CITY OF Salem AT YOUR SERVICE
Public Works Department
APWA ACCREDITED AGENCY

555 Liberty Street SE / Room 325 • PO Box 14300, Salem, OR 97309-0325 • Phone 503-588-6211 • Fax 503-588-6025

May 30, 2025

Boone Road Commercial LLC
650 Hawthorne Avenue SE Suite 210
Salem OR 97301

SUBJECT: **Wetland Land Use Notification: 0 Kuebler Boulevard SE**
Permit # 25-105629-PLN

Tax lot 083W12C002201 at the above address may contain mapped wetlands or waterways as is indicated on the Salem-Keizer Local Wetland Inventory. *Oregon Revised Statute* 227.350(5) allows the City of Salem to issue development permits and approvals for activities for parcels identified as, or including wetlands on, the Local Wetland Inventory upon the following:

- Providing written notice to the applicant and landowner of the possible presence of wetlands on their property;
- Providing written notice to the applicant and landowner of the potential need for state and federal wetland permits; and
- Providing Department of State Lands (DSL) with a copy of the notification.

All, or a portion of this property has been identified as wetland and/or waterway on the Statewide Wetland Inventory *or in close proximity* to a mapped wetland and/or waterway site. If you have evidence to the contrary, please contact me as soon as possible at 503-588-6211. If the site contains a jurisdictional wetland, this proposal may require a permit from DSL and/or the Army Corps of Engineers. You must obtain any necessary state or federal permits before beginning your project. The City of Salem is not liable for any delays in the processing of state or federal permits. Enclosed is a copy of the wetland land use notice sent to DSL. DSL will contact you if any permits are required, or further information is necessary.

Jason Valyou
Program Coordinator

F:\Common\PAC\DevSvcsLandUse\25-105629-PLN_0 Kuebler Boulevard SE\WLUN
Enclosures: GIS Map, Site Map, Wetland Land Use Notification Form

cc: Zachary Diehl, Program Manager
File

Wetland Land Use Notification

OREGON DEPARTMENT OF STATE LANDS
775 Summer Street NE, Suite 100, Salem, OR 97301-1279
Phone: (503) 986-5200

This form is to be completed by planning department staff for mapped wetlands and waterways.

* Required Field (?) Tool Tips

Activity Location

Township* (?)
08S

Range* (?)
03W

Section* (?)
12

Quarter-quarter Section (?)
C

Tax Lot(s)*
002201
You can enter multiple tax lot numbers within this field. i.e. 100, 200, 300, etc.

To add additional tax map and lot information, please click the "add" button below.

Address

Street Address
0 Kuebler Boulevard SE

Address Line 2

City
Salem

State
OR

Postal / Zip Code
97302

Country
USA

County*
Marion

Adjacent Waterbody
Wetlands, Wetland channel, Hydric Soils, creek, unnamed ditch

Geolocation*
44.884813, -123.004228

Proposed Activity

Prior to submitting, please ensure proposed activity will involve physical alterations to the land and/or new construction or expansion of footprint of existing structures.

Local Case File #* (?)
25-105629-PLN

Zoning
MU-III

Describe any Earthwork/Ground Disturbance*

New gas station and convenience store on Lot 1 of Kuebler Village Subdivision

Request: A consolidated application for a Class 3 Site Plan Review for a new US Market gas station and convenience store, including fueling stations and associated site improvements, on Lot 1 of Kuebler Village Subdivision, with six Class 2 Adjustments to:

(1) Eliminate five-foot landscaped setback to future property line (SRC 535.015(c));
(2) Increase the minimum setback for a building abutting Kuebler Boulevard SE without provided a pedestrian amenity (SRC 535.015(c));
(3) Allow Off-street Parking location between the building and Mosaic Drive SE (SRC 535.015(g)(1));
(4) Eliminate building entrance requirement along Kuebler Boulevard SE (SRC 535.015(g)(4));
(5) Eliminate ground-floor window requirement along Kuebler Boulevard SE (SRC 535.015(g)(5));
(6) Reduce ground-floor window requirement along 27th Avenue SE (SRC 535.015(g)(5));and
(7) Reduce required vehicle use area setback abutting a street from 10-feet to four feet abutting Kuebler Blvd (SRC 806.035(c)(2));

The subject property is Lot 1 in the northwest corner of the Kuebler Village Subdivision, approximately 0.7 acres within a development site totaling 24.43 acres in size, zoned MU-III (Mixed Use-III), and located at the 4900 Block of 27th Avenue SE (Marion County Assessor Map and Tax Lot Number: 083W12C / 2201).

Proposed

- [x] Building Permit (new structures)
- [x] Grading Permit
- [x] Site Plan Approval
- [ ] Other (please describe)
- [ ] Conditional use Permit
- [ ] Planned Unit Development
- [ ] Subdivision

Applicant's Project Description and Planner's Comments:*

New gas station and convenience store on Lot 1 of Kuebler Village Subdivision

Request: A consolidated application for a Class 3 Site Plan Review for a new US Market gas station and convenience store, including fueling stations and associated site improvements, on Lot 1 of Kuebler Village Subdivision, with six Class 2 Adjustments to:

(1) Eliminate five-foot landscaped setback to future property line (SRC 535.015(c));
(2) Increase the minimum setback for a building abutting Kuebler Boulevard SE without provided a pedestrian amenity (SRC 535.015(c));
(3) Allow Off-street Parking location between the building and Mosaic Drive SE (SRC 535.015(g)(1));
(4) Eliminate building entrance requirement along Kuebler Boulevard SE (SRC 535.015(g)(4));
(5) Eliminate ground-floor window requirement along Kuebler Boulevard SE (SRC 535.015(g)(5));
(6) Reduce ground-floor window requirement along 27th Avenue SE (SRC 535.015(g)(5));and
(7) Reduce required vehicle use area setback abutting a street from 10-feet to four feet abutting Kuebler Blvd (SRC 806.035(c)(2));

The subject property is Lot 1 in the northwest corner of the Kuebler Village Subdivision, approximately 0.7 acres within a development site totaling 24.43 acres in size, zoned MU-III (Mixed Use-III), and located at the 4900 Block of 27th Avenue SE (Marion County Assessor Map and Tax Lot Number: 083W12C / 2201).

Required attachments with site marked: Tax map and legible, scaled site plan map. * (?)

25-105629-PLN_Tax Lot Map.pdf	1.61MB
25-105629-PLN_Plans.pdf	19.44MB
25-105629-PLN_LWI Map.pdf	5.51MB

Additional Attachments

Applicant

First Name *
Boone Road

Last Name *
Commercial LLC

Applicant Organization Name
(if applicable)

Mailing Address *

Street Address
680 Hawthorne Ave SE Suite 210

Address Line 2

City
Salem

State
OR

Postal / Zip Code
97301

Country
USA

Phone (?)
602-576-2747

Email (?)
dougs@mosaicms.com

Is the Property Owner name and address the same as the Applicant? *

No Yes

Responsible Jurisdiction

*
City of County of

Municipality *
Salem

Date *
5/29/2025

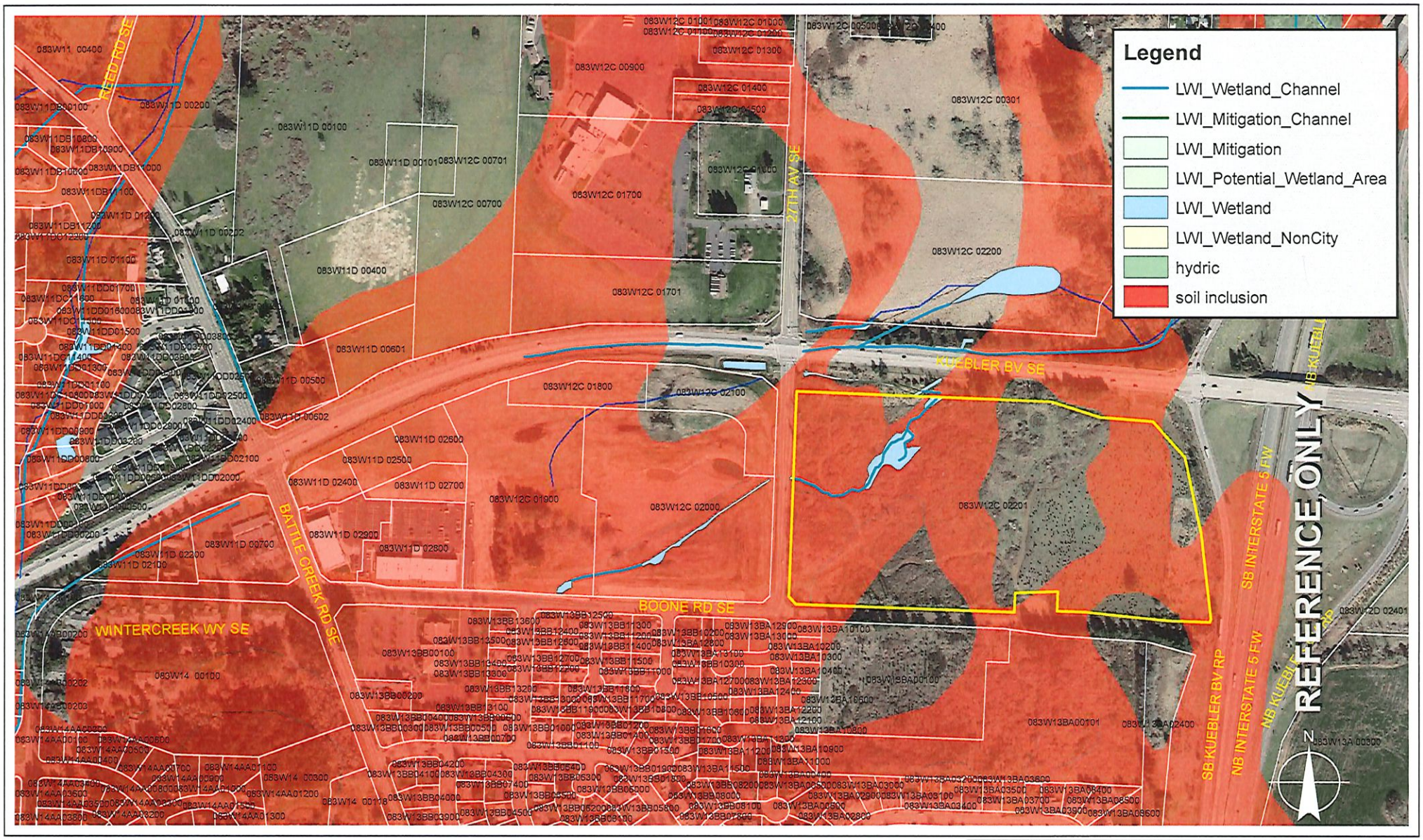
Staff Contact

First Name *
Jason

Last Name *
Valyou

Phone * (?)
503-588-6211

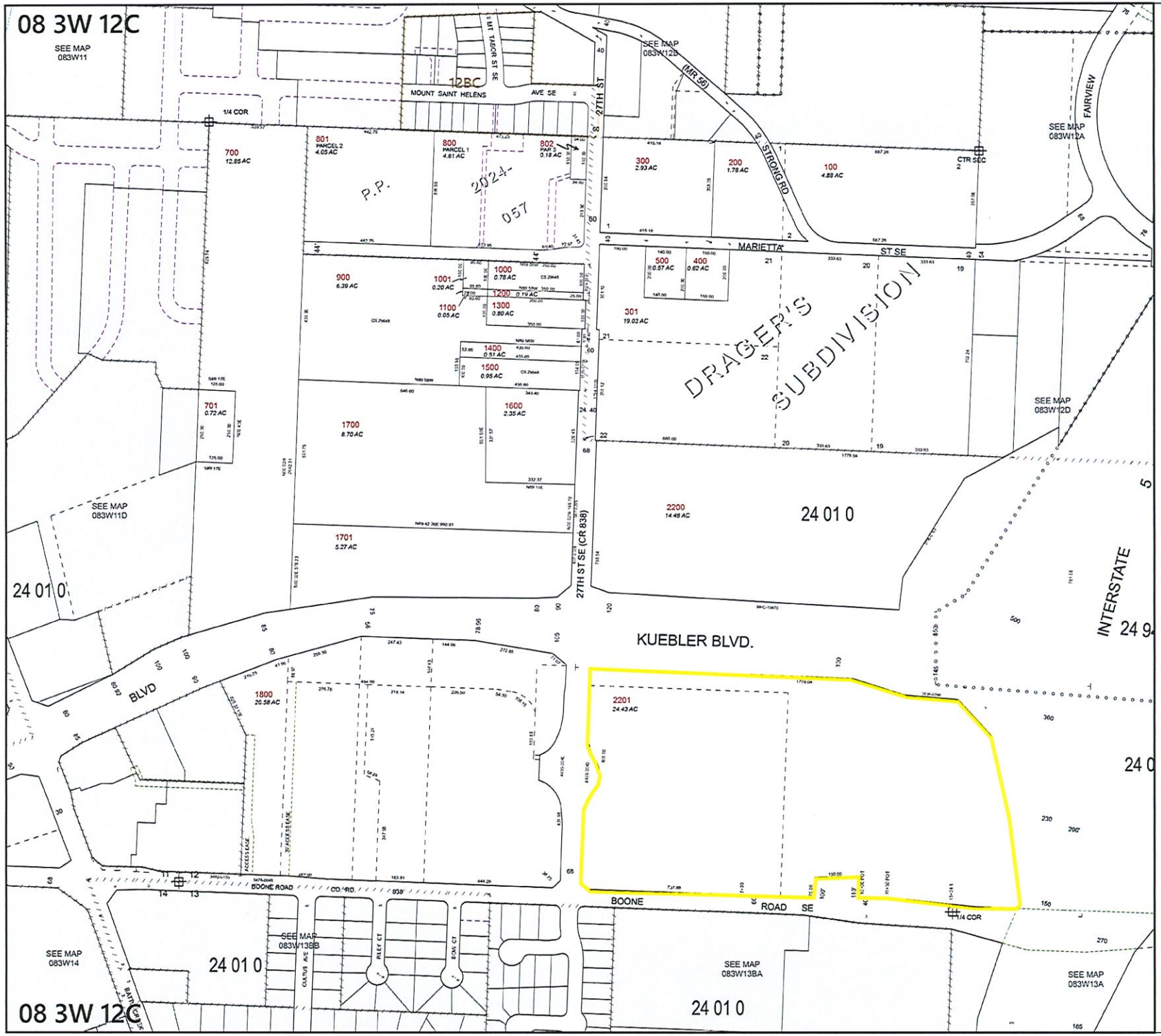
Email *
jvalyou@cityofsalem.net



300 150 0 300 600 900 1,200 1,500 1,800 2,100 Feet

1 inch = 300 feet

This product is provided as-is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.



08 3W 12C
SALEM

MARION COUNTY, OREGON
SW1/4 SEC12 T8S R3W W.M.
SCALE 1" = 200'

LEGEND

LINE TYPES

Taxlot Boundary	Historical Boundary
Road Right-of-Way	Easement
Railroad Right-of-Way	Railroad Centerline
Private Road ROW	Taxcode Line
Subdivision/Plat Bndry	Map Boundary
Waterline - Taxlot Bndry	Waterline - Non Bndry

CORNER TYPES

- 1/16TH Section Cor.
- 1/4 Section Cor.
- DLC Corner
- Section Corner (16, 15 / 21, 22)

NUMBERS

Tax Code Number
00 00 0

Acreage
0.25 AC

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES

Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW

CANCELLED NUMBERS

600
702
703
1601
1702
1703
1801
1900
2000
2001
2002
2100
2101
2202
2203

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY

Marion County OREGON — Assessors Office Cartography Dept

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us

PLOT DATE: 3/28/2025

SALEM
08 3W 12C

DRAWINGS FOR:

KUEBLER VILLAGE LOT 1
SITE IMPROVEMENTS

FOR:

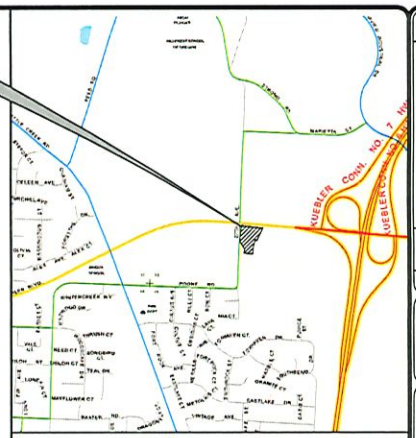
MOSAIC MANAGEMENT, INC.
1900 HINES ST. S.E. STE. 150
SALEM, OREGON 97302
PH: 503.391.9999
INFO@MOSAICMS.COM

Know what's below.
Call before you dig.

UTILITY CONTACTS

COMPANY	NAME	PHONE	EMAIL
CITY OF SALEM	ENGINEERING	503-588-6211	
	DISPATCH	503-588-6333	
PGE (DISTRIBUTION)	KEN SPENCER	503-970-7200	kenneth.spencer@PGN.com
PGE (LIGHTING)	ALLISON BAZIAK	503-463-4381	Allison.Baziak@PGN.com
NW NATURAL	CHRIS FLU	503-585-6611	ctf@nwnatural.com
LUMEN TECHNOLOGIES	TRAVIS VAUGHN	503-399-4931	Travis.Vaughn@CenturyLink.com
	JOSH FALLIN	503-365-5555	josh.fallin@centurylink.com
COMCAST	DAVE HAMMILL	503-924-9120	David_Hammill@Comcast.net

PROJECT LOCATION



DRAWING INDEX

DWG NUMBER	DWG TITLE
C0.0	COVER SHEET, DRAWING INDEX, LOCATION MAP, & GENERAL LEGEND
C1.0	EPSC - DEMOLITION & CLEARING PLAN
C1.1	EPSC - STREETS & UTILITIES PLAN
C1.2	EPSC - VERTICAL CONSTRUCTION PLAN
C1.3	EPSC - FINAL LANDSCAPING & STABILIZATION PLAN
C1.4	EPSC (EROSION PREVENTION & SEDIMENT CONTROL) NOTES
C1.5	EPSC NOTES
C1.6	EPSC DETAILS
C2.0	SITE & DIMENSIONING PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	SURFACING PLAN
C6.0	CONSTRUCTION NOTES
C6.1	CONSTRUCTION NOTES
C7.0	CIVIL DETAILS
C7.1	CIVIL DETAILS

GENERAL LEGEND

ABBREVIATIONS

A.C. or ASPH.	ASPHALTIC CONCRETE	IRR.	IRRIGATION
A.D.	AREA DRAIN	INV.	INVERT
ASSY.	ASSEMBLY	J.B.	JUNCTION BOX
BLDG. or BLD.	BUILDING	L.P.	LIGHT POLE
BW	BOTTOM OF WALL	M	METER, MAIN
CATV	CABLE TELEVISION	M.B.	MAILBOX
C.B.	CATCH BASIN	M.H.	MANHOLE
C.O.	CLEAN-OUT	O.H.	OVER-HEAD
CONC.	CONCRETE	P/L or ℄	PROPERTY LINE
C.L. or ℄	CENTERLINE	P.P.	POWER POLE
D.I.	DUCTILE IRON	PVC	POLYVINYL CHLORIDE
E.G.	EDGE OF GRAVEL	PWR or P	POWER
E.O.P. or E.P.	EDGE OF PAVEMENT	R. or RAD.	RADIUS
ELEV. or EL.	ELEVATION	R.O.W. or R/W	RIGHT-OF-WAY
EX. or EXIST.	EXISTING	SAN.SEWER or S.S.	SANITARY SEWER
F.D.C.	FIRE DEPT. CONNECTOR	ST.D. or S.D.	STORM DRAIN
FT.	FEET	SVC.	SERVICE
F.F.	FINISH FLOOR	S/W	SIDEWALK
F.G.	FINISH GRADE	T.C.	TOP OF CURB
F.H.	FIRE HYDRANT	TEL. or T	TELEPHONE
F.I.	FIELD INLET	TRANS.	TRANSFORMER
F.M.	FORCE MAIN	TRAF. SIG. or T.S.	TRAFFIC SIGNAL
GRAV.	GRAVEL	TW	TOP OF WALL
G.M.	GAS METER	TYP.	TYPICAL
G.P.	GATE POST	U.G. or U/G.	UNDER GROUND
GS	GROUND SHOT	UTIL.	UTILITY
G.V.	GAS VALVE	W/	WITH
H	HANDICAP	WAT. or W	WATER
HYD.	HYDRANT	WLM	WETLANDS MARKER
I.R.	IRON ROD	W.M.	WATER METER
I.P.	IRON PIPE	Y.P.C.	YELLOW PLASTIC CAP

