



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

CASE NUMBER:	Class 3 Site Plan Review / Class 1 Design Review Case No. SPR-DR17-16
AMANDA APPLICATION NO:	16-120896-RP, 16-120898-ZO
NOTICE MAILING DATE:	May 10, 2017
PROPERTY LOCATION:	1700 – 1800 Block of 23 rd Street SE / 97302
PROPERTY OWNER(S):	Rushing Mission Street LLC
APPLICANT(S):	Bo Rushing for Rushing Group
REPRESENTATIVE(S):	Gene Bolante for Studio 3 Architecture
DESCRIPTION OF REQUEST:	<p>Summary: Proposed development of a 96-unit apartment complex.</p> <p>Request: A Class 3 Site Plan Review and Class 1 Design Review for development of a 96-unit apartment complex, for property approximately 3.33 acres in size, zoned IC (Industrial Commercial), and located at the 1700-1800 Block of 23rd Street SE - 97302 (Marion County Assessor's Map and Tax Lot numbers: 073W35AA / 09403 and 073W35AD / 00800).</p>
CRITERIA TO BE CONSIDERED:	<p>Pursuant to SRC 220.005(f)(3), an application for a CLASS 3 SITE PLAN REVIEW shall be granted if:</p> <ul style="list-style-type: none">A. The application meets all applicable standards of the UDC;B. The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately;C. Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; andD. The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development. <p>Pursuant to SRC 225.005(e)(1), a Class 1 Design Review shall be approved if all of the applicable design review standards are met.</p>
PUBLIC COMMENT PERIOD:	<p>All written comments must be submitted to City Staff no later than 5:00 p.m., May 24, 2017. Comments received after the close of the Comment Period will not be considered.</p>
TO SUBMIT COMMENTS:	<p>Any person wishing to express support or opposition to the proposed request may do so by submitting written comments during the Public Comment Period. Include case number with the written comments. Written comments may be filed with the Case Manager, Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301, or by email at the address listed below.</p> <p>Following the close of the Public Comment Period, a decision will be issued and</p>

mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.

Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.

CASE MANAGER:

Aaron Panko, Case Manager, City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: APanko@cityofsalem.net. *AP*

NEIGHBORHOOD ORGANIZATION:

Southeast Salem Neighborhood Association (SESNA), Jeff Leach, Land Use Co-Chair; Phone: (503) 508-5499; Email: jeff503@fastmail.com; Darrin Brightman, Land Use Co-Chair; Phone: (503) 586-3964; Email: darrinsesna@gmail.com.

DOCUMENTATION MATERIALS:

Copies of the application, all documents and evidence submitted by the applicant are available for inspection at no cost at the Planning Division office, City Hall, 555 Liberty Street SE, Room 305, during regular business hours. Copies may be obtained at a reasonable cost. Please contact the Case Manager.

ACCESS:

The Americans with Disabilities Act (ADA) accommodations will be provided on request.

\\Allcity\amanda\AmandaForms\4420Type2FilingNotice.doc

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

 [@Salem Planning](https://twitter.com/Salem_Planning)

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 1 Design Review Case No. SPR-DR17-16

PROJECT ADDRESS: 1700 – 1800 Block of 23rd Street SE, Salem, OR 97302

AMANDA Application No. 16-120896-RP & 16-120898-ZO

COMMENT PERIOD ENDS: May 24, 2017

SUMMARY: Proposed development of a 96-unit apartment complex.

REQUEST: A Class 3 Site Plan Review and Class 1 Design Review for development of a 96-unit apartment complex, for property approximately 3.33 acres in size, zoned IC (Industrial Commercial), and located at the 1700-1800 Block of 23rd Street SE - 97302 (Marion County Assessor's Map and Tax Lot numbers: 073W35AA / 09403 and 073W35AD / 00800).

Attached is a copy of the proposal and any related maps. A decision for this proposal will be prepared by the planning staff from information available to the staff. You are invited to respond with information relating to this property and this request. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents.

Comments received by 5:00 P.M., May 24, 2017, will be considered in the decision process. Comments received after this date will be not considered. **Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail or hand deliver your comments to the case manager listed below.**

SEND COMMENTS TO: Aaron Panko, Case Manager; City of Salem, Planning Division
555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2356; Fax: 503-588-6005
E-Mail: APanko@cityofsalem.net; <http://www.cityofsalem.net/planning> *AP*

PLEASE CHECK THE FOLLOWING THAT APPLY:

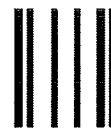
- ☐ 1. I have reviewed the proposal and have no objections to it.
- ☐ 2. I have reviewed the proposal and have the following comments: _____

- ☐ 3. Other: _____

Name: _____
Address: _____
Agency: _____
Phone: _____
Date: _____



POSTAGE WILL BE PAID BY ADDRESSEE
PLANNING DIVISION
CITY OF SALEM
555 LIBERTY ST SE
SALEM OR 97301-9907

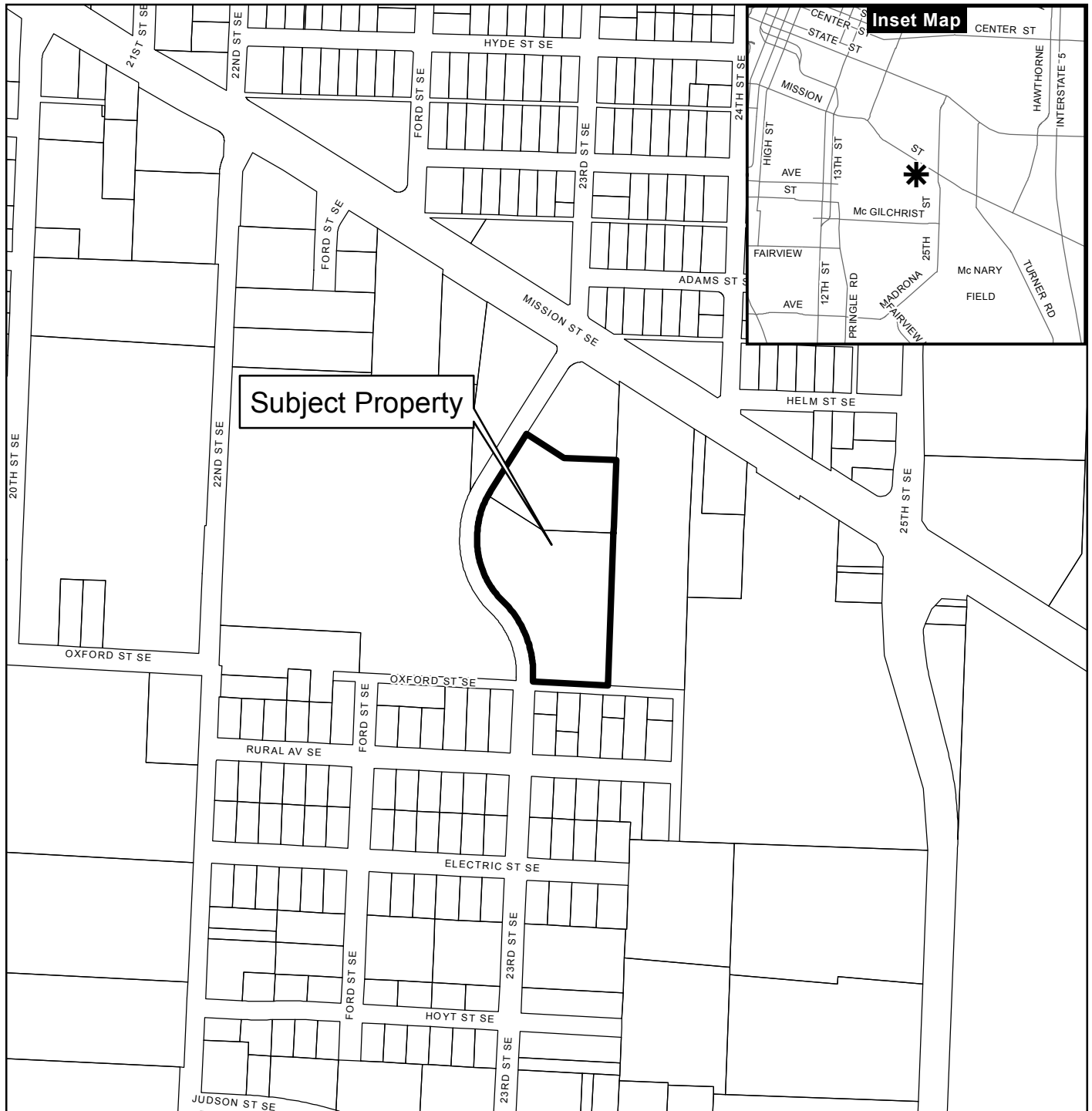


NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES



Vicinity Map

1700-1800 Block of 23rd Street SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

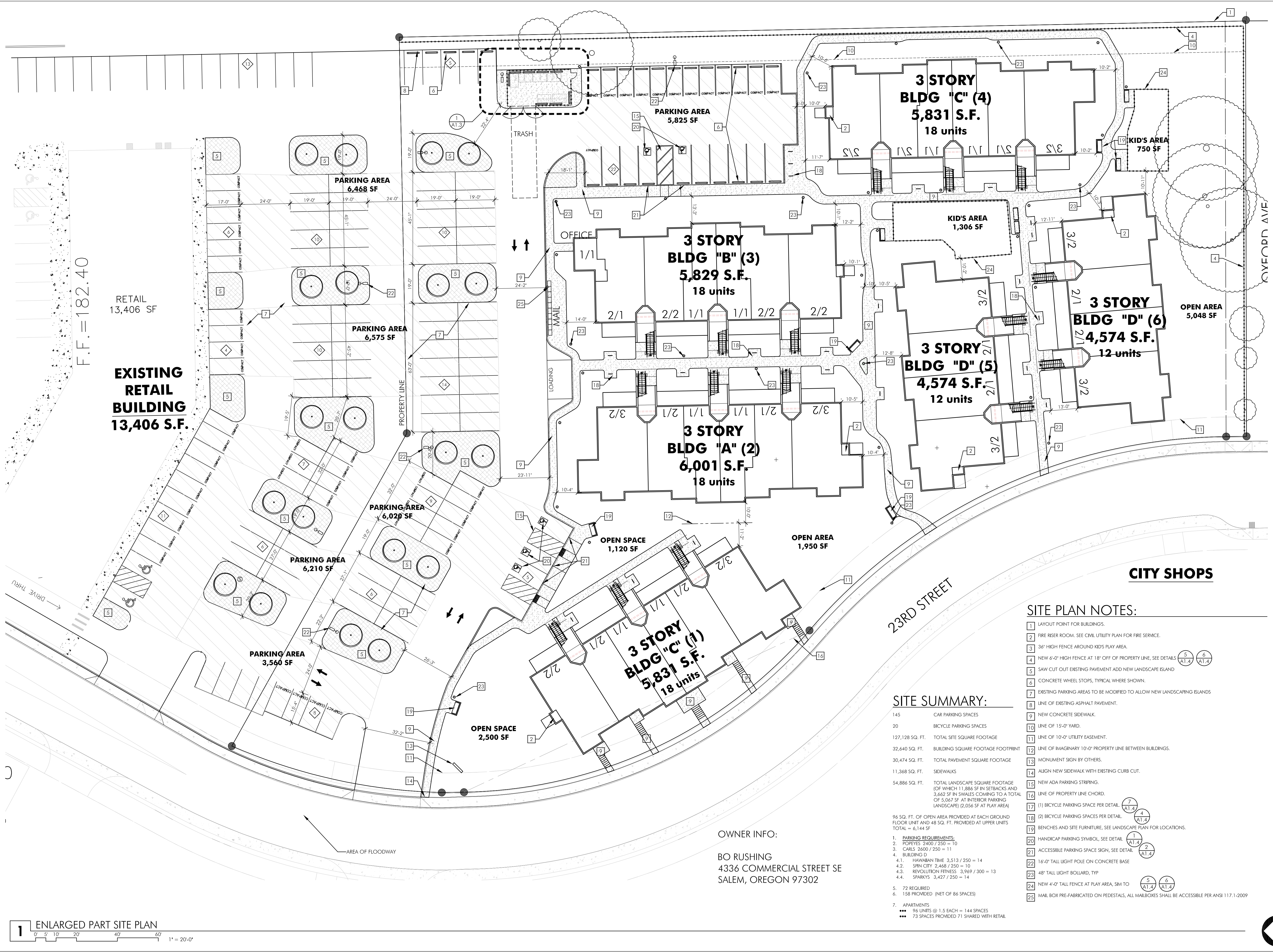
- Parks

CITY OF Salem
AT YOUR SERVICE
 Community Development Dept.

This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

0 100 200 400 Feet





RETAIL
13,406 SF

EXISTING
RETAIL
BUILDING
13,406 S.F.

F.F.=182.40

TRASH

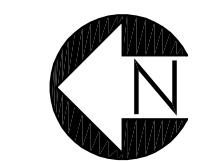
OFFICE

MAIL

LOADING

CITY SHOPS

23RD STREET



OWNER INFO:

BO RUSHING
4336 COMMERCIAL STREET SE
SALEM, OREGON 97302

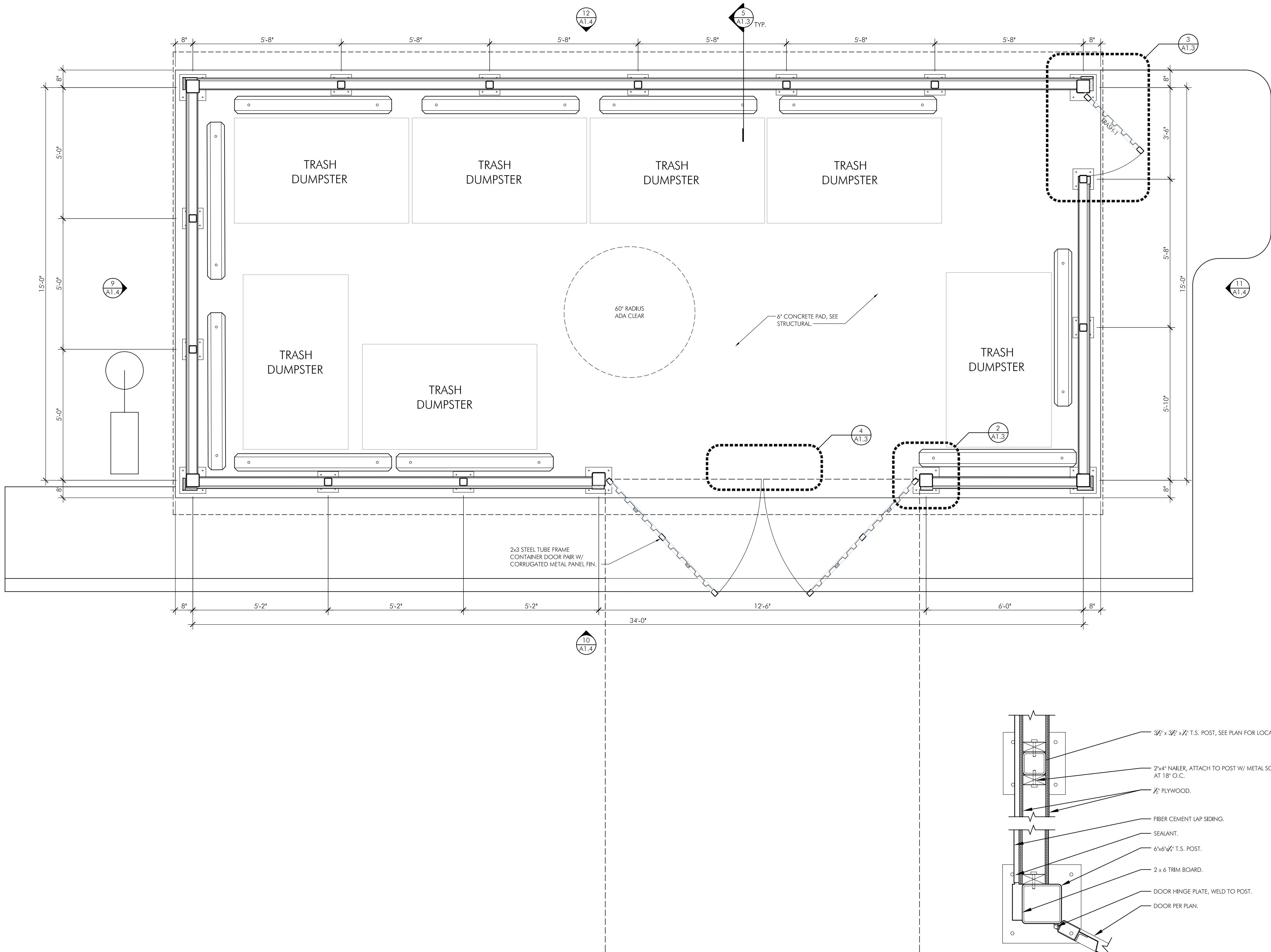
SITE SUMMARY:

145	CAR PARKING SPACES
20	BICYCLE PARKING SPACES
127,128 SQ. FT.	TOTAL SITE SQUARE FOOTAGE
32,640 SQ. FT.	BUILDING SQUARE FOOTAGE FOOTPRINT
30,474 SQ. FT.	TOTAL PAVEMENT SQUARE FOOTAGE
11,368 SQ. FT.	SIDEWALKS
54,886 SQ. FT.	TOTAL LANDSCAPE SQUARE FOOTAGE (OF WHICH 11,886 SF IN SETBACKS AND 3,662 SF IN SWALES COMING TO A TOTAL OF 5,067 SF AT INTERIOR PARKING LANDSCAPE) (2,056 SF AT PLAY AREA)
96 SQ. FT. OF OPEN AREA PROVIDED AT EACH GROUND FLOOR UNIT AND 48 SQ. FT. PROVIDED AT UPPER UNITS TOTAL = 6,144 SF	
1. PARKING REQUIREMENTS:	
2. POPEYES: 2400 / 250 = 10	
3. CARLS: 2600 / 250 = 11	
4. BUILDING D	
4.1. HAWAIIAN TIME: 3,513 / 250 = 14	
4.2. SPRIN CITY: 2,468 / 250 = 10	
4.3. REVOLUTION FITNESS: 3,969 / 300 = 13	
4.4. SPARKYS: 3,427 / 250 = 14	
5. 72 REQUIRED	
6. 158 PROVIDED (NET OF 86 SPACES)	
7. APARTMENTS	
96 UNITS @ 1.5 EACH = 144 SPACES	
73 SPACES PROVIDED 71 SHARED WITH RETAIL	

SITE PLAN NOTES:

