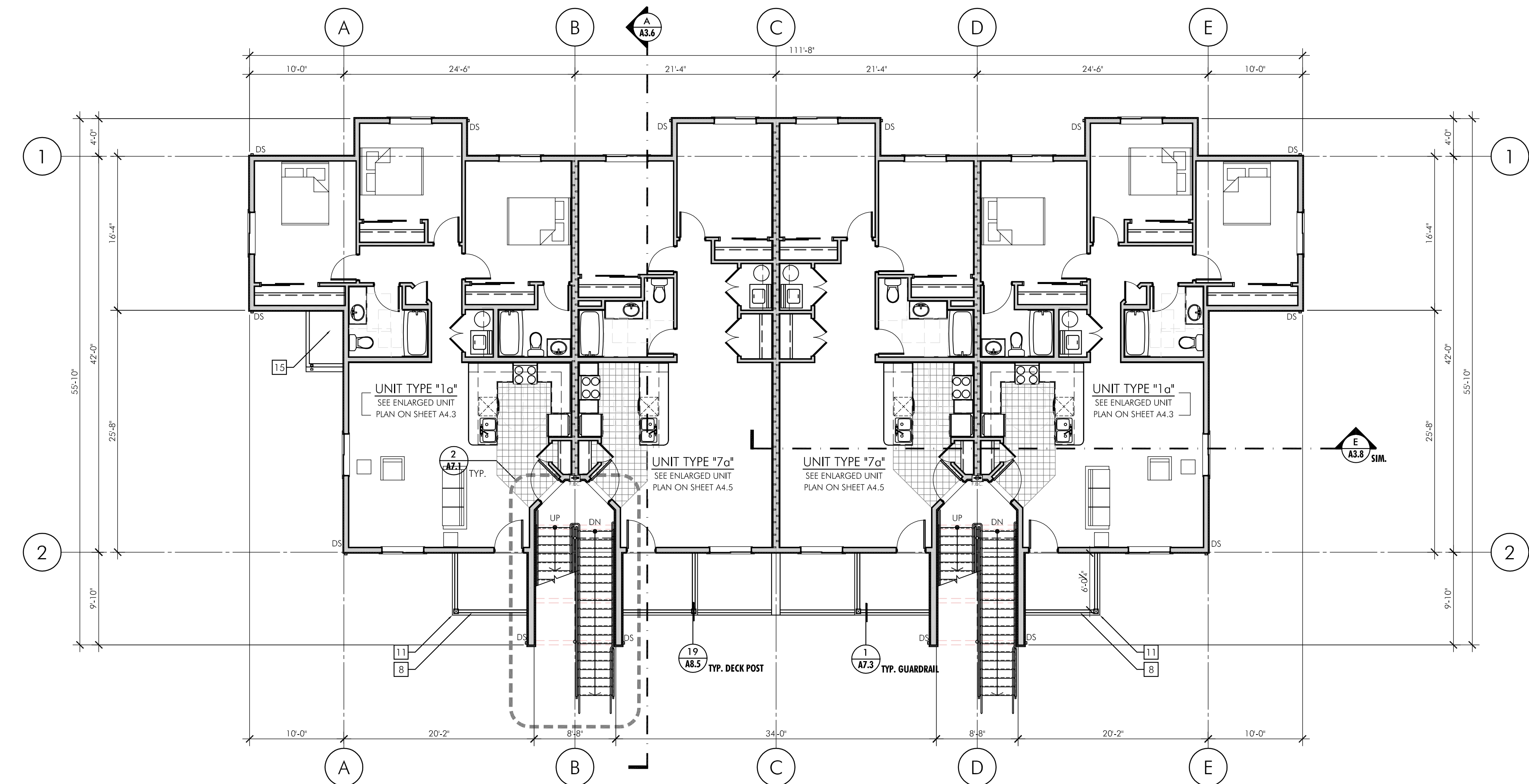
- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
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- WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
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- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SHOWER WALLS AND BATHROOM CEILINGS.
- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEET A0.4 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
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PLAN NOTES:

- HOSE BIBB, SEE PLUMBING.
- ELECTRICAL CT PANEL, SEE ELECTRICAL DRAWINGS.
- ELECTRICAL METERS, SEE ELECTRICAL DRAWINGS.
- TELEPHONE BOX, SEE ELECTRICAL DRAWINGS.
- CABLE BOX, SEE ELECTRICAL DRAWINGS.
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- DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
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- SEE STAIR PLAN, SHEET A7.1 FOR STAIR TYPE.
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- LINE OF CONCRETE PATIO OR DECK AT UPPER FLOORS.
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- STONE VENER WHERE SHOWN ON PLANS AND ELEVATIONS.
- AIR CONDITIONING SLEEVE AND POWER. UNDER WINDOW AT WINDOW LOCATIONS.
- THIS UNIT DESIGNED TO MEET ANSI 117.1-2009 TYPE 'A' UNIT, SEE SHEET A4.6



1 BUILDING "D" OVERALL FIRST FLOOR PLAN



2 BUILDING "D" OVERALL SECOND FLOOR PLAN

GENERAL PLAN NOTES:

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- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEET A0.4 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
- FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SHEET A7.1 FOR STAIR CONFIGURATIONS AND LOCATIONS.
- PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SOWER WALLS AND BATHROOM CEILINGS. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SOWER AND AT BATHS THAT HAVE SHOWERS.

PLAN NOTES:

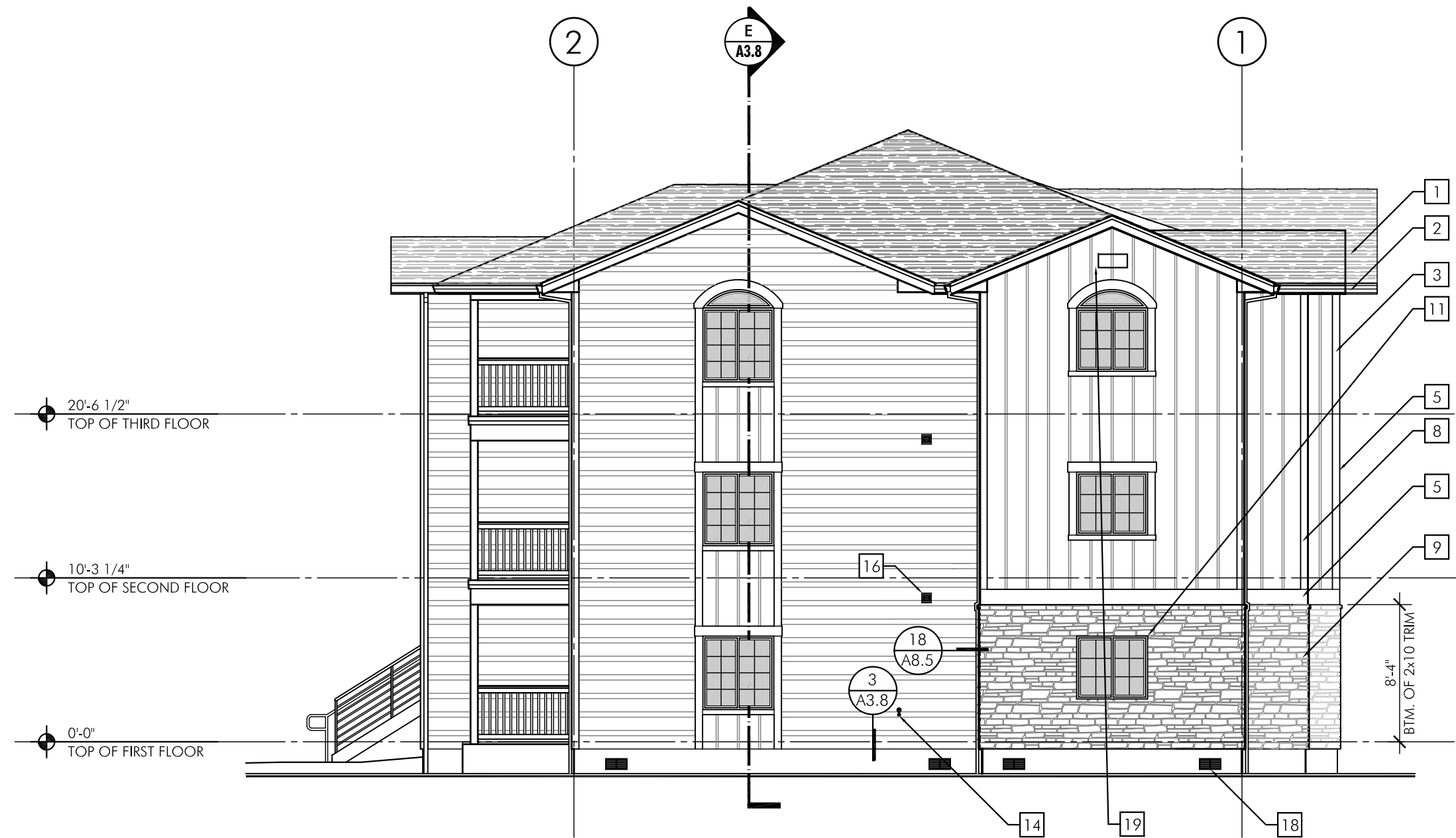
- HOSE BIBB, SEE PLUMBING.
- ELECTRICAL CT PANEL, SEE ELECTRICAL DRAWINGS.
- ELECTRICAL METERS, SEE ELECTRICAL DRAWINGS.
- TELEPHONE BOX, SEE ELECTRICAL DRAWINGS.
- CABLE BOX, SEE ELECTRICAL DRAWINGS.
- SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- EXTERIOR RAIL, SEE - 1 A7.3 SIM.
- SEE STAIR PLAN, SHEET A7.1 FOR STAIR TYPE.
- FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- LINE OF CONCRETE PATIO OR DECK AT UPPER FLOORS.
- LINE OF ROOF ABOVE.
- HOUSE PANEL, SEE ELECTRICAL DRAWINGS.
- FIRE RISER ROOM. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- ROOF OF RISER ROOM BELOW.
- LINE OF VAULTED CEILING AT THIRD FLOOR.
- PATIO WING / SEPARATION WALL, CENTER BETWEEN WINDOWS.
- STONE VENEER WHERE SHOWN ON PLANS AND ELEVATIONS.
- AIR CONDITIONING SLEEVE AND POWER. UNDER WINDOW AT WINDOW LOCATIONS.
- THIS UNIT DESIGNED TO MEET ANSI 117.1-2009 TYPE "A" UNIT, SEE SHEET A4.6