SYMBOLS

AREA DRAIN
CATCH BASIN
SEWER CLEANOUT
FIRE HYDRANT
GAS VALVE
WATER VALVE
WATER METER
DOWN SPOUT
MANHOLE TELEPHONE
MANHOLE STORM DRAIN
MANHOLE SAN. SEWER
SIGN POST
POWER PEDESTAL
TELEPHONE PEDESTAL
CATV PEDESTAL
MAIL BOX
IRRIGATION VALVE
STREET LIGHTS
UTILITY/POWER POLES
TEST PIT
MONUMENT FOUND
TREES – *TREENAME* DIAMETER (INCHES)/DRIP RADIUS (FEET)
NOTE: DIAMETER MEASURED AT BREAST HEIGHT

LINE TYPES

CATV LINE
COMMUNICATION LINE
EASEMENT LINE
FENCE LINE
FIBER OPTIC
GAS LINE
OVERHEAD LINE
PHONE LINE
POWER LINE
SANITARY SEWER
STORM DRAIN
WATER LINE

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERT SCALE
0 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"
0 FEET 10 20 30 40 50 60 70 80 90 100
HORIZ SCALE

DSN. JJY
DWN. RS
CKD. TJS
DATE 02/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
JANUARY 12, 2006
WILLIAM J. WELLS
REVIEW
EXPIRES: 6/30/2026

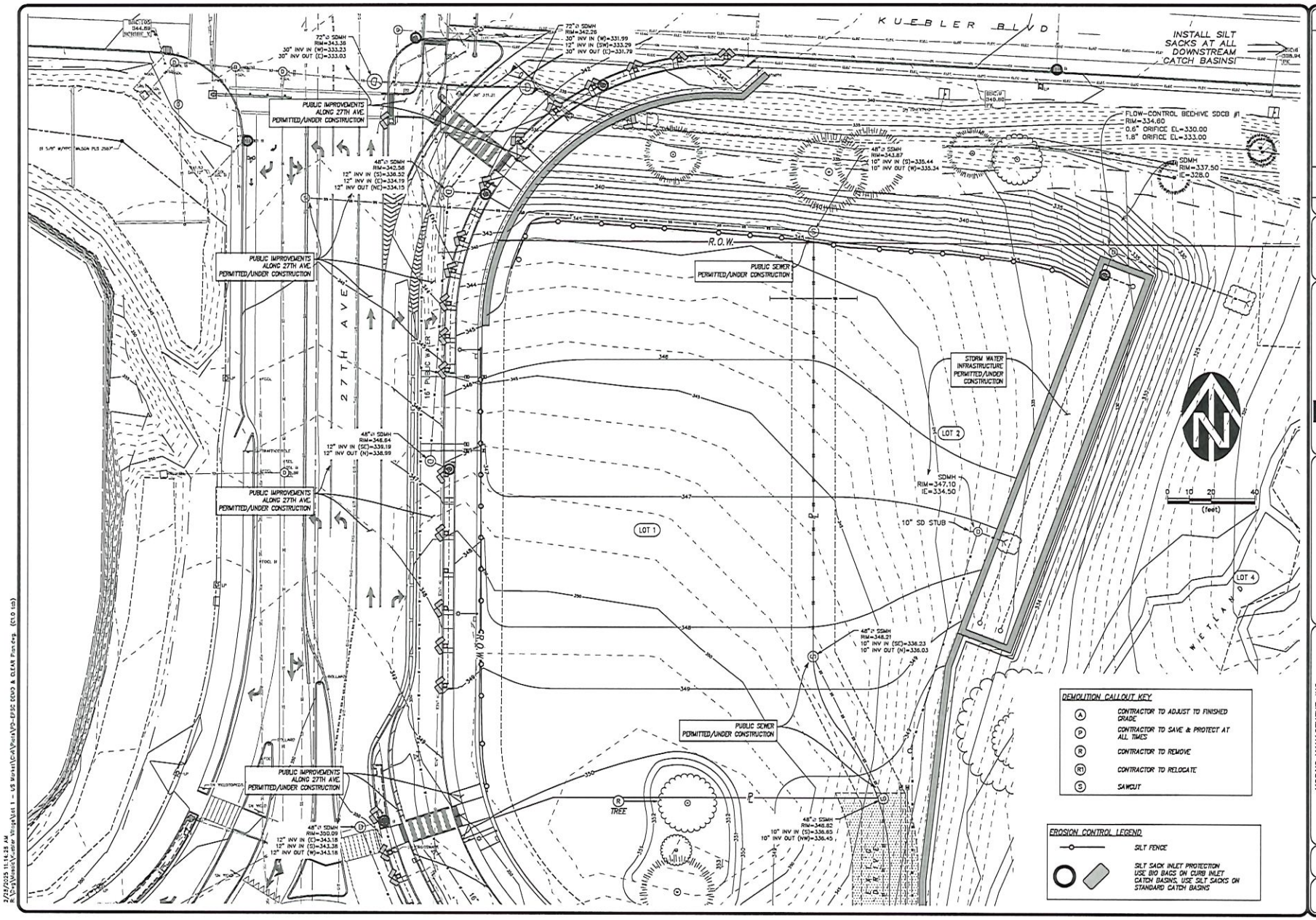
WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE LOT 1 IMPROVEMENTS
COVER SHEET, DRAWING INDEX, LOCATION MAP, & GENERAL LEGEND

DRAWING
C0.0

JOB NUMBER
3263.3000

2/25/2025 11:13:47 AM
R:\Projects\Kuebler Village\Lot 1 - US Mosaic\CAD\Plot\C0-COVER & INDEX.dwg (C0.0 lot)



NO.	DATE	DESCRIPTION	BY
1		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

DSN. JJY
DRN. RS
CKD. JJY
DATE: 02/2025

REGISTERED PROFESSIONAL ENGINEER OREGON NOV. 12, 2009 WILLIAM J. WELLS
REVIEW
REVISED 6/30/2025

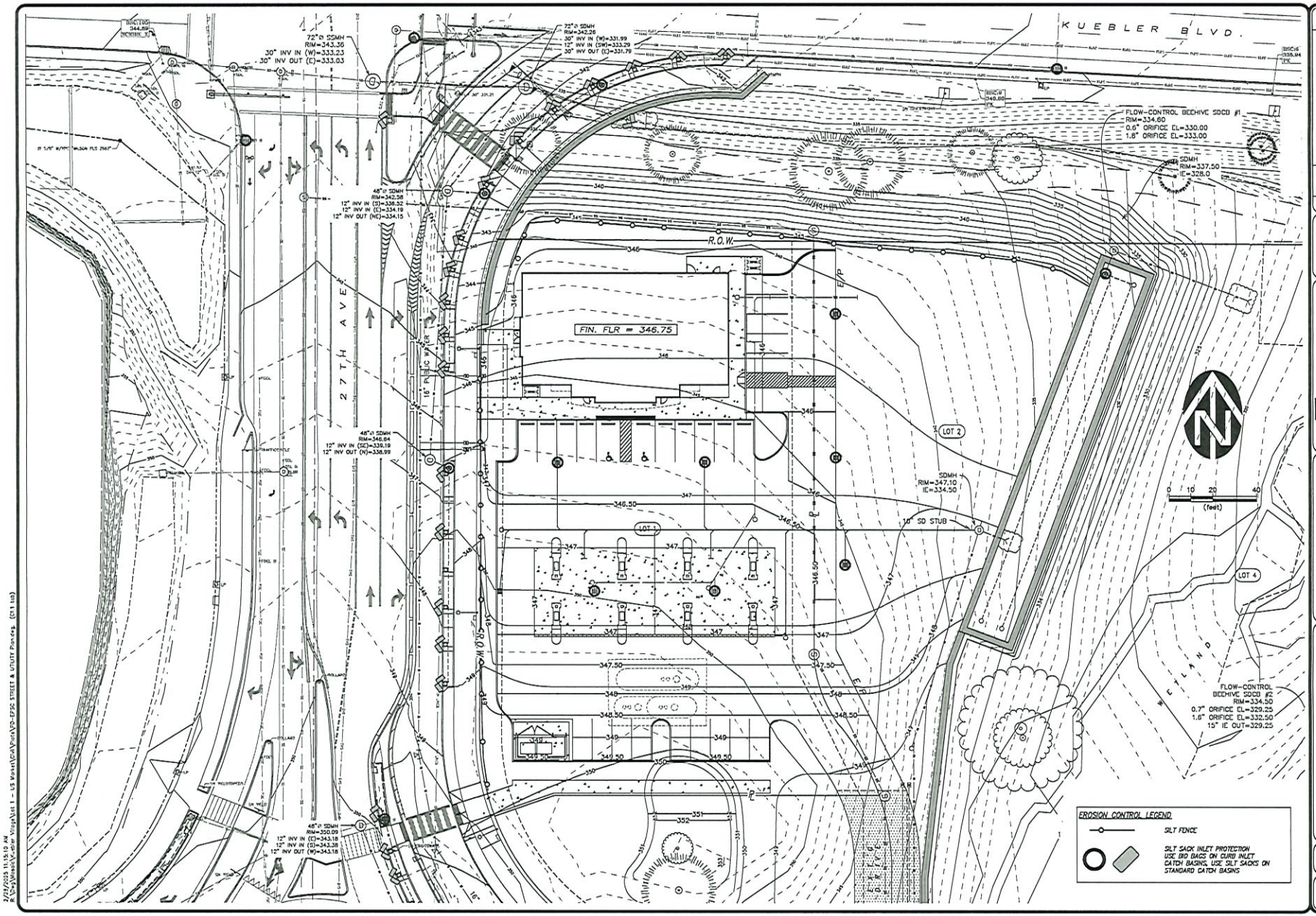
WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS
EPSC – DEMOLITION & CLEARING PLAN

DRAWING
C1.0

JOB NUMBER
3263.3000

2/25/2025 11:14:23 AM
R:\Jobs\Mosaic\Kuebler Village\Lot 1 - US Work\Civil\Plots\C1-EPSC DEMO & CLEAR Plan.dwg (C1.0 lot)



NO.	DATE	DESCRIPTION	BY
1		REVISIONS	

VERIFY SCALE
BAR IS 25 FEET ON ORIGINAL DRAWING
0 25 FEET
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

DSN. JJW
DWN. RS
CKD. JJW
DATE: 02/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
JULY 12, 2005
WILLIAM J. WELLS
REVIEW
EXPIRES: 6/30/2026

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: mail@westech-eng.com

MOSAIC MANAGEMENT, INC.

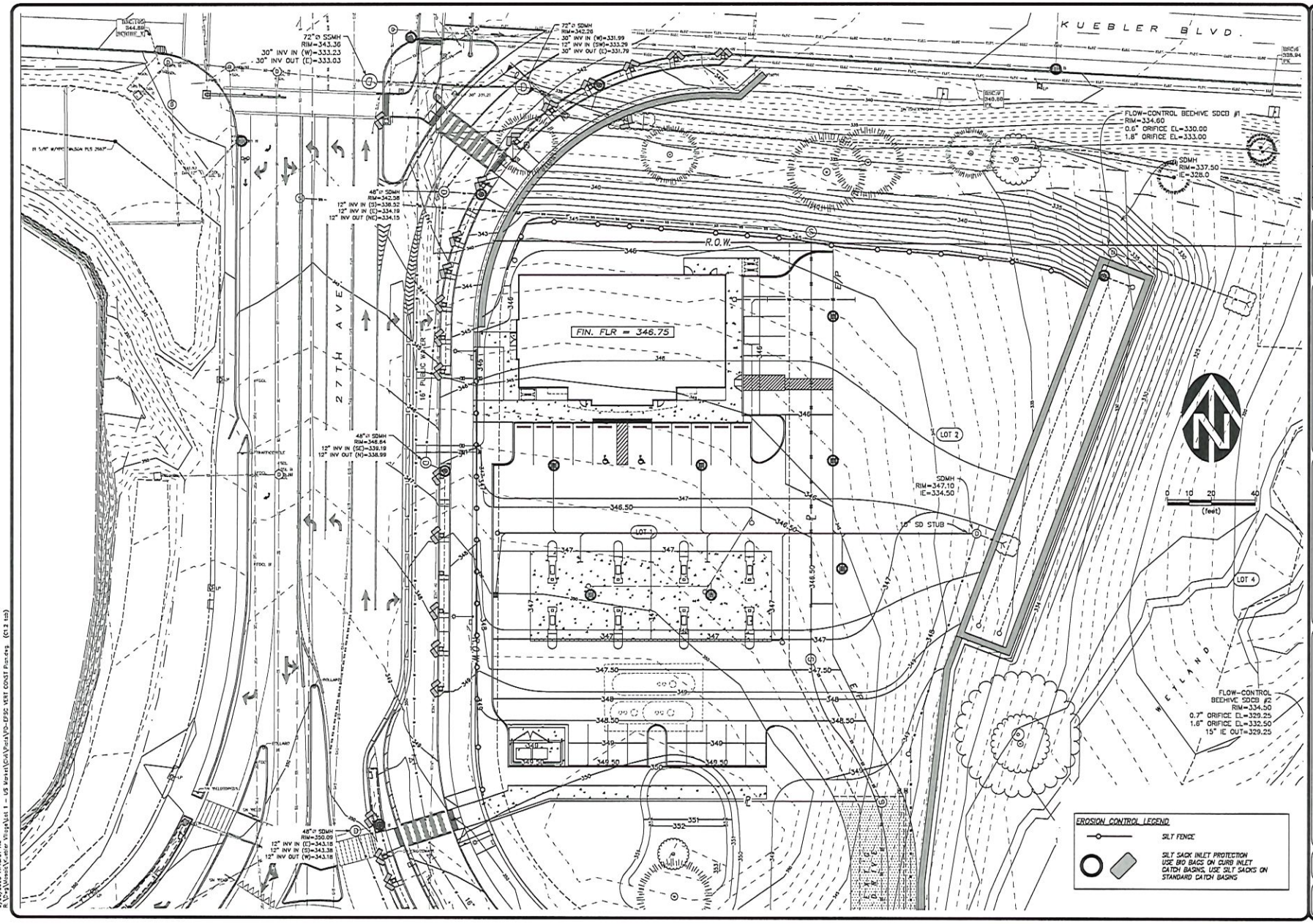
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

EPSC – STREETS & UTILITIES PLAN

DRAWING
C1.1

JOB NUMBER
3263.3000

2/25/2025 11:15:10 AM
R:\Cs\Wessel\Cedar Village\Lot 1 – LS Vessel\Civil\Plans\C3-EPSC STREET & UTILITY Plan.dwg, (C1.1.tab)



NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET ADJUST SCALE ACCORDINGLY

DSN. JW
DRN. RS
CKD. JW
DATE: 02/20/25

REGISTERED PROFESSIONAL ENGINEER
OREGON
WILLIAM J. WEILS
REVIEW
EXPIRES: 6/30/2025

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

MOSAIC MANAGEMENT, INC.

KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

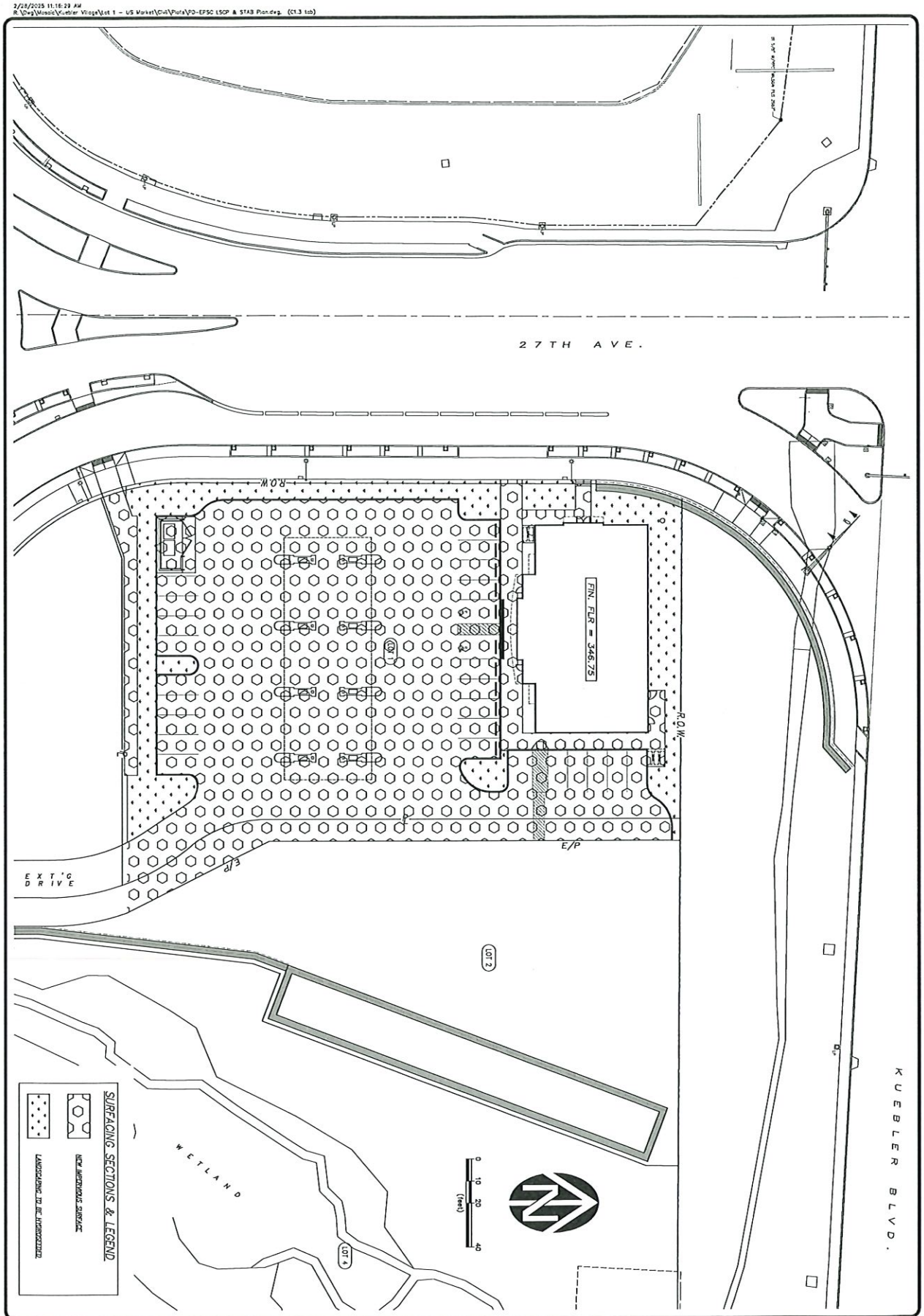
EPSC – VERTICAL CONSTRUCTION PLAN

DRAWING
C1.2

JOB NUMBER
3263.3000

2/25/2025 11:15:51 AM
R:\Cad\Projects\Kuebler Village\Lot 1 - US Venture\Cad\Plots\PD-EPSC VERT CONST Plan.dwg (C1.2 1:20)

2/28/2025 11:16:29 AM
R:\Dwg\Mosaic\Kuebler Village\Lot 1 - US Market\Civil\Plots\PD-EPSC LSCP & STAB Plan.dwg, (C1.3 tab)



MOSAIC MANAGEMENT, INC.

KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

EPSC – FINAL LANDSCAPING & STABILIZATION PLAN

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

REGISTERED PROFESSIONAL ENGINEER
WILLIAM A. STEWART
OREGON
REVIEW
PRELIMINARY
NOT FOR CONSTRUCTION

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DSN.	JW
DRN.	RS
CKD.	JW
DATE: 02/2025	

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

DRAWING C1.3

JOB NUMBER 3263.3000

DEQ EROSION CONTROL STANDARD NOTES:

1. Include a list of all personnel (by name and position) that are responsible for the design, installation and maintenance of stormwater control measures (e.g. ESCP developer, BMP installer (see Section 4.10), as well as their individual responsibilities. (Section 4.4.c.II)
2. Visual monitoring inspection reports must be made in accordance with DEQ 1200-C permit requirements. (Section 5.5)
3. Inspection logs must be kept in accordance with DEQ's 1200-C permit requirements. (Section 5.5.q)
4. Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality. (Section 4.7)
5. The permit registrant must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit. (Sections 4 and 4.11)
6. The ESCP must be accurate and reflect site conditions. (Section 4.8)
7. Submission of all ESCP revisions is not required. Submittal of the ESCP revisions is only under specific conditions. Submit all necessary revision to DEQ or Agent within 10 days. (Section 4.9)
8. Sequence clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion. (Section 2.2.2)
9. Create smooth surfaces between soil surface and erosion and sediment controls to prevent stormwater from bypassing controls and ponding. (section 2.2.3)
10. Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved. Identify vegetative buffer zones between the site and sensitive areas (e.g., wetlands), and other areas to be preserved, especially in perimeter areas. (Section 2.2.1)
11. Preserve existing vegetation when practical and re-vegetate open areas. Re-vegetate open areas when practicable before and after grading or construction. Identify the type of vegetative seed mix used. (Section 2.2.5)
12. Maintain and delineate any existing natural buffer within the 50-feet of waters of the state. (Section 2.2.4)
13. Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and barriers prior to land disturbance. (Sections 2.1.3)
14. Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks. (Sections 2.1.1. and 2.2.16)
15. Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary. (Sections 2.2.8 and 2.2.13)
16. Establish concrete truck and other concrete equipment washout areas before beginning concrete work. (Section 2.2.14)
17. Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses. Temporary or permanent stabilizations measures are not required for areas that are intended to be left unvegetated, such as dirt access roads or utility pole pads. (Sections 2.2.20 and 2.2.21)
18. Establish material and waste storage areas, and other non-stormwater controls. (Section 2.3.7)
19. Keep waste container lids closed when not in use and close lids at the end of the business day for those containers that are actively used throughout the day. For waste containers that do not have lids, provide either (1) cover (e.g., a tarp, plastic sheeting, temporary roof) to prevent exposure of wastes to precipitation, or (2) a similarly effective means designed to prevent the discharge of pollutants (e.g., secondary containment). (Section 2.3.7)
20. Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash. These BMPs must be in place prior to land-disturbing activities. (Section 2.2.7)
21. When trucking saturated soils from the site, either use water-tight trucks or drain loads on site. (Section 2.2.7.f)
22. Control prohibited discharges from leaving the construction site, i.e., concrete wash-out, wastewater from cleanout of stucco, paint and curing compounds. (Sections 1.5 and 2.3.9)
23. Ensure that steep slope areas where construction activities are not occurring are not disturbed. (Section 2.2.10)
24. Prevent soil compaction in areas where post-construction infiltration facilities are to be installed. (Section 2.2.12)
25. Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities; and waste handling activities. These pollutants include fuel, hydraulic fluid, and other oils from vehicles and machinery, as well as debris, fertilizer, pesticides and herbicides, paints, solvents, curing compounds and adhesives from construction operations.(Sections 2.2.15 and 2.3)
26. Provide plans for sedimentation basins that have been designed per Section 2.2.17 and stamped by an Oregon Professional Engineer. (See Section 2.2.17.a)
27. If engineered soils are used on site, a sedimentation basin/impoundment must be installed. (See Sections 2.2.17 and 2.2.18)
28. Provide a dewatering plan for accumulated water from precipitation and uncontaminated groundwater seepage due to shallow excavation activities. (See Section 2.4)
29. Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies. (Section 2.3)
30. Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil. (Section 2.2.9)
31. The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters. Exercise caution when using time-release fertilizers within any waterway riparian zone. (Section 2.3.5)
32. If an active treatment system (for example, electro-coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan (including system schematic, location of system, location of inlet, location of discharge, discharge dispersion device design, and a sampling plan and frequency) before operating the treatment system. Obtain Environmental Management Plan approval from DEQ before operating the treatment system. Operate and maintain the treatment system according to manufacturer's specifications. (Section 1.2.9)
33. Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed. The registrant is responsible for ensuring that soils are stable during rain events at all times of the year. (Section 2.2)
34. As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters or conveyance systems leading to surface waters. (Section 2.2.8)
35. Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal. (Section 2.1.5.b)
36. Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal. (Section 2.1.5.c)
37. Catch basins: clean before retention capacity has been reduced by fifty percent. Sediment basins and sediment traps: remove trapped sediments before design capacity has been reduced by fifty percent and at completion of project. (Section 2.1.5.d)
38. Within 24 hours, significant sediment that has left the construction site, must be remediated. Investigate the cause of the sediment release and implement steps to prevent a recurrence of the discharge within the same 24 hours. Any in-stream clean-up of sediment shall be performed according to the Oregon Department of State Lands required timeframe. (Section 2.2.19.a)
39. The intentional washing of sediment into storm sewers or drainage ways must not occur. Vacuuming or dry sweeping and material pickup must be used to cleanup released sediments. (Section 2.2.19)
40. Document any portion(s) of the site where land disturbing activities have permanently ceased or will be temporarily inactive for 14 or more calendar days. (Section 6.5.f.)
41. Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site. (Section 2.2.20)
42. Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established. Once construction is complete and the site is stabilized, all temporary erosion controls and retained soils must be removed and disposed of properly, unless needed for long term use following termination of permit coverage. (Section 2.2.21)

Rev. 12/15/20
By: Blair Edwards

YEAR:	'25	'25	'25	'25	'25	'25	'26	'26	'26	'26	'26	'26
MONTH:	07	08	09	10	11	12	01	02	03	04	05	06
CLEARING	X	X										
EXCAVATION												
GRADING	X	X	X	X	X							
CONSTRUCTION	X	X	X	X	X	X	X	X				
SEDIMENT CONTROLS:												
Silt Fencing	X	X	X	X	X	X	X	X				
Sediment Traps	X	X	X	X	X	X	X	X				
Sediment Basins												
Storm Inlet Protection												
Drainage Swales												
Check Dams												
Contour Furrows												
Terracing												
Pipe Slope Drains												
Rock Outlet Protection												
Gravel Construction Entrance	X	X	X	X	X	X	X	X				
Grass-lined Channel (Turf Reinforcement Mats)												
Protection of trees with construction fences												
Temporary Seeding and Planting												
Permanent Seeding and Planting												
Other:												

CONTROL MEASURE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5
Silt Fencing	X	X	X	X	
Construction Entrance	X	X			
Sediment Traps			X	X	
Storm Inlet Protection			X	X	
Concrete Washout					
Rock Outlet Protection			X	X	X
Permanent Seeding and Planting					X

Phase 1: Prior to Ground Disturbance
Phase 2: After Completion of Rough Grading
Phase 3: After Installation of Storm Facilities
Phase 4: After Paving & Construction
Phase 5: After Project Completion and Cleanup

BMP Rationale

A comprehensive list of available Best Management Practices (BMP) options based on DEQ's 1200-C Permit Application and ESCP Guidance Document has been reviewed to complete this Erosion and Sediment Control Plan. Some of the above listed BMPs were not chosen because they were determined to not effectively manage erosion prevention and sediment control for this project based on specific site conditions, including soil conditions, topographic constraints, accessibility to the site, and other related conditions. As the project progresses and there is a need to revise the ESCP, an Action Plan will be submitted.

SOIL TYPE(S): PER NRCS CO. SOIL SURVEY THE SITE SOILS INCLUDE "WEKIA SILTY CLAY LOAM."

EROSION HAZARD: PER NRCS CO. SOIL SURVEY EROSION HAZARD IS "MODERATE."

SITE AREA: 1.39 Ac
DISTURBANCE AREA: 1.39 Ac

LOCAL RAIN GAGE: SALEM AIRPORT MOWRY FIELD OR, US
LAT/LONG 44.903,-123.0011

INSPECTION FREQUENCY FOR BMP

Site Condition	Minimum Frequency
1. Active period	On initial date that land disturbance activities commence. Within 24 hours of any storm event, including runoff from snow melt, that results in discharge from the site. At least once every 14 days, regardless of whether stormwater runoff is occurring.
2. Inactive periods greater than fourteen (14) consecutive calendar days	The inspector may reduce the frequency of inspections in any area of the site where the stabilization steps in Section 2.2.20 have been completed to twice per month for the first month, no less than 14 calendar days apart, then once per month.
3. Periods during which the site is inaccessible due to inclement weather	If safe, accessible and practical, inspections must occur daily at a relevant discharge point or downstream location of the receiving waterbody.
4. Periods during which construction activities are suspended and runoff is unlikely due to frozen conditions.	Visual monitoring inspections may be temporarily suspended. Immediately resume monitoring upon thawing, or when weather conditions make discharges likely.
5. Periods during which construction activities are conducted and runoff is unlikely during frozen conditions.	Visual monitoring inspections may be reduced to once a month. Immediately resume monitoring upon thawing, or when weather conditions make discharges likely.

Spill Prevention Procedures and Response

- Spill prevention is an important factor in the successful operation of a storm water injection management system. All contractor employees will be trained on this plan so that they are certain of the location of materials, who to notify in case of a spill, and how to initially contain the spill of hazardous materials. Contractor employees shall never dispose waste materials into the storm water collection/treatment system. Contractor employees will be observant of other potential contamination occurrences. All contractor employees will review this plan especially with regards to the detailed spill response steps.
- This data will be posted in an accessible area at the site.

What to do in case of a spill

1. Spill kit to be located near the job trailer or another conspicuous location and clearly marked.
2. Get the spill kit.
   a. If possible, determine visually what types of fluids have been spilled.
   b. Put on gloves and glasses or any other necessary Personal Protective Equipment (PPE).
   c. Get the absorbent material provided in the kit and the drain block cover.
   d. Place the absorbent materials in the path of the spill.
   e. Remove any debris from the vicinity of the inlet where the spill is draining.
   f. Unroll the drain block cover and place it snugly over the inlet.
   g. Verify that the cover has full contact with the rim of the inlet.
   h. Use snakes, pillow or pigs to completely contain the area.
3. Notify the following personnel immediately:
   a. 1200-C Permit Registrant's Representative
   b. When a spill includes any of the below, notify the Oregon Emergency Response System as soon as the Owner's Representative has knowledge of the release. Oregon Emergency Response System Phone: 1-800-452-0311
      I. Any amount of oil to waters of the state;
      II. Oil spills on land in excess of 42 gallons;
      III. Hazardous materials that are equal to, or greater than, the quantity listed in the Code of Federal Regulations, 40 CFR Part 302 (List of Hazardous Substances and Reportable Quantities), and amendments adopted before July 1, 2002

NOTE: Only dry cleanup methods will be employed to clean up spills (i.e., no use of water to wash spilled materials from pavement will be conducted). All spill cleanups shall be conducted in accordance with applicable regulations.

Responsible Personnel

In case of spill contact the General Contractor and 1200-C Permit Registrant's Representative immediately. The Permit Registrant's Representative will be responsible for either managing the spill clean up for minor spills or contacting/retaining a company for the cleanup of major spills.

Waste Management Procedures

Activities performed onsite shall implement the following to eliminate the discharge of waste:

1. Locate activities that include waste products away from waters of the state and stormwater inlets or conveyances so that stormwater coming into contact with these activities cannot reach waters of the state;
2. Ensure adequate supplies are available at all times to handle spills, leaks, and disposal of liquids, and provide secondary containment (e.g. spill berms, decks, spill containment pallets);
3. Have a spill kit available on site and ensure personnel are available to respond expeditiously in the event of a leak or spill;
4. Clean up spills or contaminated surfaces immediately using dry clean up measures (do not clean contaminated surfaces by hosing the area down), and eliminate the source of the spill to prevent a discharge or a continuation of an ongoing discharge; and
5. Store materials in a covered area (e.g., plastic sheeting, temporary roofs), or in secondary containment to prevent the exposure of these containers to precipitation or stormwater runoff, or a similarly effective means designed to prevent the discharge of pollutants from these areas.
6. Building Materials & Building Products: Minimize material exposure in cases where the exposure to precipitation or to stormwater will result in a discharge of pollutants (e.g. elevate materials from soil to prevent leaching of pollutants).

Fertilizers, pesticides, herbicides, & insecticides

Comply with all application and disposal requirements included on the registered pesticide, herbicide, insecticide, and fertilizer label. When applying fertilizers, registrants must:

1. Apply at a rate and in amounts consistent with manufacturer's specifications;
2. Apply at the appropriate time of year for the location, and preferably timed to coincide as closely as possible to the period of maximum vegetation uptake and growth;
3. Avoid applying before heavy rains that could cause excess nutrients to be discharged;
4. Never apply to frozen ground;
5. Never apply to stormwater conveyance channels; and
6. Follow all other federal, state, and local requirements regarding fertilizer application.

Authorized non-stormwater discharges anticipated for the proposed project:

1. Landscape irrigation
2. Dust control water
3. Water line flushing (potable)

Potential pollutant-generating activities anticipated for the proposed project including an inventory of pollutants for each activity:

1. Mass Grading, Street & Utility Construction
   a. Sediment
   b. Vehicle and machinery related pollutants (Fuels, hydraulic fluid, oils)
2. Vertical Construction
   a. Paints, caulks, sealants, solvents
   b. Fluorescent light ballasts
   c. Sediment
   d. Vehicle and machinery related pollutants (Fuels, hydraulic fluid, oils)
3. Landscaping & Irrigation
   a. Fertilizers
   b. Pesticides, Herbicides, Insecticides

EROSION CONTROL INSPECTION RESPONSIBILITIES:

1. PRIOR TO CONTRACT AWARD, INSPECTOR TO BE ANDREW TWEET AT WESTECH ENGINEERING, INC. (503-585-2474), RVSS INSPECTOR #223, EXPIRES MAY 5, 2026.
2. AFTER CONTRACT AWARD AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ACQUIRE THE SERVICES OF A CERTIFIED EROSION CONTROL INSPECTOR MEETING DEQ REQUIREMENTS UNDER THE 1200-C PERMIT AND NOTIFY DEQ OF THE CERTIFIED EROSION CONTROL INSPECTOR.

NO.	DATE	DESCRIPTION	BY
1			

REVISIONS

VERIFY SCALE
BAR IS 2" LONG ON ORIGINAL DRAWING
IF NOT THIS SIZE, ADJUST SCALE ACCORDINGLY
1"

DSN. JJW
DRN. RJS
CKD. JJW
DATE: 07/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
DEC 12 2008
WILLIAM J. WEILS
REVIEW
EXPIRES: 6/30/2026

WESTECH ENGINEERING, INC.
CIVIL ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: mail@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE LOT 1 IMPROVEMENTS

EPSC (EROSION PREVENTION & SEDIMENT CONTROL) NOTES

DRAWING
C1.4

JOB NUMBER
3263.3000

2/18/2025 11:18:35 AM
R:\C-drive\Mosaic\Kuebler Village\Lot 1 - US Bank\Civil\Plots\PD-EPSC Notes & Details.dwg (C1.4 Lot)

SUPPLEMENTAL WESTECH NOTES:

1. Erosion control measures shall be maintained in such a manner as to ensure that sediment and sediment-laden water does not enter the drainge system, roadways, or violate applicable water quality standards.

2. The erosion control construction, maintenance, replacement and upgrading of the erosion control facilities is the responsibility of the 1200-C Permit Registrant until all construction is completed and approved, and permanent erosion control (i.e. vegetation/landscaping) is established on all disturbed areas.

3. All recommended erosion control procedures are dependent on construction methods, staging, site conditions, weather and scheduling. During the construction period, erosion control facilities shall be upgraded as necessary due to unexpected storm events and to ensure that sediment and sediment laden water does not leave the site.

4. The 1200-C Permit Registrant is responsible for control of sediment transport within project limits. If an installed erosion control system does not adequately contain sediment on site, then the erosion control measures shall be adjusted or supplemented by the 1200-C Permit Registrant as necessary to ensure that sediment laden water does not leave the site. Additional measures shall be provided as required to ensure that all paved areas are kept clean for the duration of the project. Additional interim measures will include, at a minimum, installation of silt fences in accordance with the details shown on the drawings. These measures shall be installed along all exposed embankments and cut slopes to prevent sediment transport.

5. All existing and newly constructed storm inlets and drains shall be protected until pavement surfaces are completed and/or vegetation is established.

6. Erosion control facilities and sediment fences on active sites shall be inspected by the 1200-C Permit Registrant at least daily during any period with measurable precipitation. Any required repairs or maintenance shall be completed immediately. The erosion control facilities on inactive sites shall be inspected and maintained by the 1200-C Permit Registrant a minimum of once a month or within 24 hours following the start of a storm event.

7. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment-laden water into the downstream system. The 1200-C Permit Registrant shall remove all accumulated sediment from all impacted catch basins and storm pipes prior to acceptance by the Owner.

8. The 1200-C Permit Registrant is solely responsible for protection of all adjacent property and downstream facilities from erosion and siltation during project construction. Any damage resulting from such erosion and siltation shall be corrected at the sole expense of the 1200-C Permit Registrant.

9. Locate any portable toilets away from waters of the state and stormwater inlets or conveyances. Position portable toilets so they are secure and will not be tipped or knocked over.

10. The 1200-C Permit Registrant shall provide site watering as necessary to prevent wind erosion of fine-grained soils.

11. Unless otherwise indicated on the drawings, all temporary erosion control facilities, including sediment fences, silt socks, bio-bags, etc. shall be removed within 30 days after permanent landscaping/vegetation is established.

12. Sediment fences shall be constructed of continuous filter fabric to avoid use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6-inch overlap, and both ends securely fastened to a post.

13. Sediment fence shall be installed per drawing details. Sediment fences shall have adequate support to contain all silt and sediment captured.

14. The standard strength filter fabric shall be fastened securely to stitched loops installed on the upslope side of the posts, and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 30 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

15. Bio-filter bags shall be clean 100 percent wood product waste. Bags shall be 18-inch x 18-inch x 30-inch, weigh approximately 45 lbs., and be contained in a bag made of 1/2-inch plastic mesh.

16. Sediment barriers shall be maintained until the up-slope area has been permanently stabilized. At no time shall more than 10-inches of sediment be allowed to accumulate behind sediment fences. No more than 2 inches of sediment shall be allowed to accumulate behind bio-filter bags. Sediment shall be removed prior to reaching the above stated depths. New sediment barriers shall be installed uphill as required to control sediment transport.

17. Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to ensure that all paved areas are kept clean for the duration of the project.

18. The 1200-C Permit Registrant shall verify that all trucks are well sealed when transporting saturated soils from the site. Water drippage from trucks transporting saturated soils must be reduced to less than 1 gallon per hour prior to leaving the site.

19. The entrance shall be maintained in a condition that will prevent tracking or flow of mud onto the public right-of-way or approved access point. The entrance may require periodic top dressing as conditions demand, and repair and/or cleanout of any structures used to trap sediment.

20. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately, and protection provided for downstream inlets and catch basins to ensure sediment laden water does not enter the storm drain system.

21. Temporary grass cover measures must be fully established by October 15th, or other cover measures (ie. erosion control blankets with anchors, 3-inches minimum of straw mulch, 6 mil HDPE plastic sheet, etc.) shall be in place over all disturbed soil areas until April 30th. To establish an adequate grass stand for controlling erosion by October 15th, it is recommended that seeding and mulching occur by September 1st. Straw mulch, if used, shall not leave any bare ground visible through the straw.