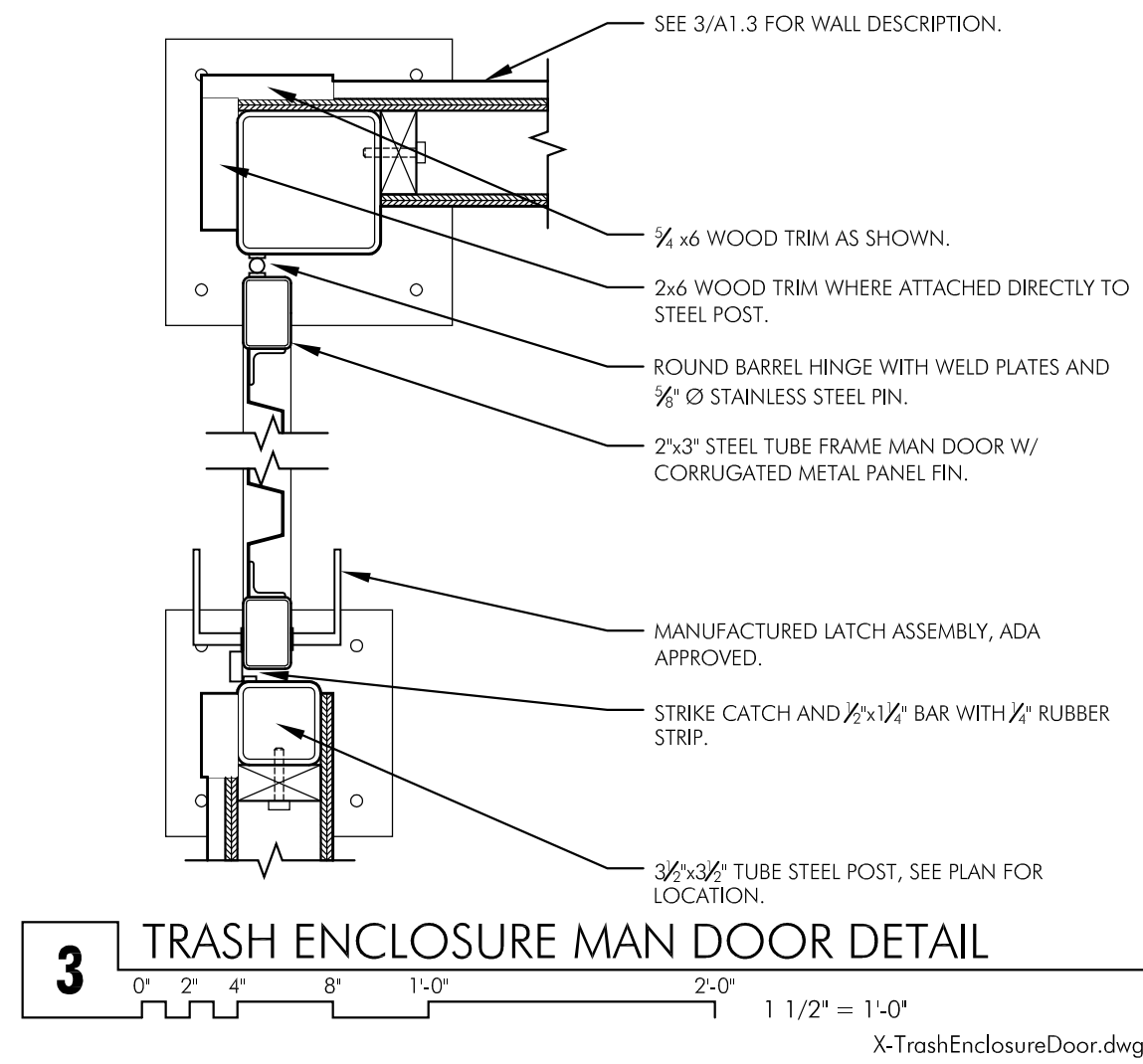
- LAYOUT POINT FOR BUILDINGS.
- FIRE RISER ROOM. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- 36" HIGH FENCE AROUND KID'S PLAY AREA.
- NEW 6'-0" HIGH FENCE AT 18" OFF OF PROPERTY LINE. SEE DETAILS (5) (6) (A1.4) (A1.4)
- SAW CUT OUT EXISTING PAVEMENT ADD NEW LANDSCAPE ISLAND
- CONCRETE WHEEL STOPS, TYPICAL WHERE SHOWN.
- EXISTING PARKING AREAS TO BE MODIFIED TO ALLOW NEW LANDSCAPING ISLANDS
- LINE OF EXISTING ASPHALT PAVEMENT.
- NEW CONCRETE SIDEWALK.
- LINE OF 15'-0" YARD.
- LINE OF 10'-0" UTILITY EASEMENT.
- LINE OF IMAGINARY 10'-0" PROPERTY LINE BETWEEN BUILDINGS.
- MONUMENT SIGN BY OTHERS.
- ALIGN NEW SIDEWALK WITH EXISTING CURB CUT.
- NEW ADA PARKING STRIPING.
- LINE OF PROPERTY LINE CHORD.
- (1) BICYCLE PARKING SPACE PER DETAIL (7) (A1.4)
- (2) BICYCLE PARKING SPACES PER DETAIL (4) (A1.4)
- BENCHES AND SITE FURNITURE, SEE LANDSCAPE PLAN FOR LOCATIONS.
- HANDICAP PARKING SYMBOL, SEE DETAIL (1) (A1.4) (2) (A1.4)
- ACCESSIBLE PARKING SPACE SIGN, SEE DETAIL (2) (A1.4)
- 16'-0" TALL LIGHT POLE ON CONCRETE BASE
- 48" TALL LIGHT BOLLARD, TYP
- NEW 4'-0" TALL FENCE AT PLAY AREA, SIM TO (5) (6) (A1.4) (A1.4)
- MAIL BOX PRE-FABRICATED ON PEDESTALS, ALL MAILBOXES SHALL BE ACCESSIBLE PER ANSI 117.1-2009

1 ENLARGED PART SITE PLAN
0' 5' 10' 20' 40' 60'
1" = 20'-0"

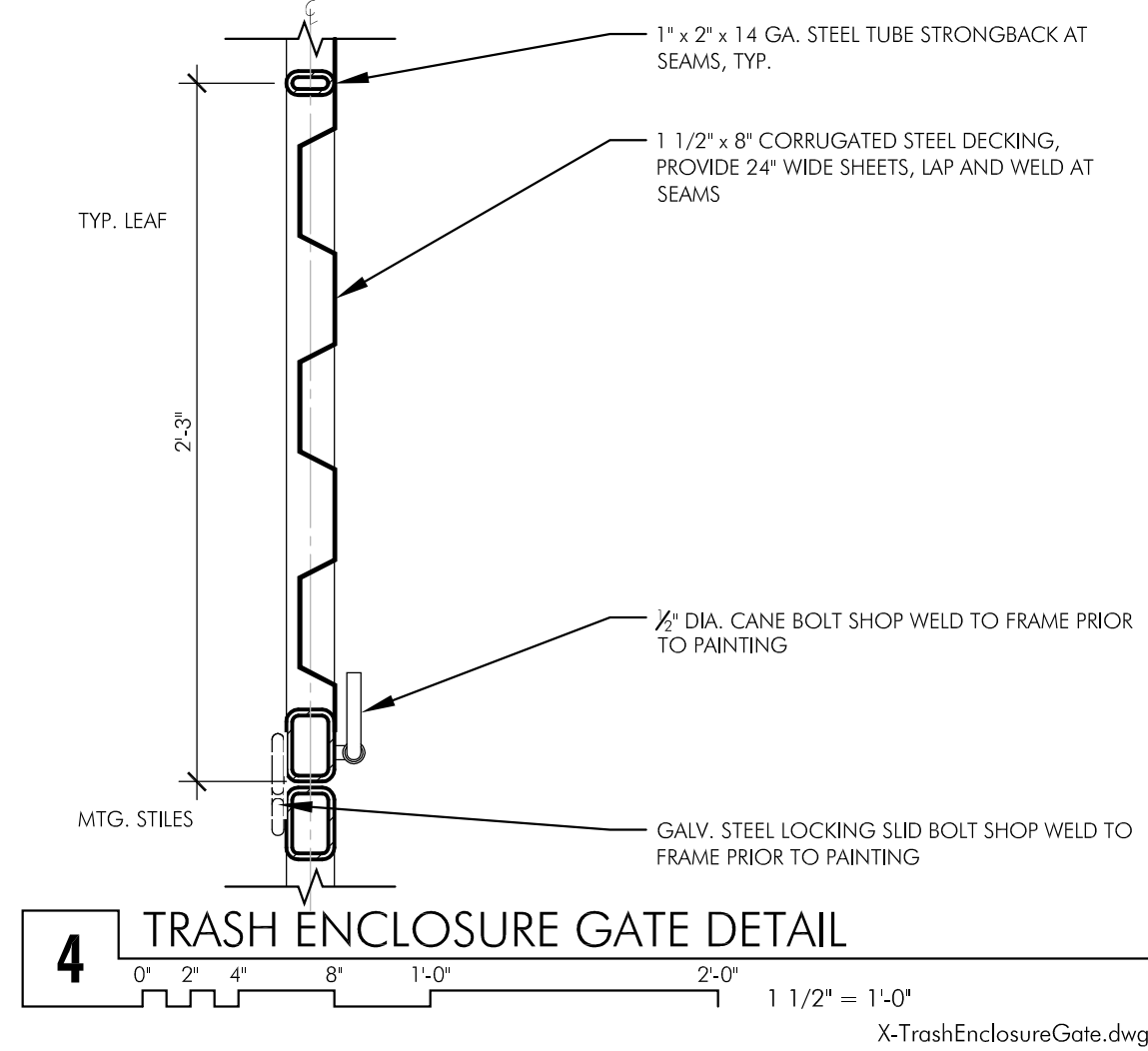


1 TRASH ENCLOSURE PLAN
0' 1' 2' 4' 6' 1 1/2" = 1'-0"

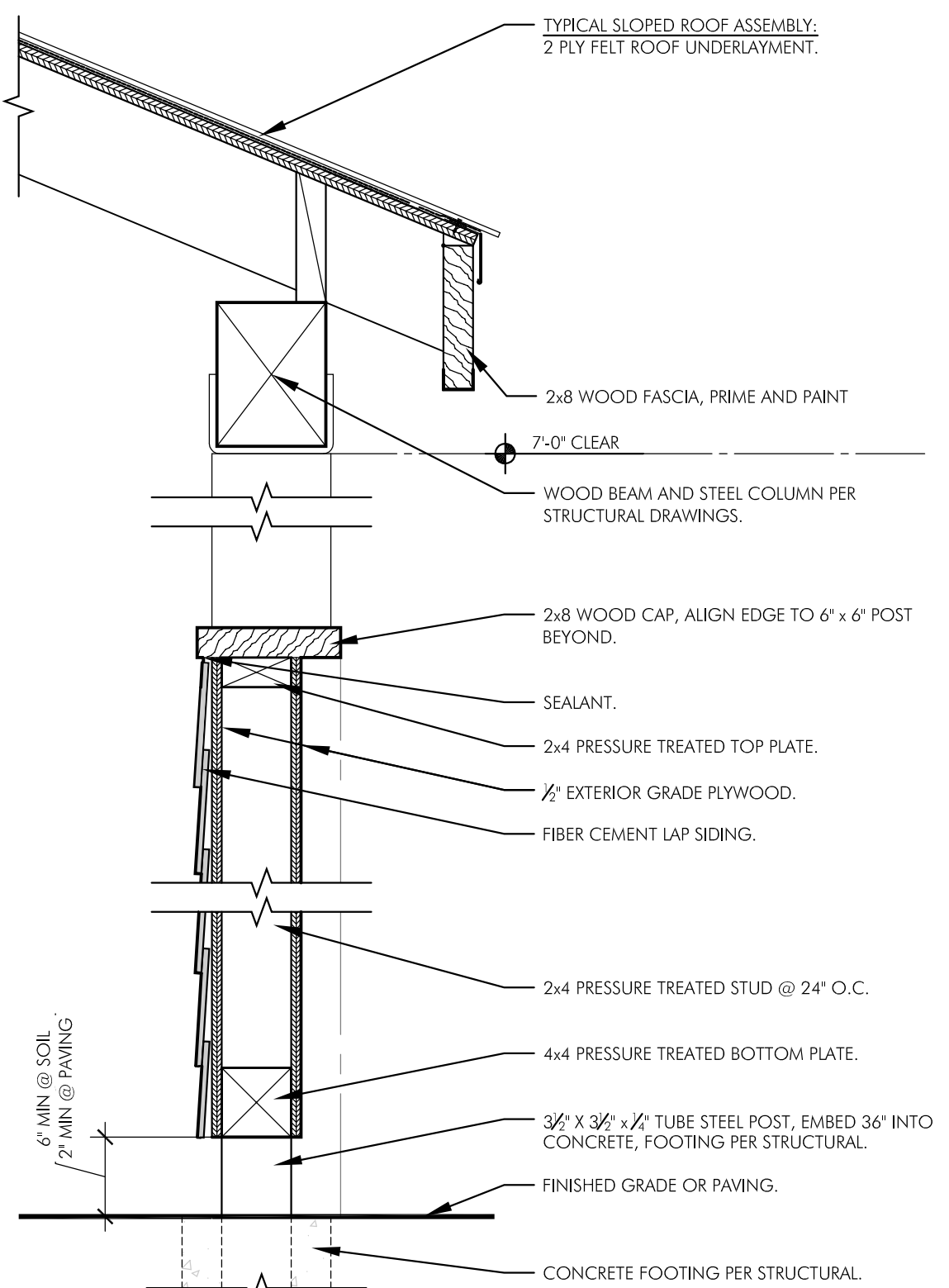
2 TRASH ENCLOSURE CORNER DETAIL
0' 1' 2' 4' 8' 1'-0" 2'-0" 1 1/2" = 1'-0"
X-TrashEnclosureCorner-2.dwg