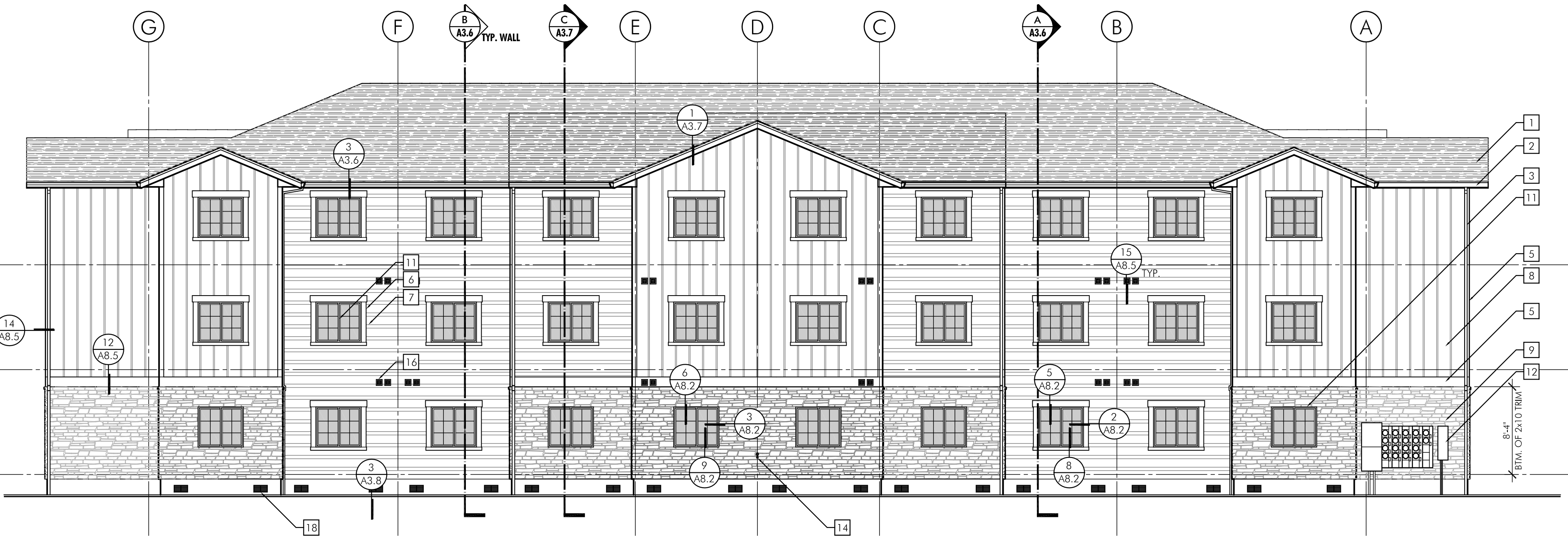
1 BUILDING "A" FRONT ENTRY ELEVATION

ELEVATION NOTES:

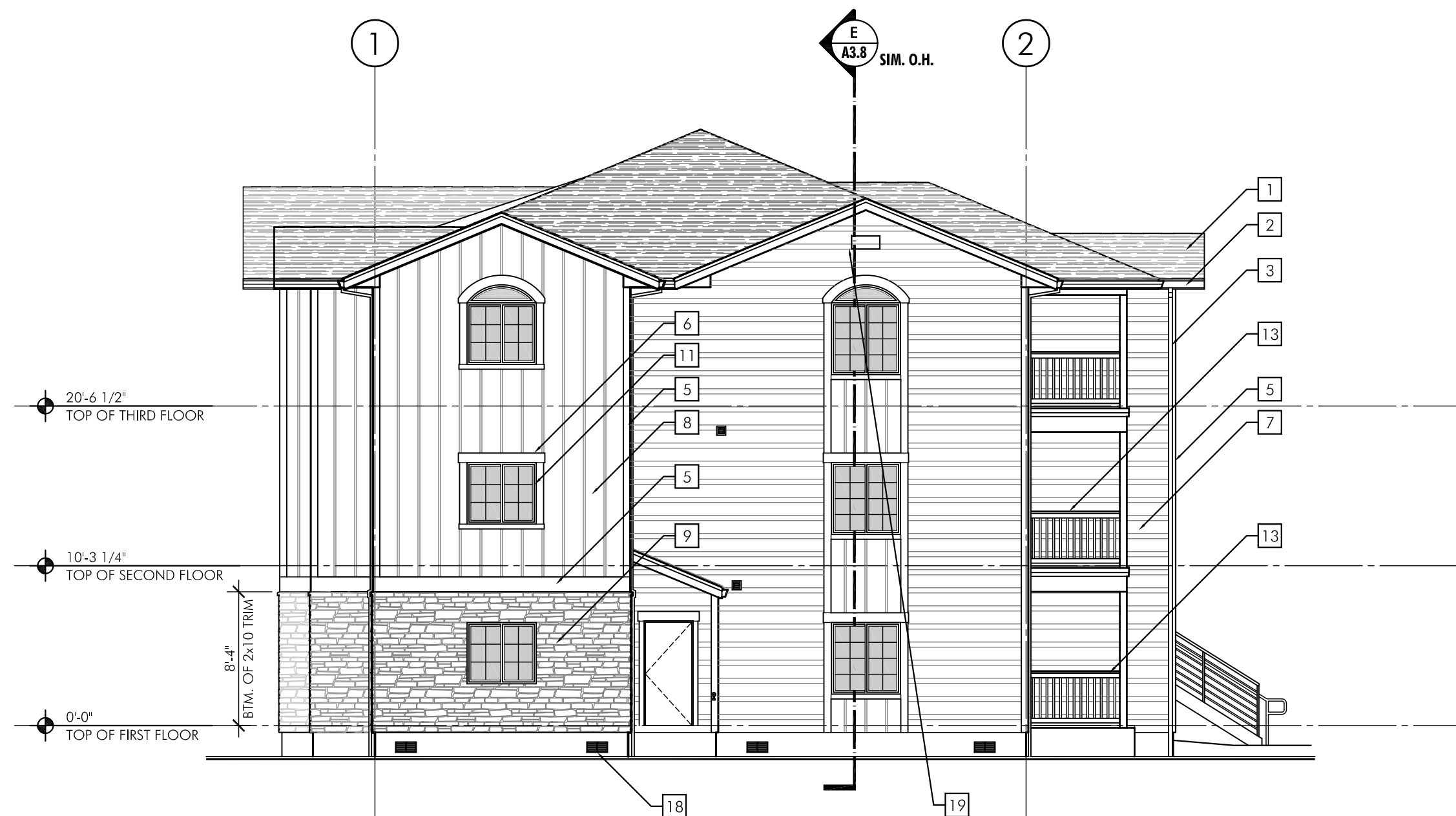
- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
- 10 EXTERIOR DOORS, - PAINT.
- 11 VINYL FRAMED WINDOWS.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PAINT TO MATCH WALL.
- 13 42" HIGH GUARDRAIL - TYPICAL.
- 14 HOSE BIBB ON TRIM BACKER.
- 15 PRE-FINISHED ROOF VENT.
- 16 EXHAUST COVERS.
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