22. Minimum slope protection. For slopes steeper than 3H:1V but less than 2H:1V, use Tensar/North American Green Type S150 erosion control blanket. For slopes 2H:1V or steeper, use Tensar/North American Green Type SC150 erosion control blanket. Use a minimum of 2-inches straw mulch or Tensar/North American Green Type S150 for slopes flatter than 3H:1V. Slope protection shall be placed on all disturbed areas immediately after completion of each section of construction activity, until the erosion control seeding has been established. As an option during temporary or seasonal work stoppages, a 6-mil HDPE plastic sheet may be placed on exposed slopes. The plastic sheet shall be provided with an anchor trench at the top and bottom of the slope, and shall be sandbagged on the slopes as required to prevent damage or displacement by wind.

23. Permanent erosion control vegetation on all embankments and disturbed areas shall be re-established as soon as construction is completed.

24. Soil preparation. Topsoil should be prepared according to landscape plans, if available, or recommendations of grass seed supplier. It is recommended that slopes be textured before seeding by rock walking (ie. driving a crawling tractor up and down the slopes to leave a pattern of cleat imprints parallel to slope contours) or other method to provide stable areas for seeds to rest.

25. When used, hydromulch shall be applied with grass seed at a rate of 2000 lbs. per acre between April 30 and June 10, or between September 1 and October 1. On slopes steeper than 10 percent, hydroseed and mulch shall be applied with a bonding agent (tackifier). Application rate and methodology to be in accordance with seed supplier recommendations.

26. When used in lieu of hydromulch, dry, loose, weed free straw used as mulch shall be applied at a rate of 4000 lbs. per acre (double the hydromulch application requirement). Anchor straw by working in by hand or with equipment (rollers, cleat trackers, etc.). Mulch shall be spread uniformly immediately following seeding.

27. When conditions are not favorable to germination and establishment of the grass seed, the seeded and mulched areas shall be irrigated as required to establish the grass cover.

28. Seeding. Recommended erosion control grass seed mix is as follows. Dwarf grass mix (low height, low maintenance) consisting of dwarf perennial ryegrass (80 % by weight), creeping red fescue (20 % by weight). Application rate shall be 100 lbs. per acre minimum.

29. Grass seed shall be fertilized at a rate of 10 lbs. per 1000 S.F with 16-16-16 slow release type fertilizer. Development areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.

30. Prior to starting construction the 1200-C Permit Registrant shall acquire the services of a DEQ Certified Erosion and Sediment Control Inspector and shall submit an "Action Plan" to DEQ identifying their names, contact information, training and experience as required in Schedule A.6.b.i-ii of the 1200-C Permit

31. The 1200-C Permit Registrant shall submit "Notice of Termination" to DEQ to end the 1200-C permit coverage once all soil disturbance activities have been completed and final stabilization of exposed soils has occurred.

32. If there is any conflict, discrepancy, or inconsistency between the DEQ Erosion Control Standard Notes, the Supplemental Westech Notes, or the City of Salem EPSC Plan Standard Notes, the DEQ Notes will control.

CITY OF SALEM PUBLIC WORKS DESIGN STANDARDS:

Division 007 Appendix A-EPSC Plan Standard Notes

(a) PRE-CONSTRUCTION

(1). Prior to any land disturbing activities, the boundaries of the clearing and grading limits, vegetated buffers, and any sensitive areas shown on this plan shall be clearly delineated in the field. Unless otherwise approved, no disturbance is permitted beyond the clearing limits. The Contractor must maintain the delineation for the duration of the project. Note: vegetated corridors to be delineated with orange construction fence or approved equal.

(2). BMPs that must be installed prior to land disturbing activities are construction entrance, perimeter sediment control, and inlet protection.

(3). Hold a preconstruction conference to review the EPSCP and with the Citys Project Manager and Inspector.

(b) CONSTRUCTION

(1). All sediment is required to stay on site. Sediment amounts greater than 1/2-cubic foot which leave the site must be cleaned up within 24 hours and placed back on the site and stabilized or properly disposed. Vacuuming or dry sweeping must be used to clean up released sediment and it must not be swept or washed into storm sewers, drainage ways, or water bodies. The cause of the sediment release must be found and prevented from causing a recurrence of the discharge within thesame 24 hours. Any in-stream clean up of sediment shall be performed according to the DSL required time frame.

(2). Construction, maintenance, replacement, and upgrading of erosion prevention and sediment control facilities is the sole responsibility of the Contractor until all construction is completed, approved, and permanent erosion control (i.e., vegetation/landscaping) is established on all disturbed areas.

(3). All recommended erosion prevention and sediment control procedures are dependent on construction methods, staging, site conditions, weather, and scheduling. During the construction period, erosion control facilities shall be revised, upgraded, replaced, or added, to comply with SRC and State and Federal regulatory requirements.

(4). The Contractor is solely responsible for protection of all adjacent property and downstream facilities from erosion and siltation during project construction. Any damage resulting from such erosion and siltation shall be corrected at the sole expense of the Contractor.

(5). When saturated soil is present, water-tight trucks must be used to transport saturated soils from the construction site. Soil may be drained on site at a designated location, using appropriate BMPs. Soil must be drained sufficiently to drip less than one gallon per hour prior to leaving the site.

(6). All materials spilled, dropped, or washed into storm drains must be removed immediately, and the Contractor shall provide protection of downstream inlets and catch basins to ensure sediment-laden water does not enter the storm drain system.

(7). All discharge of sediment-laden water must be treated with an appropriate BMP to remove sediment from discharge waters and to comply with SRC and State and Federal Regulatory Permits.

(8). In areas subject to wind erosion, appropriate BMPs must be used which may include the application of fine water spraying, plastic sheeting, mulching, or other approved measures.

(9). The EPSC measures and BMPs shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these measures shall be upgraded as needed to maintain compliance with all regulations.

(10). The contractor shall provide onsite water or other appropriate BMPs to prevent dust and wind erosion of fine grain soils.

(11). Disturbed areas must be stabilized after 14 days of inactivity, or immediately if rain is forecasted. See Subsection 7A.1(d)-Wet Weather Period.

(12). During the wet weather work period or when rain is forecasted, all active and inactive soil stock piles must be covered with appropriate plastic sheeting. Plastic sheeting must cover the entire stock pile and be sufficiently anchored.

(c) POLLUTANTS, SOLID WASTE AND HAZARDOUS MATERIALS MANAGEMENT

(1). Any use of toxic or other hazardous materials must include proper storage, application, and disposal.

(2). The contractor is solely responsible to properly manage pollutants, hazardous wastes, used oils, contaminated soils, concrete waste, sanitary waste, liquid waste, or other toxic substances discovered or generated during construction to prevent leakage, spills or release of pollutants to the environment and surface waters.

(3). Contractor shall develop a project specific written spill prevention and response procedures that includes employee training on spill prevention and proper disposal procedures; regular maintenance schedule for vehicles andmachinery; and material delivery and storage controls, signage, material use, and use of covered storage areas for waste and supplies. The plan shall comply with SRC and Federal and State requirements, and shall be available on site at all times.

(d) WET WEATHER PERIOD (OCTOBER 15 THROUGH APRIL 30)

(1). Construction activities must avoid or minimize the duration of disturbed areas.

(2). Temporary stabilization of the site including covering of bare soils with approved BMPs, must be installed at the end of the shift before a holiday or weekend, or at the end of each workday if rainfall is forecast in the next 24 hours.

(3). Temporary stabilization or covering of soil stockpiles and protection of stockpiles located away from construction activity must occur at the end of each workday.

(e) MAINTENANCE

(1). Erosion control measures shall be maintained in such a manner as to ensure that erosion is prevented and sediment-laden water does not enter a drainage system, roadway, or violate applicable water quality standards.

(2). Sediment shall not be washed or swept into storm sewers, drainage ways, or water bodies.

(3). Sediment must be removed from behind all sediment control measures when it has reached a height of 1/3 the barrier height, and prior to the control measures removal.

(4). Removal of trapped sediment in a sediment basin or sediment trap or catch basins must occur when the sediment retention capacity has been reduced by 30 percent; is not functioning properly and/or at the completion of project.

(5). Cleaning of all structures, inlet protection BMPs, and sump pumps must be completed regularly and as required to ensure structures and inlets function properly and flow freely.

(6). Construction site exits shall be maintained in a condition that will prevent tracking or flow of mud onto the ROW or approved access point. The entrance may require periodic top dressing as conditions demand, and repair and/or cleanout of any structures used to trap sediment. Wheel washing shall be required to prevent sediment and material tracking on road surfaces if passive BMPs are not effective.

(f) INSPECTION

(1). The EPSCP must be kept onsite at all times. All measures shown on the plan must be installed properly to ensure compliance with SRC and State and Regulatory permits, and that sediment does not enter a surface water system, roadway, or other properties.

(2). Written EPSC inspection logs shall be maintained onsite and available to City inspectors upon request.

(3). All BMPs shall be inspected at least every week. When a rainfall event exceeds 1/2-inch in a 24-hour period, daily inspection of the erosion controls, sediment controls, and discharge outfalls must be conducted and documented. Inspections shall be done by a representative of the permit registrant who is knowledgeable and experienced in the principles, practices, installation, and maintenance of erosion and sediment controls.

(g) INACTIVE CONSTRUCTION PERIODS AND POST-CONSTRUCTION

(1). Should work cease in any area for 14 days, the inactive area must be stabilized with appropriate soil stabilization BMPs. If all construction activity ceases the entire site must be temporarily stabilized using vegetation, heavy mulch layer, temporary seeding, or other method.

(2). All temporary erosion prevention and sediment control facilities shall be removed by the contractor within 30 days after permanent landscaping/vegetation is established and the threat of erosion and sediment transport has been mitigated.

(3). Temporary grass cover measures must be fully established by October 15 or other cover measures (i.e., erosion control blankets with anchors, one-inch of straw mulch, six mil HDPE plastic sheet, etc.) shall be in place over all disturbed soil areas until April 30. To establish an adequate grass stand for controlling erosion by October 15, it is recommended that seeding and mulching occur by September 1.

(4). Permanent erosion control vegetation on all embankments and disturbed areas shall be re-established as soon as construction is completed.

(h) SPECIFICATIONS

(1). Soil preparation. Topsoil should be prepared according to the landscape plans, if available, or recommendations of the grass seed supplier. Slopes shall be textured before seeding by rock walking (i.e., driving a crawling tractor up and down the slopes to leave a pattern of cleat imprints parallel to slope contours) or other method to provide stable areas for seeds to rest.

(2). Seeding. Erosion control grass seed mix shall be as follows: Dwarf grass mix (low height, low maintenance) consisting of dwarf perennial ryegrass (80 percent by weight), creeping red fescue (20 percent by weight). Application rate shall be 100 pounds per acre minimum.

(3). Grass seed shall be fertilized at a rate of ten pounds per 1,000 square feet with 16-16-16 slow release type fertilizer. Disturbed areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.

(4). The application rate of fertilizers used to reestablish vegetation shall follow manufacturer's recommendations. Nutrient releases from fertilizers to surface waters shall be minimized. Time release fertilizers shall be used. Care shall be made in the application of fertilizers within any waterway riparian zone to prevent leaching into the waterway.

(5). When used, hydromulch shall be applied with grass seed at a rate of 2,000 pounds per acre between April 30 and June 10, or between September 1 and October 1. On slopes steeper than ten percent, hydroseed and mulch shall be applied with a bonding agent (tackifier). Application rate and methodology shall be in accordance with seed supplier recommendations.

(6). When used in lieu of hydromulch, dry, loose, weed-free straw used as mulch shall be applied at a rate of 4,000 pounds per acre (double the hydromulch application requirement). Anchor straw by working in by hand or with equipment (rollers, cleat trackers, etc.). Mulch shall be spread uniformly immediately following seeding.

(7). When conditions are not favorable to germination and establishment of the grass seed, the Contractor shall irrigate the seeded and mulched areas as required to establish the grass cover.

(8). Sediment fences shall be constructed of continuous filter fabric to avoid use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum six-inch overlap, and both ends securely fastened to a post.

(9). The standard strength filter fabric shall be fastened securely to stitched loops installed on the upslope side of the posts, and six inches of the fabric shall be extended into the trench. The fabric shall not extend more than 30 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

(10). Bio-filter bags shall be clean 100 percent wood product waste. Bags shall be 18-inch x 18-inch x 30-inch, weigh approximately 45 pounds, and be contained in a bag made of 1/2-inch plastic mesh.

(11). Minimum wet weather slope protection. For 3H:1V or steeper slopes use Bon Terra Type C2 or North American Green Type C125 erosion control blankets. Use a minimum of two inches straw mulch or North American Green Type S150 for slopes flatter than 3H:1V and greater than 6H:1V. Slopes flatter than 6H:1V use one inch straw mulch, hydroseed with hydromulch and tackifier. Slope protection shall be placed on all disturbed areas immediately after completion of each section of construction activity, until the erosion control seeding has been established. As an option during temporary or seasonal work stoppages, a six-mil HDPE plastic sheet may be placed on exposed slopes. The plastic sheet shall be provided with an anchor trench at the top and bottom of the slope, and shall be sandbagged on the slopes as required to prevent damage or displacement by wind.

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET ADJUST SCALE ACCORDINGLY

DSN. JJW
DRN. RS
CKD. JJW

DATE: 07/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
JULY 12, 2025
WILLIAM J. WELLS
REVIEW
EXPIRES: 6/30/2026

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: mail@westech-eng.com

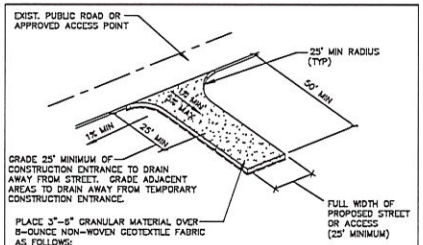
MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE LOT 1 IMPROVEMENTS

EPSC NOTES

DRAWING
C1.5

JOB NUMBER
3263.3000

2/28/2025 11:16:34 AM
R:\Eng\Projects\Kuebler Village\Lot 1 - MS Market\Civil\Plans\PD-EPSC Notes & Details.dwg (C1.5 tab)



DRY WEATHER ACCESS
14-INCH MIN. DEPTH OVER COMPACTED SUBGRADE & FABRIC

WET WEATHER ACCESS
24-INCH MIN. DEPTH OVER UNDISTURBED SUBGRADE & FABRIC

CONSTRUCTION NOTES:

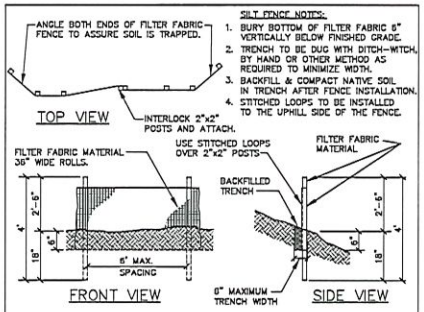
1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, ROOTS, AND OTHER NON-COMPACTABLE MATERIAL.
2. SUBGRADE SHALL BE COMPACTED AND PROOFROLLED PRIOR TO PLACEMENT OF GRANULAR MATERIAL. FAILURE TO PASS PROOFROLL WILL REQUIRE USE OF WET WEATHER SECTION.
3. FAILURE OR PUMPING OF THE DRY WEATHER SECTION WILL REQUIRE REMOVAL OF THE GRANULAR MATERIAL AND INSTALLATION OF THE WET WEATHER SECTION.

MAINTENANCE NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 3"-6" INCH STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF STRUCTURES USED TO TRAP SEDIMENT.
2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. ALL TRUCKS TRANSPORTING SATURATED SOILS SHALL BE WELL SEALED. WATER DRIPPAGE FROM TRUCKS MUST BE REDUCED TO 1 GALLON PER HOUR PRIOR TO LEAVING THE SITE.

LAST REVISION DATE:	JO #:
MAY 2013	STANDARD

TEMPORARY CONSTRUCTION ENTRANCE
(NTS)
WESTECH ENG. — DETAIL NO. 6100



SILT FENCE NOTES:

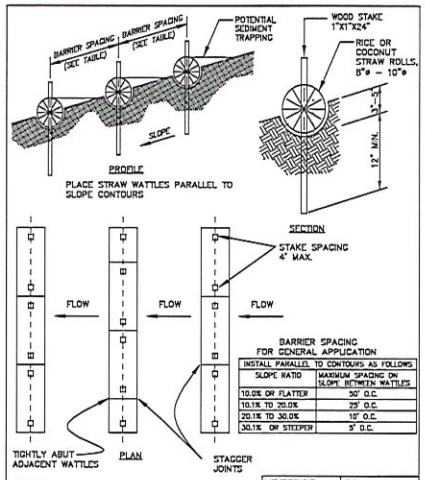
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
2. TRENCH TO BE DUG WITH DITCH-WITCH, BY HAND OR OTHER METHOD AS REQUIRED TO MINIMIZE WIDTH.
3. BACKFILL & COMPACT NATIVE SOIL IN TRENCH AFTER FENCE INSTALLATION.
4. STITCHED LOOPS TO BE INSTALLED TO THE UPHILL SIDE OF THE FENCE.

MAINTENANCE NOTES:

1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND SEDIMENT FENCES OR BIOFILTER BAGS.
3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE:	JO #:
APRIL 2014	STANDARD

SEDIMENT BARRIERS
(NTS)
WESTECH ENG. — DETAIL NO. 6110



BARRIER SPACING FOR GENERAL APPLICATION

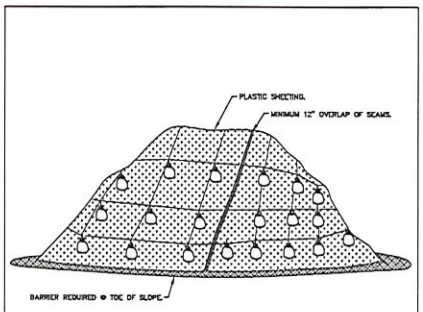
INSTALL PARALLEL TO CONTOURS AS FOLLOWS	
SLOPE RATIO	MAXIMUM SPACING ON SLOPE BETWEEN WATTLES
10.0% OR FLATTER	30' O.C.
10.1% TO 20.0%	25' O.C.
20.1% TO 30.0%	10' O.C.
30.1% OR STEEPER	5' O.C.

NOTES:

1. ALL MATERIAL SHALL CONFORM TO OSSC (ODOT/APWA) SPECIFICATIONS, CURRENT EDITION.
2. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
3. AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE ABOVE THE TOP OF THE STRAW WATTLE.
4. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE:	JO #:
JUNE 2015	STANDARD

STRAW WATTLE SEDIMENT BARRIER
(NTS)
WESTECH ENG. — DETAIL NO. 6120



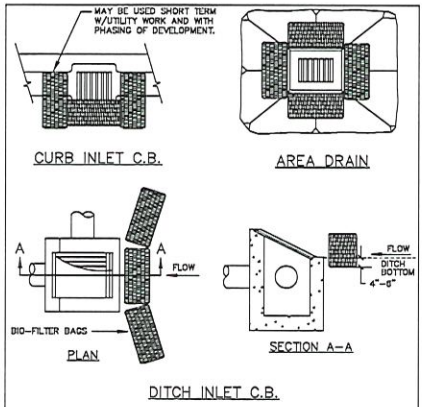
STOCKPILE DETAIL

NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. SEDIMENT BARRIER REQUIRED @ TOE OF STOCK PILE.
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
4. PLASTIC SHEETING TO EXTEND A MINIMUM OF 12" PAST THE BOTTOM OF THE PILE ONTO SURROUNDING GRADE ON ALL SIDES.

