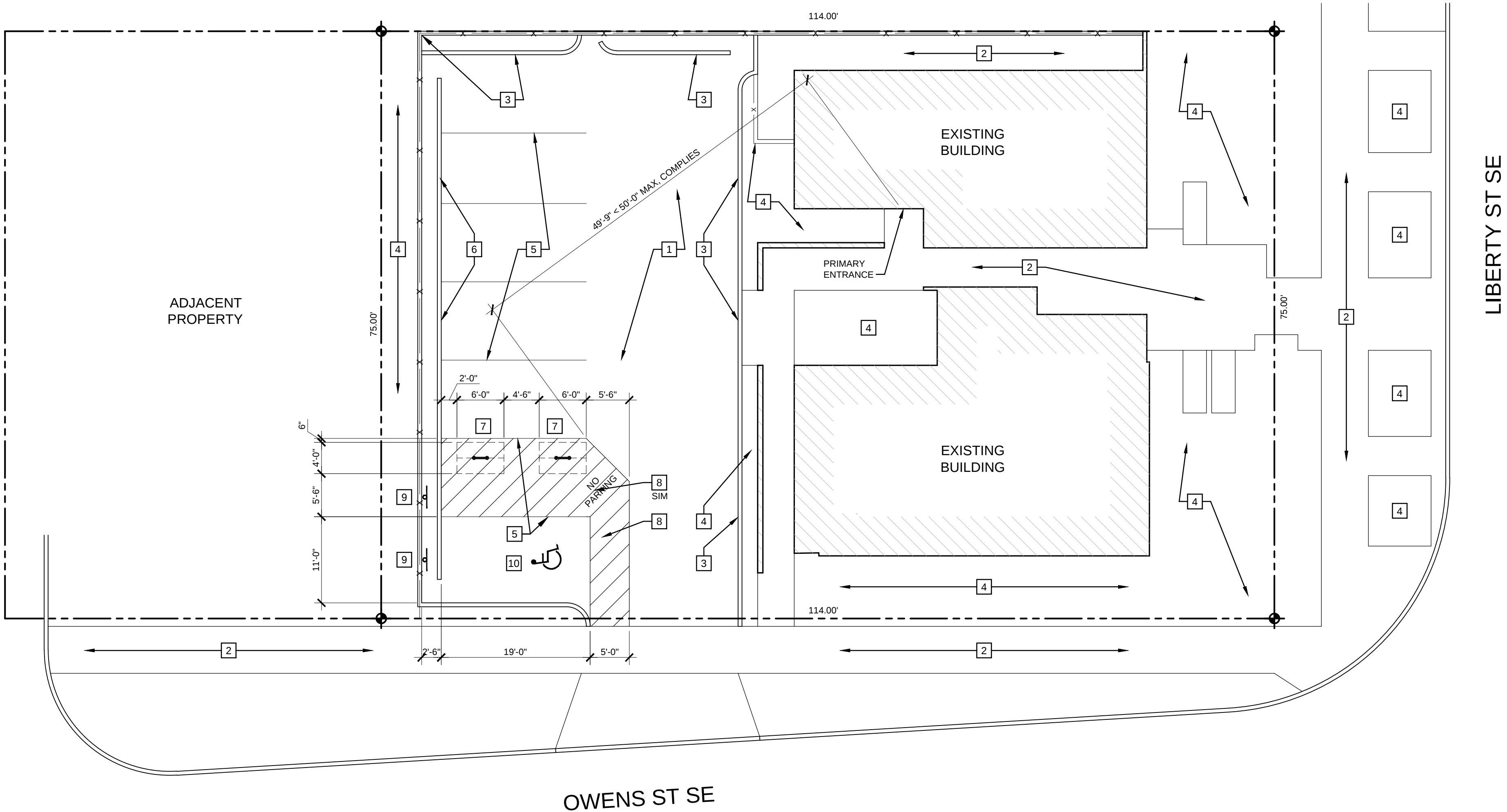


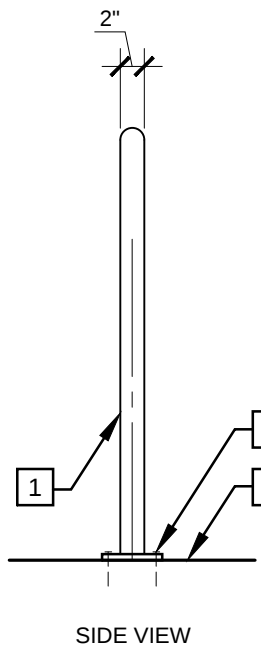
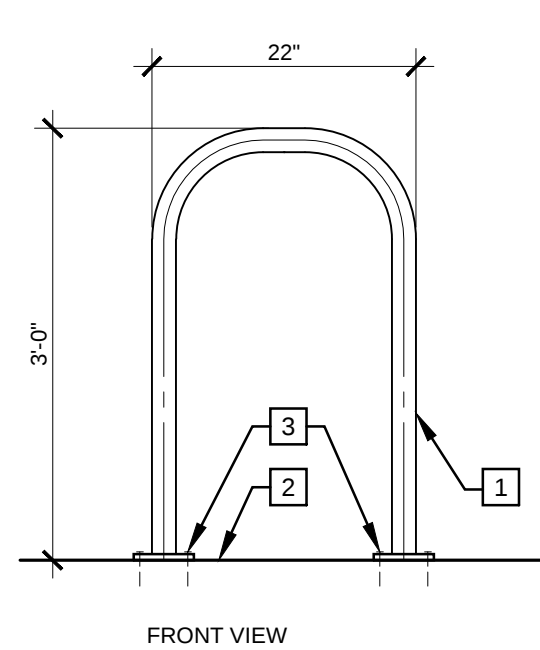
- GENERAL NOTES:
- GENERAL NOTES APPLY TO ALL DRAWINGS.
 - DIMENSIONS ARE TO EXISTING FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED. ("CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE).
 - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
 - IN CASE OF ANY CONFLICTS IN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR IS REQUIRED TO INCLUDE THE BETTER QUALITY AND LARGER QUANTITY OF THE WORK.
 - CONTRACTOR AND BIDDERS SHALL USE COMPLETE SETS OF CONTRACT DOCUMENTS; NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF CONTRACT DOCUMENTS.

- REFERENCE NOTES:
- EXISTING ASPHALT PAVING TO REMAIN
 - EXISTING CONCRETE PAVING TO REMAIN
 - EXISTING CURB TO REMAIN
 - EXISTING LANDSCAPE AREA TO REMAIN
 - EXISTING PAINTED PARKING STRIPE TO REMAIN