2 BUILDING "A" RIGHT SIDE ELEVATION



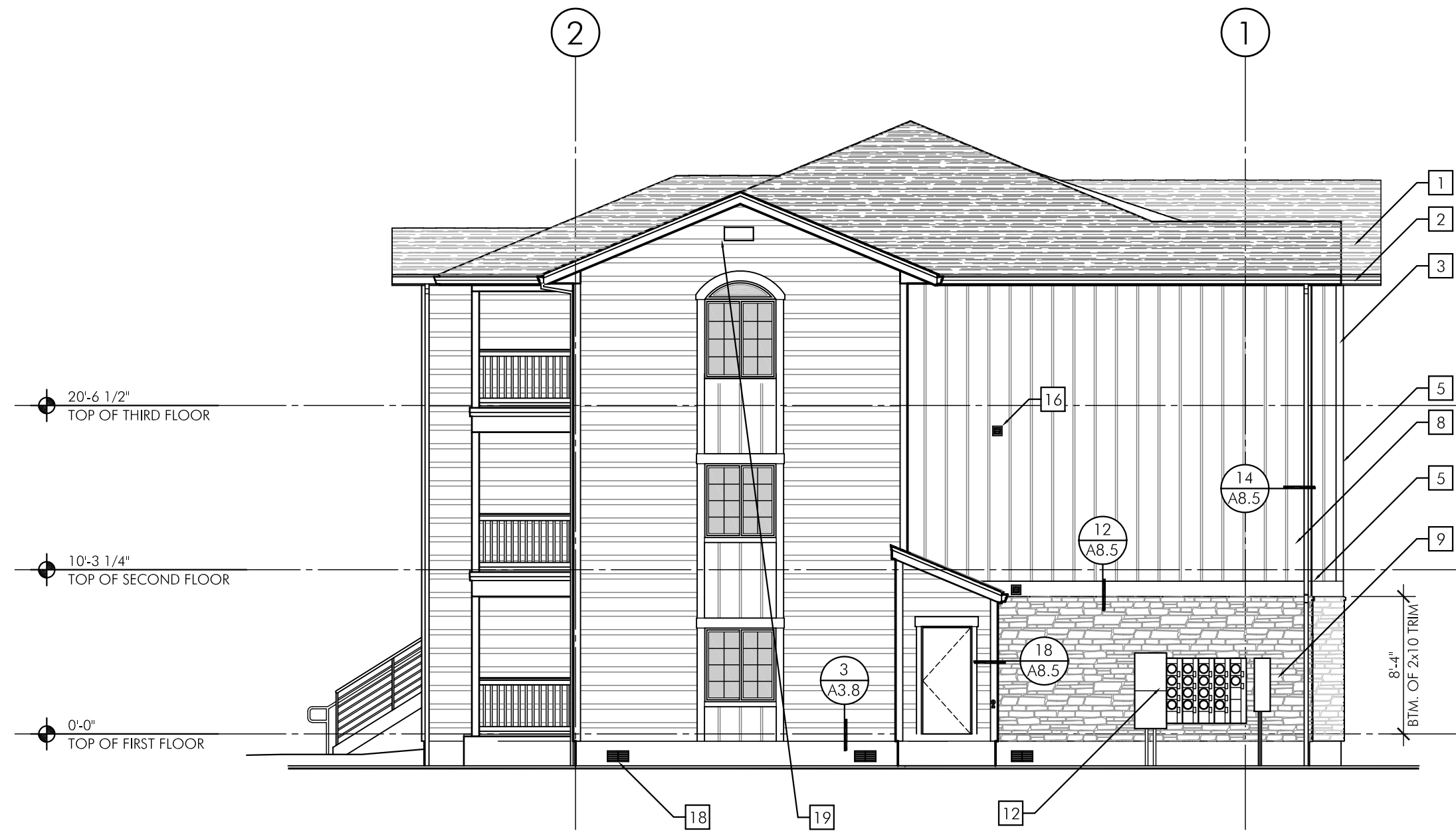
3 BUILDING "A" REAR ELEVATION



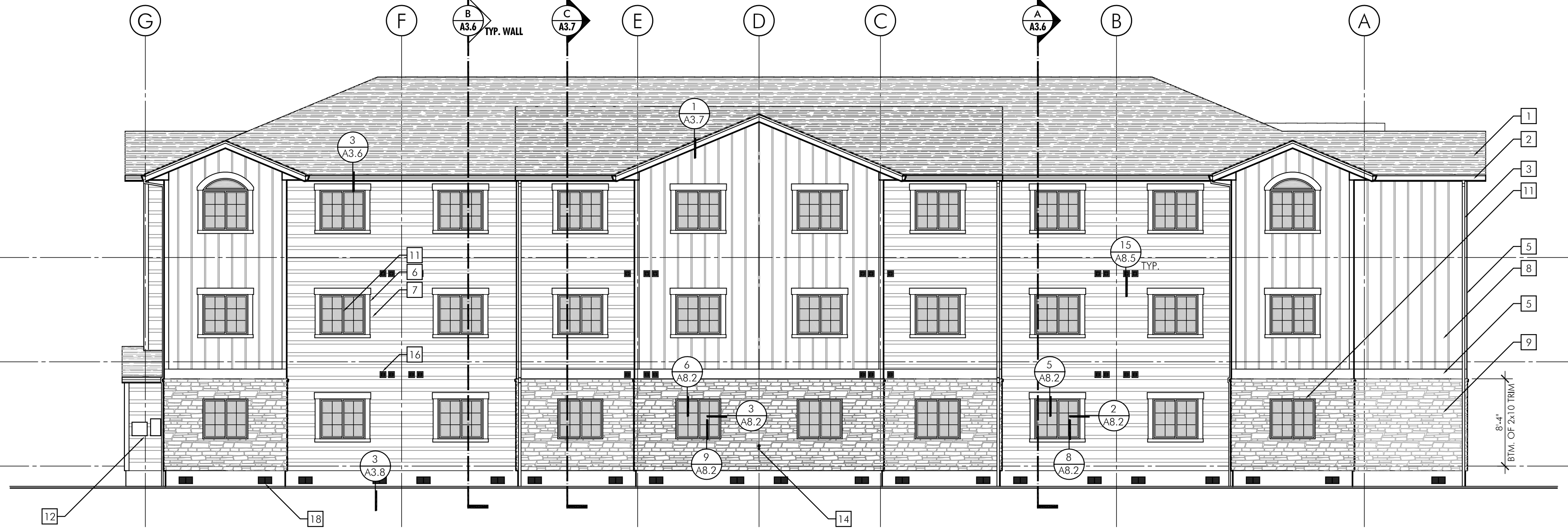
4 BUILDING "A" LEFT SIDE ELEVATION



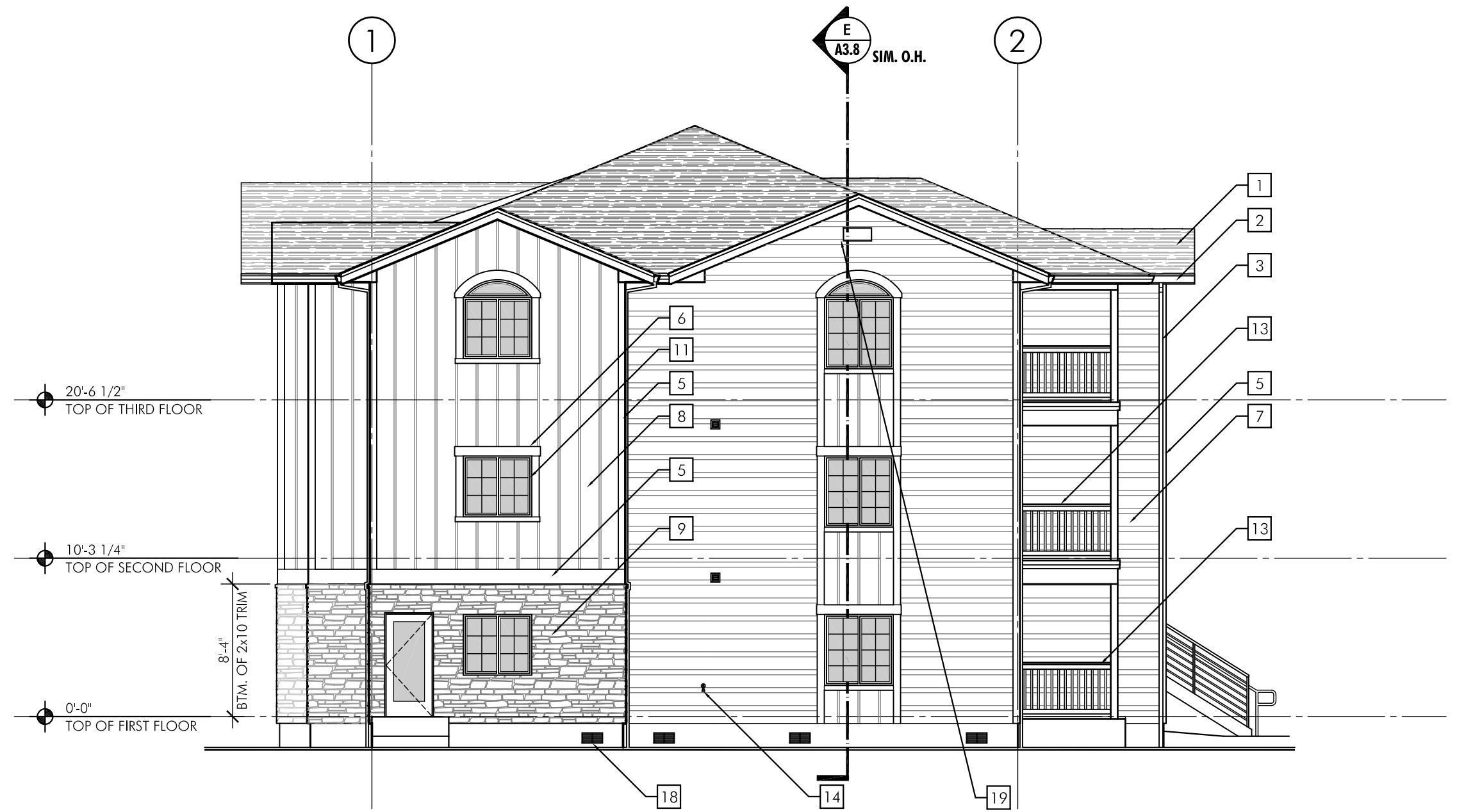
1 BUILDING "B" FRONT ENTRY ELEVATION



2 BUILDING "B" RIGHT SIDE ELEVATION



3 BUILDING "B" REAR ELEVATION



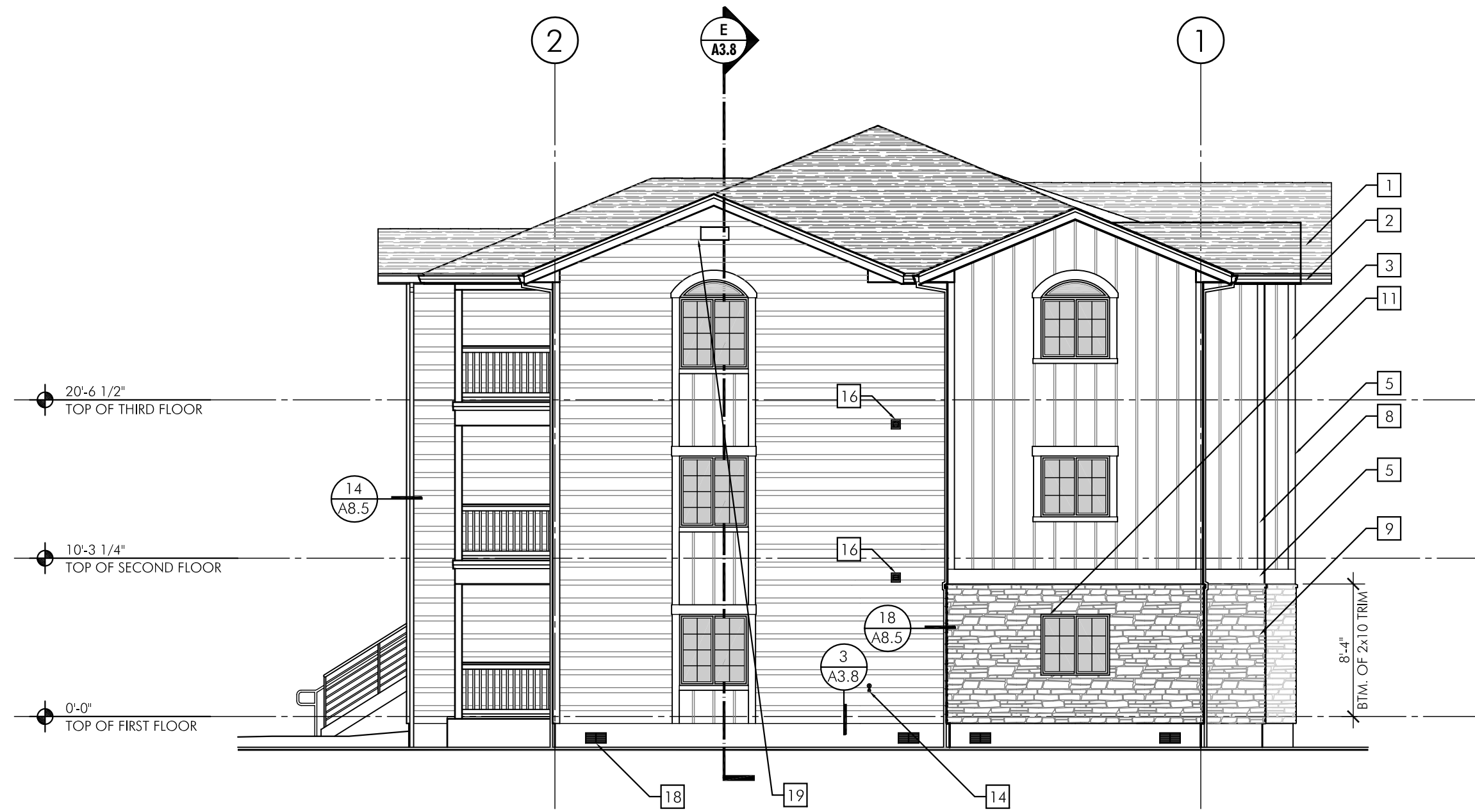
4 BUILDING "B" LEFT SIDE ELEVATION

ELEVATION NOTES:

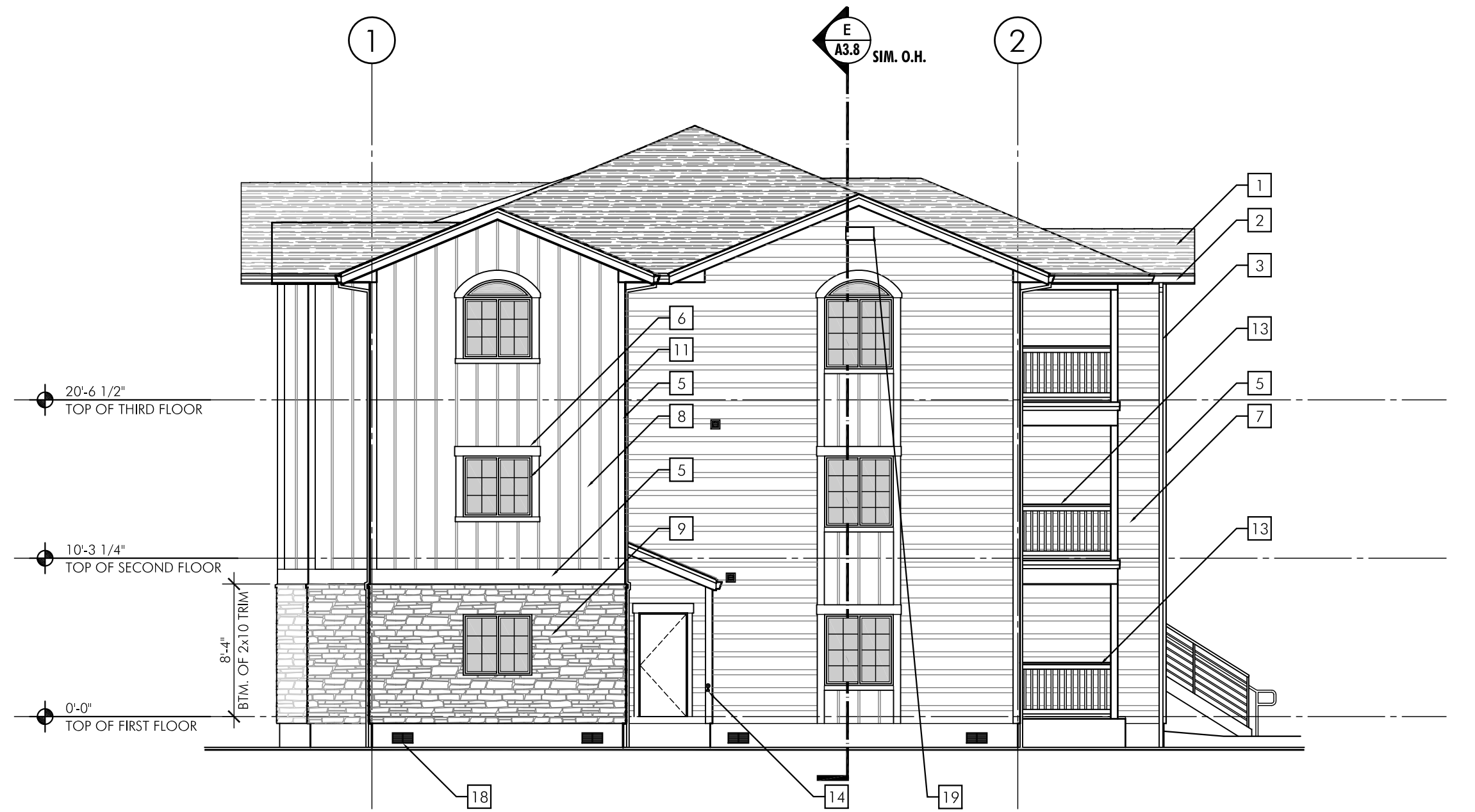
- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
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- 16 EXHAUST COVERS.
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



1 BUILDING "C" FRONT ENTRY ELEVATION



2 BUILDING "C" RIGHT SIDE ELEVATION



4 BUILDING "C" LEFT SIDE ELEVATION



3 BUILDING "C" REAR ELEVATION

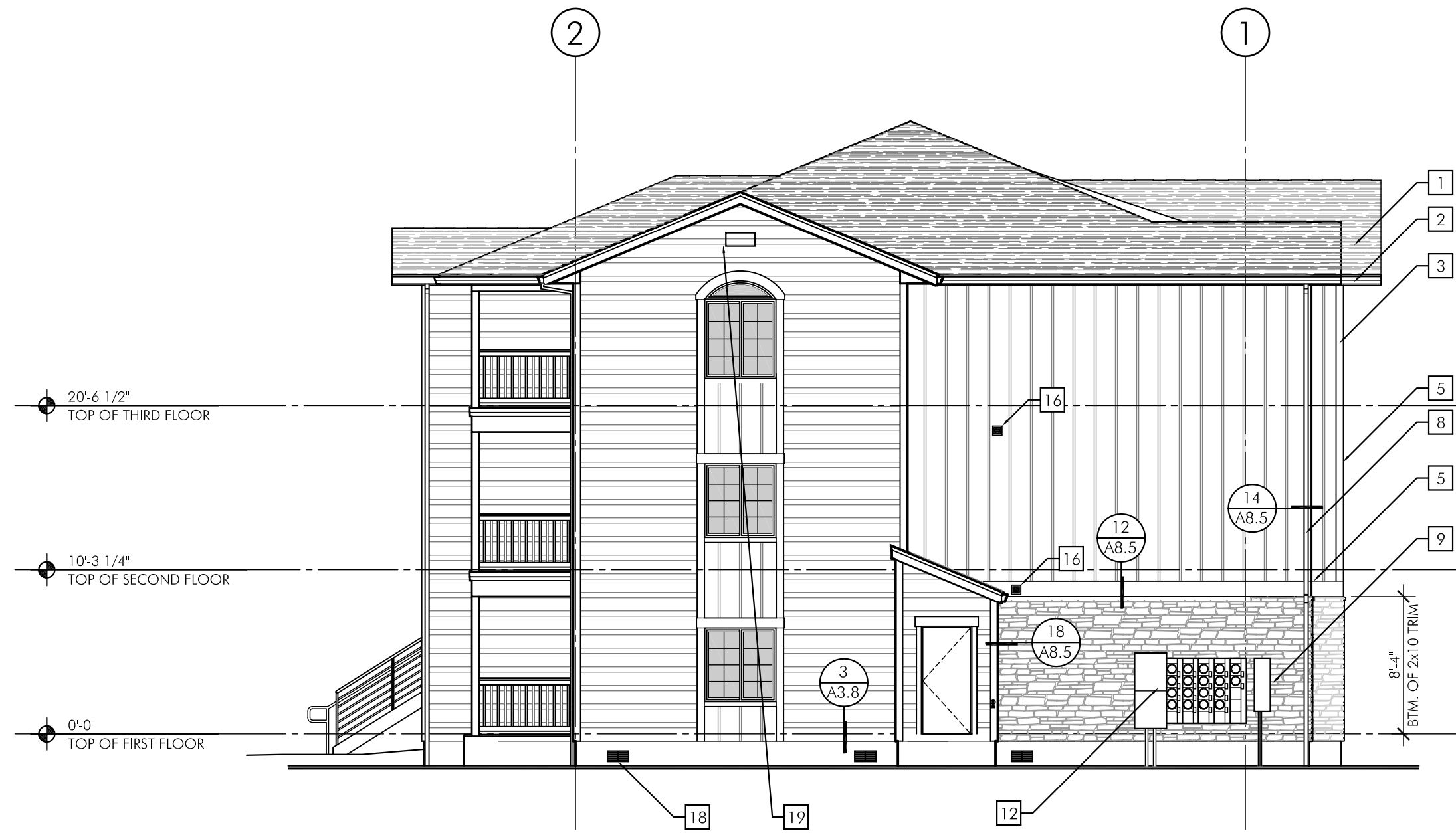
ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
- 10 EXTERIOR DOORS, - PAINT.
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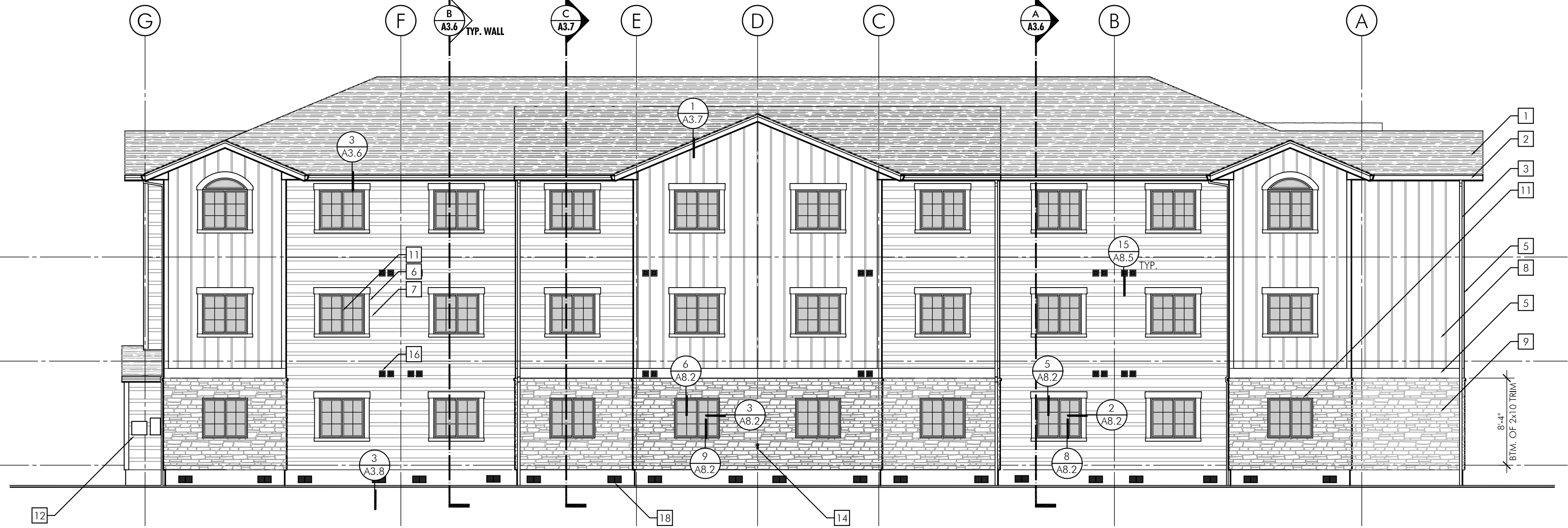
1 BUILDING "D" FRONT ENTRY ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"