LAST REVISION DATE:	JO #:
JAN 2019	STANDARD

STOCKPILE DETAIL
(NTS)
WESTECH ENG. — DETAIL NO. 6170

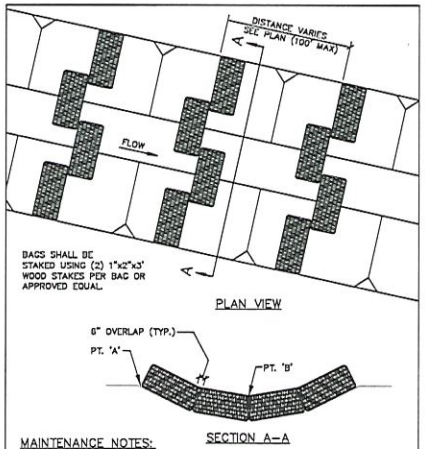


MAINTENANCE NOTES:

1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND SEDIMENT FENCES OR BIOFILTER BAGS.
3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE:	JO #:
APRIL 2014	STANDARD

INLET SEDIMENT CONTROL
(NTS)
WESTECH ENG. — DETAIL NO. 6130

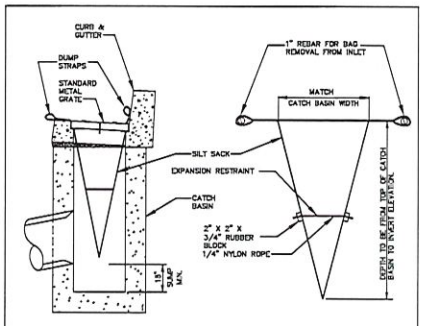


MAINTENANCE NOTES:

1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND BIOFILTER BAGS.
3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.
4. PT. 'A' SHALL BE 6" MIN. HIGHER THAN PT. 'B'.

LAST REVISION DATE:	JO #:
APRIL 2014	STANDARD

DITCH AND SWALE EROSION PROTECTION
(NTS)
WESTECH ENG. — DETAIL NO. 6140

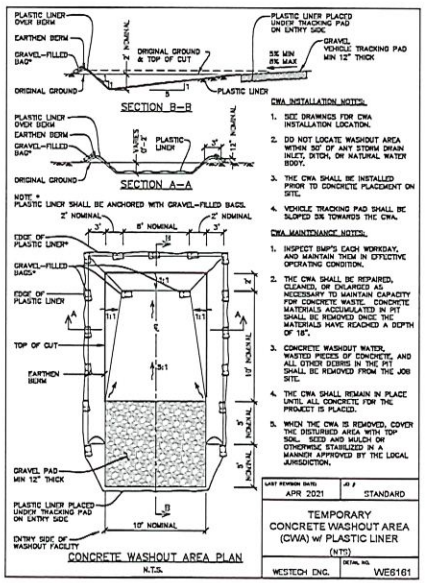


NOTES:

1. EMPTY SILT SACK AS NECESSARY.
2. SILTSACK SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACF ENVIRONMENTAL AND SUPPLIED BY ACF WEST (503) 771-3113 OR APPROVED EQUAL.

LAST REVISION DATE:	JO #:
OCT 2002	STANDARD

SILTSACK INLET DETAIL
(NTS)
WESTECH ENG. — DETAIL NO. 6150



CWA INSTALLATION NOTES:

1. SEE DRAWINGS FOR CWA INSTALLATION LOCATION.
2. DO NOT LOCATE WASHOUT AREA WITHIN 50' OF ANY STORM DRAIN INLET, DITCH, OR NATURAL WATER BODY.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. VEHICLE TRACKING PAD SHALL BE SLOPED 5% TOWARDS THE CWA.

CWA MAINTENANCE NOTES:

1. INSPECT BMP'S EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION.
2. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 18".
3. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE, AND ALL OTHER DEBRIS IN THE PIT SHALL BE REMOVED FROM THE JOB SITE.
4. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
5. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

LAST REVISION DATE:	JO #:
APR 2021	STANDARD

TEMPORARY CONCRETE WASHOUT AREA (CWA) w/ PLASTIC LINER
(NTS)
WESTECH ENG. — DETAIL NO. WE6161

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DSN. JJW
DRN. RJS
CKD. JJS
DATE 02/23/2021

REGISTERED PROFESSIONAL ENGINEER — OREGON — JULY 12, 2006 — WILLIAM J. WELLS — REVIEW — EXPIRES: 6/30/2023

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: mail@westech-eng.com

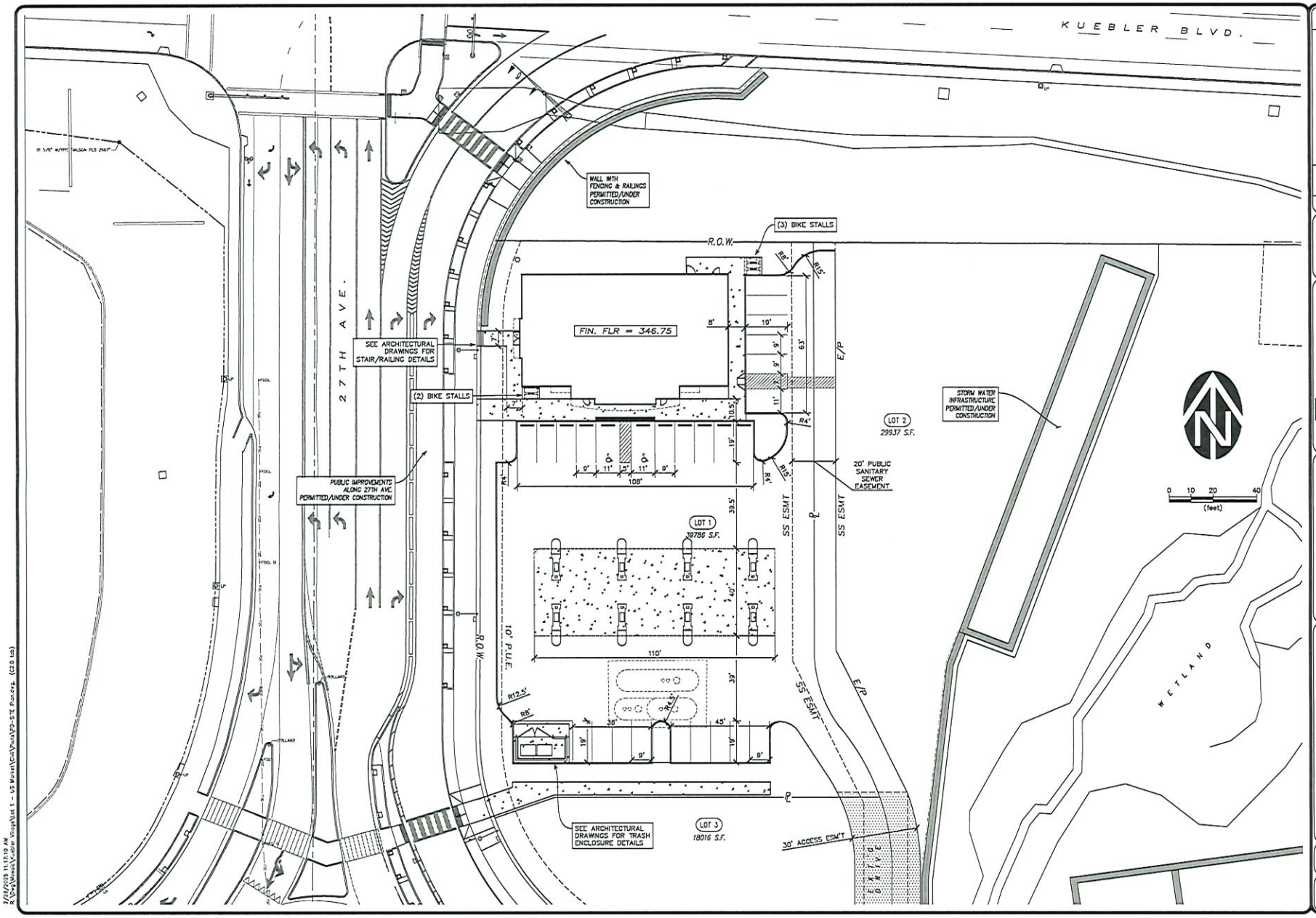
MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE LOT 1 IMPROVEMENTS

EPSC DETAILS

DRAWING
C1.6

JOB NUMBER
3263.3000

2/23/2021 11:15:38 AM
G:\Projects\Kuebler-Commercial\3263\Lot 1 - US Venture\Civil\Plans\VD-EPSC Notes & Details.dwg (C1.6 tab)



NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET ADJUST SCALE ACCORDINGLY

DSN. JJY
DRN. RS
CKD. JJY
DATE: 01/2023

REGISTERED PROFESSIONAL ENGINEER
OREGON
DEC. 12, 2006
WILLIAM J. WEILS
REVIEW
11/17/2023 6/30/2024

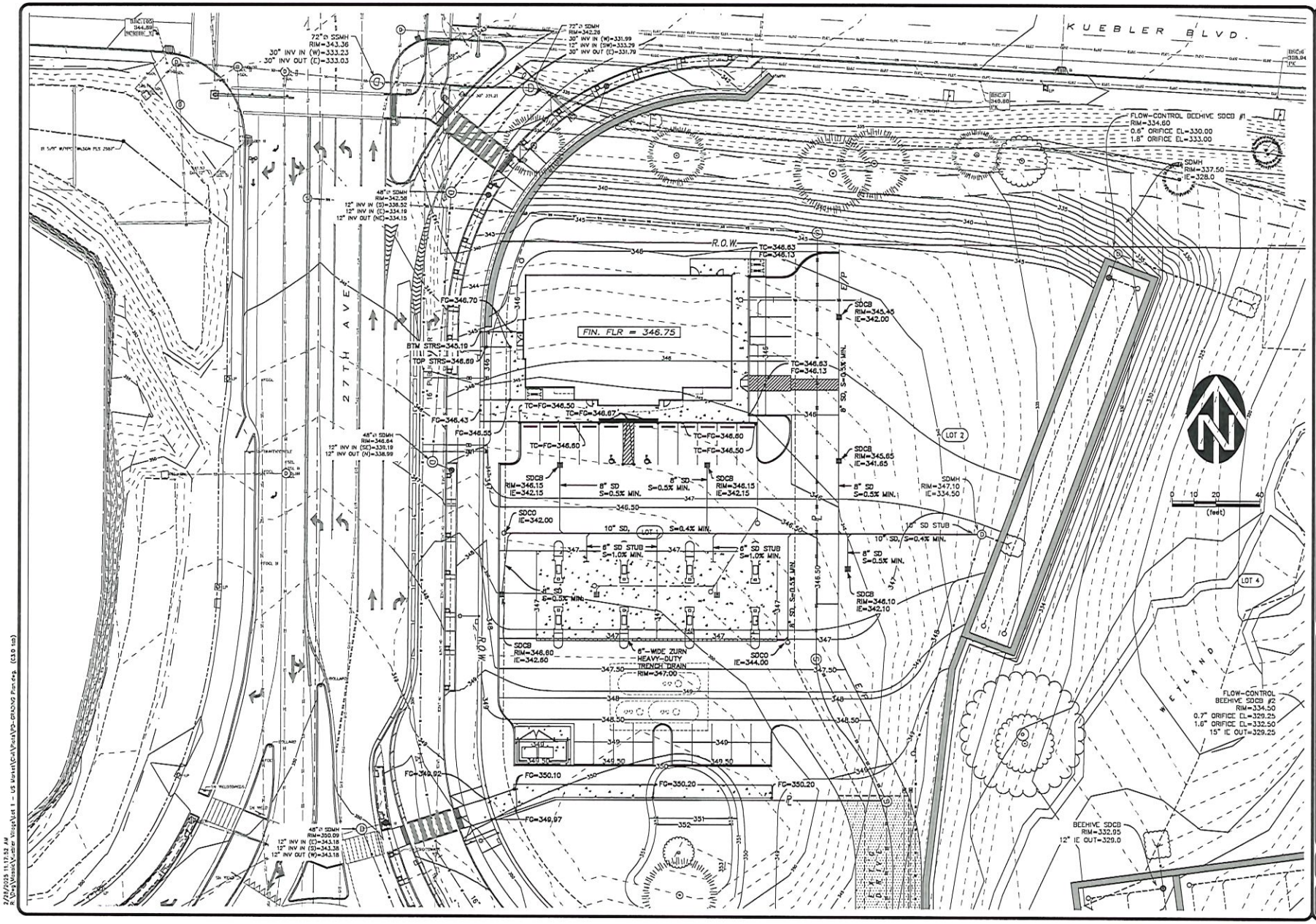
WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. SE, Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: mail@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS
SITE & DIMENSIONING PLAN

DRAWING
C2.0

JOB NUMBER
3263.3000

2/13/2025 11:17:10 AM
R:\Proj\Mosaic\2024-#Prop\Lot 1 - 45 Mosaic\CAD\C2.0-SITE Plan.dwg (C2.0 Lot)



VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

DSN. JJW
DRN. RS
CKD. JJS
DATE: 01/07/2025

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

REGISTERED PROFESSIONAL ENGINEER
OREGON
JAN. 12, 2006
WILLIAM J. WELLS

REVIEW

REVIEW: 2/20/2025

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: info@westech-eng.com

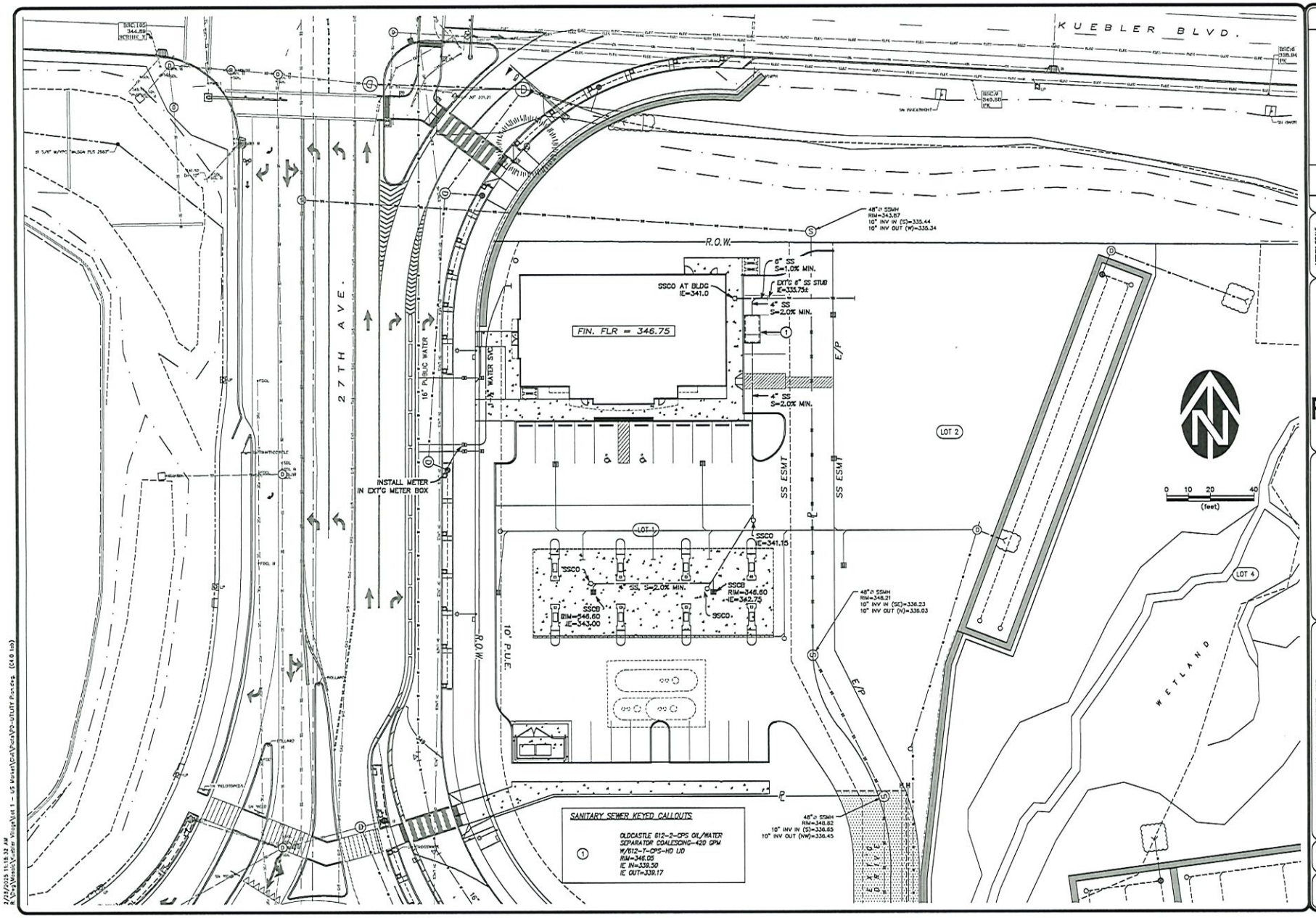
MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

GRADING & DRAINAGE PLAN

DRAWING
C3.0

JOB NUMBER
3263.3000

2/20/2025 11:17:52 AM
S:\Projects\3263-Kuebler Village\Lot 1 - US Venue\Civil\Dwg\3-GRADING Plan.dwg, (C3.0 tab)



NO.	DATE	DESCRIPTION	BY
1			

REVISIONS

VERIFY SCALE
BAR IS 2" ON ORIGINAL DRAWING
0 1" 2"
IF NOT THIS SIZE ADJUST SCALE ACCORDINGLY

DSN. JW
DRN. RS
CKD. JW
DATE: 01/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
APR 12, 2005
WILLIAM J. WELLS
REVIEW
expires: 6/30/2026

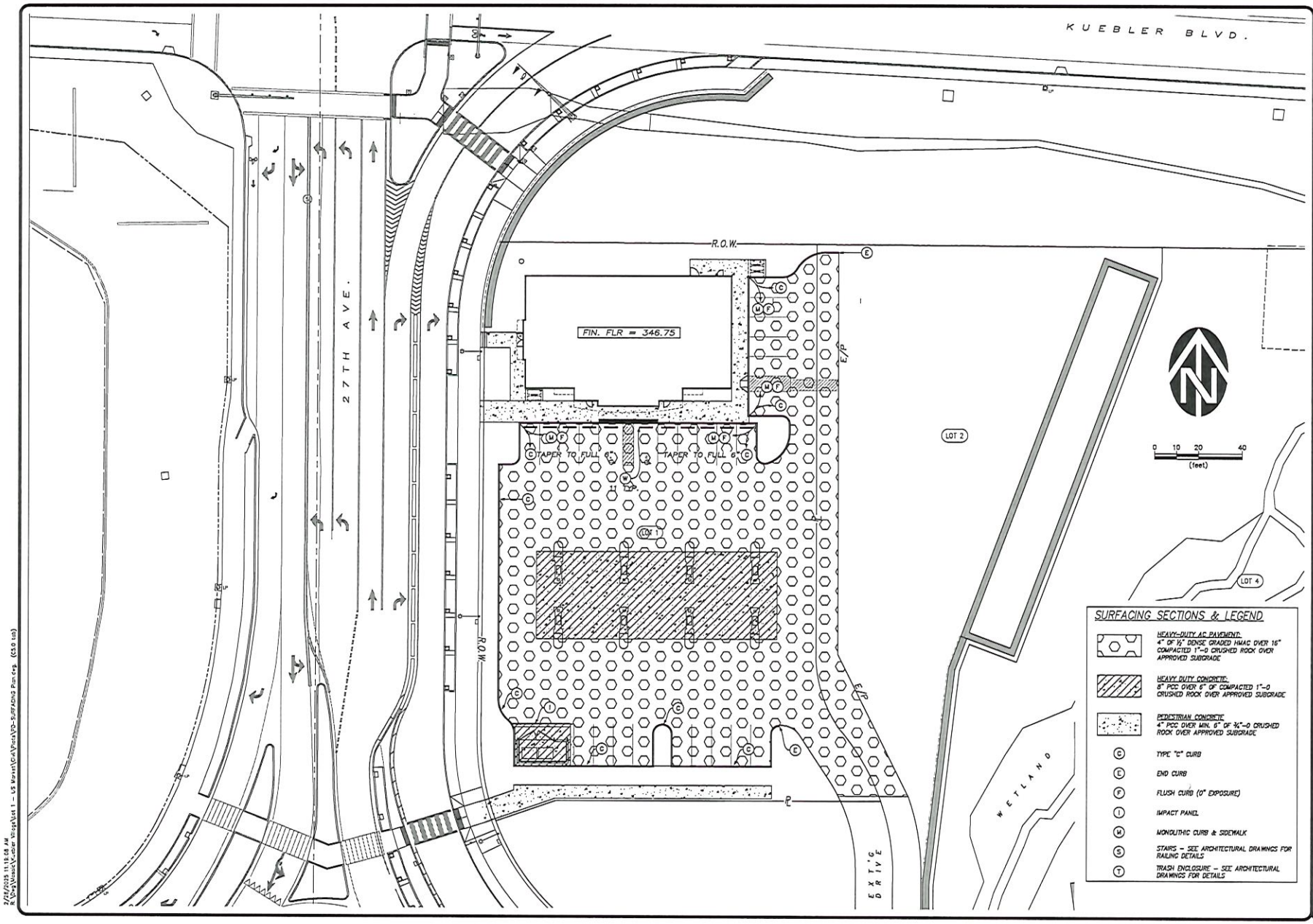
WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone (503) 585-2474 Fax (503) 585-3986
E-mail: westech@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS
UTILITY PLAN

DRAWING
C4.0

JOB NUMBER
3263.3000

2/28/2025 11:18:32 AM
R:\Dwgs\Wesch\Kuebler Village\Lot 1 - US Market\CAD\Parks\P3-UTILITY Parks.dwg (C4.0 Ut)



VERIFY SCALE
BAR IS 1" ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET ADJUST SCALE ACCORDINGLY

DSN.	JW
DRN.	RJS
CKD.	JJS
DATE:	07/2025

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

REGISTERED PROFESSIONAL ENGINEER
OREGON
OCT. 12, 2005
WILLIAM J. WELLS
REVIEW
REVIEW: 8/20/2025

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

SURFACING PLAN

DRAWING
C5.0

JOB NUMBER
3263.3000

2/12/2025 11:16:08 AM
N:\Projects\Kuebler Village\Lot 1 - US Bank\CAD\Plot\VD-SURFACING Plan.dwg (C5.0 lot)

GENERAL NOTES

1. Contractor shall procure, and conform to all construction permits required by the City of Salem

2. Owner to pay all project permit costs, including but not limited to utility tapping, TV, and chlorination costs. The Contractor shall coordinate with the Approving Agency to determine appropriate fees and provide the Owner with 48 hours notice prior to the required payment of fees or costs.