 - EXISTING WHEEL STOP TO REMAIN
 - NEW BIKE PARKING SPACE, REFER TO $\begin{matrix} 2 & 3 \\ A1.0 & A1.0 \end{matrix}$
 - NEW PEDESTRIAN ACCESS ROUTE. 4" PAINTED SAFETY STRIPES AT 24" O.C. DIAGONALLY. AT SIM CONDITION, INCLUDE 12" HIGH PAINTED LETTING "NO PARKING"
 - NEW ACCESSIBLE PARKING SIGNS, REFER TO $\begin{matrix} 4 & 5 \\ A1.0 & A1.0 \end{matrix}$
 - NEW ACCESSIBLE PARKING SYMBOL

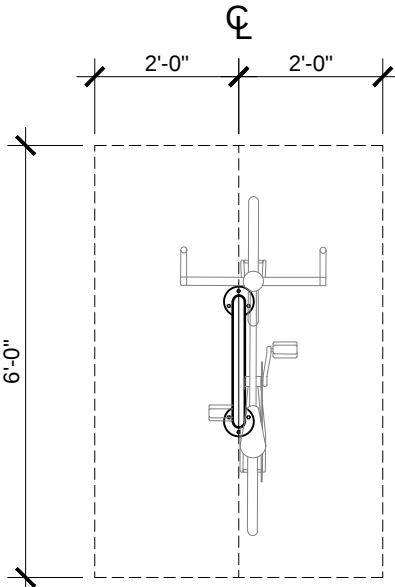
SITE SUMMARY:		NOTES:
ZONING DESIGNATION	= CO (COMMERCIAL OFFICE)	
BUILDING USE	= OFFICE	PERMITTED USE
TOTAL SITE AREA	= 8,550 SF (0.19 ACRES)	
GROSS FLOOR AREA	= 2,260 SF	
GROSS PARKING AREA	= 2,995 SF	
TOTAL LANDSCAPE AREA	= 2,060 SF	
BUILDING HEIGHT	= ~20'-0"	
PARKING		
FULL	= 5 PS (EXISTING)	
COMPACT	= 0	
HANDICAP	= 1 PS	1 PS REQUIRED, COMPLIES
BICYCLE	= 4 PS	4 PS REQUIRED, COMPLIES
LOADING ZONE	= N/A	<5,000 SF