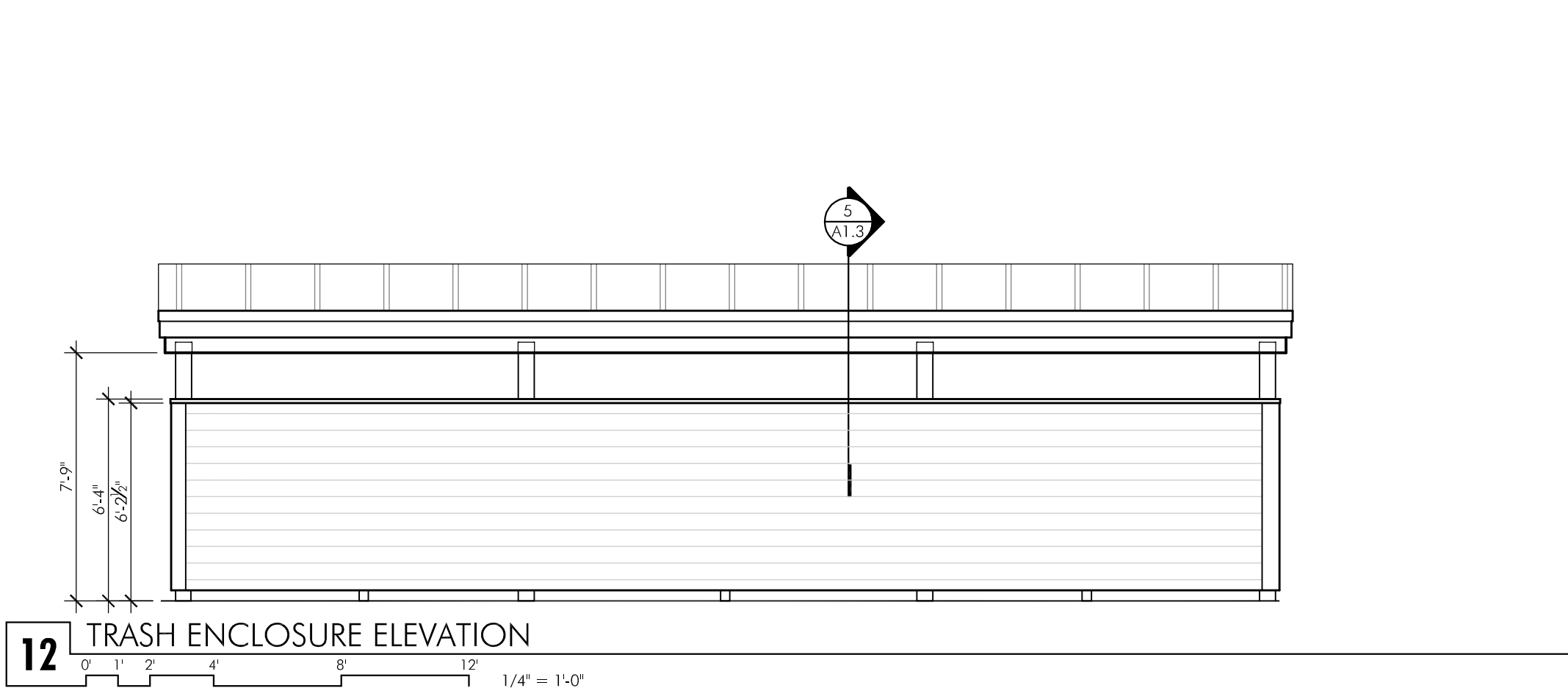
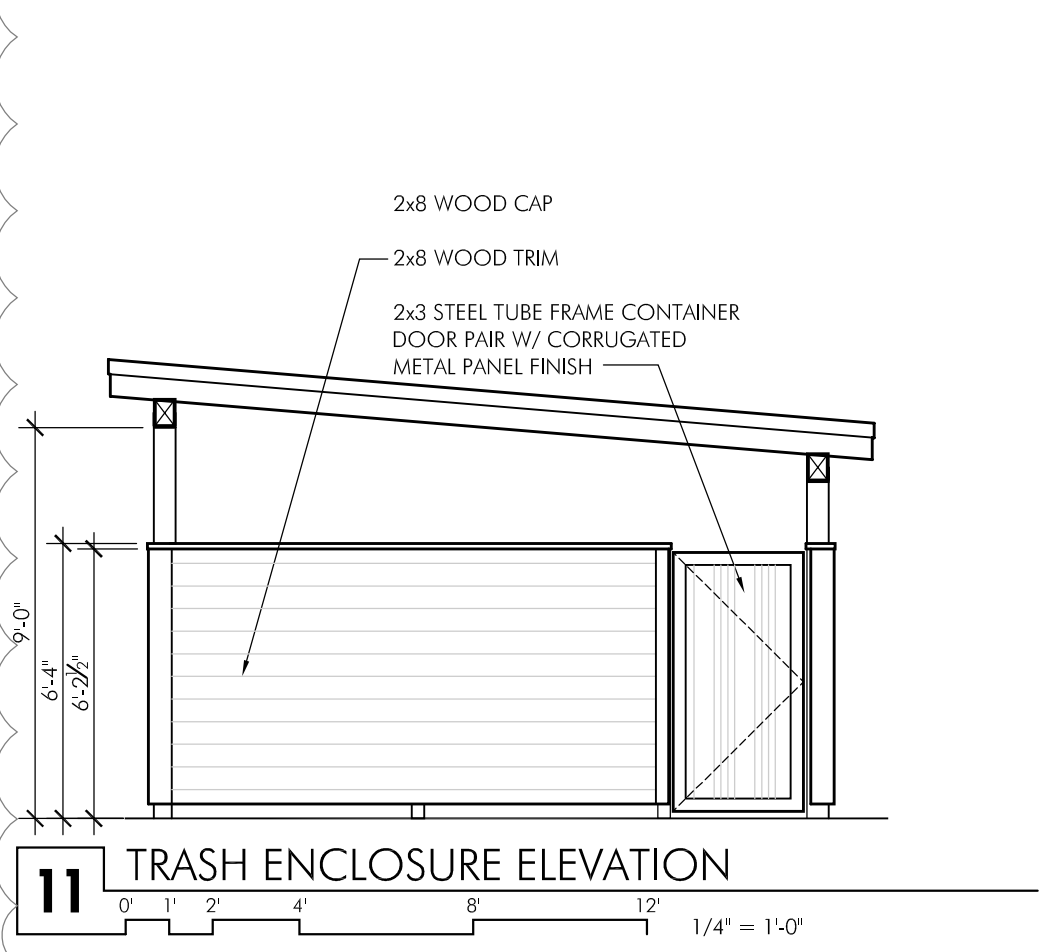
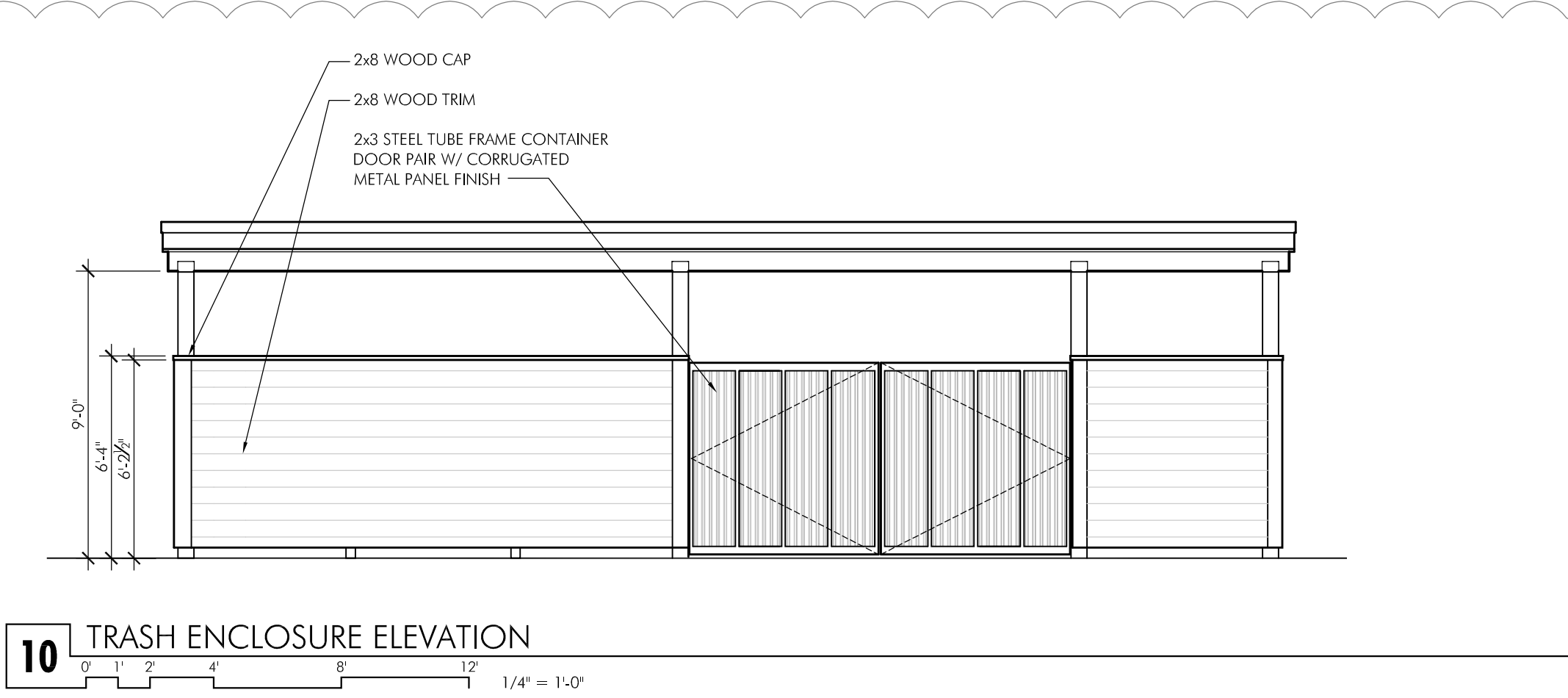
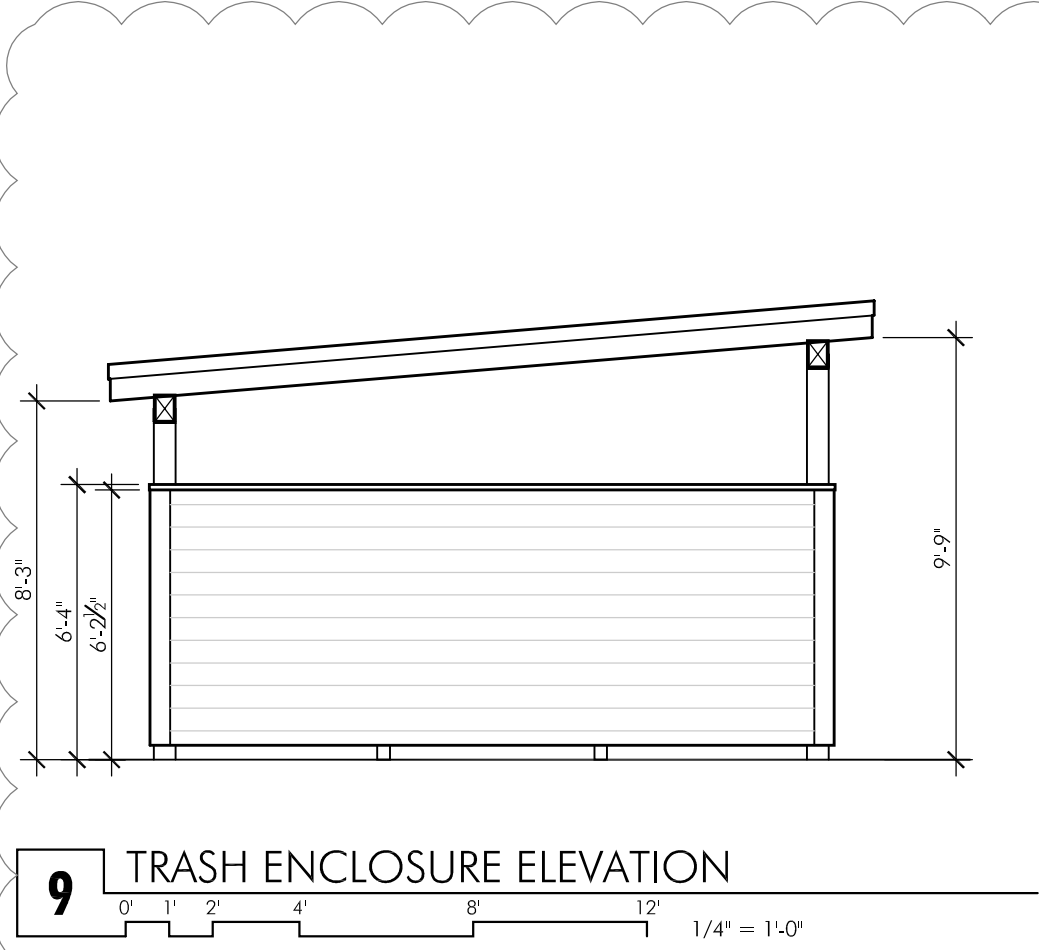
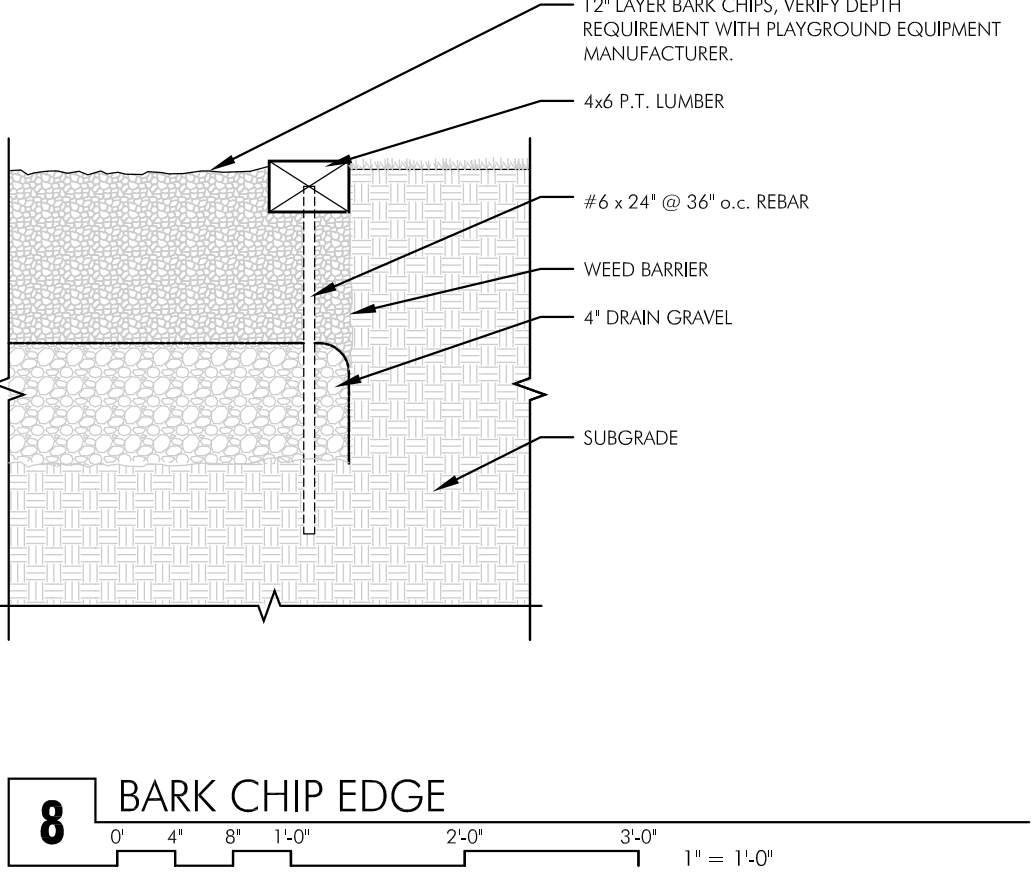
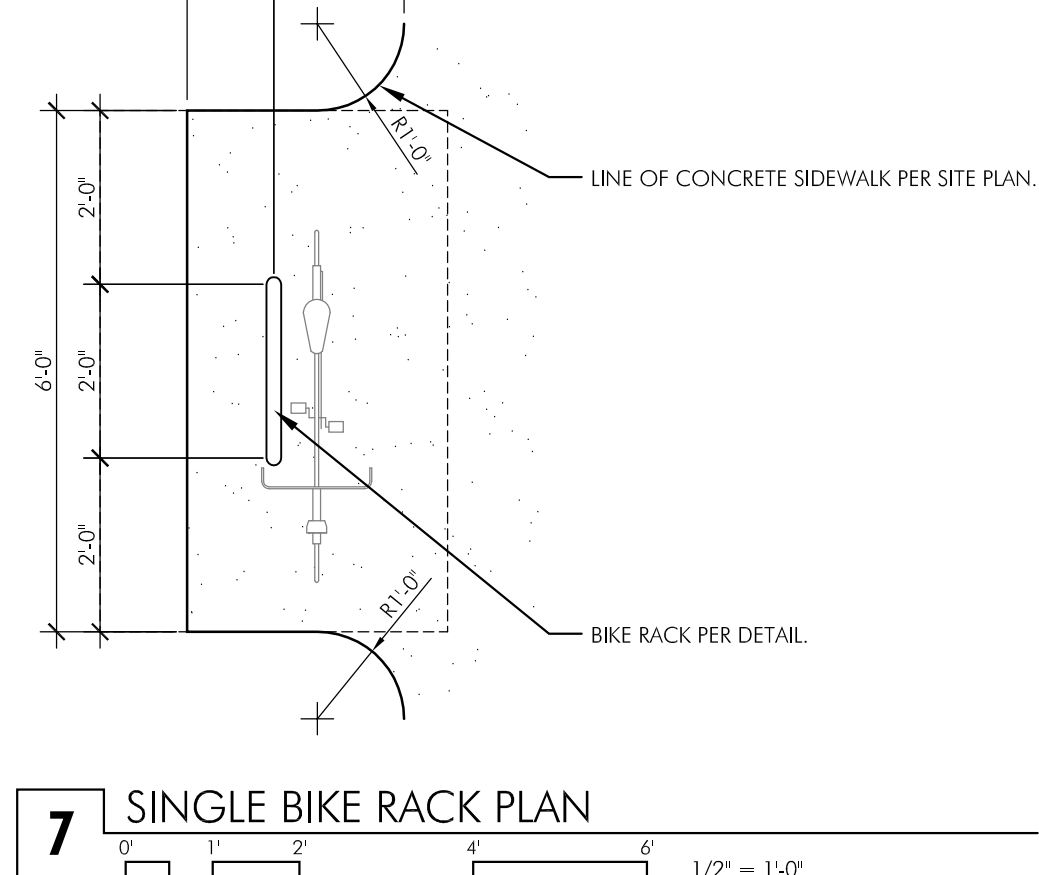
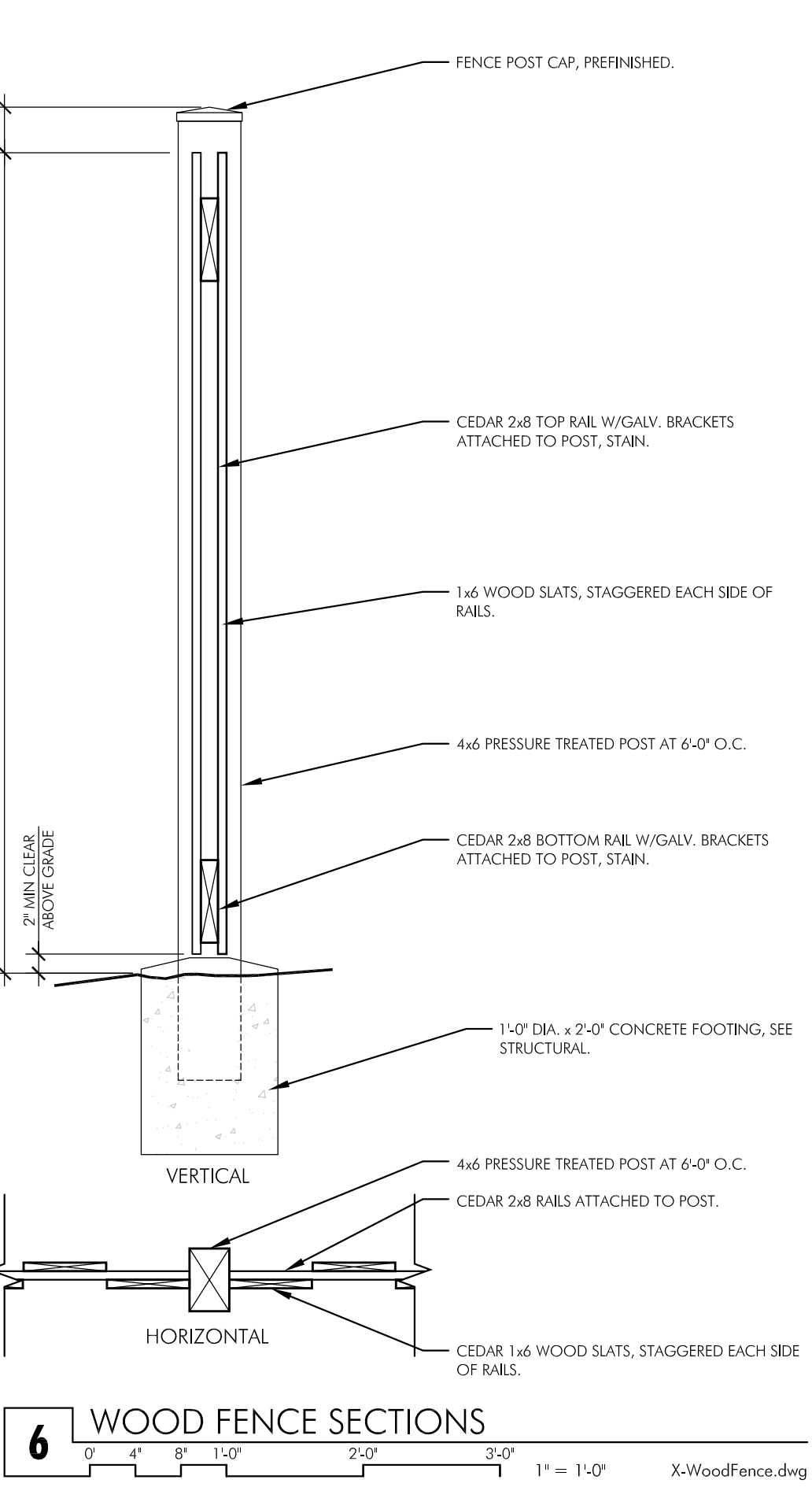
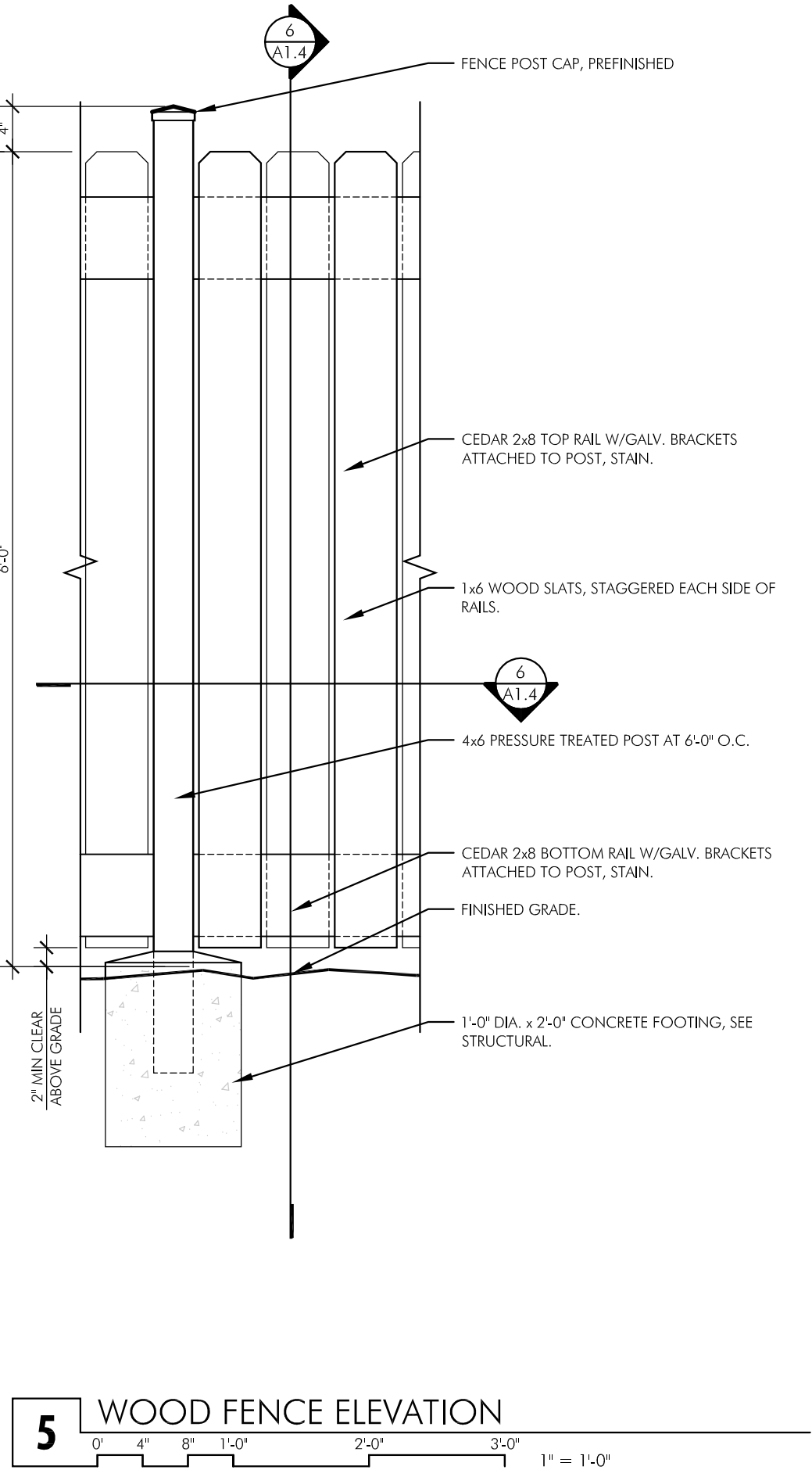
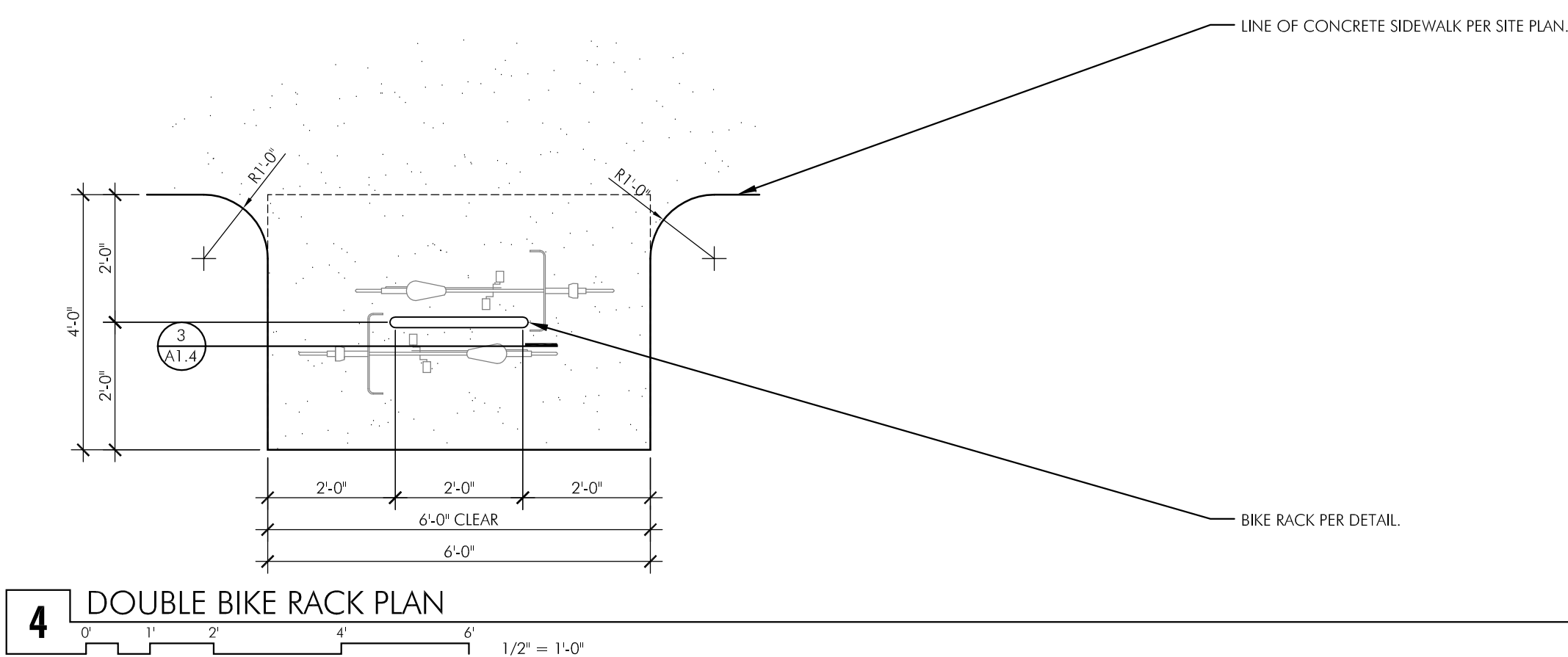
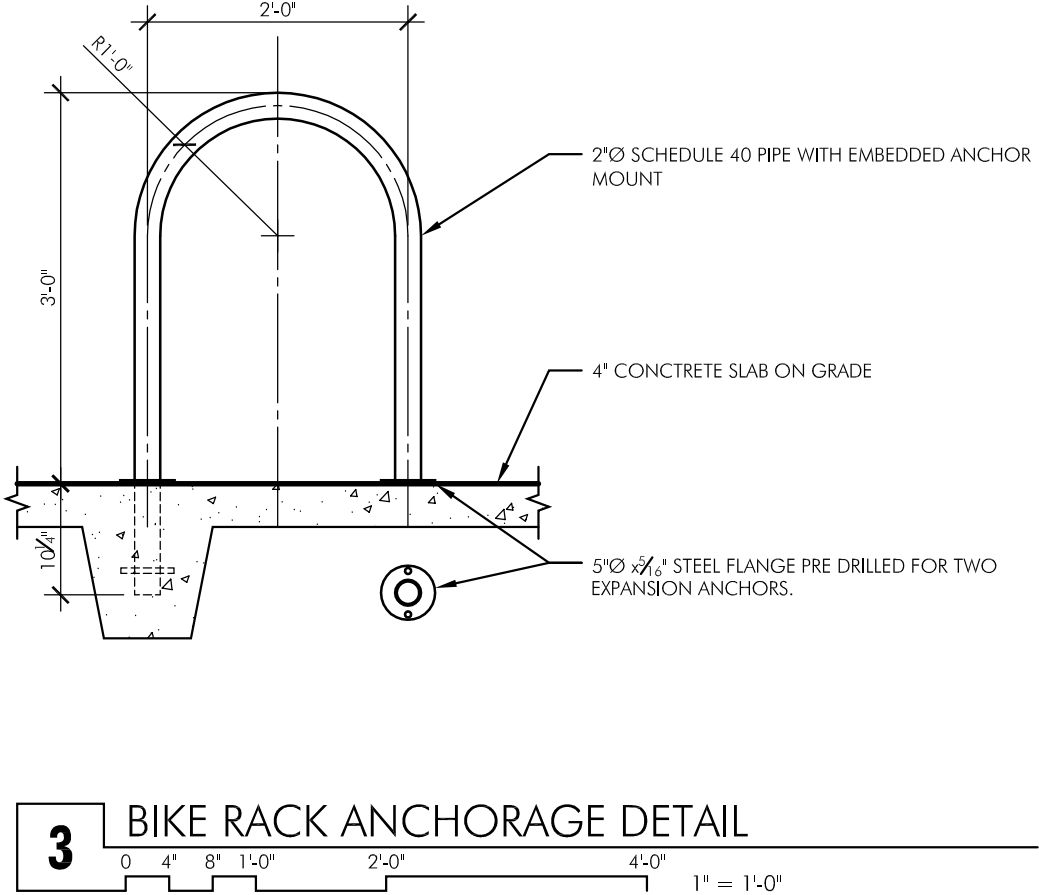
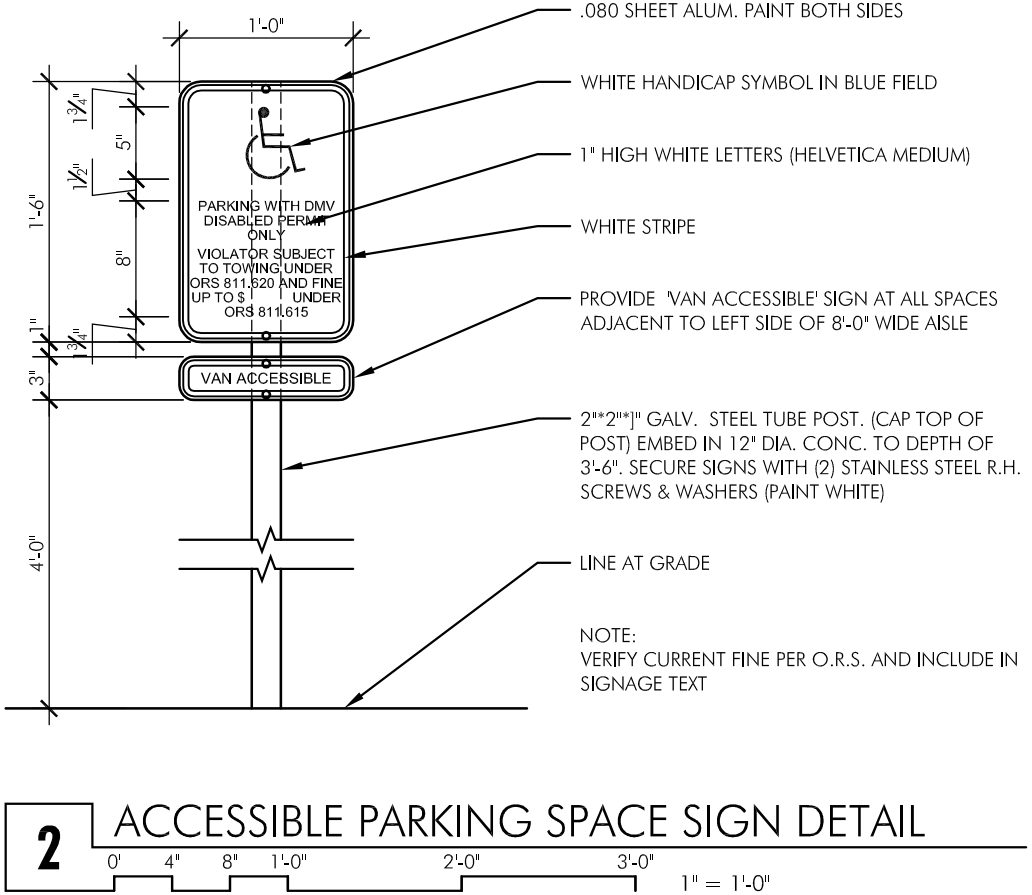
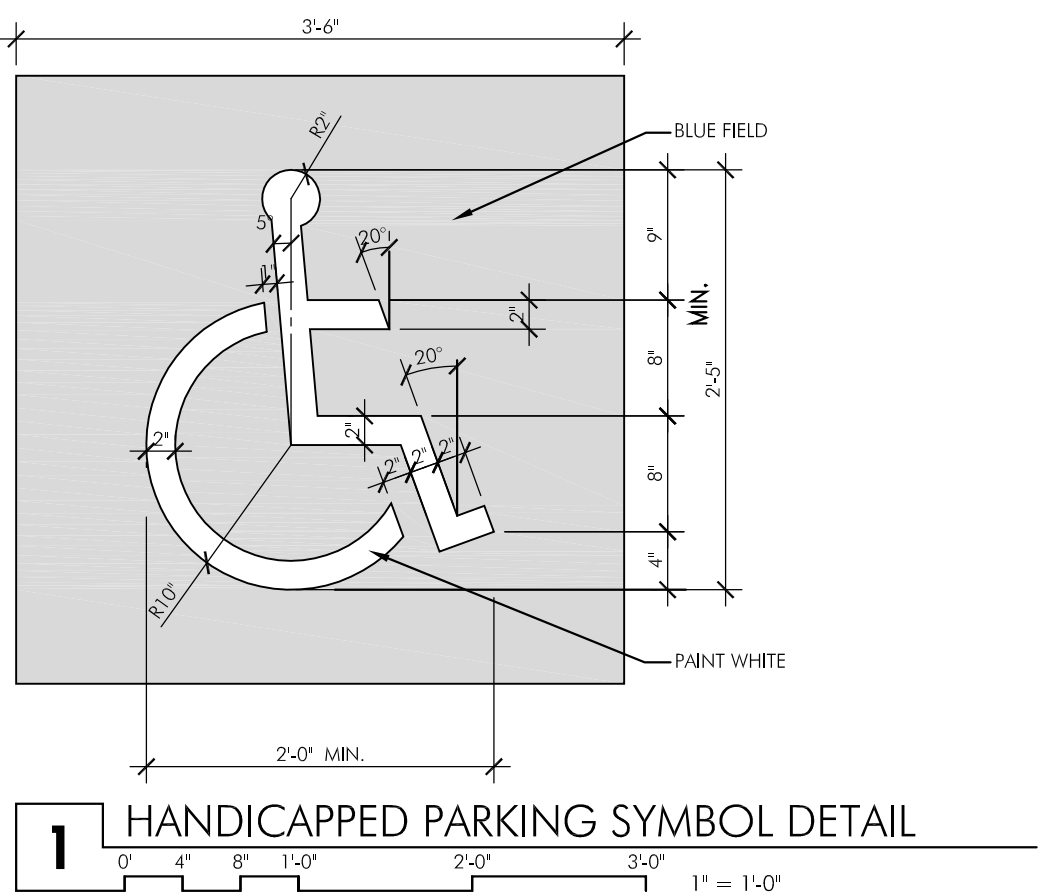
3 TRASH ENCLOSURE MAN DOOR DETAIL
0' 1' 2' 4' 8' 1'-0" 2'-0" 1 1/2" = 1'-0"
X-TrashEnclosureDoor.dwg