3. Oregon Law requires the Contractor to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. Obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is 503-232-1987).

4. Contractor to notify City, ODOT and all utility companies a minimum of 48 business hours (2 business days) prior to start of construction, and comply with all other notification requirements of the Approving Agency with jurisdiction over the work.

5. Contractor shall procure a right-of-entry permit from ODOT State Highway Division for all work within the State right-of-way and conform to all conditions of the permit.

6. Contractor shall provide all bonds and insurance required by public and/or private agencies having jurisdiction. Where required by public and/or private agencies having jurisdiction, the Contractor shall submit a suitable maintenance bond prior to final payment.

7. For City Construction Permits, contact Salem Public Works Engineering Construction Management at 503-588-6211. For City Building Permits, contact Salem Permit Application Center at 503-588-6256.

8. Contractor to apply for services at the Permit Application Center (PAC office) for work to be done by City forces on public mains.

9. All materials and workmanship for facilities in street right-of-way or easements shall conform to Approving Agencies' construction specifications wherein each has jurisdiction, including but not limited to the City, County, Oregon Health Division (OHD) and the Oregon Department of Environmental Quality (DEQ).

10. Unless otherwise approved by the Public Works Director, construction of all public facilities shall be done between 7:00 a.m. and 6:00 p.m., Monday through Saturday.

11. The Contractor shall perform all work necessary to complete the project in accordance with the approved construction drawings including such incidentals as may be necessary to meet the Approving Agencies' requirements and provide a completed project.

12. Any inspection by the City, ODOT or other Approving Agency shall not, in any way, relieve the Contractor from any obligation to perform the work in strict compliance with the contract documents, applicable codes, and Approving Agency requirements.

13. Contractor shall maintain one complete set of approved drawings on the construction site at all times wherein he will record all approved deviations in construction from the approved drawings, as well as the station locations and depths of all existing utilities encountered. These field record drawings shall be kept up to date at all times and shall be available for inspection by the Approving Agency or Owner's Representative upon request. Failure to conform to this requirement may result in delay in payment and/or final acceptance of the project.

14. Upon completion of construction of all new facilities, Contractor shall submit a clean set of field record drawings containing all as-built information to the Engineer. All information shown on the Contractor's field record drawings shall be subject to verification. If significant errors or deviations are noted, an as-built survey prepared and stamped by a registered professional land Surveyor shall be completed at the Contractor's expense.

15. Contractor shall procure and conform to DEQ stormwater permit No. 1200C for construction activities where 1 acre or more are disturbed.

16. The contractor shall retain and pay for the services of a registered Civil Engineer and/or Land Surveyor licensed in the State of Oregon to establish construction control and perform initial construction surveys to establish the lines and grades of improvements as indicated on the drawings. Staking for buildings, structures, curbs, gravity drainage pipes/structures and other critical improvements shall be completed using equipment accurate to 0.04 feet horizontally and 0.02 feet vertically, or better. Use of GPS equipment for final construction staking of these critical improvements is prohibited. The registered professional surveyor shall provide the design engineer with copies of all grade sheets for construction staking performed for the project.

17. See architectural drawings for site lighting, site dimensioning, and continuation of all utilities.

TRAFFIC CONTROL

18. Contractor shall erect and maintain barricades, warning signs, traffic cones (and all other traffic control devices required) per City and ODOT requirements in accordance with the current MUTCD (including Oregon amendments). Access to driveways shall be maintained at all times. All traffic control measures shall be approved and in place prior to any construction activity. Prior to any work in the existing public right-of-way, Contractor shall submit final traffic control plan to the Approving Agency for review and issuance of a Lane Closure or Work in Right-of-Way Permit.

19. Prior to any work in the existing right-of-way, Contractor shall submit final traffic control plan to City of Salem for review and issuance of lane closure permit. Contractor to obtain a lane closure permit before construction starts for any work within the existing public right-of-way, including public street improvements or driveway connections to existing streets.

TESTING AND INSPECTION:

20. For public and private improvements, the Contractor shall be responsible to ensure that all required or necessary inspections are completed by authorized inspectors prior to proceeding with subsequent work which covers or that is dependent on the work to be inspected. Failure to obtain necessary inspection(s) and approval(s) shall result in the Contractor being fully responsible for all problems and/or corrective measures arising from uninspected work.

21. Unless otherwise specified, the attached "Required Testing and Frequency" table outlines the minimum testing schedule for private improvements on the project. This testing schedule is not complete, and does not relieve the Contractor of the responsibility of obtaining all necessary inspections or observations for all work performed, regardless of who is responsible for payment. Cost for retesting shall be borne by the Contractor.

EXISTING UTILITIES & FACILITIES:

22. The location and descriptions of existing utilities shown on the drawings are compiled from available records and/or field surveys. The Engineer or utility companies do not guarantee the accuracy or the completeness of such records. Contractor shall field verify locations and sizes of all existing utilities prior to construction.

23. Utility locations are based on record information and should be field-verified. Call 1-800-332-2344 at least 48 hours prior to construction for on-site locating of utilities.

24. Contractor shall field verify location and depth of all existing utilities where new facilities cross. All utility crossings marked or shown on the drawings shall be potholed using hand tools or other non-invasive methods prior to excavating or boring. Contractor shall be responsible for exposing potential utility conflicts far enough ahead of construction to make necessary grade or alignment modifications without delaying the work. If grade or alignment modification is necessary, Contractor shall notify the Design Engineer, and the Design Engineer or the Owner's Representative shall obtain approval from the Approving Agency prior to construction.

25. The Contractor shall be responsible for locating and marking all existing survey monuments of record (including but not limited to property and street monuments) prior to construction. If any survey monuments are removed, disturbed or destroyed during construction of the project, the Contractor shall retain and pay for the services of a Registered Professional Surveyor licensed in the State of Oregon to reference and replace all such monuments prior to final payment. The monuments shall be replaced within a maximum of 90 days, and the County Surveyor shall be notified in writing as required by per ORS 209.150. Per ORS 92.044(7), utility infrastructure may not be placed within one foot of a survey monument location noted on a subdivision or partition plat.

26. All facilities shall be maintained in-place by the Contractor unless otherwise shown or directed. Contractor shall take all precautions necessary to safeguard, maintain, or otherwise protect existing utilities and other facilities at all times during construction. Contractor to leave existing facilities in an equal or better-than-original condition and to the satisfaction of the Approving Agency and Owner's Representative.

27. Utilities or interfering portions of utilities that are abandoned in place shall be removed by the Contractor to the extent necessary to accomplish the work. The Contractor shall plug the remaining exposed ends of abandoned utilities after appropriate verification procedures have taken place.

28. Contractor shall remove all existing signs, mailboxes, fences, landscaping, etc., as required to avoid damage during construction and replace them to existing or better condition.

29. The Contractor shall be responsible for managing construction activities to ensure that public streets and right-of-ways are kept clean of mud, dust or debris. Dust abatement shall be maintained by adequate watering of the site by the Contractor.

GRADING, PAVING & DRAINAGE:

30. Contractor to review soils report prepared by Central Geotechnical Services, and conform to all recommendations listed in the report.

31. All materials and workmanship for compaction, fills, grading, rocking and paving within the public right-of-way shall conform to City of Salem Standard Construction Specifications.

32. Unless otherwise noted, all grading, rocking and paving to conform to Oregon Standard Specifications for Construction (OSSC/ODOT/APWA), 2021 edition.

33. Clear and grub within work limits all surface vegetation, trees, stumps, brush, roots, etc. Do not damage or remove trees except as approved by the Owner's Representative or as shown on the drawings. Protect all roots two inches in diameter or larger.

34. Strip work limits, removing all organic matter, which cannot be compacted into a stable mass. All trees, brush, and debris associated with clearing, stripping or grading shall be removed and disposed of off-site.

35. For public and private improvements, except as otherwise allowed by the specifications required by Salem Standard Construction Specifications, drawing details or notes, immediately following stripping and grading operations, compact subgrade to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor). Subgrade must be inspected and approved by the Owner's authorized representative before placing, engineered fills or fine grading for base rock.

36. Unless otherwise required by Salem Standard Construction Specifications, Engineered fills shall be constructed and compacted in 6" lifts over approved subgrade. All fills shall be engineered and comply with the Oregon Structural Specialty Code, with each lift compacted to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor).

37. Granular basecrok shall conform to the requirements of OSSC (ODOT/APWA) 02630.10 (Dense Graded Base Aggregate), with no more than 10% passing the #40 sieve and no more than 5% passing the #200 sieve.

38. Compact granular basecrok to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor). Written basecrok compaction test results from an independent testing laboratory must be received by the Owner's authorized representative before placing AC pavement, and a finished rock grade proof-roll (witnessed by the Owners authorized representative) must be performed.

39. Unless otherwise required by Salem Standard Construction Specifications, A.C. pavement shall conform to OSSC (ODOT/APWA) 00745 (Hot Mixed Asphalt Concrete Pavement) for standard duty mix. Unless otherwise specified or shown on the drawings, base lifts shall be 3/4" dense graded mix, while wearing courses shall be 1/2" dense graded mix. Unless otherwise specified or shown on the drawings, A.C. pavement for parking lots and streets shall be Level 2 mix (50 blow Marshall per OSSC (ODOT/APWA) 00744.13). A.C. Pavement shall be compacted to a minimum of 91% of maximum density as determined by the Rice standard method. Written AC pavement compaction test results from an independent testing laboratory must be received by the Owner's authorized representative before final payment.

40. Pavement surface shall be a smooth, well-sealed, tight mat without depressions or bird baths. Bony or open graded pavement surfaces shall be repaired to the satisfaction of the Owner's authorized representative, prior to final acceptance of the work.

41. Unless otherwise required by Salem Standard Construction Specifications, HMAC mixtures shall be placed only when the surface is dry and weather conditions are such that proper handling, finishing and compaction can be accomplished. In no case shall bituminous mixtures be placed when the surface temperature is below the minimum established under 2021 OSSC (ODOT/APWA) 00744.40 (AC - Season and Temperature Limitations) or the project specifications, whichever is more stringent.

42. Contractor shall protect new pavement against traffic as required, until it has cooled sufficiently to avoid tracking.

43. For parking lots or private access drives, the final lift of AC pavement shall not be placed until after the building is fully enclosed and weatherproof, unless otherwise approved by the Owner's authorized representative.

44. Unless otherwise shown on the drawings or details, straight grades shall be run between all finish grade elevations and/or finish contour lines shown (exception: where grades are shown across sidewalks, slopes shall be adjusted to ensure that maximum allowable sidewalk cross slopes are not exceeded).

45. Finish pavement grades at transition to existing pavement shall match existing pavement grades or be feathered past joints with existing pavement as required to provide a smooth, free draining surface.

46. All existing or constructed manholes, cleanouts, monument boxes, gas valves, water valves and similar structures shall be adjusted to match finish grade of the pavement, sidewalk, landscaping area or median strip wherein they lie. Verify that all valve boxes and risers are clean and centered over the operating nut.

47. Unless otherwise shown on the drawings, no cut or fill slopes shall be constructed steeper than 3H:1V.

48. Unless otherwise shown on the landscape plans, all planter areas, shall be backfilled with approved topsoil minimum 4" thick. Stripping materials shall not be used for planter backfill.

49. Contractor shall seed and mulch (uniformly by hand or hydroseed) all exposed slopes and disturbed areas which are not scheduled to be landscaped, including trench restoration areas. If the Contractor fails to apply seed and mulch in a timely manner during periods favorable for germination, or if the seeded areas fail to germinate, the Owner's Representative may (at his discretion) require the Contractor to install sod to cover such disturbed areas.

50. Grading shown on the drawings is critical to functioning of detention system and shall be strictly followed.

51. Contractor shall coordinate and ensure that detention pond volumes are inspected and approved by public agencies having jurisdiction before paving and landscaping.

CURBS & SIDEWALKS:

52. Unless otherwise shown or indicated on the drawings, 6-inches nominal curb exposure used for design of all parking lot and street grades.

53. Where new curbing connects to existing curbing or is installed along existing streets or pavement, the gutter grade shall match the existing street grades so as to allow drainage from the street to the gutter and through any transitions. The Contractor shall notify the Owner's Representative in writing of any grade discrepancies or problems prior to such placement.

54. Road widening design is based on available survey taken at random intervals. Street pavement widening cross slope shall be a minimum of 2% and a maximum of 5% except at intersections, where the street cross slopes shall not exceed 2% maximum (intersection defined from end of curb radius both directions). Prior to placing curbs, Contractor shall field verify pavement widening cross slope and contact Engineer if the design pavement widening cross slope is not within the limits stated above.

55. Contractor shall construct all handicap access ramps in accordance with current ADA requirements.

56. Sidewalks shall be a minimum of 4-inches thick. Commercial use driveways and alley approaches shall be minimum 8-inches thick. All curbs, sidewalks and driveways shall be constructed using 3300-psi concrete, and shall be cured with Type 1 or Type 1D clear curing compound. All sidewalks shall be ADA compliant.

57. Curb & sidewalk concrete shall be placed only during periods when it will not be damaged by rain (protect unhardened concrete from precipitation). Concrete shall not be placed on frozen basecrok. Do not begin concrete placement until temperature in the shade is a minimum of 35°F and rising, and stop placement if air temperature falls below 35°F. Protect concrete from freezing for a minimum of 5 days after placement per OSSC (ODOT/APWA) 00440.40.4 & 00736.40 or the project specifications, whichever is more stringent.

58. Contraction joints shall be installed directly over any pipes that cross under the sidewalk, to control cracking. In general, cracks in new curbs or sidewalks (at locations other than contraction joints) are not acceptable, and cracked panels shall be removed & replaced unless otherwise approved by the Approving Agency and the design engineer.

59. All sidewalks shall be ADA compliant. Direction of sidewalk cross slope shall conform with the slope direction shown on the grading plan. Sidewalk cross slopes shall not exceed 1:67 (1.5%) nor be less than 1%. Longitudinal slope shall not exceed 1:20 (5%).

60. Where trench excavation requires removal of PCC curbs and/or sidewalks, the curbs and/or sidewalks shall be sawcut and removed at a tooled joint unless otherwise authorized in writing by the Approving Agency. The sawcut lines shown on the drawings are schematic and not intended to show the exact alignment of such cuts.

61. Unless otherwise shown on the drawings, areas along curbs and sidewalks shall be backfilled with approved topsoil, as well as being seeded and mulched (or hydroseeded).

PIPED UTILITIES:

62. All tapping of existing sanitary sewer, storm drain mains, and manholes must be done by City forces.

63. All tapping to be done by City of Salem forces. To schedule water/sewer/storm taps call (503) 588-6333. Taps are generally available within two business days.

64. The Contractor shall have appropriate equipment on site to produce a firm, smooth, undisturbed subgrade at the trench bottom, true to grade. The bottom of the trench excavation shall be smooth, free of loose materials or tooth grooves for the entire width of the trench prior to placing the granular bedding material.

65. All pipes shall be bedded with minimum 6-inches of 3/4"-0 crushed rock bedding and backfilled with compacted 3/4"-0 crushed rock in the pipe zone (crushed rock shall extend a minimum of 12-inches over the top of the pipe in all cases). Unless CDF or other backfill is shown or noted on the drawings, crushed rock trench backfill shall be used under all improved areas, including pavement, sidewalks, foundation slabs, buildings, etc.

66. Granular trench bedding and backfill shall conform to the requirements of OSSC (ODOT/APWA) 02630.10 (Dense Graded Base Aggregate), 3/4"-0. Unless otherwise shown on the drawings, compact granular backfill to 92% of the maximum dry density per AASHTO T-180 test method (Modified Proctor).

67. Contractor shall arrange to abandon existing sewer and water services not scheduled to remain in service in accordance with approving agency requirements.

68. All piped utilities abandoned in place shall have all openings closed with concrete plugs with a minimum length equal to 2 times the diameter of the abandoned pipe.

69. The end of all utility service lines shall be marked with a 2"x4" painted white and wired to pipe stub. The pipe depth shall be written on the post in 2" block letters.

70. All non-metallic water, sanitary and storm sewer piping shall have an electrically conductive insulated 12 gauge solid core copper tracer wire the full length of the installed pipe using blue wire for water and green wire for storm and sanitary piping. Tracer wire shall be extended up into all valve boxes, catch basins, manholes and lateral cleanout boxes. Tracer wire penetrations into manholes shall be within 18 inches of the rim elevation and adjacent to manhole steps. The tracer wire shall be tied to the top manhole step or otherwise supported to allow retrieval from the outside of the manhole. All tracer wire splices shall be made with waterproof splices or waterproof/corrosion resistant wire nuts.

71. No trenches in sidewalks, roads, or driveways shall be left in an open condition overnight. All such trenches shall be closed before the end of each workday and normal traffic and pedestrian flows restored.

72. Before mandrel testing, TV inspection or final acceptance of gravity pipelines, all trench compaction shall be completed and all sewers and storm drains flushed & cleaned to remove all mud, debris & foreign material from the pipelines, manholes and/or catch basins.

73. Where future extensions are shown upstream of new manholes (sewer or storm), catch basins or junction boxes, pipe stubs (with gasketed caps) shall be installed at design grades to a point 2' minimum outside of the structure.

WATER SYSTEM:

74. City forces to operate all valves, including fire hydrants, on existing public mains.

75. All water mains shall be Class 52 ductile iron.

76. All fittings 4-inches through 24-inches in diameter shall be ductile iron fittings in conformance with AWWA C-153 or AWWA C-110. The minimum working pressure for all MJ cast iron or ductile iron fittings 4-inches through 24-inch in diameter shall be 350 psi for MJ fittings and 250 psi for flanged fittings.

77. All water mains to be installed with a minimum 36 inch cover to finish grade unless otherwise noted or directed. Water service lines shall be installed with a minimum 30-inch cover. Deeper depths may be required as shown on the drawings or to avoid obstructions.

78. Unless otherwise shown or approved by the Engineer, all valves shall be flange connected to adjacent tees or crosses.

79. Thrust restraint shall be provided on all bends, tees and other direction changes per Approving Agency requirements and as specified or shown on the drawings.