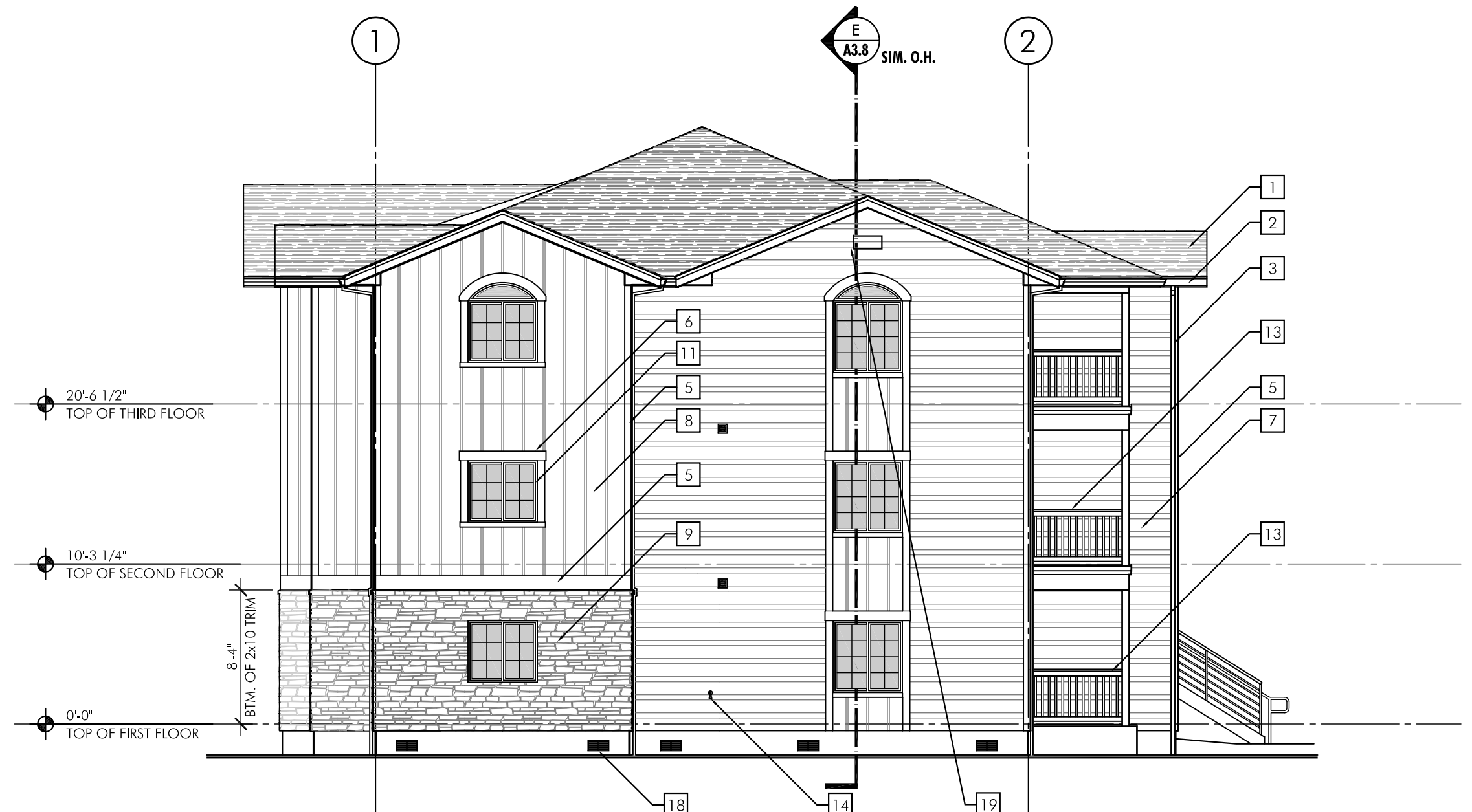
2 BUILDING "D" RIGHT SIDE ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"



3 BUILDING "D" REAR ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"

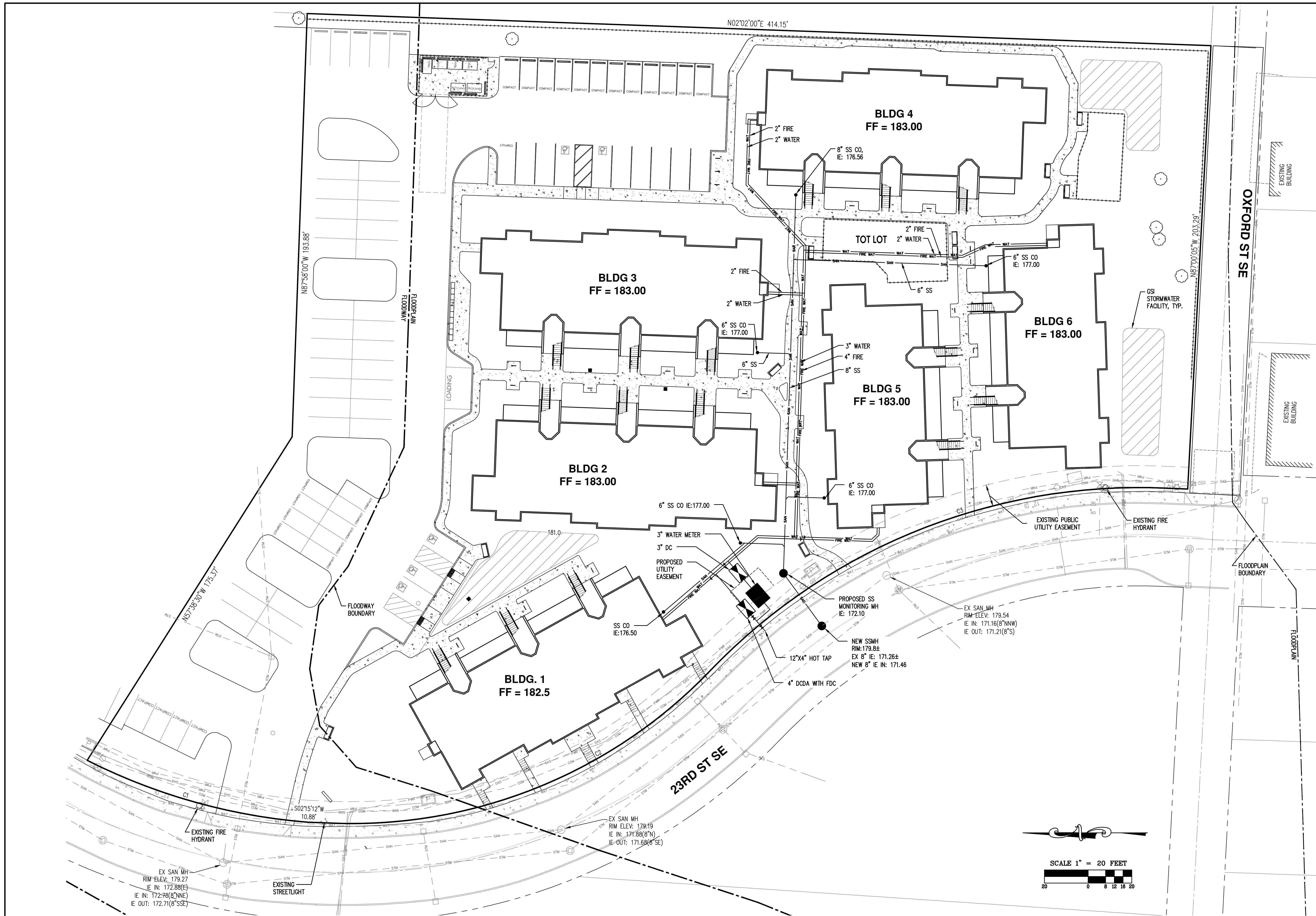


4 BUILDING "D" LEFT SIDE ELEVATION

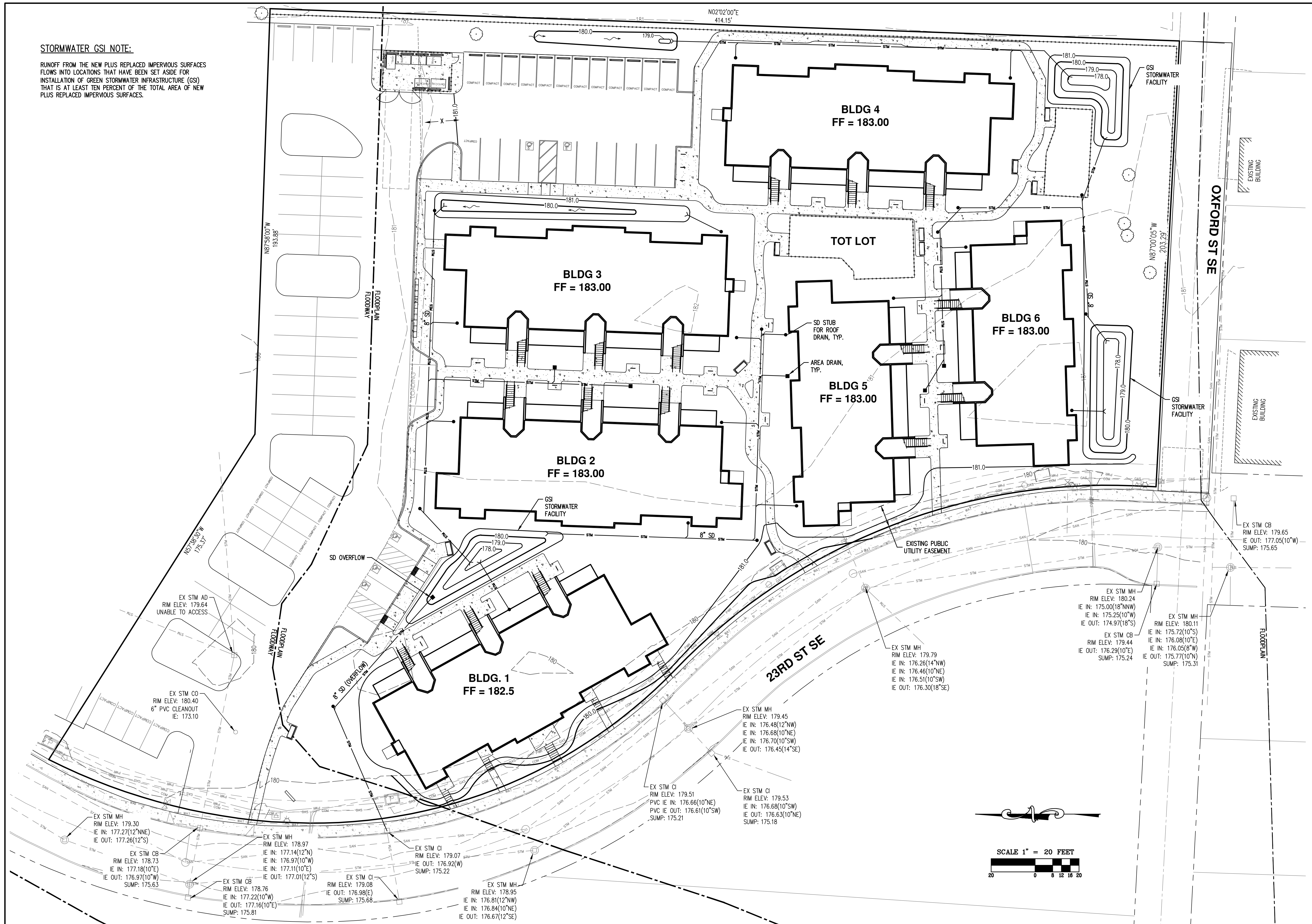
0' 2' 4' 8' 16' 24' 1/8" = 1'-0"

ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS. (14) (A8.5)
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
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- 15 PRE-FINISHED ROOF VENT.
- 16 EXHAUST COVERS. (5) (A8.5)
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



RUNOFF FROM THE NEW PLUS REPLACED IMPERVIOUS SURFACES FLOWS INTO LOCATIONS THAT HAVE BEEN SET ASIDE FOR INSTALLATION OF GREEN STORMWATER INFRASTRUCTURE (GSI) THAT IS AT LEAST TEN PERCENT OF THE TOTAL AREA OF NEW PLUS REPLACED IMPERVIOUS SURFACES.