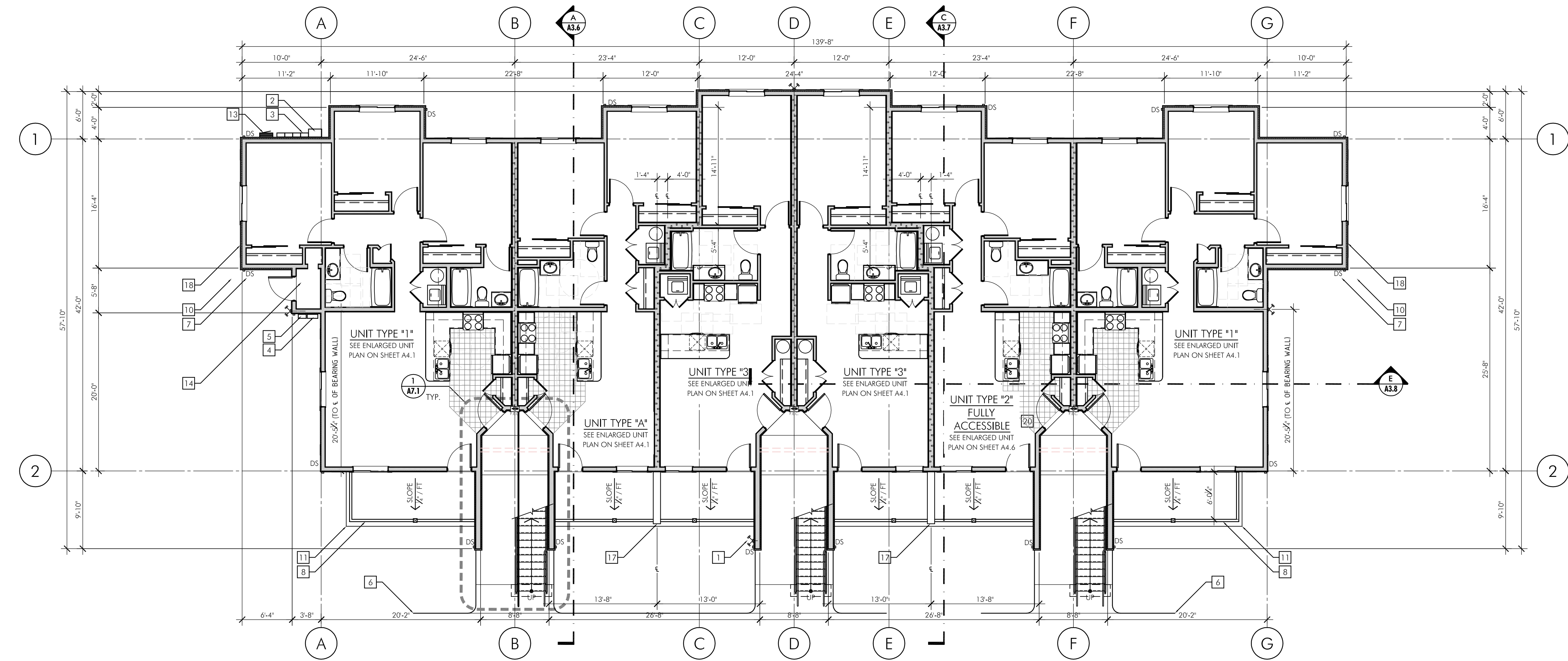


4 TRASH ENCLOSURE GATE DETAIL
0' 1' 2' 4' 8' 1'-0" 2'-0" 1 1/2" = 1'-0"
X-TrashEnclosureGate.dwg

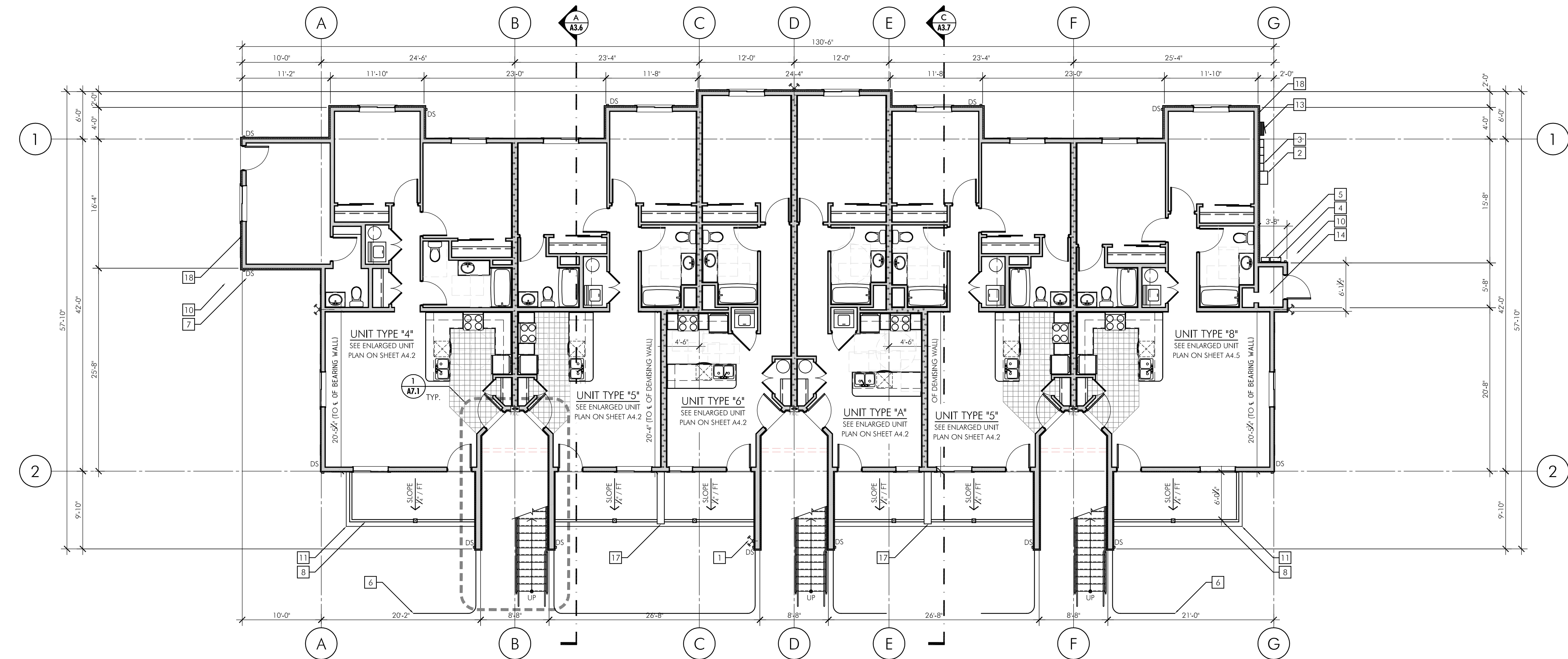


5 TRASH ENCLOSURE SECTION
0' 1' 2' 4' 8' 1'-0" 2'-0" 1 1/2" = 1'-0"
X-TrashEnclosureSection.dwg





1 BUILDING "A" OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"



2 BUILDING "B" OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL PLAN NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
- SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
- WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
- ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
- SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
- SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATORS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT (AND ENGINEER WHERE APPLICABLE) SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
- ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SOWER WALLS AND BATHROOM CEILINGS.
- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEET A0.4 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
- FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SHEET A7.1 FOR STAIR CONFIGURATIONS AND LOCATIONS.
- PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SOWER WALLS AND BATHROOM CEILINGS. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SOWER AND AT BATHS THAT HAVE SHOWERS.

PLAN NOTES:

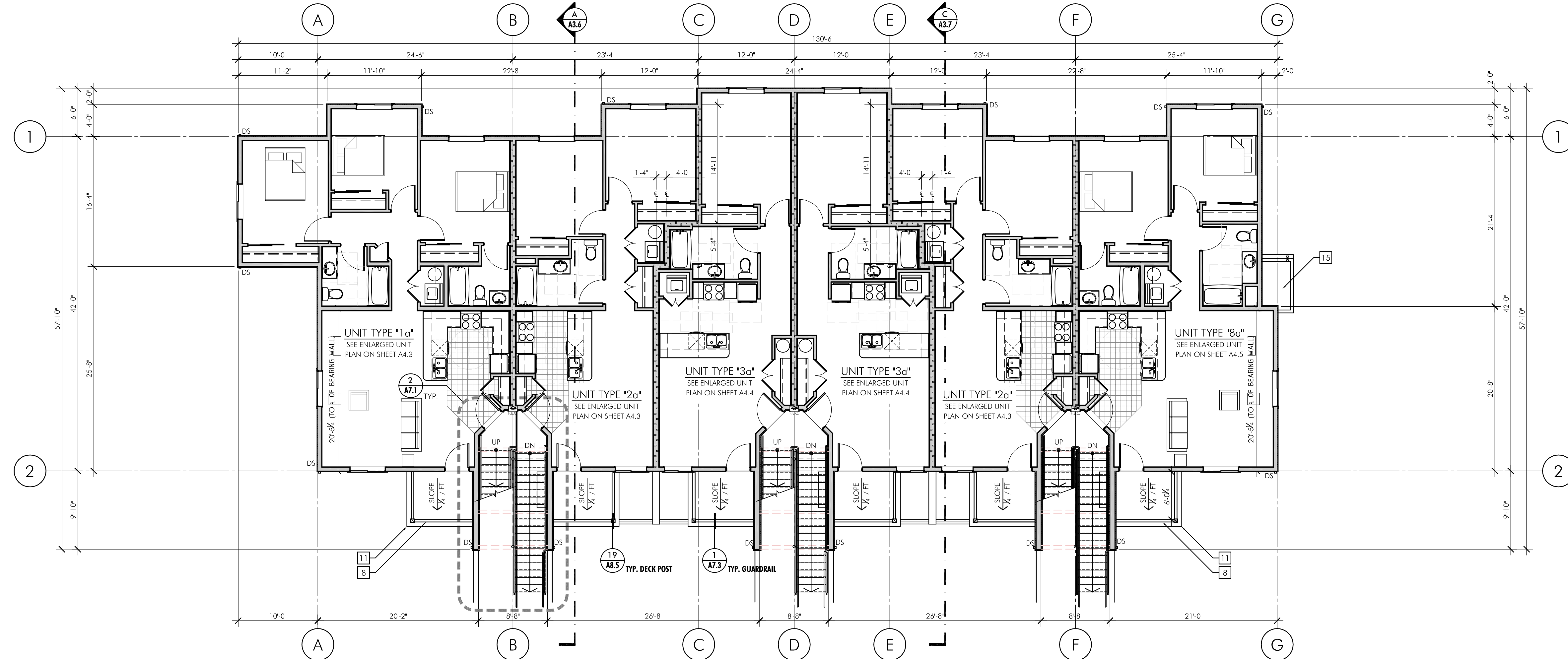
- HOSE BIBB, SEE PLUMBING.
- ELECTRICAL CT PANEL, SEE ELECTRICAL DRAWINGS.
- ELECTRICAL METERS, SEE ELECTRICAL DRAWINGS.
- TELEPHONE BOX, SEE ELECTRICAL DRAWINGS.
- CABLE BOX, SEE ELECTRICAL DRAWINGS.
- SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- EXTERIOR RAIL, SEE - A7.3 SIM.
- SEE STAIR PLAN, SHEET A7.1 FOR STAIR TYPE.
- FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- LINE OF CONCRETE PATIO OR DECK AT UPPER FLOORS.
- LINE OF ROOF ABOVE.
- HOUSE PANEL, SEE ELECTRICAL DRAWINGS.
- FIRE RISER ROOM, SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- ROOF OF RISER ROOM BELOW.
- LINE OF VAULTED CEILING AT THIRD FLOOR.
- PATIO WING / SEPARATION WALL, CENTER BETWEEN WINDOWS.
- STONE VENER WHERE SHOWN ON PLANS AND ELEVATIONS.
- AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS.
- THIS UNIT DESIGNED TO MEET ANSI 117.1-2009 TYPE "A" UNIT, SEE SHEET A4.6

GENERAL PLAN NOTES:

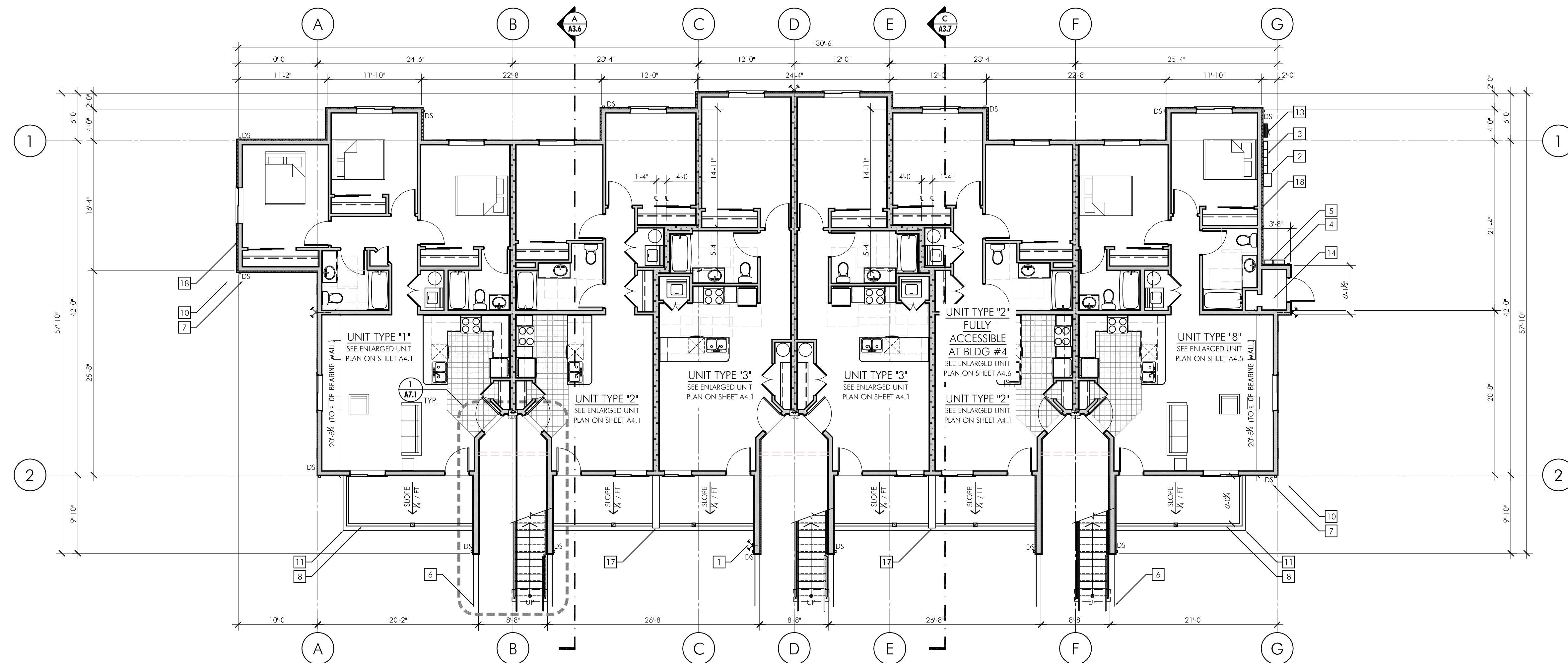
- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
- SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
- WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
- ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
- SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
- SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATORS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT (AND ENGINEER WHERE APPLICABLE) SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
- ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SOWER WALLS AND BATHROOM CEILINGS.
- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEET A0.4 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
- FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SHEET A7.1 FOR STAIR CONFIGURATIONS AND LOCATIONS.
- PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SOWER WALLS AND BATHROOM CEILINGS. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SOWER AND AT BATHS THAT HAVE SHOWERS.