80. Water service pipe 2-inch and smaller on the public side of the meter shall be Type K soft copper tubing conforming to ASTM B-88. Water service pipe 3-inch and larger shall conform to the construction drawings and approving agency standards.

81. Unless otherwise noted, water service pipe 2-inch and smaller on the private side of the meter shall be Schedule 40 PVC. Unless otherwise specified, private water service piping shall be hydrostatically pressure tested to a minimum of 150% of the maximum static pressure at the site. All materials and workmanship for all private water lines, including water lines located within any building envelope, shall be installed in conformance with Uniform Plumbing Code requirements. All water service pipe on the private side of the meter shall be installed by a licensed plumber in accordance with Uniform Plumbing Code requirements.

82. Domestic and fire backflow prevention devices and vaults shall conform to requirements of public and/or private agencies having jurisdiction. The Contractor shall be responsible for having backflow devices tested and certified prior to final acceptance of the work.

NO.	DATE	DESCRIPTION	BY
1		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

DSN. JJW
DRN. RJS
CKD. JJW
DATE 02/2025

REGISTERED PROFESSIONAL ENGINEER
REVIEW
OREGON
APRIL 15, 2025
WILLIAM J. WELLS
EXPIRES: 6/30/2025

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: info@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

CONSTRUCTION NOTES

DRAWING
C6.0

JOB NUMBER
3263.3000

2/28/2025 11:18:17 AM
R:\Dwgs\Wessel\Cider Ridge\Lot 1 - US Venit\Civil\Plans & Details.dwg (C6.0 Lot)

83. Contractor shall provide all necessary equipment and materials (including plugs, blowoffs, valves, service taps, etc.) required to flush, test and disinfect waterlines per the Approving Agency requirements.

84. The work shall be performed in a manner designated to maintain water service to buildings supplied from the existing waterlines. In no case shall service to any main line or building be interrupted for more than four (4) hours in any one-day. Contractor shall notify the Approving Agency and all affected residents and businesses a minimum of 24 business hours (1 business day) before any interruption of service.

85. Where new waterlines cross below or within 18-inches vertical separation above a sewer main or sewer service lateral, center one full length of waterline pipe at point of crossing the sewer line or sewer lateral. In addition unless otherwise approved in writing by the Approving Agency, existing sewer mains and/or service laterals within this zone shall be replaced with a full length of Class 50 Ductile Iron or C-900 PVC pipe (DR 18) centered at the crossing in accordance with OAR 333-061 and Approving Agency requirements. Connect to existing sewer lines with approved rubber couplings. Example: For an 8-inch waterline with 36-inches cover, 4-inch service lateral inverts within 5.47-feet (65-inches) of finish grade must be CI or C-900 PVC at the crossing.

86. All waterlines, services and appurtenances shall be pressure tested for leakage. All testing shall conform to requirements as outlined in the specifications, Approving Agency standards and/or testing forms. The hydrostatic test shall be performed with all service line corporation stops open and meter stops closed, and with all hydrant line valves open. Prior to the start of each pressure test, the position of all mainline valves, hydrant line valves and service line corporation stops in the test segment shall be verified.

87. After the pressure test and prior to disinfecting, the water lines shall be thoroughly flushed through hydrants, blow offs or by other approved means.

88. Disinfection & Bacteriological Testing. All water mains and service lines shall be chlorine disinfected per Approving Agency requirements, AWWA C-651 or OAR 333-061 (25 mg/L minimum chlorine solution, 24 hours contact time), whichever is more stringent. Unless otherwise approved by the Approving Agency, a representative from the Approving Agency shall witness the application of the chlorine solution and the chlorine residual at the end of the 24 hour contact period. After the 24 hour chlorine contact period, the free chlorine concentration shall be checked, and if it is found to be 10 mg/L or more, the chlorine solution shall be drained (otherwise the line shall be rechlorinated), the waterline flushed with potable water, and a minimum of two consecutive samples taken at least 24 hours apart shall be collected from the waterline for microbiological analysis (i.e. one sample immediately after flushing, and another sample 24 hours later). Contractor to pay for laboratory analysis of water samples taken under the supervision of the Approving Agency. If the results of both analyses indicate that the water is free of coliform organisms the waterline may be placed in service. Should the initial treatment prove ineffective, the chlorination shall be repeated until confirmed tests show acceptable results.

89. Disinfection of Connections. For connections which cannot be disinfected with the waterline mainlines as noted above, all fittings, valves and appurtenances, including tool surfaces which will come in contact with potable water, shall be thoroughly cleaned by washing with potable water and then swabbed or sprayed with a one percent (1%) hypochlorite solution (10,000 mg/L) in accordance with the requirements of AWWA C-651 and OAR 333-061.

SEWER & STORM MANHOLES:

90. All precast manholes shall be provided with integral rubber boots. Where manholes without integral rubber boots are approved by the Owner's Representative and Approving Agency, a pipe joint shall be provided on all mainlines within 1.5 feet of the outside face of the manhole. Where required by Public Works, watertight lockdown lids required on all manholes outside of public right-of-way.

91. Openings for connections to existing manholes shall be made by core-drilling the existing manhole structure, and installing a rubber boot. Connections shall be watertight and shall provide a smooth flow into and through the manhole with no ponding. Small chipping hammers or similar light tools which will not damage or crack the manhole base may be used to shape channels, but may be used to enlarge existing openings only if authorized in writing by the Owner's Representative. Use of pneumatic jackhammers shall be prohibited.

92. Manhole channels depths (sewer & storm) shall be to the heights shown on the drawings, but in no case shall the channel depth be less than 2/3 of the pipe diameter. Channels, as well as shelves between the channels and the manhole walls, shall be sloped to drain per plan details.

93. Manholes constructed over existing sanitary sewers shall conform to the requirements of OSSC (ODOT/APWA) 490.41. Manholes over existing sewers. The existing pipe shall not be broken out until after the completion of the manhole test.

SANITARY SEWER SYSTEM:

94. Unless otherwise specified, sanitary sewer pipe shall be solid wall PVC in conformance with ASTM D3034, SDR 35 (8"15") or ASTM F-679, PS 46 (21"8"). Minimum stiffness shall be 46 psi per ASTM D-2412 and joint type shall be elastomeric gasket conforming to ASTM D-3212. All other appurtenances and installation to conform to the Approving Agency's specifications. All materials and workmanship for all private sanitary sewers, including sewers located within any building envelope, shall be installed in conformance with Uniform Plumbing Code requirements.

95. Unless otherwise specifically noted on the drawings, manufactured fittings (tee or wye per Approving Agency) shall be used for all lateral connections to new sewer mainlines.

96. Contractor shall provide all necessary materials, equipment and facilities to test sanitary sewer pipe and appurtenances for leakage in accordance with testing schedule herein or the Approving Agency's construction standards, whichever are more stringent. Sanitary sewer pipe and appurtenances shall be tested for leakage. Leakage tests shall include an air test of all sewer mains and laterals and vacuum testing of the manholes. Manhole testing shall be performed after completion of AC pavement and final surface restoration.

97. After manhole channeling and prior to mandrel testing and/or TV inspection, flush and clean all sewers, and remove all foreign material from the mainlines and manholes. Failure to clean all dirt, rock and debris from pipelines prior to TV inspection will result in the need to re-clean and re-TV the sewer lines.

98. Contractor shall conduct deflection test of flexible sanitary sewer pipes by pulling an approved mandrel through the completed pipeline following trench compaction. The diameter of the mandrel shall be 95% of the initial pipe diameter. Test shall be conducted not less than 30 days after the trench backfilling and compaction has been completed, unless otherwise approved by the Approving Agency.

99. Upon completion of all sanitary sewer construction, testing and repair, the Contractor shall conduct a color TV acceptance inspection of all mainlines in accordance with OSSC (ODOT/APWA) 445.74 to determine compliance with grade requirements of OSSC (ODOT/APWA) 445.40.b. The TV inspection shall be conducted by an approved technical service which is equipped to make audio-visual recordings of the TV inspections on DVD or flash drive. Unless otherwise required by the Approving Agency, a standard 4-inch diameter ball shall be suspended in front of the camera during the inspection to determine the depth of any standing water. Sufficient water to reveal low areas or reverse grades shall be discharged into the pipe immediately prior to initiation of the TV inspection. The DVD and written report shall be delivered to the Approving Agency.

STORM DRAIN SYSTEM:

100. Storm sewer pipe materials shall conform to the construction drawings and Approving Agency's requirements. Unless otherwise noted or shown on the drawings, storm sewer pipe materials with watertight joints shall conform to the attached "Storm Pipe Table". Contractor shall use uniform pipe material on each pipe run between structures unless otherwise directed or approved. Jointed HDPE pipe shall not be used for slopes exceeding ten percent (10%). All materials and workmanship for all private storm drains, including storm drains located within any building envelope, shall be installed in conformance with Uniform Plumbing Code requirements.

101. Contractor shall designate the pipe material actually installed on the field record drawings and provide this information for inclusion on the as-built drawings.

102. Catch basins and junction boxes shall be set square with buildings or with the edge of the parking lot or street wherein they lie. Storm drain inlet structures and paving shall be adjusted so water flows into the structure without ponding water.

103. Unless otherwise approved by the Engineer, all storm drain connections shall be by manufactured tees or saddles.

104. Unless otherwise shown on the drawings, all storm pipe inlets & outfalls shall be beveled flush to match the slope wherein they lie.

105. Sweep (deflect) storm sewer pipe into catch basins and manholes as required. Maximum joint deflection shall not exceed 5 degrees or manufacturers recommendations, whichever is less.

106. Unless otherwise shown or directed, install storm sewer pipe in accordance with manufacturer installation guidelines.

107. After manhole channeling and prior to mandrel testing or final acceptance, flush and clean all sewers, and remove all foreign material from the mainlines, manholes and catch basins.

108. Mandrel Testing. Contractor shall conduct deflection test of flexible storm sewer pipes by pulling an approved mandrel through the completed pipeline following trench compaction. The diameter of the mandrel shall be 95% of the initial pipe diameter. Test shall be conducted not more than 30 days after the trench backfilling and compaction has been completed.

109. TV Inspection. Upon completion of all storm sewer construction, testing and repair, the Contractor shall conduct a color TV acceptance inspection of all mainlines in accordance with OSSC (ODOT/APWA) 445.74 to determine compliance with grade requirements of OSSC (ODOT/APWA) 445.40.b. The TV inspection shall be conducted by an approved technical service which is equipped to make audio-visual recordings of the TV inspections on DVD (VHS video tape acceptable only upon prior written approval by Public Works). Unless otherwise required by the agency with jurisdiction, a standard 4-inch diameter ball shall be suspended in front of the camera during the inspection to determine the depth of any standing water. Sufficient water to reveal low areas or reverse grades shall be discharged into the pipe immediately prior to initiation of the TV inspection. The DVD and written report shall be delivered to the Approving Agency.

110. Prior to acceptance, the Owner's Representative may lamp storm lines upstream & downstream of structures to verify that the pipes are clean and there is no grout or concrete in the mainlines, and that there are no observable bellies in the line. When necessary, sufficient water to reveal low areas shall be discharged into the pipe by the Contractor prior to any such inspection by the Owner's Representative or the Approving Agency.

STREET LIGHTS:

111. Street lights shall be installed after all other earthwork and public utility installations are completed and after rough grading of the property is accomplished to prevent damage to the poles.

112. Streetlight poles shall be set to a depth as specified by the manufacturer, but not less than 5 feet.

113. Street light poles shall be installed within one degree (1°) of plumb.

114. Contractor and franchise utility companies shall conform to SCS Section 309 for all street lighting installation.

115. Contractor shall coordinate with utility companies and pay all costs for procurement, installation, wiring, hook up and activation of streetlights.

FRANCHISE & PRIVATE UTILITIES:

116. Unless otherwise shown on the drawings or approved by jurisdiction having authority, all new franchise and private utilities (power, cable TV, telephone, gas, data, communication, control, alarms, etc.) shall be installed underground. Installation of such utilities or associated conduits in a common trench with public water, sanitary sewer, or storm sewer is prohibited.

117. Contractor shall coordinate with gas, power, telephone, and cable TV Company for location of conduits in common trenches, as well as location or relocation of vaults, pedestals, etc. The Contractor shall be responsible for providing franchise utility companies adequate written notice of availability of the open trench (typically 10 days minimum), and reasonable access to the open trench. Unless otherwise approved in writing by the Approving Agency, all above-grade facilities shall be located in PUEs (where PUEs exist or will be granted by the development), and otherwise shall be placed in a location outside the proposed sidewalk location.

118. Unless otherwise approved by the Approving Agency, installation of private utilities (including either franchise utilities or private water, sewer or storm services) in a common trench with or within 3 feet horizontally of and paralleling public water, sanitary sewer or storm drains is prohibited.

119. Power, telephone and TV trenching and conduits shall be installed per utility company requirements with pull wire. Contractor shall verify with utility company for size, location and type of conduit before construction, and shall ensure that trenches are adequately prepared for installation per utility company requirements. All changes in direction of utility conduit runs shall have long radius steel bends.

120. Contractor shall notify and coordinate with franchise utilities for removal or relocation of power poles, vaults, pedestals, manholes, etc. to avoid conflict with Public utility structures, fire hydrants, meters, sewer or storm laterals, etc.

STORM PIPE TABLE	
Cover Depth	**6" – 18" Diameter**
Less than 2' Cover	Class 50 ductile iron pipe with bell and spigot joints and rubber gasket.
2' to 2-1/2' Cover	Pipe specified for lesser cover depths —or— Class 3, ASTM C-14 non-reinforced concrete pipe with bell and spigot joints & rubber gaskets, ASTM 150 Type II cement. —or— PVC pipe conforming to AWWA C900 DR 18 (6"–12") or AWWA C-905 (14"–18") with bell and spigot joints and rubber gasket
2-1/2' to 15' Cover	Pipe specified for lesser cover depths —or— PVC pipe conforming to ASTM D-3034 PVC SDR 35 (6"–15") or ASTM F-679 PVC solid wall SDR 35 (18") with bell and spigot joints and rubber gasket. —or— HDPE (high density polyethlene) pipe conforming to AASHTO M-252, (8"–10") or AASHTO M-294 (12"–18"). For slopes less than 6% the pipe shall be ADS N-12 IB ST, Hancor Sure-Lok F477, or approved equal. For slopes greater than 6% the pipe shall be ADS N-12 IB WT, Hancor Blue Seal, or approved equal with watertight pressure testable fittings, —except— jointed HDPE (high density polyethylene) pipe referenced above not permitted for depth to invert greater than 12 feet.
More than 15' Cover	See construction drawings.
Cover Depth	**21" – 30" Diameter**
Less than 2' Cover	Class 50 ductile iron pipe with bell and spigot joints and rubber gasket.
2' to 2-1/2' Cover	Pipe specified for lesser cover depths —or— Class IV ASTM C-76 reinforced concrete pipe with bell and spigot joints and rubber gasket, ASTM 150, Type II cement.
2-1/2' to 15' Cover (**HDPE allowed up to 60" diameter subject to max. depth limits listed)	Pipe specified for lesser cover depths —or— ASTM F-679 PVC solid wall SDR 35 pipe with bell and spigot joints and rubber gasket —or— HDPE (high density polyethlene) pipe conforming to AASHTO M-294. For slopes less than 6% the pipe shall be ADS N-12 IB ST, Hancor Sure-Lok F477, or approved equal. For slopes greater than 6% the pipe shall be ADS N-12 IB WT, Hancor Blue Seal, or approved equal with watertight pressure testable fittings, —except— (**)jointed HDPE (high density polyethylene) pipe referenced above not permitted for depth to invert greater than 12 feet.
More than 15' Cover	See construction drawings.
Greater than 30" diameter and other pipe materials: Case by case basis.	
Perforated pipe underdrains to be SCH 40 ABS or SCH 40 PVC perforated or slotted pipe unless otherwise specified.	

REQUIRED TESTING AND FREQUENCY TABLE *Contractor to notify Owner's Representative prior to all testing, to allow Owner's Representative to be present if desired.*		Party Responsible for payment	
		Contractor	Others (see note 1)
Streets, Fire Lanes, Common Driveways, Parking Lots, Pads, Fills, etc.			
Subgrade	1 Test/4000 S.F./Lift (4 min), locations acceptable to approving agency (typically alternate sides of road or access aisles)	✓	See note 2 & note 3
Engineered Fills	1 Test/4000 S.F./Lift (4 min), locations acceptable to approving agency	✓	See note 2 & note 5
Baserock	1 Test/4000 S.F./Lift (4 min), locations acceptable to approving agency (typically alternate sides of road or access aisles)	✓	See note 2 & note 3
Asphalt	1 Test/8000 S.F./Lift (4 min), locations acceptable to AA (typ. alternate as above)	✓	See note 2
Piped Utilities, All (including backfill in lifts & AC restoration at manholes, etc.)			
Trench Backfill	1 Test/200 Foot Trench/Lift (4 min)	✓	See note 2
Trench AC Restoration	1 Test/300 Foot Trench (4 min)	✓	See note 2
Water			
Pressure Test	(to be witnessed by Owner's Representative or approving agency)	✓	See note 4
Bacterial Water Test	Per OHA-Drinking Water Services	✓	See note 2
Chlorine Residual Test	Per City Requirements	✓	
Sanitary Sewer			
Air Test	Per City or APWA Requirements, whichever is more stringent	✓	See note 4
Mandrel	95% of actual inside diameter	✓	See note 4
TV Inspection	All. Lines must be cleaned prior to TV work	✓	
Manhole	Vacuum test each manhole, witnessed by Owner's Representative or approving agency	✓	See note 2
Storm			
Mandrel	95% of actual inside diameter	✓	See note 4
TV Inspection	All. Lines must be cleaned prior to TV work	✓	
Concrete, Block, etc.			
Slump, Air & Cylinders for structural & reinforced concrete, equipment slabs, curbs, sidewalks & PCC pavements. Unless otherwise specified, one set of cylinders per 100 cubic yards (or portion thereof) of each class of concrete placed per day. Slump & air tests required on same load as cylinders.		✓	See note 2
Retaining Walls			
Building permit inspection and Special inspection, as well as compaction testing on backfill, all in conformance with applicable State Building Code requirements		✓	See note 5 & note 8

Note 1: "Others" refers to Owner's authorized Representative or Approving Agency as applicable. Contractor responsible for scheduling testing. All testing must be completed prior to performing subsequent work.

Note 2: Testing must be performed by an approved independent testing laboratory/firm.

Note 3: In addition to in-place density testing, the subgrade and base rock shall be proof-rolled with a loaded 10 yard dump truck provided by the Contractor. Baserock proofroll shall take place immediately prior to (within 24 hours of) paving, and shall be witnessed by the Owner's authorized Representative or approving agency. Location and pattern of testing and proofroll to be as approved or directed by said Owner's authorized Representative or approving agency.

Note 4: To be witnessed by the Owner's Representative or approving agency. The Contractor shall perform pretests prior to scheduling witnessed waterline or sanitary sewer pressure tests, or pipeline mandrel test.

Note 5: The approved independent laboratory retained by the Contractor shall provide a certification (stamped by an engineer licensed in the State of Oregon) that the subgrade was prepared and all engineered fills were placed in accordance with the provisions of the construction drawings and the contract documents.

Note 8: Regardless of who is responsible for payment, the Contractor is responsible for scheduling and coordinating any and all required inspections and Special inspections as required by applicable building codes or jurisdictions having authority.

Contractor to notify Owner's Representative prior to all testing, to allow Owner's Representative to be present if desired.