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ENGINEERING • SURVEYING • NATURAL RESOURCES
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

MAY'S LANDING

OREGON
07 3W 35AD

SALEM
TL800

PRELIMINARY GRADING AND DRAINAGE PLAN

SIGNED BY: JDS

AWN BY: SDB

HECKED BY: JDS

SALE:	AS NOTED
-------	----------

DATE: 04/20/2017



REGISTERED PROFESSIONAL
ENGINEER



NOT FOR

OREGON CONSTRUCTION



EXPIRES: JUNE 30, 2018
MISSIONS

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IOB NUMBER

5491

5431

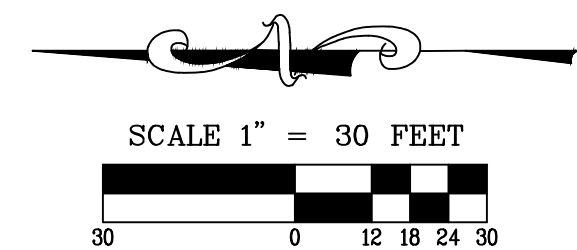
SHEET

D1 1

PLI

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	ESTIMATED SIZE AT 5 YR. MATURITY
	23	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	13	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	12	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA FALSE CYPRESS	6'-7' HT. B&B	AS SHOWN	20' FT. HT.
	13	PLATANUS X ACERIFOJA 'BLOODGOOD'	LONDON PLANE TREE	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	35	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2" CAL. B&B	AS SHOWN	15' FT. HT.
	5	PYRUS CALLERYANA 'GLEN'S FORM'	GLEN'S FORM CHANTICLEER PEAR	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	10	TSUGA MERTENSIANA	MOUNTAIN HEMLOCK	6'-7' HT. B&B	AS SHOWN	20'-25' FT. HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	ESTIMATED SIZE AT 5 YR. MATURITY
	42	BUXUS SEMPERVIRENS 'SUFRUTICOSA'	TRUE DWARF BOXWOOD	2 GAL. CONT.	36" o.c.	24" WIDE
	329	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL. CONT.	36" o.c.	30"-36" WIDE
	265	NANDINA DOMESTICA 'COMPACTA'	DWARF HEAVENLY BAMBOO	2 GAL. CONT.	36" o.c.	36" WIDE
	268	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL. CONT.	30" o.c.	24" WIDE
	92	PIERIS JAPONICA 'FLAMING SILVER'	FLAMING SILVER PIERIS	3 GAL. CONT.	60" o.c.	36"-42" WIDE
	55	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	LUYKENS LAUREL	3 GAL. CONT.	36" o.c.	36" WIDE
	57	RHODODENDRON X 'JEAN MARIE'	JEAN MARIE RHODODENDRON	3 GAL. CONT.	60" o.c.	42"-48" WIDE
	52	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	6' HT. CONT.	36" o.c.	30" WIDE
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	ESTIMATED SIZE AT 5 YR. MATURITY
	421	ARCTOSTAPHYLOS UVA-URSI	KINKINICK	1 GAL. CONT.	36" o.c.	36"-48" WIDE
	11,927 SF	LAWN: NORTHWEST SUPREME LAWN MIX - SUNMARK SEEDS (OR APPROVED EQUAL) CUTLER II PERENNIAL RYEGRASS 35%; DASHER III PERENNIAL RYEGRASS 35%; GARNET CREEPING RED FESCUE 15%; WINDWARD CHEWINGS FESCUE 15% APPLY AT A RATE OF 8 LBS./1,000 SF OR AS RECOMMENDED BY SUPPLIER. (SOD OF SIMILAR SPECIES COMPOSITION ACCEPTABLE AT OWNERS OPTION)				
		RAIN GARDEN PLANTING PER CITY OF SALEM ADMINISTRATIVE RULES, DIVISION 004, APPENDIX B.				
		SWALE PLANTING PER CITY OF SALEM ADMINISTRATIVE RULES, DIVISION 004, APPENDIX B.				

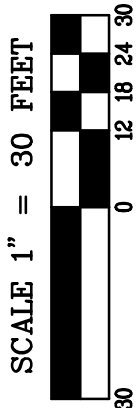
1. PLANTS AND PLANTINGS ARE SHOWN TO PORTRAY THE CHARACTER OF THE SITE. PLAN REVISIONS INCLUDING CHANGES TO PLANT SPECIES, SIZES, SPACING, QUANTITIES, ETC., DUE TO PLANT AVAILABILITY OR UNFORESEEN SITE CONDITIONS MAY BE MADE BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION WHERE ALLOWED BY THE CITY OF SALEM'S DESIGN STANDARDS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND ALL MATERIALS PRIOR TO BIDDING AND CONSTRUCTION. IF DISCREPANCIES OCCUR, DESIGN INTENT PREVAILS OVER QUANTITIES LISTED.
3. ALL PLANTS AND INSTALLATION SHALL CONFORM TO THE CITY OF SALEM'S LANDSCAPE DESIGN STANDARDS AND TO AMERICAN NURSERY STANDARDS ASN 1260.1 IN ALL WAYS. PLANT IN ACCORDANCE WITH BEST PRACTICE STANDARDS ADOPTED BY THE OREGON LANDSCAPE CONTRACTOR'S BOARD (OLCB) AND THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. FIELD ADJUST PLANT LOCATION AS NECESSARY TO AVOID CONFLICTS WITH UTILITIES, TREE CANOPIES, BUILDING OVERHANGS, EXISTING VEGETATION TO REMAIN, ETC.
4. TREES TO BE PLANTED SHALL MEET THE REQUIREMENTS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS FOR NURSERY STOCK (ANSI Z60.1) FOR GRADE NO. 1 OR BETTER. DOUBLE STAKE ALL TREES UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO CLOSER THAN 3' O.C. FROM SIDEWALKS, CURBING, OR OTHER HARDSCAPING; TREES IN PLANTING ISLANDS SHALL BE CENTERED IN ISLAND. REFER ALSO TO CITY OF SALEM STANDARD TREE-SHRUB PLANTING DETAIL NO. 803 (THIS SHEET).
5. ALL LANDSCAPING SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE CITY OF SALEM DUE TO INCLEMENT WEATHER OR TEMPORARY SITE CONDITIONS. UPON INSTALLATION, ALL PLANT MATERIALS SHALL BE VIGOROUS, WELL-BRANCHED, AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS, FREE OF DISEASE, INSECT PESTS, AND INJURIES.
6. PLANTING AND INSTALLATION OF ALL REQUIRED LANDSCAPING SHALL BE INSPECTED AND APPROVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY UNLESS OTHERWISE APPROVED BY THE CITY OF SALEM.
7. EVERY EFFORT SHALL BE MADE TO PROTECT EXISTING VEGETATION TO REMAIN DURING SITE CONSTRUCTION.
8. A PERMANENT UNDERGROUND OR DRIP IRRIGATION SYSTEM WITH A BACKFLOW DEVICE APPROVED BY THE CITY OF SALEM, SHALL BE PROVIDED FOR ALL NEW AND IMPROVED LANDSCAPE AREAS WITHIN THE PROJECT WORK AREA FOR THE ESTABLISHMENT AND LONG-TERM HEALTH OF PLANT MATERIAL. THE IRRIGATION SYSTEM SHALL BE "DESIGN-BUILD" BY THE LANDSCAPE CONTRACTOR, USING CURRENT WATER-SAVING TECHNOLOGY, AND INCLUDE ALL MATERIALS, COMPONENTS, CITY APPROVED BACKFLOW OR ANTI-SIPHON DEVICES, VALVES, ETC. NECESSARY FOR THE COMPLETE AND EFFICIENT COVERAGE OF LANDSCAPE AREAS SHOWN. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND OWNER FOR POINT-OF-CONNECTION (POC), SLEEVING LOCATION, AND MAINLINE LAYOUT PRIOR TO ANY PAVING REPAIR OR STRIPING, PROVIDE CITY OF SALEM WITH IRRIGATION PLAN INCLUDING ZONING AND COMPONENT LAYOUT FOR APPROVAL PRIOR TO INSTALLATION.
9. THE OWNER AND TENANT SHALL BE JOINTLY RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE MATERIAL IN GOOD CONDITION SO AS TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE IN KEEPING WITH CURRENT INDUSTRY STANDARDS. UNHEALTHY OR DEAD PLANT MATERIALS SHALL BE REPLACED IN CONFORMANCE TO THE REQUIREMENTS OF THE ORIGINALLY APPROVED LANDSCAPE PLAN.
10. MULCH: APPLY 2" DEEP WELL-AGED DARK HEMLOCK OR FIR, MEDIUM GRIND, UNDER AND AROUND ALL PLANTS IN PLANTING BEDS. GROUNDCOVER SHALL NOT BE PLANTED CLOSER THAN 24" FROM CATCH BASINS OR AREA DRAINS. SHRUBS SHALL NOT BE PLANTED CLOSER THAN 36" FROM CATCH BASINS OR AREA DRAINS AND 42" FROM BUILDING FOUNDATIONS.
11. ADJUST PLANTING ON SITE AS NECESSARY TO AVOID CONFLICTS WITH UTILITIES, METERS, LIGHTS, BUILDING OVERHANGS, ETC.