PLAN NOTES:

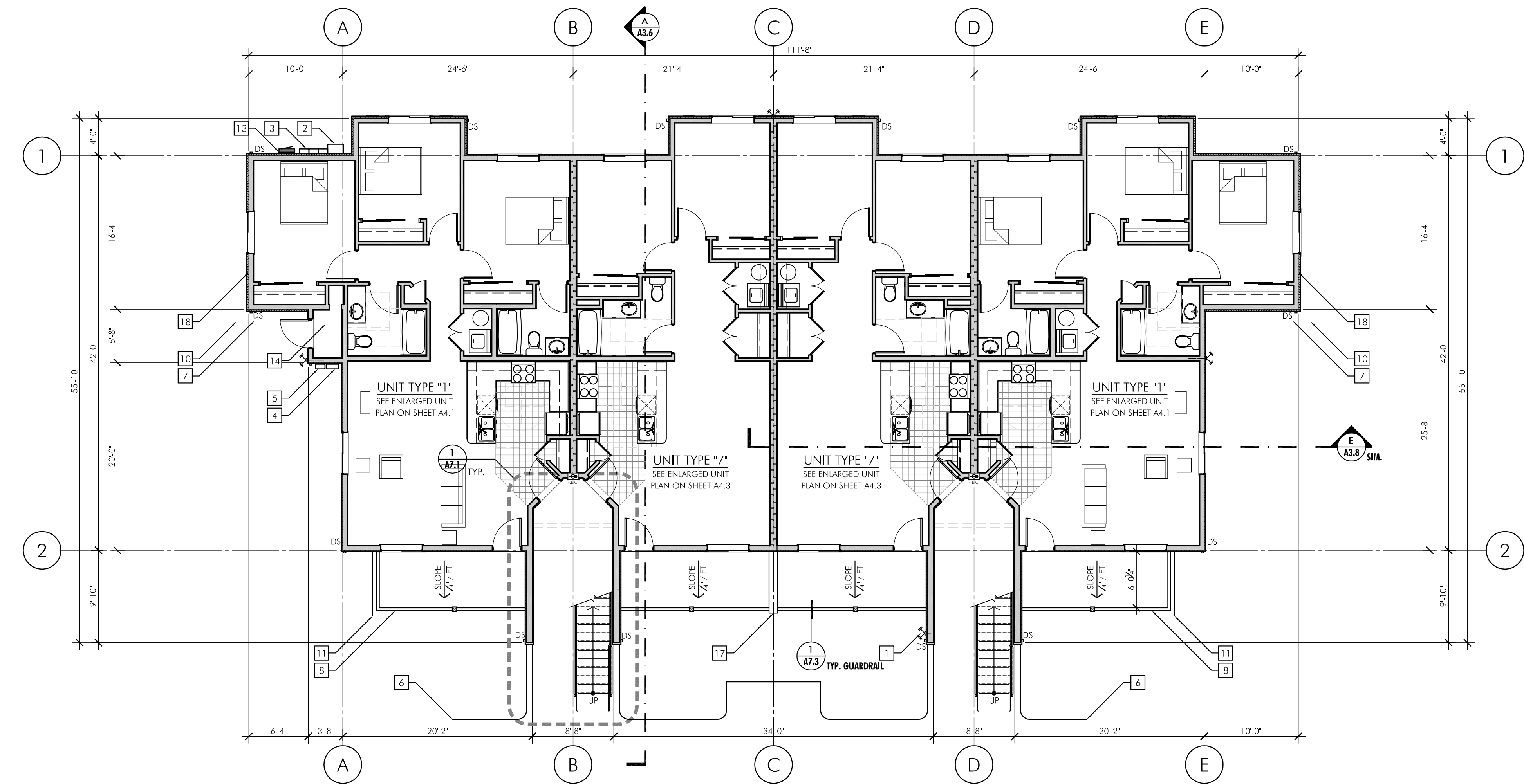
- HOSE BIBB, SEE PLUMBING.
- ELECTRICAL CT PANEL, SEE ELECTRICAL DRAWINGS.
- ELECTRICAL METERS, SEE ELECTRICAL DRAWINGS.
- TELEPHONE BOX, SEE ELECTRICAL DRAWINGS.
- CABLE BOX, SEE ELECTRICAL DRAWINGS.
- SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- EXTERIOR RAIL, SEE - A7.3 SIM.
- SEE STAIR PLAN, SHEET A7.1 FOR STAIR TYPE.
- FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- LINE OF CONCRETE PATIO OR DECK AT UPPER FLOORS.
- LINE OF ROOF ABOVE.
- HOUSE PANEL, SEE ELECTRICAL DRAWINGS.
- FIRE RISER ROOM. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- ROOF OF RISER ROOM BELOW.
- LINE OF VAULTED CEILING AT THIRD FLOOR.
- PATIO WING / SEPARATION WALL, CENTER BETWEEN WINDOWS.
- STONE VENER WHERE SHOWN ON PLANS AND ELEVATIONS.
- AIR CONDITIONING SLEEVE AND POWER. UNDER WINDOW AT WINDOW LOCATIONS.
- THIS UNIT DESIGNED TO MEET ANSI 117.1-2009 TYPE "A" UNIT, SEE SHEET A4.6



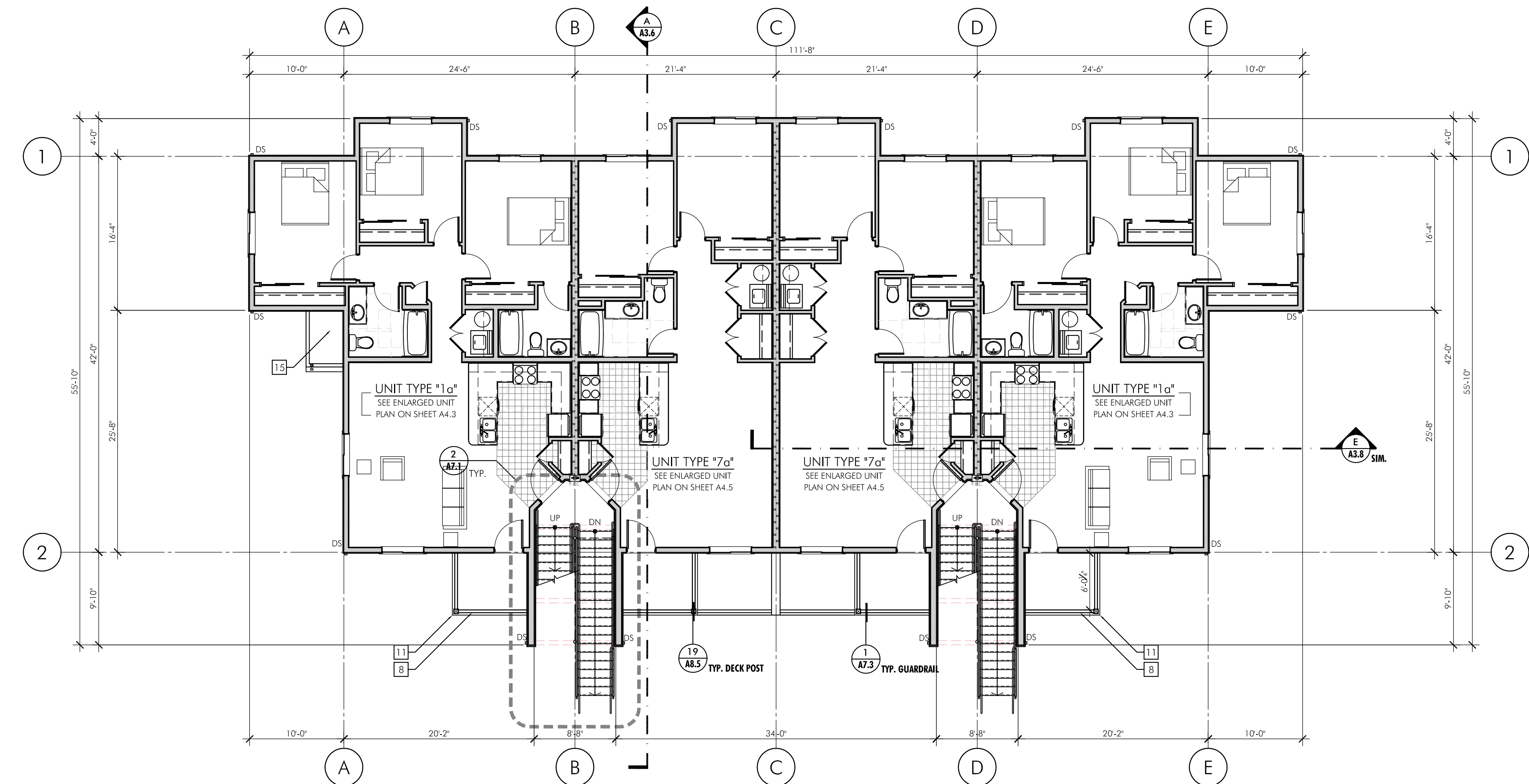
1 BUILDING "C" OVERALL SECOND FLOOR PLAN



2 BUILDING "C" OVERALL FIRST FLOOR PLAN



1 BUILDING "D" OVERALL FIRST FLOOR PLAN



2 BUILDING "D" OVERALL SECOND FLOOR PLAN

GENERAL PLAN NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
- SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
- WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
- ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
- SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
- SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATORS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT (AND ENGINEER WHERE APPLICABLE) SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
- ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SOWER WALLS AND BATHROOM CEILINGS.
- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEET A0.4 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
- FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SHEET A7.1 FOR STAIR CONFIGURATIONS AND LOCATIONS.
- PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SOWER WALLS AND BATHROOM CEILINGS. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SOWER AND AT BATHS THAT HAVE SHOWERS.

PLAN NOTES:

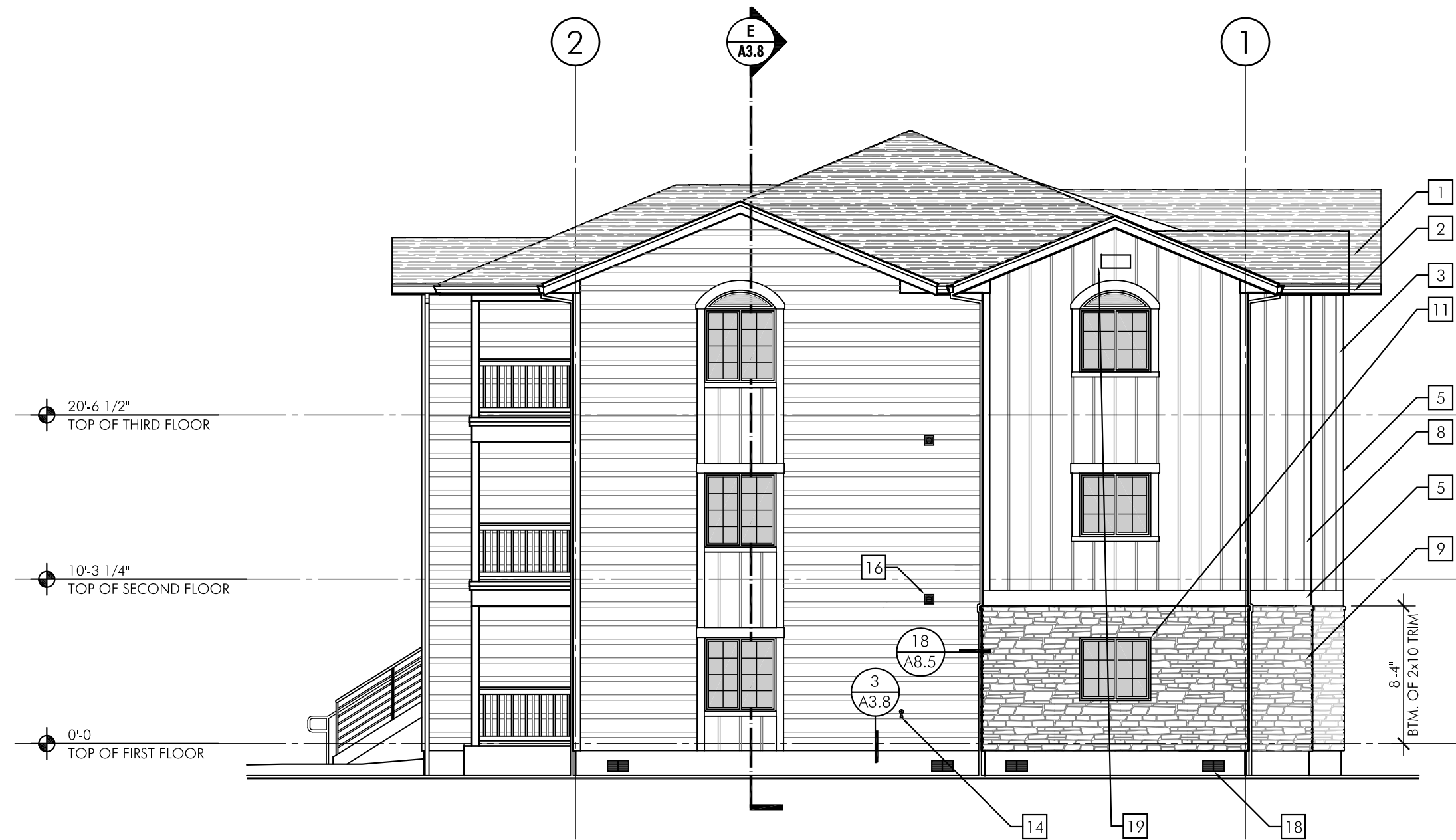
- HOSE BIBB, SEE PLUMBING.
- ELECTRICAL CT PANEL, SEE ELECTRICAL DRAWINGS.
- ELECTRICAL METERS, SEE ELECTRICAL DRAWINGS.
- TELEPHONE BOX, SEE ELECTRICAL DRAWINGS.
- CABLE BOX, SEE ELECTRICAL DRAWINGS.
- SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- EXTERIOR RAIL, SEE - **1** A7.3 SIM.
- SEE STAIR PLAN, SHEET A7.1 FOR STAIR TYPE.
- FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- LINE OF CONCRETE PATIO OR DECK AT UPPER FLOORS.
- LINE OF ROOF ABOVE.
- HOUSE PANEL, SEE ELECTRICAL DRAWINGS.
- FIRE RISER ROOM. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- ROOF OF RISER ROOM BELOW.
- LINE OF VAULTED CEILING AT THIRD FLOOR.
- PATIO WING / SEPARATION WALL, CENTER BETWEEN WINDOWS.
- STONE VENEER WHERE SHOWN ON PLANS AND ELEVATIONS.
- AIR CONDITIONING SLEEVE AND POWER. UNDER WINDOW AT WINDOW LOCATIONS.
- THIS UNIT DESIGNED TO MEET ANSI 117.1-2009 TYPE "A" UNIT, SEE SHEET A4.6



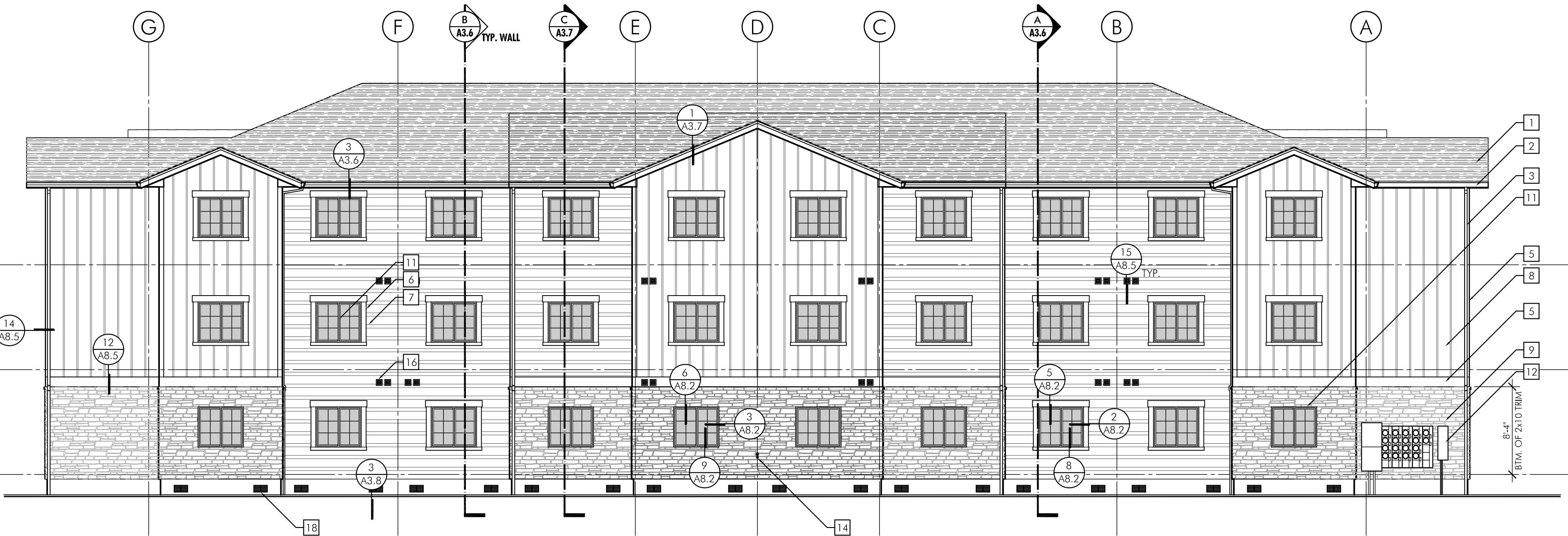
1 BUILDING "A" FRONT ENTRY ELEVATION

ELEVATION NOTES:

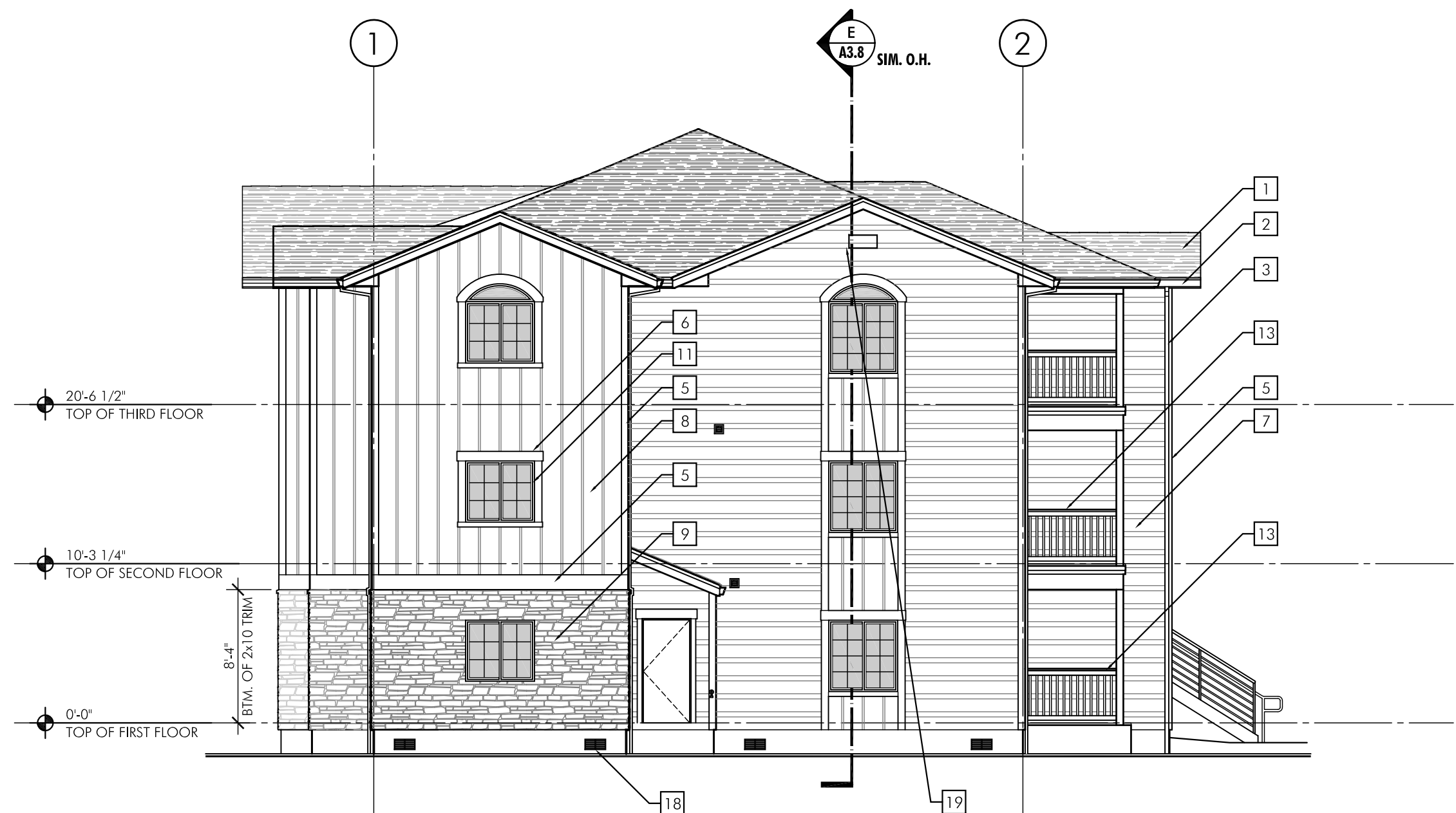
- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
- 10 EXTERIOR DOORS, - PAINT.
- 11 VINYL FRAMED WINDOWS.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PAINT TO MATCH WALL.
- 13 42" HIGH GUARDRAIL - TYPICAL.
- 14 HOSE BIBB ON TRIM BACKER.
- 15 PRE-FINISHED ROOF VENT.
- 16 EXHAUST COVERS.
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



2 BUILDING "A" RIGHT SIDE ELEVATION



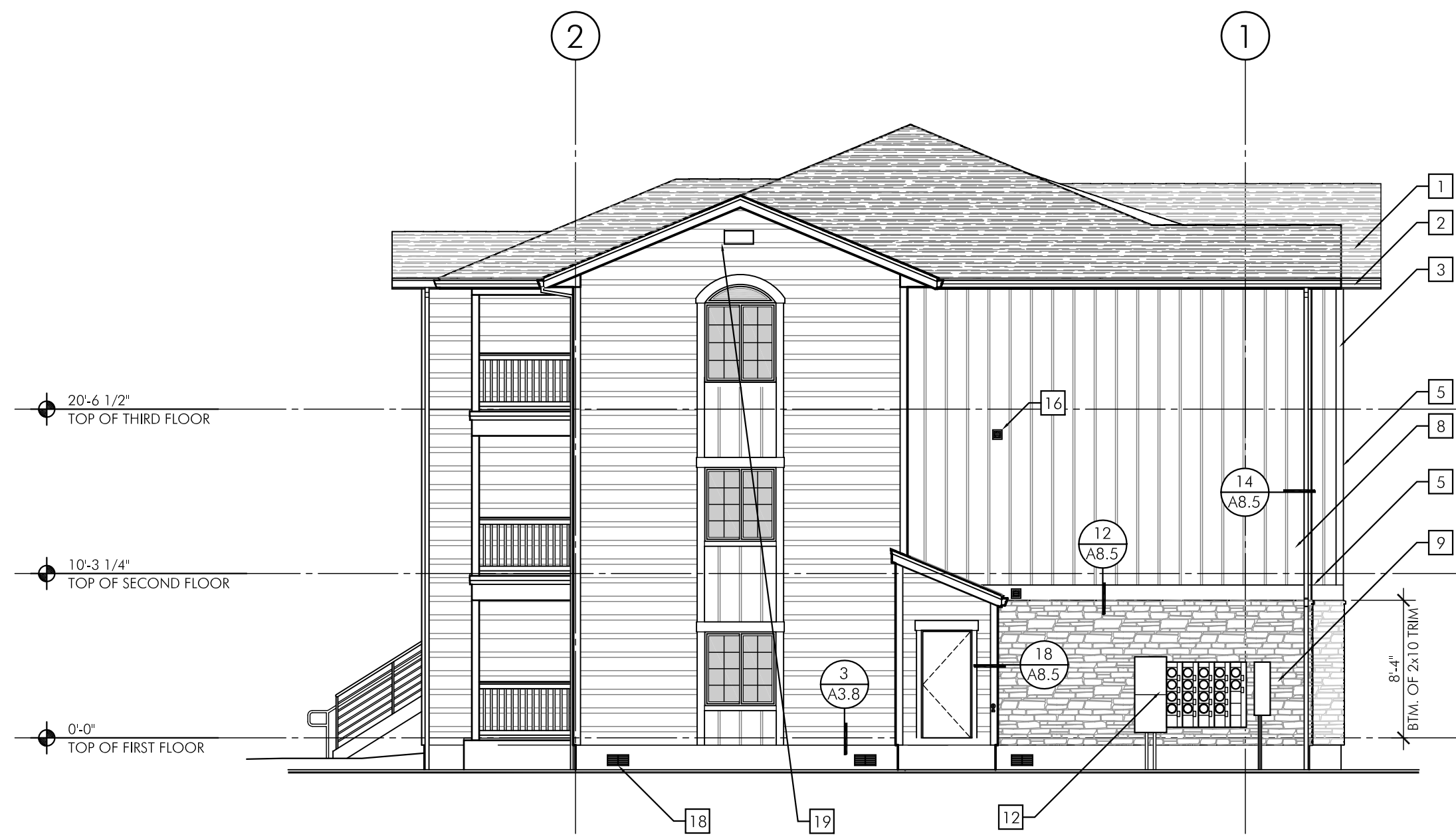
3 BUILDING "A" REAR ELEVATION



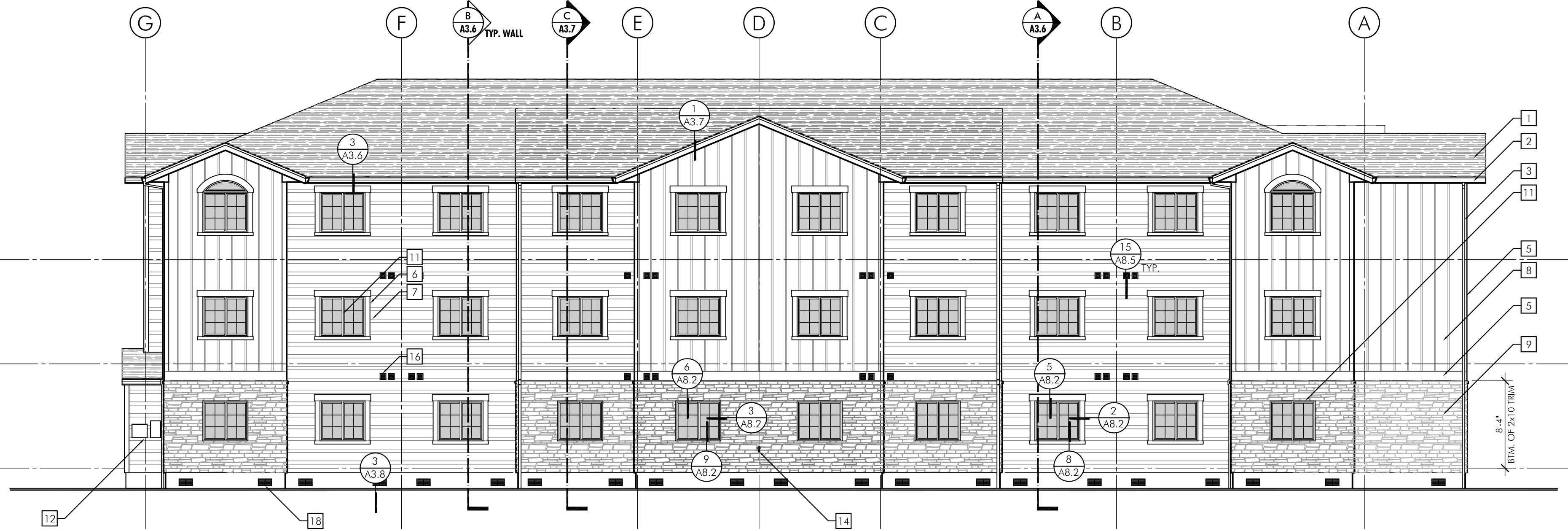
4 BUILDING "A" LEFT SIDE ELEVATION



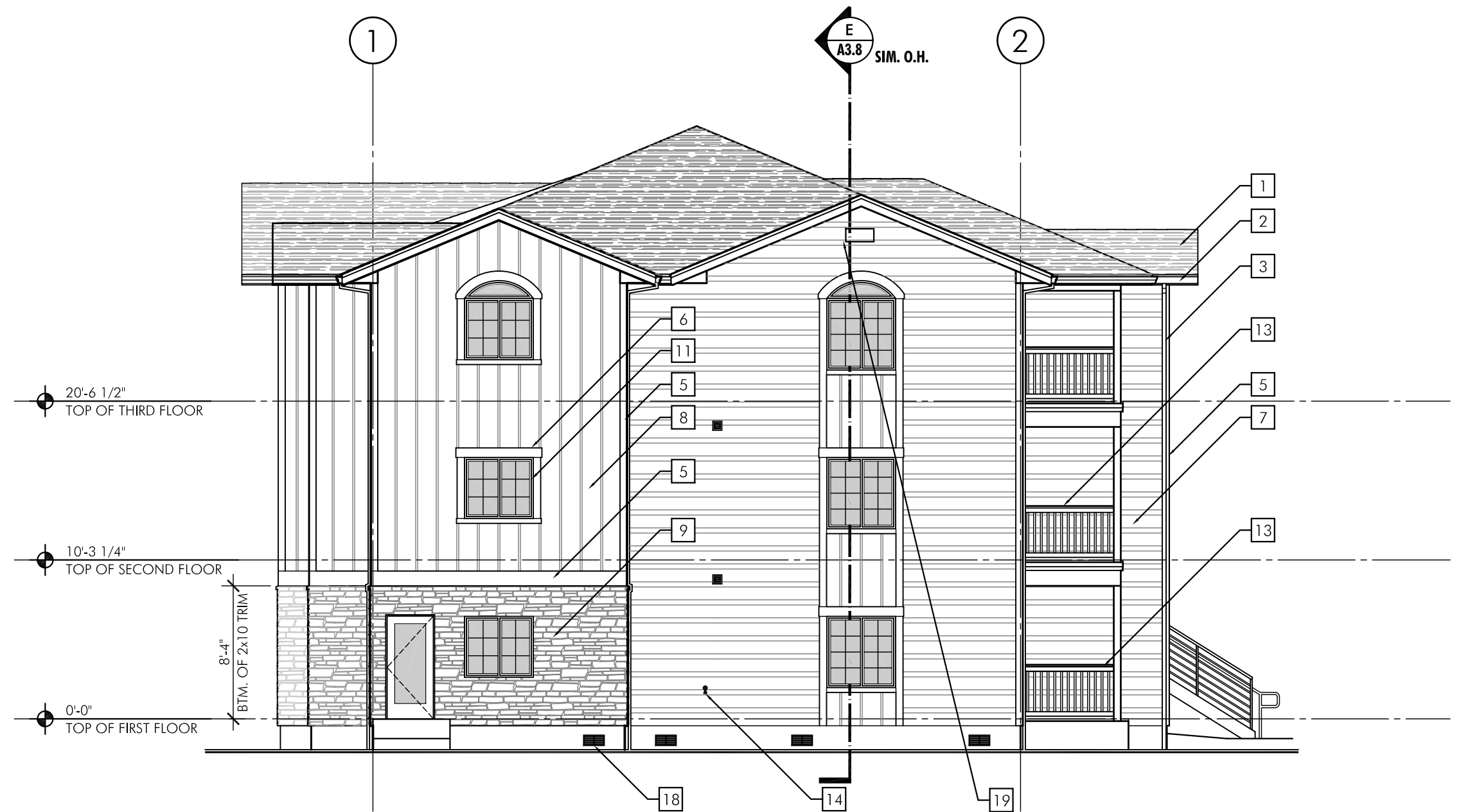
1 BUILDING "B" FRONT ENTRY ELEVATION



2 BUILDING "B" RIGHT SIDE ELEVATION



3 BUILDING "B" REAR ELEVATION



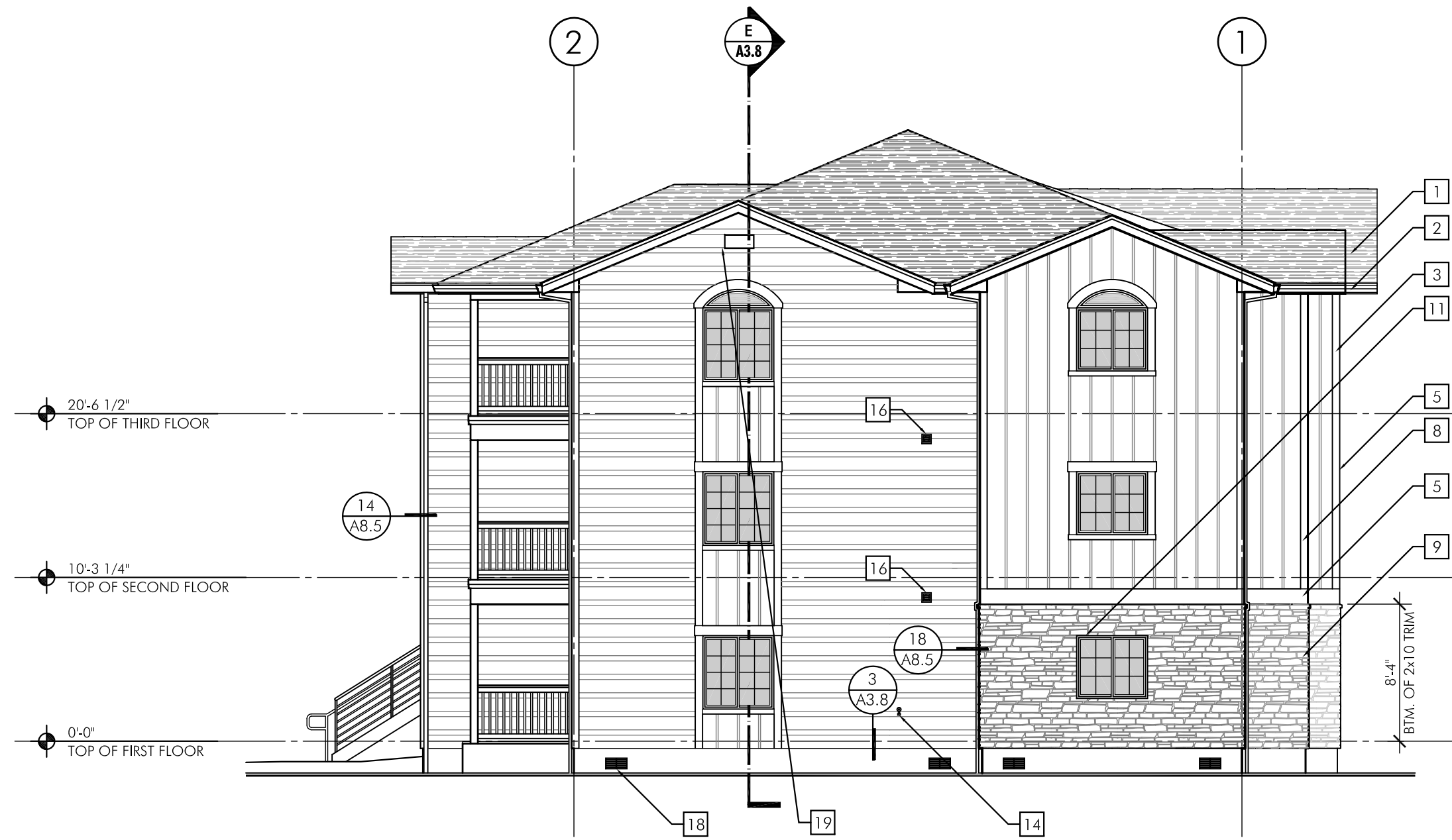
4 BUILDING "B" LEFT SIDE ELEVATION

ELEVATION NOTES:

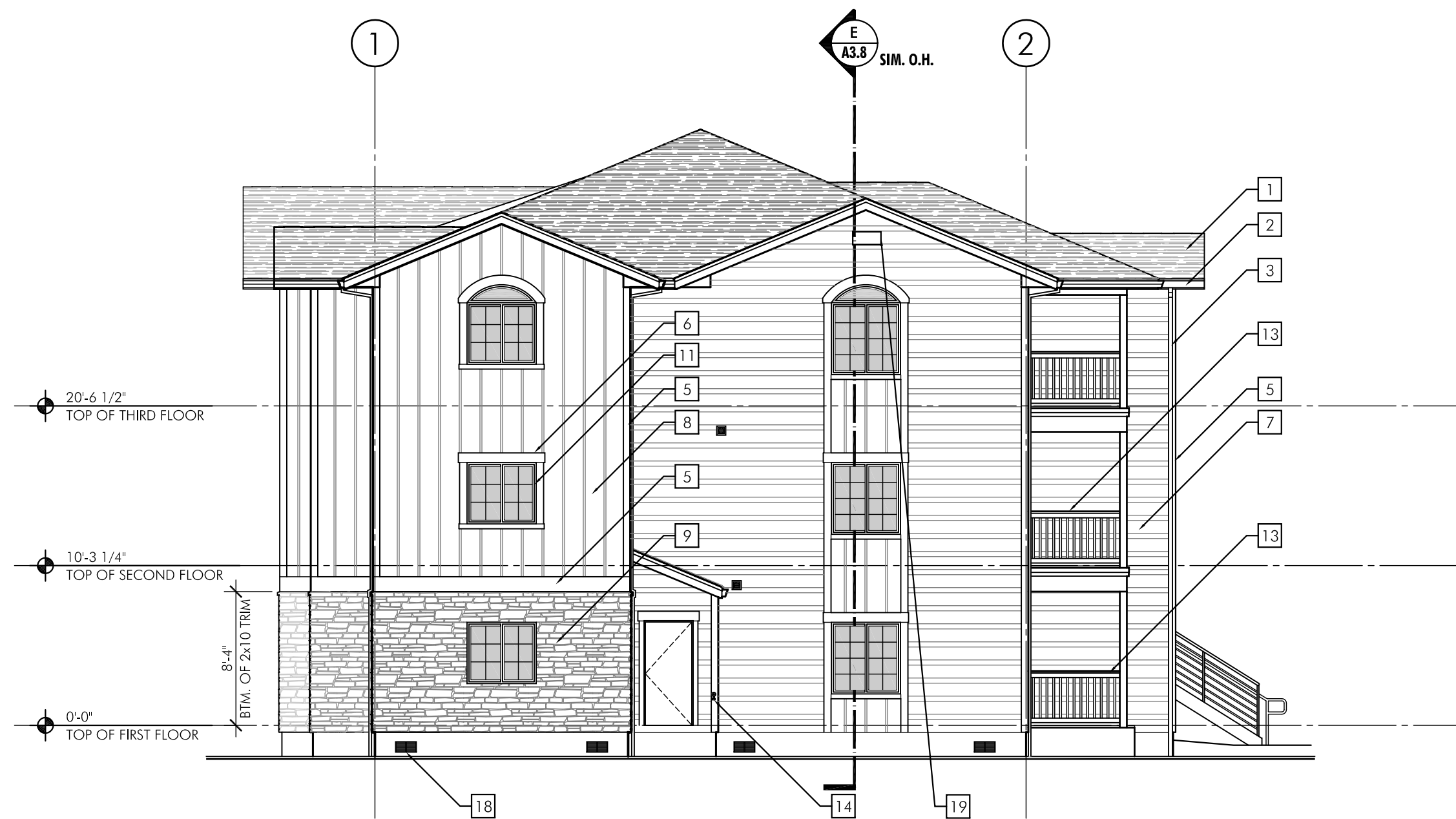
- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS. (14) (A8.5)
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
- 10 EXTERIOR DOORS, - PAINT.
- 11 VINYL FRAMED WINDOWS.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PAINT TO MATCH WALL.
- 13 42" HIGH GUARDRAIL - TYPICAL.
- 14 HOSE BIBB ON TRIM BACKER.
- 15 PRE-FINISHED ROOF VENT.
- 16 EXHAUST COVERS. (5) (A8.5)
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