NO.	DATE	REVISIONS DESCRIPTION	BY
1			

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DSN. JJW
DRN. RS
CKD. JJW
DATE 02/25/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
JULY 12, 2005
WILLIAM J. WELLS
REVIEW
EXPIRES: 6/30/2025

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: mail@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS

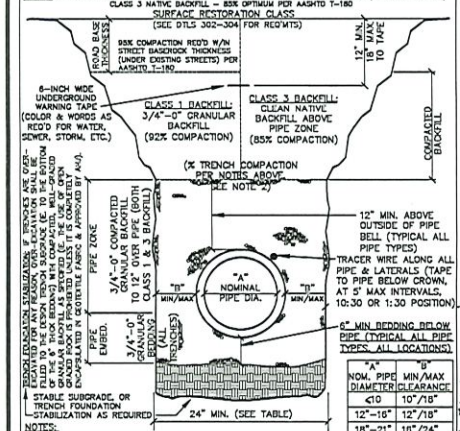
CONSTRUCTION NOTES

DRAWING
C6.1

JOB NUMBER
3263.3000

2/25/2025 11:12:26 AM
R:\Projects\Keber Prop\Lot 1 - US Westlake\Civil\Plans\PD-CONST Notes & Details.dwg (C6.1.dwg)

TRENCH COMPACTION: CLASS 1 GRANULAR BACKFILL – 92% OPTIMUM PER AASHTO T-180 (MODIFIED PROCTOR)
CLASS 3 NATIVE BACKFILL – 85% OPTIMUM PER AASHTO T-180



"A" NOM. PIPE DIAMETER	"B" MIN/MAX CLEARANCE
≤10	10"/18"
12"-18"	12"/18"
18"-21"	18"/24"
24"-30"	18"/30"
>30"	24"/36"

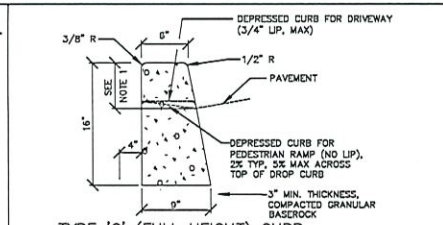
(SEE NOTE 5)

NOTES:
1. CLASS 1 GRANULAR BACKFILL REQUIRED UNDER ALL EXISTING OR FUTURE IMPROVED AREAS, INCLUDING STREETS, SHOULDERS, PARKING, SIDEWALKS, ETC.
2. SUBMIT WRITTEN BACKFILL COMPACTION TEST RESULTS PRIOR TO INSTALLING AC PAVEMENT OR CONCRETE SURFACE RESTORATION.
3. WHERE NEW PIPING IS IN SAME ALIGNMENT AS EXISTING PIPING, GRANULAR PIPE EMBEDMENT SHALL EXTEND TO A MIN. OF 8" BELOW THE NEW PIPING OR 6" BELOW EXISTING PIPING, WHICHEVER IS DEEPER.
4. SHORING NOTE, PIPE ZONE: FOR FLEXIBLE PIPE, BOTTOM OF TRENCH SHORING SHALL BE ABOVE PIPE SPRINGLINE PRIOR TO COMPACTING BACKFILL BELOW THE PIPE SPRINGLINE AND UNDER THE PIPE HAUNCHES (TO AVOID LOSS OF PIPE SIDE SUPPORT).
5. MINIMUM CLEARANCES SHOWN ("B") ASSUMES STANDARD 8" WALL TRENCH BOXES SET ON TRENCH BOTTOM, AND REPRESENTS WIDTH REQUIRED TO CONSOLIDATE GRANULAR MATERIAL UNDER PIPE HAUNCHES (TO AVOID LOSS OF SIDE SUPPORT WHEN TRENCH BOX IS MOVED OR PULLED FORWARD). TRENCH WIDTH REDUCTION REQUIRES PRIOR APPROVAL BASED ON ACTUAL TRENCH SHORING PROPOSED.

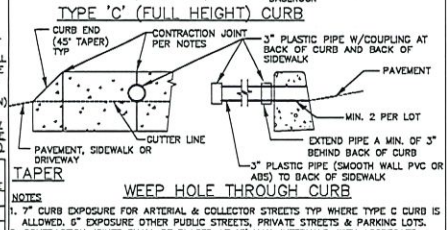
LAST REVISION DATE:	JO #
MAR 2024	STANDARD

TRENCH BACKFILL, BEDDING, AND PIPE ZONE
(NTS)

WESTECH ENG.	DETAIL NO. 3010



TYPE 'C' (FULL HEIGHT) CURB



TAPER

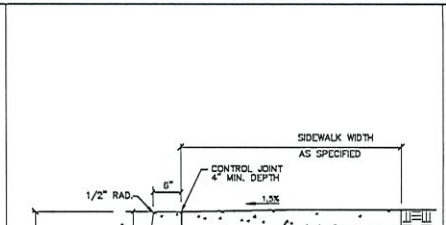
WEEP HOLE THROUGH CURB

NOTES
1. 7" CURB EXPOSURE FOR ARTERIAL & COLLECTOR STREETS TYP WHERE TYPE C CURB IS ALLOWED. 6" EXPOSURE OTHER PUBLIC STREETS, PRIVATE STREETS & PARKING LOTS.
2. CONTRACTION JOINTS SHALL BE PLACED AT 15' MAX. INTERVALS, WITH AGGREGATE SEPARATION TO EXTEND AT LEAST 50% THROUGH THE CURB.
2. A CONTRACTION JOINT SHALL BE PLACED ACROSS SIDEWALK OVER WEEP HOLE PIPE.
3. ALL CONCRETE SHALL BE 3300 PSI @ 28 DAYS, MAX 5" SLUMP, 4.5% AIR (±1.5%).
4. WHERE SIDEWALKS ARE TO BE CONSTRUCTED, EXTEND 3" PIPE TO BACK OF SIDEWALK LOCATION & INSTALL COUPLING AT END OF PIPE.
5. INSTALL AT LEAST 2 WEEP HOLES ON ALL LOTS. IN ADDITION TO WEEPHOLES AT DRIVEWAY WINGS, INSTALL ONE WEEPHOLE AT LOW POINT OF LOT, 5' MAX FROM P/L. ANY WEEPHOLES IN EXTG CURBS SHALL BE CORE DRILLED.
6. MONOLITHIC CURB & PUBLIC SIDEWALK OR DRIVEWAY APRON PLACEMENT IS NOT PERMITTED EXCEPT PED RAMPS (IE. CURB CONCRETE & SIDEWALK OR DRIVEWAY CONCRETE SHALL BE PLACED SEPARATELY).

LAST REVISION DATE:	JO #
FEB 2024	—

TYPE 'C' CURB AND WEEPHOLE
(NTS)

WESTECH ENG.	DETAIL NO. 2110



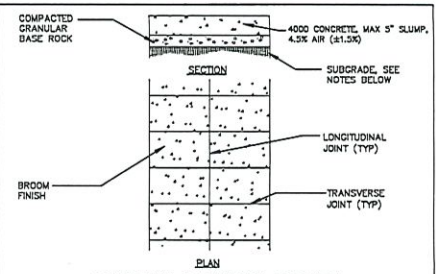
TYPICAL SECTION
NTS

NOTES:
1. CONCRETE THICKNESS. 4" MIN. CONCRETE THICKNESS FOR STANDARD SIDEWALKS. 6" MIN CONCRETE THICKNESS THROUGH RESIDENTIAL DRIVEWAYS (INCLUDING WINGS). 8" MIN CONCRETE THICKNESS THROUGH COMMERCIAL/INDUSTRIAL DRIVEWAYS & ALLEY APPROACHES.
2. CONCRETE SHALL BE 3300 PSI @ 28 DAYS, MAX 5" SLUMP, 4.5% AIR (±1.5%).
3. INSTALL TOOLED CONTRACTION JOINTS AT 5' INTERVALS. SIDEWALKS 10' & WIDER SHALL HAVE A LONGITUDINAL CONTRACTION JOINT AT 5' MAX ON CENTER.
4. INSTALL AT LEAST 2 WEEP HOLES ON ALL LOTS. IN ADDITION TO WEEPHOLES AT DRIVEWAY WINGS, INSTALL ONE WEEPHOLE AT LOW POINT OF LOT, 5' MAX FROM P/L.
5. A CONTRACTION JOINT SHALL BE PLACED ALONG AND OVER WEEPHOLE & DRAIN PIPE.
6. SIDEWALKS SHALL BE LOCATED ENTIRELY WITHIN PRIVATE RIGHT-OF-WAYS OR SIDEWALK EASEMENTS, INCLUDING SIDEWALKS AT DRIVEWAY APRONS.

LAST REVISION DATE:	JO #
JAN 2024	STANDARD

MONOLITHIC CURB AND PRIVATE SIDEWALK
(NTS)

WESTECH ENG.	DETAIL NO. 2112



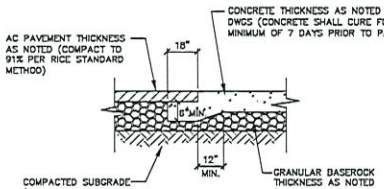
CONCRETE PAVEMENT SECTION
NTS

NOTES:
1. PCC CONSTRUCTION SHALL CONFORM TO PORTLAND CEMENT ASSOCIATION (PCA) SPECIFICATIONS.
2. MAXIMUM LONGITUDINAL JOINT SPACING IS 15 FEET. TRANSVERSE JOINTS REQUIRED AT ALL CURB JOINTS OR A MAXIMUM OF 15 FEET.
3. LENGTH OF ANY PARTICULAR PANEL (BETWEEN JOINTS) SHALL NOT EXCEED 1.5 X WIDTH.
4. JOINT PATTERN TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO POURING PCC.
4. DEPTH OF JOINTS SHALL BE 1/3 MINIMUM TO 1/2 MAX OF THE PAVEMENT THICKNESS.
5. ALL DESIGN SUBGRADES SHALL BE COMPACTED AND PROOF-ROLLED PRIOR TO PLACEMENT OF BASEROCK.
6. IF SUBGRADE FAILS THE PROOF-ROLL, SUBGRADE SHALL BE OVEREXCAVATED TO UNDISTURBED SOIL AND BACKFILLED WITH BASEROCK OVER MINIMUM 8.0-OZ. NONWOVEN FABRIC AS REQUIRED TO ALLOW COMPACTION OF UPPER (DESIGN) BASEROCK SECTION AND TO MAINTAIN STRUCTURAL INTEGRITY OF NATIVE SUBGRADE SOILS. TYPICAL MINIMUM OVEREXCAVATION REQUIRED IS 18-INCHES. NO RUBBER TIRED EQUIPMENT ALLOWED ON SUBGRADE FOLLOWING OVEREXCAVATION.

LAST REVISION DATE:	JO #
AUG 2020	STANDARD

CONCRETE PAVEMENT SECTION
(NTS)

WESTECH ENG.	DETAIL NO. 2392

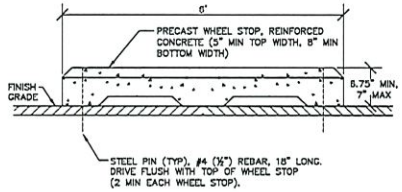


NOTE:
1. CONCRETE SHALL BE A MINIMUM 3300 PSI AT 28 DAYS, MAX 5" SLUMP, 4.5% AIR (±1.5%).

LAST REVISION DATE:	JO #
FEB 2024	STANDARD

IMPACT PANEL FOR TRANSITION FROM CONCRETE TO A.C. PAVEMENT
(NTS)

WESTECH ENG.	DETAIL NO. 2394



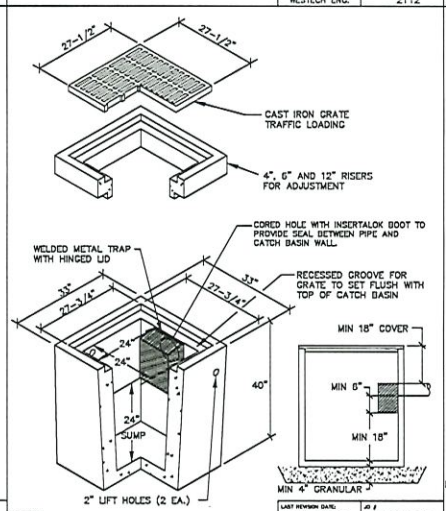
SECTION
NTS

NOTES:
1. SEE DRAWINGS FOR LOCATION & NUMBER OF WHEEL STOPS, INCLUDING DIMENSION FROM CURB, EDGE OF PAVEMENT OR BUILDING AS APPLICABLE.
2. UNLESS OTHERWISE SPECIFIED OR SHOWN ON SITE PLAN, SET WHEEL STOPS 2 FEET FROM FACE OF CURB OR EDGE OF PAVEMENT, MEASURED FROM THE FACE OF THE WHEEL STOP (VEHICLE SIDE) TO FACE OF CURB (OR EDGE OF PAVEMENT). SET BACK FROM PROPERTY LINES PER CITY STANDARDS (3' MIN). MIN SETBACK FROM BUILDINGS AS SHOWN ON DWGS.

LAST REVISION DATE:	JO #
FEB 2024	STANDARD

PRECAST WHEELSTOP DETAIL
(NTS)

WESTECH ENG.	DETAIL NO. 2396



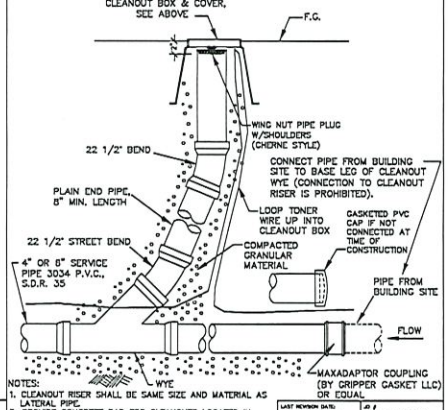
NOTES:
1. SEE CONSTRUCTION DRAWINGS FOR PIPE SIZE, LOCATION AND INVERT ELEVATION.
2. CONCRETE SHALL BE 4000 PSI @ 28 DAYS.
3. SET CB SQUARE WITH BUILDINGS OR WITH EDGE OF PARKING LOT, ALLEY OR DRIVEWAY WHEREIN IT LIES.
4. ADJUST PAVING SO WATER FLOWS TO CB WITH NO PONDING.

LAST REVISION DATE:	JO #
MAR 2024	STANDARD

PARKING LOT CATCH BASIN OF PUBLIC ALLEY CATCH BASIN (PRECAST CONCRETE)
(NTS)

WESTECH ENG.	DETAIL NO. 3150

CLEANOUT COVERS: ALL SEWER CLEANOUT LIDS TO READ "SEWER".
ALL STORM CLEANOUT LIDS TO READ "STORM" OR "C/O".
1. NON-TRAFFIC AREAS:
CARSON MODEL 910 T-COVER OR EQUAL (GREEN FOR SEWER, GREY FOR STORM).
2. TRAFFIC AREAS, INCLUDING DRIVEWAYS:
8" X 4" CAST IRON FRAME & COVER, OLYMPIC M1007 OR EQUAL.
8" X 6" CAST IRON FRAME & COVER, OLYMPIC M1018 OR EQUAL.
(FOR CI CLEANOUTS IN UNPAVED AREAS, SET IN 6" THICK CONCRETE PAD)



NOTES:
1. CLEANOUT RISER SHALL BE SAME SIZE AND MATERIAL AS LATERAL PIPE.
2. PROVIDE CONCRETE PAD FOR CLEANOUTS LOCATED IN UNPAVED DRIVEWAYS OR TRAFFIC AREAS (6" THICK PAD TO BE 6" LARGER THAN CLEANOUT BOX FRAME ON ALL SIDES).
3. CLEANOUT PIPE SHALL BE LEFT A MINIMUM OF 18" ABOVE EXISTING GRADE UNTIL ALL CURBING IS INSTALLED AND ALL PRIVATE UTILITY TRENCHES ARE BACKFILLED. CLEANOUTS SHALL THEN BE SET NO MORE THAN 6" BELOW FINISH GRADE, AND CLEANOUT BOXES SET FLUSH WITH FINISH GRADE.

LAST REVISION DATE:	JO #
MAY 2024	STANDARD

STANDARD SERVICE LATERAL CLEANOUT (ON PRIVATE PROPERTY)
(NTS)

WESTECH ENG.	DETAIL NO. 4161

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERIFY SCALE
BAR IS 1" ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

DSN. JW
DRN. RS
CKD. JW
DATE: 02/2025

REGISTERED PROFESSIONAL ENGINEER
REVIEW
OREGON
JAN. 12, 2006
WILLIAM J. WELLS
EXPIRES: 6/30/2026

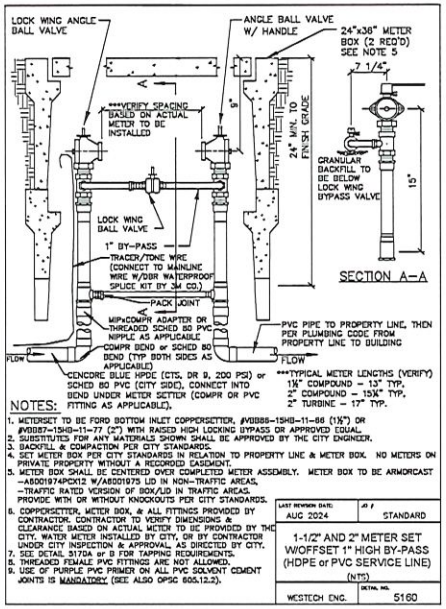
WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474, Fax: (503) 585-3986
E-mail: mail@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS
CIVIL DETAILS

DRAWING
C7.0

JOB NUMBER
3263.3000

2/23/2025 11:19:28 AM
R:\Civil\Projects\Kueber Village\Set 1 - US Permit\C3-Plans\P3-Civil Notes & Details.dwg (27.0 in)



NOTES:

1. METERSET TO BE FORD BOTTOM INLET COPPERSETTER, #VB88S-15HB-11-66 (1½") OR #VB87-15HB-11-77 (2") WITH RAISED HIGH LOCKING BYPASS OR APPROVED EQUAL.
2. SUBSTITUTES FOR ANY MATERIALS SHOWN SHALL BE APPROVED BY THE CITY ENGINEER.
3. BACKFILL & COMPACTION PER CITY STANDARDS.
4. SET METER BOX PER CITY STANDARDS IN RELATION TO PROPERTY LINE & METER BOX. NO METERS ON PRIVATE PROPERTY WITHOUT A RECORDED EASEMENT.
5. METER BOX SHALL BE CENTERED OVER COMPLETED METER ASSEMBLY. METER BOX TO BE ARMORCAST
   –A6001974PCX12 W/A6001975 LID IN NON–TRAFFIC AREAS.
   –TRAFFIC RATED VERSION OF BOX/LID IN TRAFFIC AREAS.
   PROVIDE WITH OR WITHOUT KNOCKOUTS PER CITY STANDARDS.
6. COPPERSETTER, METER BOX, & ALL FITTINGS PROVIDED BY CONTRACTOR. CONTRACTOR TO VERIFY DIMENSIONS & CLEARANCE BASED ON ACTUAL METER TO BE PROVIDED BY THE CITY. WATER METER INSTALLED BY CITY, OR BY CONTRACTOR UNDER CITY INSPECTION & APPROVAL AS DIRECTED BY CITY.
7. SEE DETAIL 5170A or B FOR TAPPING REQUIREMENTS.
8. THREADED FEMALE PVC FITTINGS ARE NOT ALLOWED.
9. USE OF PURPLE PVC PRIMER ON ALL PVC SOLVENT CEMENT JOINTS IS MANDATORY (SEE ALSO OPSC 605.12.2).

LAST REVISION DATE: AUG 2024	JO # STANDARD
1-1/2" AND 2" METER SET W/OFFSET 1" HIGH BY-PASS (HDPE or PVC SERVICE LINE) (NTS)	
WESTECH ENG.	DETAIL NO. 5160

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET ADJUST SCALE ACCORDINGLY

DSN. JJW
DRN. RS
CKD. JJW
DATE 07/2025

REGISTERED PROFESSIONAL ENGINEER
OREGON
JULY 15, 1980
WILLIAM J. WELLS
REVIEW
EXPIRES: 6/30/2026

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westech@westech-eng.com

MOSAIC MANAGEMENT, INC.
KUEBLER VILLAGE
LOT 1 IMPROVEMENTS
CIVIL DETAILS

DRAWING
C7.1

JOB NUMBER
3263.3000

2/25/2025 11:12:29 AM
R:\Cs-Projects\Kuebler Village\Lot 1 - US Venture\Civil\Civil\V3-CONST Notes & Details.dwg (C7.1 ds)