AKS

P2.0

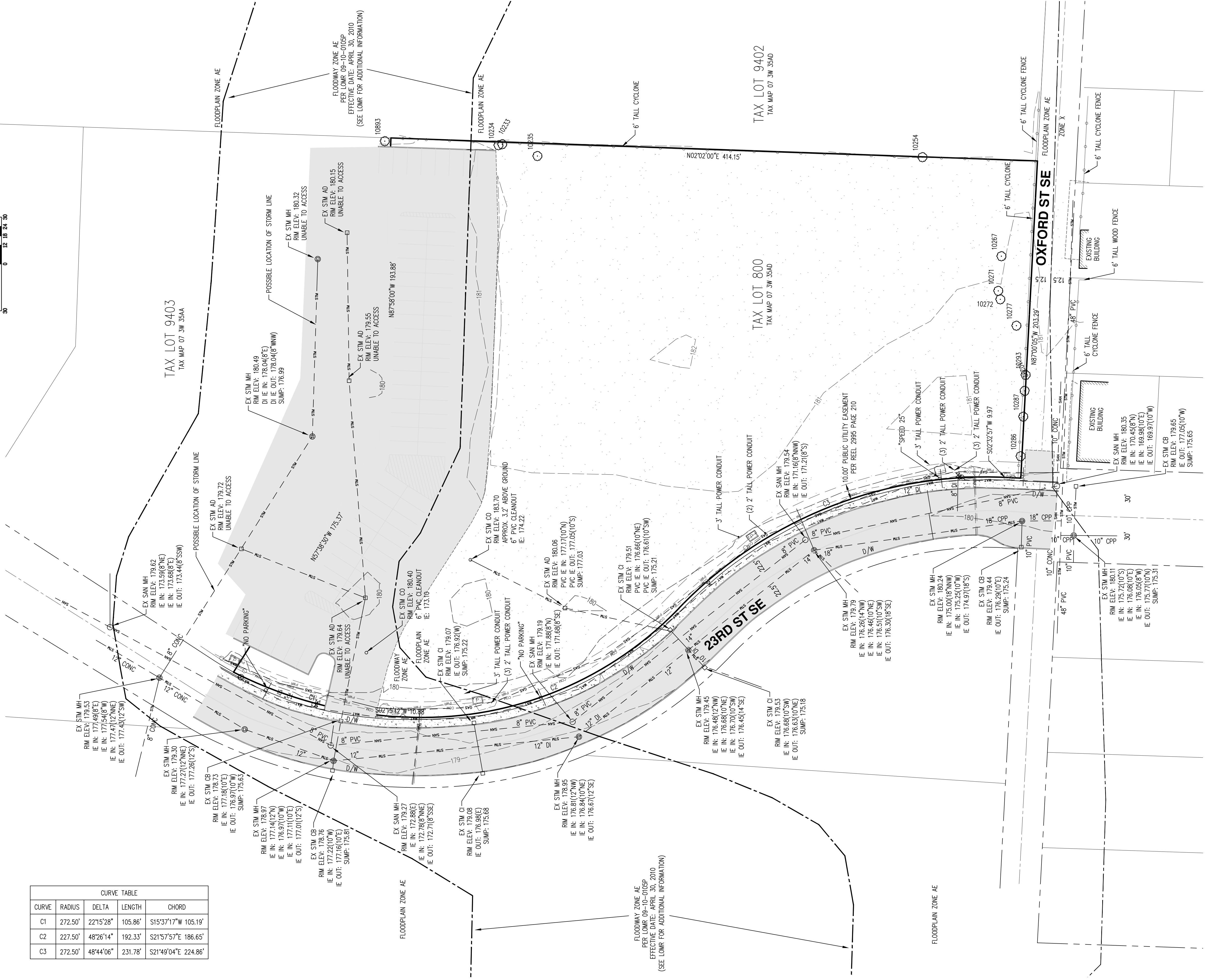
TREE NUMBER	TREE SPECIES	TREE DBH(INCHES)
10254	MAPLE	67.6
10233	OAK	7
10234	OAK	18
10235	OAK	32
10267	OAK	37
10271	OAK	37
10272	OAK	21
10277	OAK	26
10286	OAK	10
10287	OAK	11.10.10
10292	OAK	11
10293	OAK	10
10893	DECIDIOUS	7



NOTES:

- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBER 16191287. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD WORK WAS CONDUCTED JUNE 3-4, 2016.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK NO. QEO364, LOCATED IN SALEM, 56 METERS EAST OF THE CENTERLINE OF PRINGLE RD SE, 8 METERS SOUTH OF THE CENTERLINE OF MCILCHRIST, 3 METERS WEST OF WEST RAIL OF THE TRACK, 0.35 NORTH OF EAST END OF CONCRETE ABUTMENT. ELEVATION - 185.15 FEET (NAVD 88). OBSERVED ELEVATIONS WERE THEN ADJUSTED TO NGVD29 DATUM -3.34 FEET USING VERTCON.
- THIS MAP DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY.
- SURVEY IS ONLY VALID WITH SURVEYOR'S STAMP AND SIGNATURE.
- CONTOUR INTERVAL IS 1 FOOT.
- TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE MEASURED UTILIZING A DIAMETER TAPE AT BREAST HEIGHT. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
- FLOODWAY DEPICTED IS BASED ON FEMA LOMR 09-10-0105P. FIELD SURVEY DATA IS SUCH THAT EXACTING FLOODWAY LIMITS ARE NOT DEFINED. BASE FLOOD ELEVATIONS RANGE FROM 181-180 FEET GOING FROM EAST TO WEST ON SUBJECT PROPERTY.
- SIGN EASEMENT AREA DESCRIBED IN REEL 3271 PAGE 174, SECTION 2.5 DESCRIBES POTENTIAL FUTURE SIGNAGE AND THE DEVELOPMENT OF POTENTIAL FUTURE SIGN EASEMENTS AS NEEDED. "EXHIBIT E" SHOWS CURRENT SIGN EASEMENT AREA, WHICH IS NOT LOCATED ON SUBJECT SITE, BUT MAY BENEFIT SUBJECT SITE.
- "SOUTH ACCESS EASEMENT" DESCRIBED IN REEL 3271 PAGE 174, SECTION 3, SUBSECTION 3.1(b) DESCRIBES PEDESTRIAN AND VEHICULAR INGRESS/EGRESS BETWEEN PARCEL 2 AND PARCEL 3 (SUBJECT SITE) OF PLAT NO. 2010-11, MARION COUNTY SURVEY RECORDS. THE "SOUTH ACCESS EASEMENT" IS BLANKET IN NATURE AND CANNOT BE MAPPED. REFER TO ABOVE DESCRIBED DOCUMENT FOR EASEMENT PARTICULARS.
- UTILITY EASEMENTS DESCRIBED IN REEL 3271 PAGE 174, SECTION 7, SUBSECTION(S) 7.1 (GRANT OF UTILITY EASEMENTS), 7.2 (TERMS OF UTILITY EASEMENTS), 7.3 (STORM DRAINAGE) ARE BLANKET IN NATURE AND CANNOT BE MAPPED. REFER TO ABOVE DESCRIBED DOCUMENT FOR EASEMENT PARTICULARS.
- BUILDING HEIGHT DESCRIBED IN REEL 3271 PAGE 174, SECTION 2.2 SHALL NOT EXCEED (1) STORY OR TWENTY-THREE (23) FEET IN HEIGHT ABOVE GRADE, EXCEPT AS OTHERWISE APPROVED IN WRITING BY DECLARANT.
- SUBJECT SITE IS AFFECTED BY "CLEAR ZONE EASEMENT", WHICH BENEFITS AIR TRAFFIC OF SALEM MUNICIPAL AIRPORT (MCNARY FIELD). REFER TO VOLUME 642 PAGE 190 AND VOLUME 681 PAGE 519 FOR HEIGHT RESTRICTIONS.
- SET BACK AGREEMENT VOLUME 751 PAGE 536 RECORDED MAY 10, 1973. NOT A SURVEY RELATED MATTER.
- RESERVATIONS SET FORTH IN THE DEED FROM THE STATE OF OREGON, RECORDED FEBRUARY 24, 1956, IN VOLUME 485 PAGE 107. NOT A SURVEY RELATED MATTER.
- BASIS OF BEARINGS NAD83(2011) OREGON NORTH STATE PLANE COORDINATE SYSTEM.

CURVE TABLE			
CURVE	RADIUS	DELTA	CHORD
C1	272.50'	22°15'28"	105.96'
C2	227.50'	48°26'14"	192.33'
C3	272.50'	48°44'06"	231.78'



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FORESTRY · PLANNING · LANDSCAPE ARCHITECTURE

1525 23RD STREET SE
APARTMENTS

SALEM OREGON
TAX LOT 800

EXISTING CONDITIONS
PLAN

DESIGNED BY:
DRAWN BY: KAM
CHECKED BY: NSW
SCALE: AS NOTED
DATE: 08/17/2016
REGISTERED PROFESSIONAL LAND SURVEYOR
Nick White
OREGON
JANUARY 9, 2007
NICK WHITE
70652LS
RENEWS: 6/30/18
REVISIONS
JOB NUMBER
5491
SHEET
C101

Mission May Apartments – 23rd and Mission

Introduction

The proposed project consists of 96 apartment units on 2.9 acres located at Mission and 23rd Streets. Currently the site is vacant, but once was home to Curly's Dairy. The owner of this development also owns the commercial retail center at Mission, built in 2008. The projects are intended to work together and blend together. There are a total of 6 apartment buildings, three stories in height varying from 12 to 18 units per building. Parking is onsite and shared with the retail center. The site will include open area, common area and new landscaping.

Common Open Space

A variety of open space is provided throughout the site. A minimum 30% or 38,138 sf is required, of which not more than 50% can be in required setbacks and 15% in slopes greater than 25%. The chart below shows the actual areas and percentages.

	Square footage	Required	Percentage of total
Total Site Area	127,128sf		100%
Building footprint	32,640sf		26%
Vehicle pavement	30,474sf		24%
Sidewalks	9,128sf		7%
Common open Area	54,886sf	30% or 38,138 sf	43% of total
Common open Area in Setbacks	11,886sf	50% or 19,069sf	
Common open Area in Swales	3,662sf	15% or 5,720	
Private open Area in balconies	18,432sf	18,432sf	

Per (SRC) Table 702-1, at 96 units a minimum 2,250 square feet of open space with a minimum horizontal distance of 25' is to be provided. Along 23rd Street a 6,980 sf open area is provided and 2,960 sf of open space provided under the existing White Oak trees.

Children's play area, at 96 units meets the minimum at 2,000 square feet of space is required and provided. This area shall be fenced with a 30" high fence and have play equipment included.

Private space for each unit is 96 square feet at the first floor units and 48 square feet at the upper units. A total 96 sf is provided for each ground floor unit and 48 sf for the upper units. All apartment units are provided with either a patio or an elevated deck. Each private space on the

Mission May Apartments – 23rd and Mission

ground level shall be visually and physical separated from the common open space through landscaping.

Landscaping

Landscaping is provided throughout the site with a mix of trees, ground cover and shrubbery. Landscaping provides screening and establishes a sense of place. A total of 64 trees are required and 103 are provided. Street trees are provided along 23rd Street. The site will also have a 6 foot high cedar fence installed around the perimeter (except street facing areas). Landscaping is provided at the entry of the buildings to enhance the front façade. Street trees are provided in the parking areas within the planter islands and every 50 feet along the perimeter.

Parking areas are not greater than 6,700 sf in between planter islands with a minimum width of 18'-0". The largest parking area is to the east of the development at 5,954 sf.