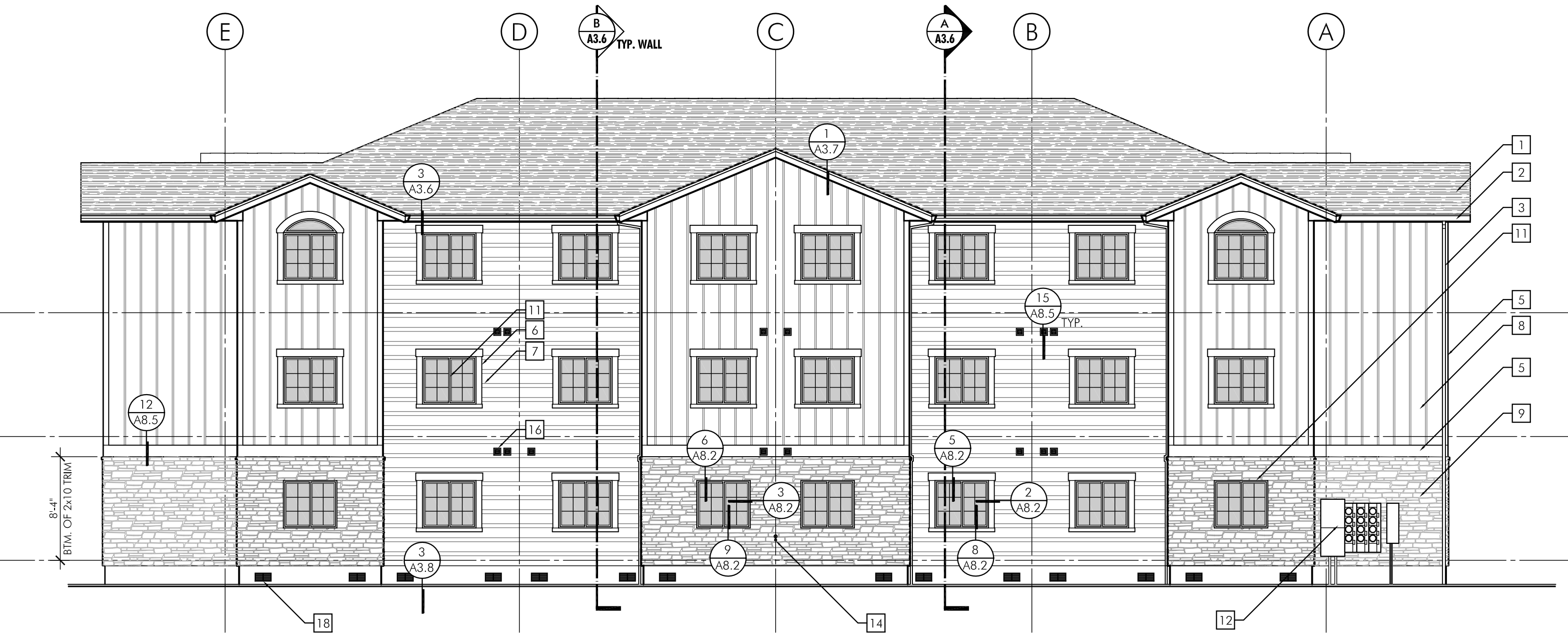
1 BUILDING "C" FRONT ENTRY ELEVATION



2 BUILDING "C" RIGHT SIDE ELEVATION



4 BUILDING "C" LEFT SIDE ELEVATION



3 BUILDING "C" REAR ELEVATION

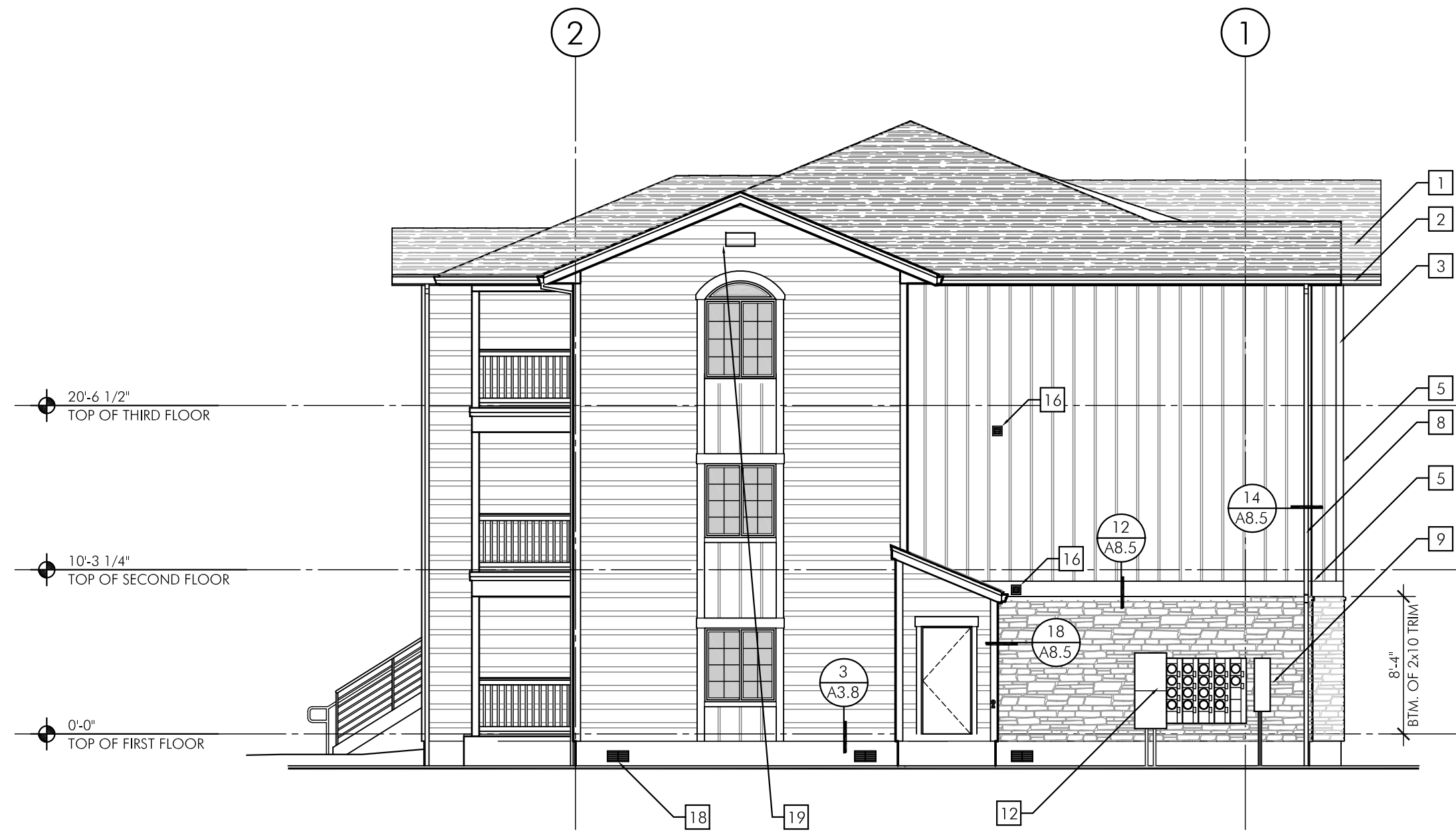
ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
- 10 EXTERIOR DOORS, - PAINT.
- 11 VINYL FRAMED WINDOWS.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PAINT TO MATCH WALL.
- 13 42" HIGH GUARDRAIL - TYPICAL.
- 14 HOSE BIBB ON TRIM BACKER.
- 15 PRE-FINISHED ROOF VENT.
- 16 EXHAUST COVERS.
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



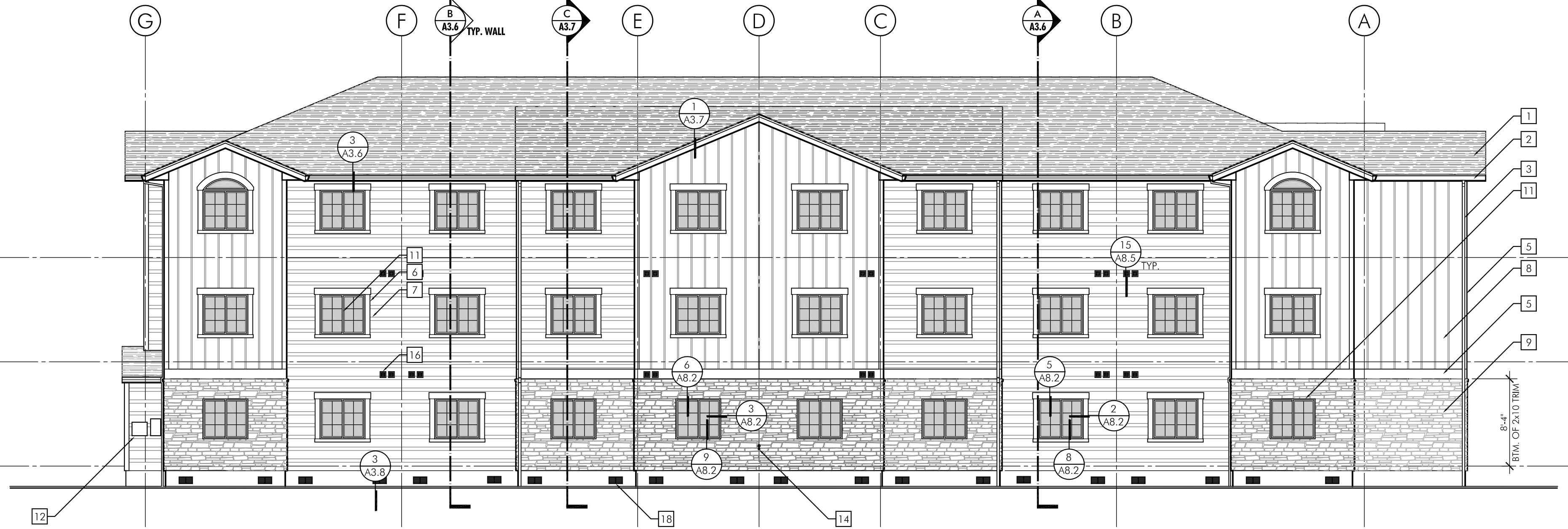
1 BUILDING "D" FRONT ENTRY ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"



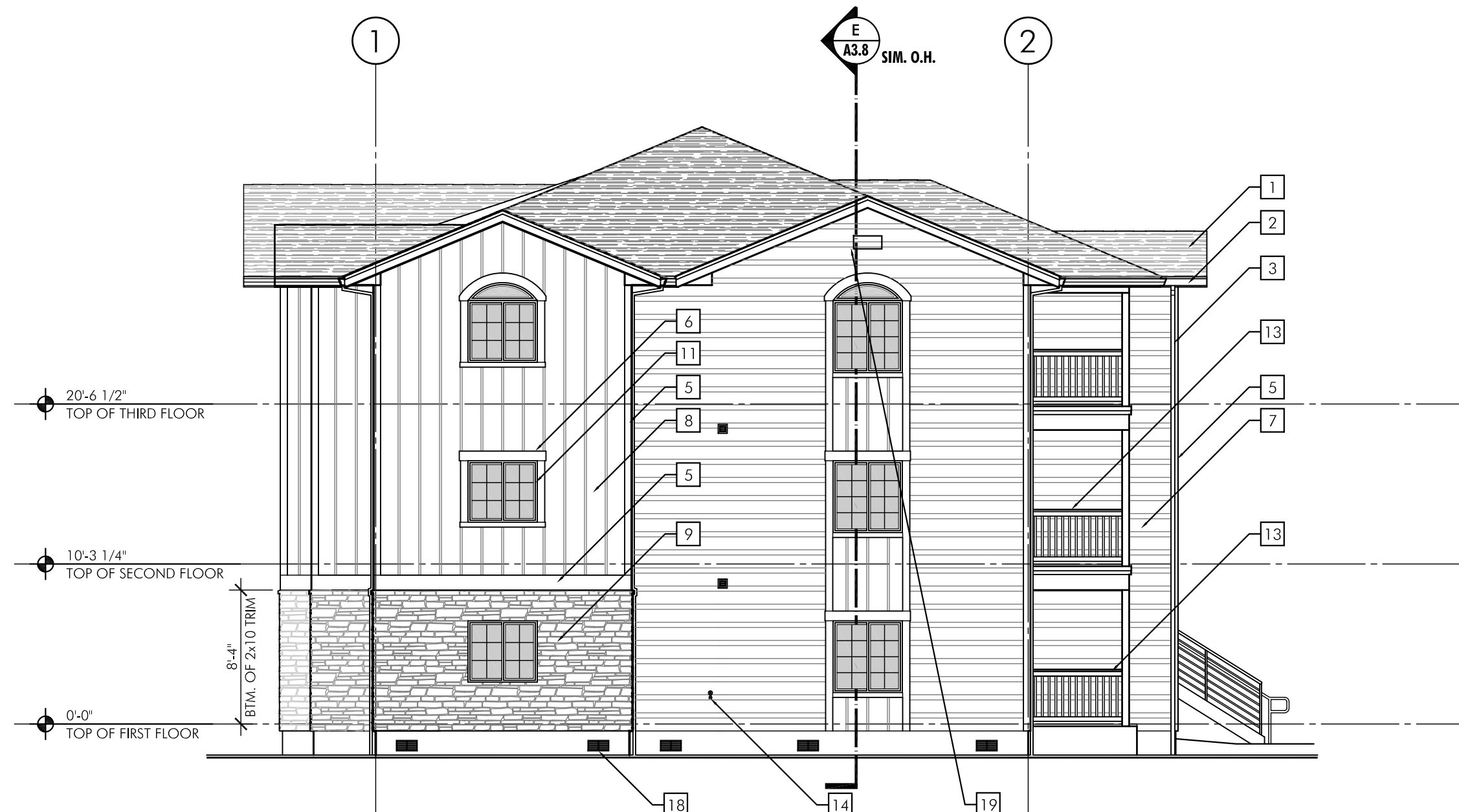
2 BUILDING "D" RIGHT SIDE ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"



3 BUILDING "D" REAR ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"

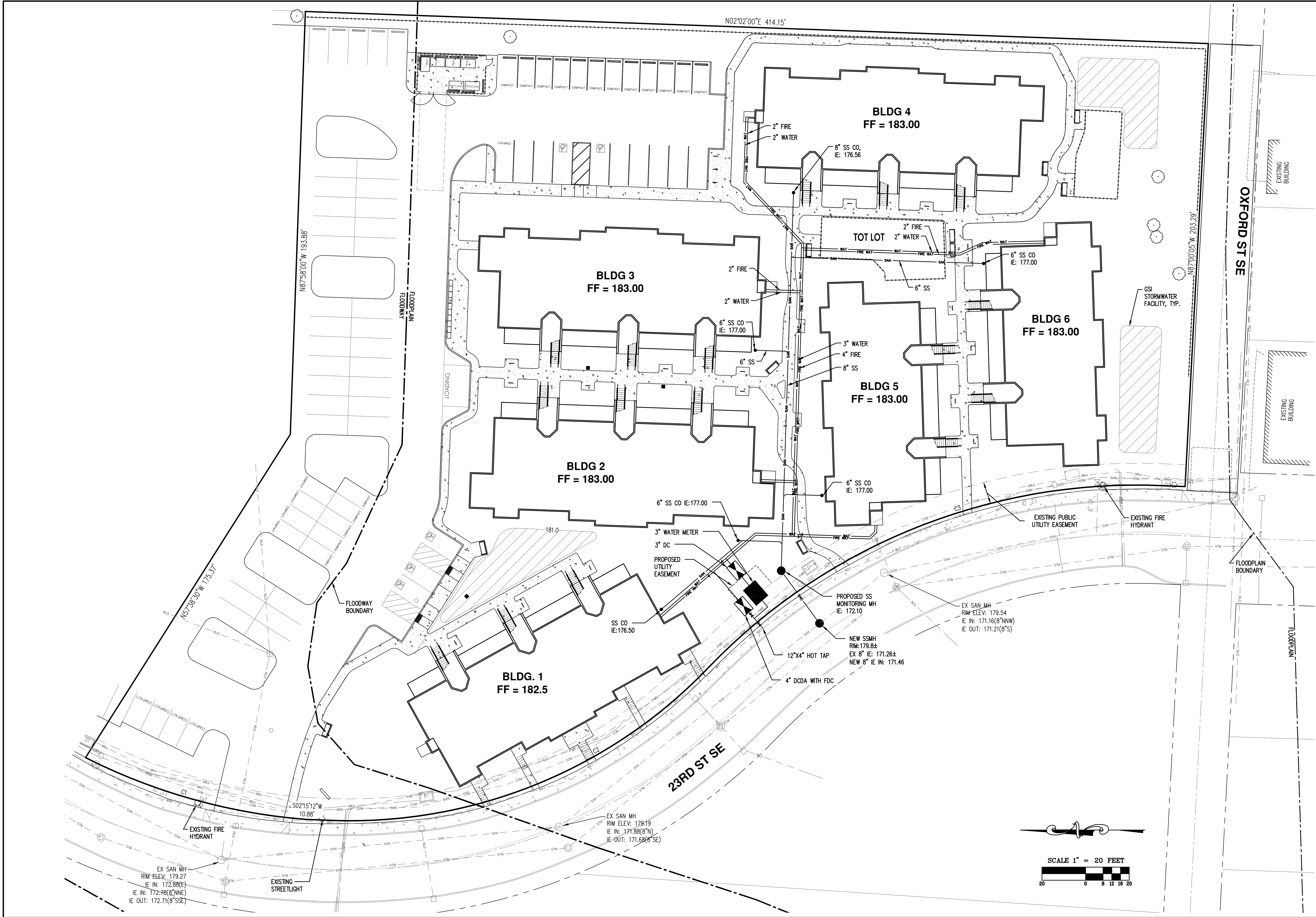


4 BUILDING "D" LEFT SIDE ELEVATION

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"

ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 BOARD AND BATT SIDING, - PAINT.
- 9 CULTURED STONE - TYPICAL.
- 10 EXTERIOR DOORS, - PAINT.
- 11 VINYL FRAMED WINDOWS.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PAINT TO MATCH WALL.
- 13 42" HIGH GUARDRAIL - TYPICAL.
- 14 HOSE BIBB ON TRIM BACKER.
- 15 PRE-FINISHED ROOF VENT.
- 16 EXHAUST COVERS.
- 17 LIGHT FIXTURE. SEE ELECTRICAL.
- 18 FOUNDATION VENTS WHERE SHOWN.
- 19 BUILDING IDENTIFICATION SIGNAGE.



AKS

AKS ENGINEERING & FORESTRY, LLC
4300 CHERRY AVE NE
KEIZER, OR 97005
P: 503.400.6028
F: 503.400.7722
aks-eng.com

ENGINEERING · SURVEYING · NATURAL RESOURCES
FORESTRY · PLANNING · LANDSCAPE ARCHITECTURE

MAY'S LANDING

OREGON

SALEM

TL800

PRELIMINARY
UTILITY PLAN

DESIGNED BY: JDS
DRAWN BY: SDB
CHECKED BY: JDS
SCALE: AS NOTED
DATE: 04/20/2017

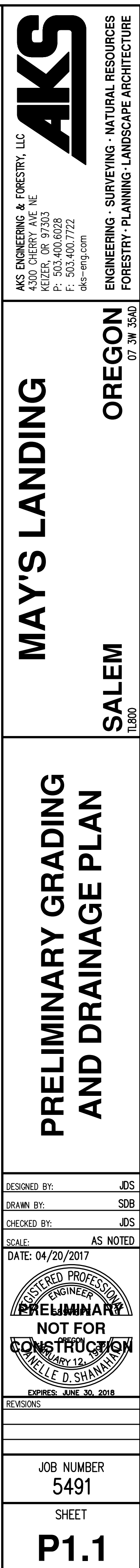
REGISTERED PROFESSIONAL
ENGINEER
PRELIMINARY
NOT FOR
CONSTRUCTION
MAY 12, 2017
KIMELLE D. SHAWMATH
EXPIRES: JUNE 30, 2018

REVISIONS




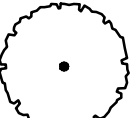

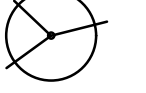













JOB NUMBER
5491

SHEET
P1.0

RUNOFF FROM THE NEW PLUS REPLACED IMPERVIOUS SURFACES FLOWS INTO LOCATIONS THAT HAVE BEEN SET ASIDE FOR INSTALLATION OF GREEN STORMWATER INFRASTRUCTURE (GSI) THAT IS AT LEAST TEN PERCENT OF THE TOTAL AREA OF NEW PLUS REPLACED IMPERVIOUS SURFACES.