1 SITE PLAN
SCALE: 1"=10'-0"



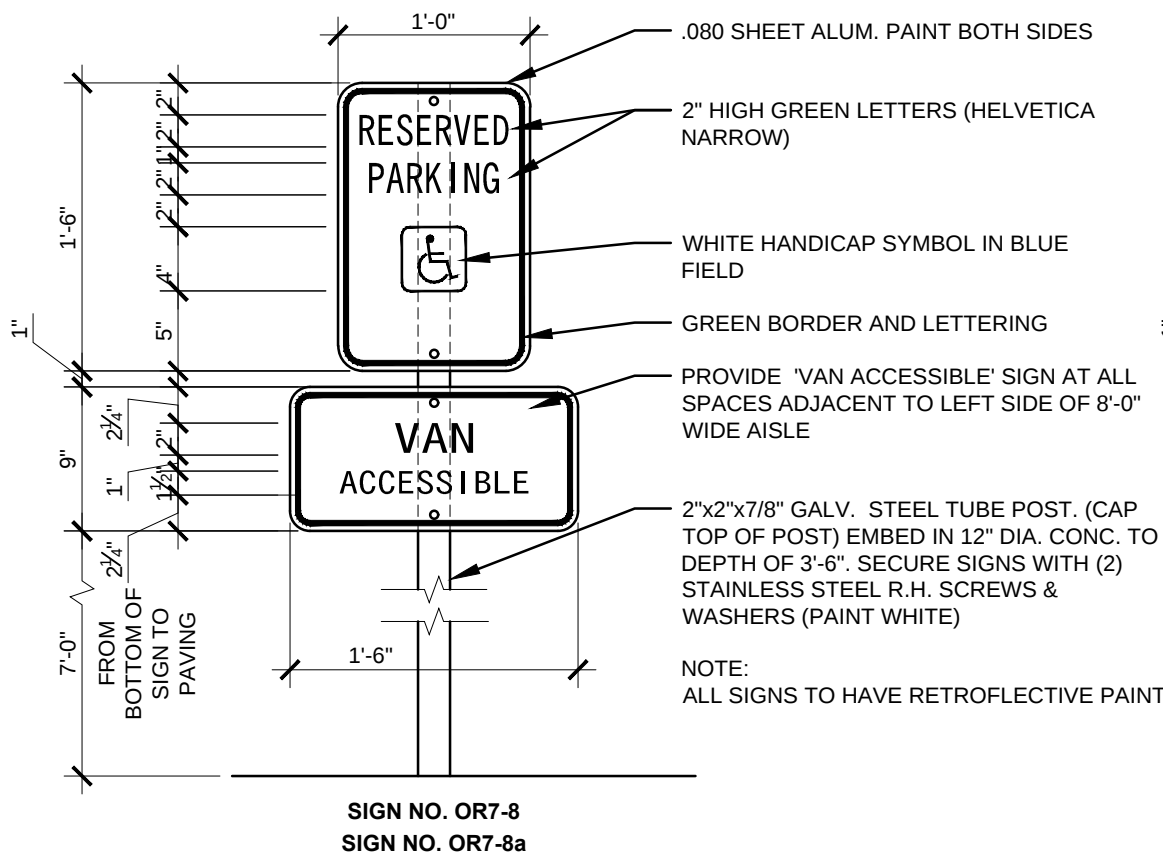
NOTE: ONLY ONE BIKE SHOWN FOR CLARITY



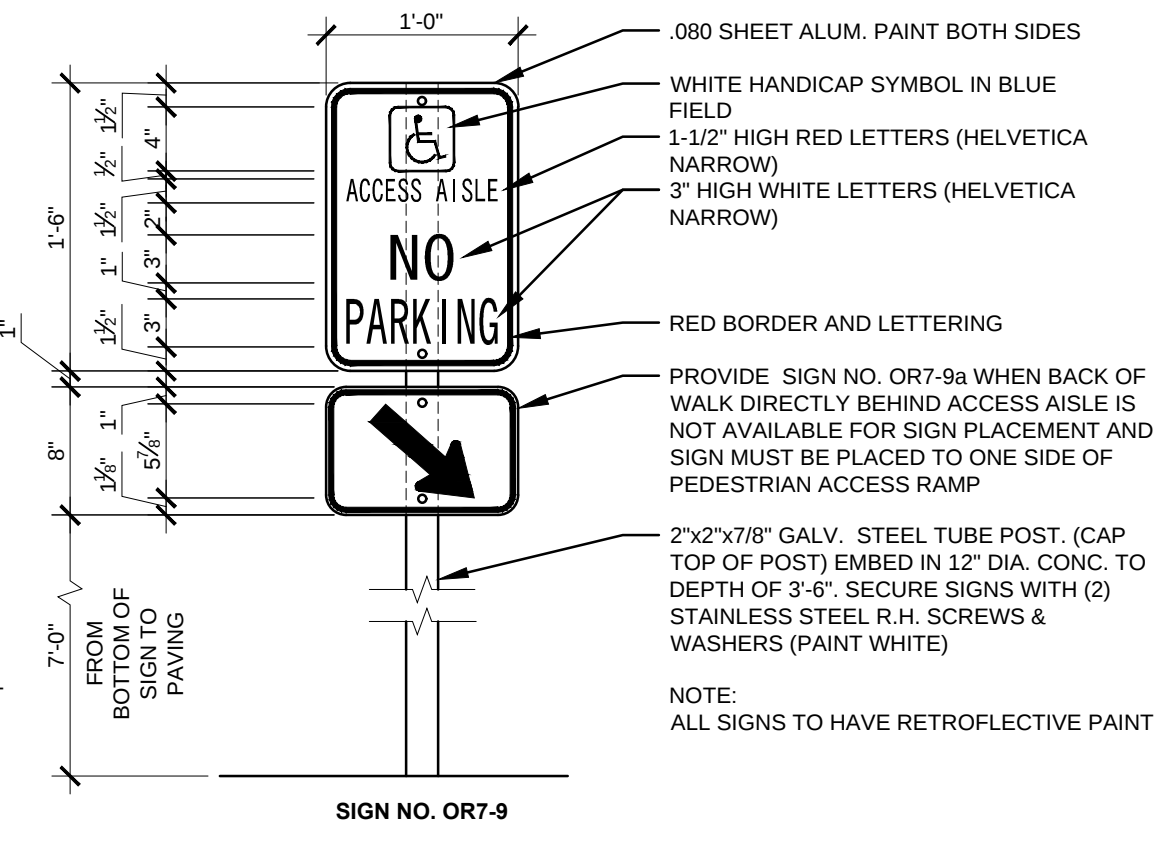
- NOTES:
- 2" DIA. SCHEDULE 40 PIPE WITH EMBEDDED ANCHOR MOUNT, POWDER COAT FINISH
 - NEW CONCRETE, REFER TO CIVIL DRAWINGS
 - NEW LAG BOLTS AND PLATE, ANCHOR PER MANUFACTURER

2 BIKE RACK ANCHORAGE DETAIL
SCALE: 3/4"= 1'-0" 25005-A1.0-02

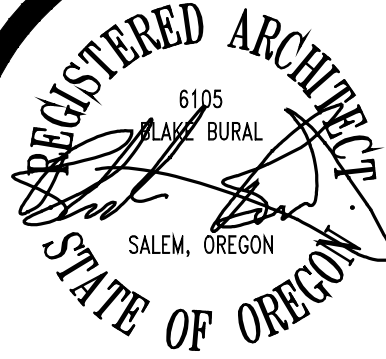
3 BIKE RACK PLAN DETAIL
SCALE: 3/4"= 1'-0" 25005-A1.0-03



4 ACCESSIBLE PARKING SPACE SIGN
SCALE: 1"= 1'-0" 25005-A1.0-04



5 ACCESSIBLE LOADING SPACE SIGN
SCALE: 1"= 1'-0" 25005-A1.0-05



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2025.0005

DATE: MAY 6, 2025

DRAWN: CJA

REVISIONS:



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SHEET

A1.0