Crime prevention

The site is provided with light bollards along the walkways and path ways throughout the site. Overhead pole lights are provided in the parking areas. Landscaping is placed to avoid hidden areas. Windows are provided on all sides of the apartment buildings allowing for visual surveillance of the site.

Parking, Site Access and Circulation

The existing parking lot to the north is utilized for a portion of the required parking, a smaller parking lot is provided at the western end of the site. Pedestrian walkways interconnect all building entrances to common area amenities. All walkways are 10 feet separated from units.

Site access is provided from the existing parking area.

Direct access is provided from Building 1 to 23rd Street that it faces.

Building Mass and Façade Design

The site is flat, the buildings are three stories in height. The façade and roof lines are stepped throughout each elevation to break up the large planes. Finishes vary and are a mix of fiber cement siding, board and bat and cultured stone. The entries are recessed into the building and decks protrude from the building to help break up the mass. The units are also staggered 4'-0" between them. Of the common entrances for a typical 6 units, the upper four are provided with

Mission May Apartments – 23rd and Mission

their own stair access. Windows are provided in all habitable rooms through the buildings. Windows also vary in size and location.

On Site Trash

The new development is provided with a new trash enclosure. The design and materials match that of the new apartment buildings. Access to the trash enclosure is off the existing parking area and direct forward access is provided to the trash area.

Compatibility

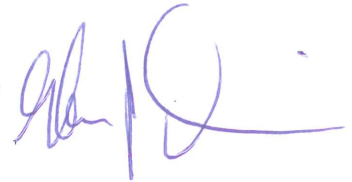
Ground floor entries are provided within covered alcoves. The alcoves are architecturally highlighted to define them as the entrance into the building.

TO: Aaron Panko, Planner III
Community Development Department

FROM: Glenn J. Davis, PE, CFM, Chief Development Engineer
Public Works Department

DATE: June 27, 2017

**SUBJECT: PUBLIC WORKS RECOMMENDATIONS
SITE PLAN REVIEW SPR-DR17-16 (16-120896)
1700-1800 BLOCK OF 23RD STREET SE
96-UNIT APARTMENT COMPLEX**



PROPOSAL

A Class 3 Site Plan Review and Class 1 Design Review for development of a 96-unit apartment complex, for property approximately 3.33 acres in size, zoned IC (Industrial Commercial), and located at the 1700-1800 Block of 23rd Street SE, 97302 (Marion County Assessor's Map and Tax Lot numbers: 073W35AA / 09403 and 073W35AD / 00800).

RECOMMENDED CONDITIONS OF APPROVAL

1. Development within the floodway or floodplain requires a floodplain development permit and is subject to the requirements of SRC Chapter 601.
2. The existing unused driveway approaches to 23rd Street SE shall be removed and replaced with new curb and sidewalk.
3. Prior to final occupancy, a public easement shall be dedicated to the City of Salem for the proposed water meter, located on private property.

FACTS

Streets

1. 23rd Street SE
 - a. Existing Conditions—This street has an approximate 30-foot improvement within a 45-foot-wide right-of-way abutting the subject property.
 - b. Standard—This street is designated as a collector street in the Salem TSP. This street has a reduced standard of a 30-foot improvement within a 45-foot-wide right-of-way.

2. Oxford Street SE

- a. Existing Condition—There is an existing 16-foot partially paved alley improvement within a 25-foot-wide right-of-way adjacent to the subject property.

Storm Drainage

1. Existing Conditions

- a. A 12-inch to 18-inch storm line is located in 23rd Street SE.
- b. A 48-inch storm line is located in Oxford Street SE.

Water

1. Existing Conditions

- a. The subject property is located within the G-0 water service level.
- b. A 12-inch water line is located in 23rd Street SE. Mains of this size generally convey flows of 2,100 to 4,900 gallons per minute.
- c. An 8-inch water line is stubbed to the northern and southern portion of the subject property.

Sanitary Sewer

1. Existing Conditions

- a. An 8-inch sewer line is located in 23rd Street SE. Mains of this size generally convey flows of 500 to 1,100 gallons per minute.
- b. A 10-inch sewer line is located in Oxford Street SE. Mains of this size generally convey flows of 700 to 1,700 gallons per minute.

CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

Criteria: The application meets all applicable standards of the Unified Development Code (UDC)

Finding—The subject property is designated on the Federal Emergency Management Agency (FEMA) floodplain maps as a Zone AE floodplain. Public Works staff has reviewed the Flood Insurance Study and Flood Insurance Rate Maps and has determined the

MEMO

100-year base flood elevation of the subject development is 181 feet. Development within the floodplain requires a floodplain development permit and is subject to the requirements of SRC Chapter 601, including elevation of new structures to a minimum of 1-foot above the base flood elevation. An Elevation Certificate is required to verify the proposed structure's elevation. The Elevation Certificate shall be submitted to the City to verify the structure's elevation prior to pouring building foundations and again prior to final occupancy. The applicant's site plan indicates the proposed finish floor elevations will meet or exceed the minimum requirement of 182 feet.

Criteria: The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

Finding: 23rd Street SE meets the modified right-of-way width and pavement width standards allowed under SRC Chapter 803. Oxford Street SE is not designated in the Salem TSP and is improved as a public alley, and development is not proposing to take vehicular access from Oxford Street SE. Therefore, no additional street improvements are required as a condition of the proposed development.

Criteria: Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians

Finding: The driveway access onto 23rd Street SE provides for safe turning movements into and out of the property. The development plans shall include closure of existing unused driveway approaches to 23rd Street SE. The unused driveway approaches shall be removed and replaced with new curb and sidewalk (SRC 804.060).

Criteria: The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development

Finding: The Public Works Department has reviewed the applicant's preliminary utility plan for this site. The water, sewer, and storm infrastructure are available within surrounding streets / areas and appear to be adequate to serve the proposed development. The applicant shall design and construct all utilities including sewer, water, and storm drainage according to the PWDS and to the satisfaction of the Public Works Director. As shown on the proposed plan, a public easement shall be dedicated to the City of Salem for the proposed water meter located on private property. The easement shall be recorded prior to final occupancy.

The applicant's engineer submitted a statement demonstrating compliance with Stormwater PWDS Appendix 004-E(4)(a) and SRC Chapter 71. The preliminary stormwater design demonstrates the use of green stormwater infrastructure to the maximum extent feasible.

Prepared by: Robin Dalke, Administrative Analyst III
cc: File



DAVID FRIDENMAKER, Manager
Facility Rental, Planning, Property Services
3630 State Street, Bldg. C • Salem, Oregon 97301-5316
503-399-3335 • FAX: 503-375-7847

Christy Perry, Superintendent

May 15, 2017

Aaron Panko, Case Manager
Planning Division, City of Salem
555 Liberty Street SE, Room 305
Salem OR 97301

FAX No. 503-588-6005

RE: Land Use Activity
Salem Case No. SPR-DR17-16, 1700 to 1800 block of 23rd St. SE

SUMMARY OF COMMENTS

School Assignment: Bush Elementary School, Leslie Middle School and South Salem High School
School Capacity: Sufficient school capacity does not currently exist at Bush Elementary School, but does currently exist at Leslie Middle School and South Salem High School.
School Transportation Services: Students residing at the subject property location will be eligible for school transportation services to Bush Elementary School, Leslie Middle School and South Salem High School.

Below is data and the District's comments regarding the proposed land use activity identified above. If you have questions, please call at (503) 399-3335.

ELEMENTARY SCHOOL INFORMATION (GRADES K TO 5)

1. School Name: Bush Elementary School
2. Estimated change in student enrollment due to proposed development: 19
3. Current school capacity: 296
4. Estimate of school enrollment including new development: 332
5. Ratio of estimated school enrollment to total capacity including new development: 112%.
6. Walk Zone Review: Eligible for transportation to Elementary School.
7. Estimate of additional students due to previous 2016 land use applications: 0
8. Estimate of additional students due to previous 2017 land use applications: 8
9. Estimated cumulative impact of 2016-17 land use actions on school capacity: 115% of capacity.

MIDDLE SCHOOL INFORMATION (GRADES 6 TO 8)

1. School Name: Leslie Middle School
2. Estimated change in student enrollment due to proposed development: 7
3. Current school capacity: 947
4. Estimate of school enrollment including new development: 779
5. Ratio of estimated school enrollment to total capacity including new development: 82%
6. Walk Zone Review: Eligible for transportation to Middle School.
7. Estimate of additional students due to previous 2016 land use applications: 29

8. Estimate of additional students due to previous 2017 land use applications: 3
9. Estimated cumulative impact of 2016-17 land use actions on school capacity: 82% of capacity.

HIGH SCHOOL INFORMATION (GRADES 9 TO 12)

1. School Name: South Salem High School
2. Estimated change in student enrollment due to proposed development: 8
3. Current school capacity: 1,981
4. Estimate of school enrollment including new development: 1,892.
5. Ratio of estimated school enrollment to total capacity including new development: 96%
6. Walk Zone Review: Eligible for transportation to High School.
7. Estimate of additional students due to previous 2016 land use applications: 40
8. Estimate of additional students due to previous 2017 land use applications: 4
9. Estimated cumulative impact of 2016-17 land use actions on school capacity: 98% of capacity.

ESTIMATE SUMMARY (GRADES K TO 12):

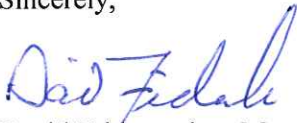
1. Total estimated change in student enrollment: 34
2. Total estimated student enrollment over capacity: 19
3. Total estimated capital costs for new schools for new school capacity: \$965,789

Developer should provide paved walk route(s) to allow pedestrian access and bicycle access to school(s) from all residences within the new development and should provide all improvements required by the City of Salem where new transportation routes are established or existing transportation routes change, such as school flashers, crosswalks, and signage. As per ORS 195.115, when the walk zone review indicates "eligible for transportation due to hazard" the District requests that the City initiate a planning process with the District to identify the barriers and hazards to children walking or bicycling to and from school, determine if the hazards can be eliminated by physical or policy changes and include the hazard elimination in the City's planning and budgeting process.

ASSUMPTIONS:

1. When land use request is granted, 96 new residence(s) will be built.
2. Estimates are computed using the Student Rate per Dwelling Method described in the District's Facility Study for years 2001-2020.
3. In our region, the median costs for new schools are \$50,831 per student for elementary schools, \$54,625 per student for middle schools and \$46,389 per student for high schools.¹

Sincerely,



David Fridenmaker, Manager
Planning and Property Services

c: Mike Wolfe, Chief Operations Officer
David Hughes, Manager – Custodial, Property and Auxiliary Services
William White, Manager - Risk Management
Michael Shields, Director of Transportation

¹ Paul Abramson, 20th Annual School Construction Report, *School Planning & Management*, Feb. 2015