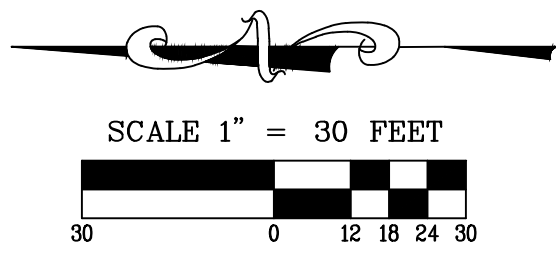
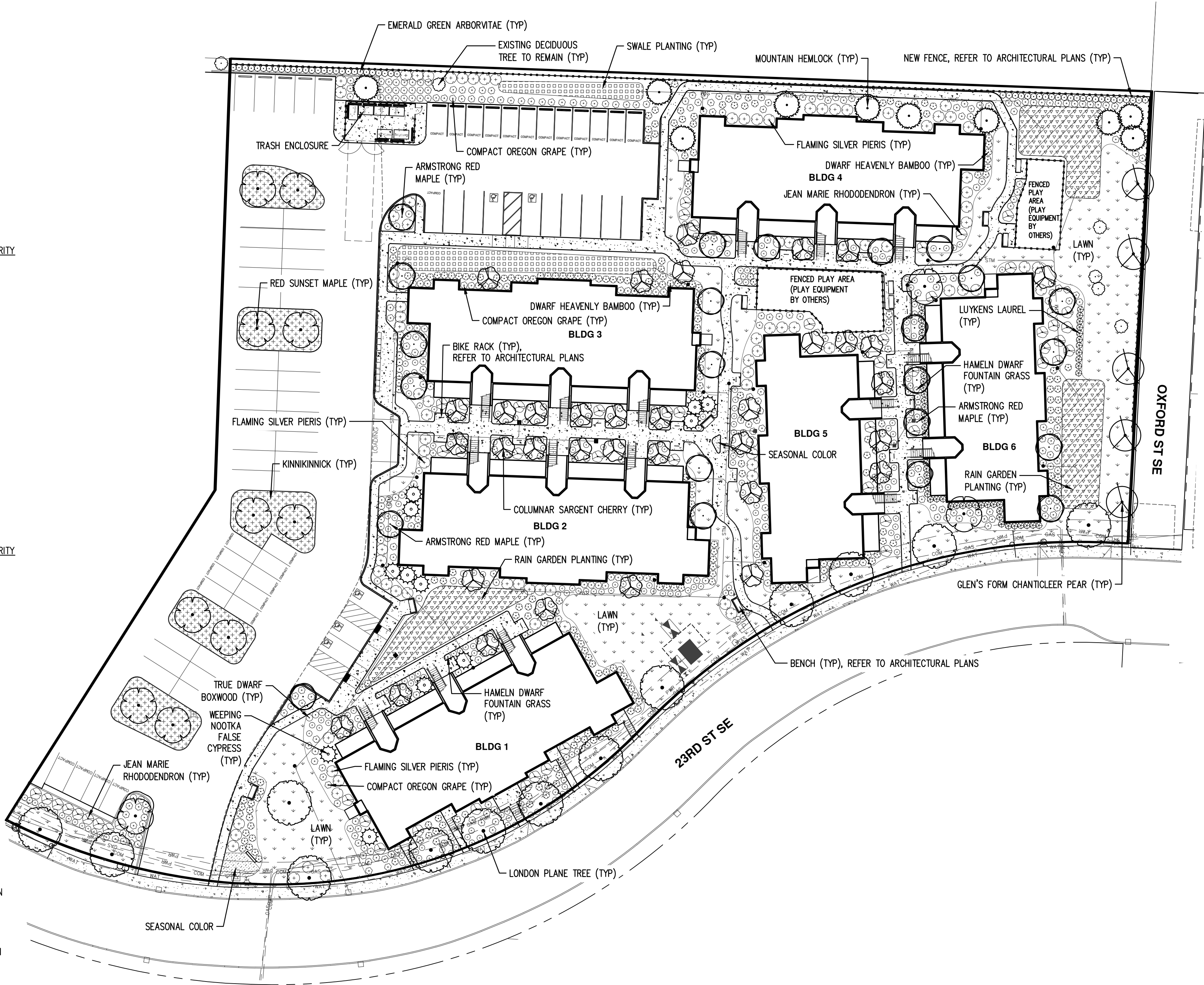


PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	ESTIMATED SIZE AT 5 YR. MATURITY
	23	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	13	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	12	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA FALSE CYPRESS	6'-7' HT. B&B	AS SHOWN	20' FT. HT.
	13	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	35	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2" CAL. B&B	AS SHOWN	15' FT. HT.
	5	PYRUS CALLERYANA 'GLEN'S FORM'	GLEN'S FORM CHANTICLEER PEAR	2" CAL. B&B	AS SHOWN	20'-25' FT. HT.
	10	TSUGA MERTENSIANA	MOUNTAIN HEMLOCK	6'-7' HT. B&B	AS SHOWN	20'-25' FT. HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	ESTIMATED SIZE AT 5 YR. MATURITY
	42	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	TRUE DWARF BOXWOOD	2 GAL. CONT.	36" o.c.	24" WIDE
	329	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL. CONT.	36" o.c.	30"-36" WIDE
	265	NANDINA DOMESTICA 'COMPACTA'	DWARF HEAVENLY BAMBOO	2 GAL. CONT.	36" o.c.	36" WIDE
	268	PENNISETUM ALOPECUROIDES 'HA MELN'	HA MELN DWARF FOUNTAIN GRASS	1 GAL. CONT.	30" o.c.	24" WIDE
	92	PIERIS JAPONICA 'FLAMING SILVER'	FLAMING SILVER PIERIS	3 GAL. CONT.	60" o.c.	36"-42" WIDE
	55	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	LUYKENS LAUREL	3 GAL. CONT.	36" o.c.	36" WIDE
	57	RHODODENDRON X 'JEAN MARIE'	JEAN MARIE RHODODENDRON	3 GAL. CONT.	60" o.c.	42"-48" WIDE
	52	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' HT. CONT.	36" o.c.	30" WIDE
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	ESTIMATED SIZE AT 5 YR. MATURITY
	421	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	1 GAL. CONT.	36" o.c.	36"-48" WIDE
	11,927 SF	LAWN: NORTHWEST SUPREME LAWN MIX - SUNMARK SEEDS (OR APPROVED EQUAL) CUTLER II PERENNIAL RYEGRASS 35%; DASHER III PERENNIAL RYEGRASS 35%; GARNET CREEPING RED FESCUE 15%; WINDWARD CHEWINGS FESCUE 15% APPLY AT A RATE OF 8 LBS./1,000 SF OR AS RECOMMENDED BY SUPPLIER. (SOD OF SIMILAR SPECIES COMPOSITION ACCEPTABLE AT OWNERS OPTION)				
		RAIN GARDEN PLANTING PER CITY OF SALEM ADMINISTRATIVE RULES, DIVISION 004, APPENDIX B.				
		SWALE PLANTING PER CITY OF SALEM ADMINISTRATIVE RULES, DIVISION 004, APPENDIX B.				

GENERAL NOTES:

- PLANTS AND PLANTINGS ARE SHOWN TO PORTRAY THE CHARACTER OF THE SITE. PLAN REVISIONS INCLUDING CHANGES TO PLANT SPECIES, SIZES, SPACING, QUANTITIES, ETC., DUE TO PLANT AVAILABILITY OR UNFORESEEN SITE CONDITIONS MAY BE MADE BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION WHERE ALLOWED BY THE CITY OF SALEM'S DESIGN STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND ALL MATERIALS PRIOR TO BIDDING AND CONSTRUCTION. IF DISCREPANCIES OCCUR, DESIGN INTENT PREVAILS OVER QUANTITIES LISTED.
- ALL PLANTS AND INSTALLATION SHALL CONFORM TO THE CITY OF SALEM'S LANDSCAPE DESIGN STANDARDS AND TO AMERICAN NURSERY STANDARDS ASN 1260.1 IN ALL WAYS. PLANT IN ACCORDANCE WITH BEST PRACTICE STANDARDS ADOPTED BY THE OREGON LANDSCAPE CONTRACTOR'S BOARD (OLCB) AND THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. FIELD ADJUST PLANT LOCATION AS NECESSARY TO AVOID CONFLICTS WITH UTILITIES, TREE CANOPIES, BUILDING OVERHANGS, EXISTING VEGETATION TO REMAIN, ETC.
- TREES TO BE PLANTED SHALL MEET THE REQUIREMENTS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS FOR NURSERY STOCK (ANSI 260.1) FOR GRADE NO. 1 OR BETTER. DOUBLE STAKE ALL TREES UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO CLOSER THAN 3' O.C. FROM SIDEWALKS, CURBING, OR OTHER HARDSCAPING; TREES IN PLANTING ISLANDS SHALL BE CENTERED IN ISLAND. REFER ALSO TO CITY OF SALEM STANDARD TREE-SHRUB PLANTING DETAIL NO. 803 (THIS SHEET).
- ALL LANDSCAPING SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE CITY OF SALEM DUE TO INCLEMENT WEATHER OR TEMPORARY SITE CONDITIONS. UPON INSTALLATION, ALL PLANT MATERIALS SHALL BE VIGOROUS, WELL-BRANCHED, AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS, FREE OF DISEASE, INSECT PESTS, AND INJURIES.
- PLANTING AND INSTALLATION OF ALL REQUIRED LANDSCAPING SHALL BE INSPECTED AND APPROVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY UNLESS OTHERWISE APPROVED BY THE CITY OF SALEM.
- EVERY EFFORT SHALL BE MADE TO PROTECT EXISTING VEGETATION TO REMAIN DURING SITE CONSTRUCTION.
- A PERMANENT UNDERGROUND OR DRIP IRRIGATION SYSTEM WITH A BACKFLOW DEVICE APPROVED BY THE CITY OF SALEM, SHALL BE PROVIDED FOR ALL NEW AND IMPROVED LANDSCAPE AREAS WITHIN THE PROJECT WORK AREA FOR THE ESTABLISHMENT AND LONG-TERM HEALTH OF PLANT MATERIAL. THE IRRIGATION SYSTEM SHALL BE 'DESIGN-BUILD' BY THE LANDSCAPE CONTRACTOR, USING CURRENT WATER-SAVING TECHNOLOGY, AND INCLUDE ALL MATERIALS, COMPONENTS, CITY APPROVED BACKFLOW OR ANTI-SIPHON DEVICES, VALVES, ETC. NECESSARY FOR THE COMPLETE AND EFFICIENT COVERAGE OF LANDSCAPE AREAS SHOWN. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND OWNER FOR POINT-OF-CONNECTION (POC), SLEEVE LOCATION, AND MAINLINE LAYOUT PRIOR TO ANY PAVING REPAIR OR STRIPING, PROVIDE CITY OF SALEM WITH IRRIGATION PLAN INCLUDING ZONING AND COMPONENT LAYOUT FOR APPROVAL PRIOR TO INSTALLATION.
- THE OWNER AND TENANT SHALL BE JOINTLY RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE MATERIAL IN GOOD CONDITION SO AS TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE IN KEEPING WITH CURRENT INDUSTRY STANDARDS. UNHEALTHY OR DEAD PLANT MATERIALS SHALL BE REPLACED IN CONFORMANCE TO THE REQUIREMENTS OF THE ORIGINALLY APPROVED LANDSCAPE PLAN.
- MULCH: APPLY 2" DEEP WELL-AGED DARK HEMLOCK OR FIR, MEDIUM GRIND, UNDER AND AROUND ALL PLANTS IN PLANTING BEDS. GROUND COVER SHALL NOT BE PLANTED CLOSER THAN 24" FROM CATCH BASINS OR AREA DRAINS. SHRUBS SHALL NOT BE PLANTED CLOSER THAN 36" FROM CATCH BASINS OR AREA DRAINS AND 42" FROM BUILDING FOUNDATIONS.
- ADJUST PLANTING ON SITE AS NECESSARY TO AVOID CONFLICTS WITH UTILITIES, METERS, LIGHTS, BUILDING OVERHANGS, ETC.



AKS PROJECT # 5491
AKS ENGINEERING & FORESTRY, LLC
4300 CHERRY AVE. NE
KEIZER, OR 97303
P: 503.400.6028
F: 503.400.7722
aks-eng.com



ENGINEERING • SURVEYING • NATURAL RESOURCES
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

STUDIO

3

ARCHITECTURE
INCORPORATED

222 COMMERCIAL ST. NE
SALEM, OR 97301-3410
P: 503.390.6500
www.studio3architecture.com



IN THE EVENT CONFLICTS ARE DISCOVERED
BETWEEN THE ORIGINAL SIGNED AND SEALED
DOCUMENTS PREPARED BY THE ARCHITECT
AND/OR THEIR CONSULTANTS, AND ANY COPY OF
THE DOCUMENTS TRANSMITTED BY MAIL, FAX,
ELECTRONICALLY OR OTHERWISE, THE ORIGINAL
SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 5491
DATE: 4/21/2017

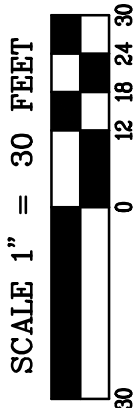
REVISIONS

PRELIMINARY LANDSCAPE PLAN
MAY'S LANDING
SALEM, OR

SHEET:

P2.0

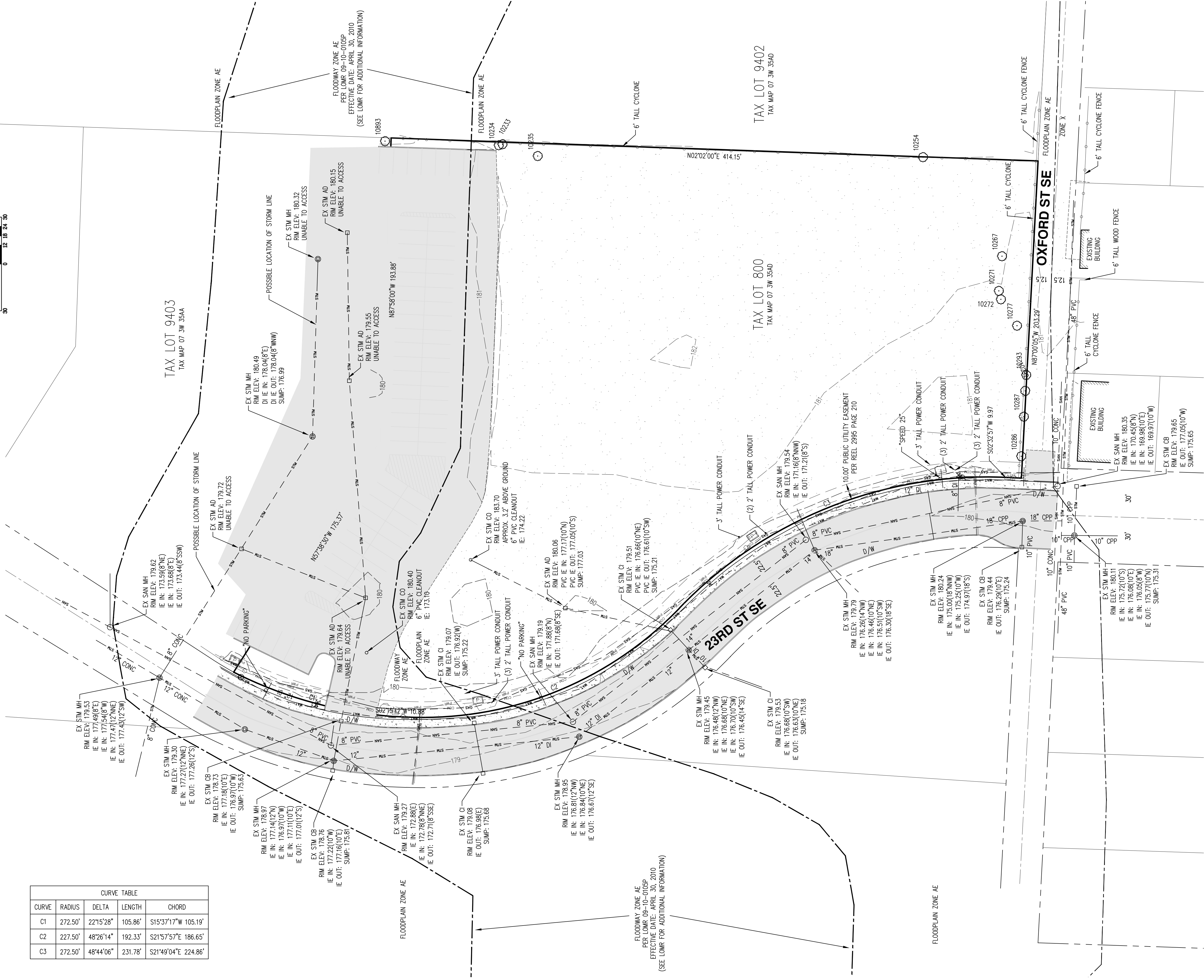
TREE NUMBER	TREE SPECIES	TREE DBH(INCHES)
10254	MAPLE	67.6
10233	OAK	7
10234	OAK	18
10235	OAK	32
10267	OAK	37
10271	OAK	37
10272	OAK	21
10277	OAK	26
10286	OAK	10
10287	OAK	11.10.10
10292	OAK	11
10293	OAK	10
10893	DECIDIOUS	7



NOTES:

- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBER 16191287. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD WORK WAS CONDUCTED JUNE 3-4, 2016.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK NO. QEO364, LOCATED IN SALEM, 56 METERS EAST OF THE CENTERLINE OF PRINGLE RD SE, 8 METERS SOUTH OF THE CENTERLINE OF MCILCHRIST, 3 METERS WEST OF WEST RAIL OF THE TRACK, 0.35 NORTH OF EAST END OF CONCRETE ABUTMENT. ELEVATION - 185.15 FEET (NAVD 88). OBSERVED ELEVATIONS WERE THEN ADJUSTED TO NGVD29 DATUM -3.34 FEET USING VERTCON.
- THIS MAP DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY.
- SURVEY IS ONLY VALID WITH SURVEYOR'S STAMP AND SIGNATURE.
- CONTOUR INTERVAL IS 1 FOOT.
- TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE MEASURED UTILIZING A DIAMETER TAPE AT BREAST HEIGHT. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
- FLOODWAY DEPICTED IS BASED ON FEMA LOMR 09-10-0105P. FIELD SURVEY DATA IS SUCH THAT EXACTING FLOODWAY LIMITS ARE NOT DEFINED. BASE FLOOD ELEVATIONS RANGE FROM 181-180 FEET GOING FROM EAST TO WEST ON SUBJECT PROPERTY.
- SIGN EASEMENT AREA DESCRIBED IN REEL 3271 PAGE 174, SECTION 2.5 DESCRIBES POTENTIAL FUTURE SIGNAGE AND THE DEVELOPMENT OF POTENTIAL FUTURE SIGN EASEMENTS AS NEEDED. "EXHIBIT E" SHOWS CURRENT SIGN EASEMENT AREA, WHICH IS NOT LOCATED ON SUBJECT SITE, BUT MAY BENEFIT SUBJECT SITE.
- "SOUTH ACCESS EASEMENT" DESCRIBED IN REEL 3271 PAGE 174, SECTION 3, SUBSECTION 3.1(b) DESCRIBES PEDESTRIAN AND VEHICULAR INGRESS/EGRESS BETWEEN PARCEL 2 AND PARCEL 3 (SUBJECT SITE) OF PLAT NO. 2010-11, MARION COUNTY SURVEY RECORDS. THE "SOUTH ACCESS EASEMENT" IS BLANKET IN NATURE AND CANNOT BE MAPPED. REFER TO ABOVE DESCRIBED DOCUMENT FOR EASEMENT PARTICULARS.
- UTILITY EASEMENTS DESCRIBED IN REEL 3271 PAGE 174, SECTION 7, SUBSECTION(S) 7.1 (GRANT OF UTILITY EASEMENTS), 7.2 (TERMS OF UTILITY EASEMENTS), 7.3 (STORM DRAINAGE) ARE BLANKET IN NATURE AND CANNOT BE MAPPED. REFER TO ABOVE DESCRIBED DOCUMENT FOR EASEMENT PARTICULARS.
- BUILDING HEIGHT DESCRIBED IN REEL 3271 PAGE 174, SECTION 2.2 SHALL NOT EXCEED (1) STORY OR TWENTY-THREE (23) FEET IN HEIGHT ABOVE GRADE, EXCEPT AS OTHERWISE APPROVED IN WRITING BY DECLARANT.
- SUBJECT SITE IS AFFECTED BY "CLEAR ZONE EASEMENT", WHICH BENEFITS AIR TRAFFIC OF SALEM MUNICIPAL AIRPORT (MCNARY FIELD). REFER TO VOLUME 642 PAGE 190 AND VOLUME 681 PAGE 519 FOR HEIGHT RESTRICTIONS.
- SET BACK AGREEMENT VOLUME 751 PAGE 536 RECORDED MAY 10, 1973. NOT A SURVEY RELATED MATTER.
- RESERVATIONS SET FORTH IN THE DEED FROM THE STATE OF OREGON, RECORDED FEBRUARY 24, 1956, IN VOLUME 485 PAGE 107. NOT A SURVEY RELATED MATTER.
- BASIS OF BEARINGS NAD83(2011) OREGON NORTH STATE PLANE COORDINATE SYSTEM.

CURVE TABLE			
CURVE	RADIUS	DELTA	CHORD
C1	272.50'	22°15'28"	105.96'
C2	227.50'	48°26'14"	192.33'
C3	272.50'	48°44'06"	231.78'



AKS
ENGINEERING & FORESTRY, LLC
12065 SW HERMAN RD, STE 100
TUALATIN, OR 97062
P: 503.563.6151
F: 503.563.6152
aks-eng.com

ENGINEERING · SURVEYING · NATURAL RESOURCES
FORESTRY · PLANNING · LANDSCAPE ARCHITECTURE

1525 23RD STREET SE
APARTMENTS

SALEM OREGON
TAX LOT 800

EXISTING CONDITIONS
PLAN

DESIGNED BY:
DRAWN BY: KAM
CHECKED BY: NSW
SCALE: AS NOTED
DATE: 08/17/2016
REGISTERED PROFESSIONAL
LAND SURVEYOR
NICK WHITE
70652LS
RENEWS: 6/30/18
REVISIONS
JOB NUMBER
5491
SHEET
C101